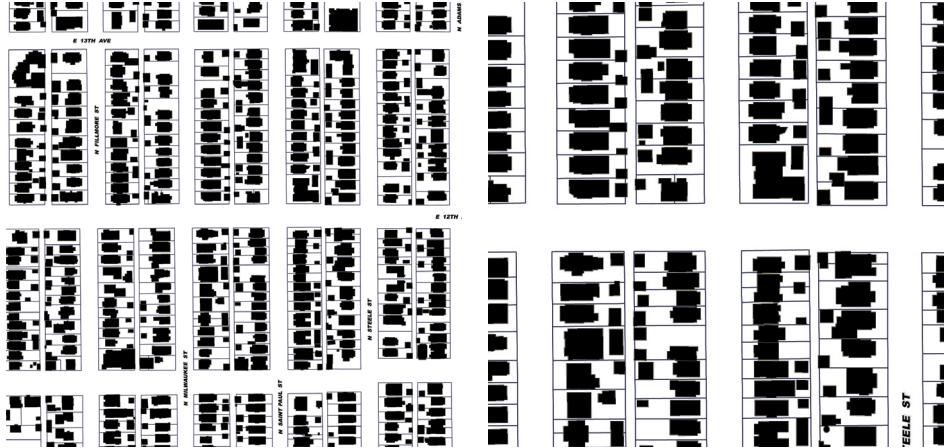


PUD-G11



4625 West 50th Avenue and 5030 Vrain Street
Effective Date: January 22, 2015

Contents

PUD-G11

CHAPTER 1. ESTABLISHMENT AND INTENT	1
Section 1.1 PUD-G11 and Subareas Established	1
Section 1.2 PUD-G11 General Purpose	2
Section 1.3 PUD-G11 Specific Intent	2
CHAPTER 2. NEIGHBORHOOD CONTEXT DESCRIPTION	4
Section 2.1 Subarea A	4
Section 2.2 Subareas B and C	4
CHAPTER 3. DISTRICTS	5
Section 3.1 Subarea A	5
Section 3.2 Subarea B	5
Section 3.3 Subarea C	5
CHAPTER 4. DESIGN STANDARDS.....	6
Section 4.1 Subarea A	6
Section 4.2 Subarea B	11
Section 4.3 Subarea C	11
Section 4.4 Public Access Easements Required	13
Section 4.5 Maximum Dwelling Units Allowed	13
CHAPTER 5. USES AND REQUIRED MINIMUM PARKING	14
Section 5.1 Uses	14
Section 5.2 Required Minimum Parking	15
CHAPTER 6. ADDITIONAL STANDARDS	16
Section 6.1 Articles 1 and 2 of the Denver Zoning Code.....	16
Section 6.2 Article 10 of the Denver Zoning Code	16
Section 6.3 Article 11 of the Denver Zoning Code	19
Section 6.4 Article 12 of the Denver Zoning Code.....	19
Section 6.5 Article 13 of the Denver Zoning Code.....	19
ATTACHMENT A: ALTA/ACSM LAND TITLE SURVEY (DECEMBER 20, 2103).....	25
ATTACHMENT B: SOUTHERN PORTION OF BUILDING	27
ATTACHMENT C: ORIGINAL BOWMAN ARCHITECTURAL/BUILDING PLANS FOR THE EXISTING EL JEBEL SHRINE BUILDING (DATED 1928)	29

CHAPTER 1. ESTABLISHMENT AND INTENT

SECTION 1.1 PUD-G11 AND SUBAREAS ESTABLISHED

1.1.1 PUD-G11 Established

The provisions of this PUD-G11 zone district apply to the specific lands depicted on the Official Zoning Map with the label PUD-G11, and more generally described as approximately 5.6 acres of land in the north 1/2 of the southwest 1/4 of Section 18, Township 3 South, Range 68 west of the 6th principal meridian (P.M.) and lots 14 to 36 inclusive of Block 3, Berkeley Park Heights, City and County of Denver, Colorado.

1.1.2 Subareas Established

The following subareas are hereby established within PUD-G11 for the purpose of applying the zoning standards contained herein. All subareas established are shown generally on Figure 1-1 below, and described legally as follows:

A. Subarea A Legal Description

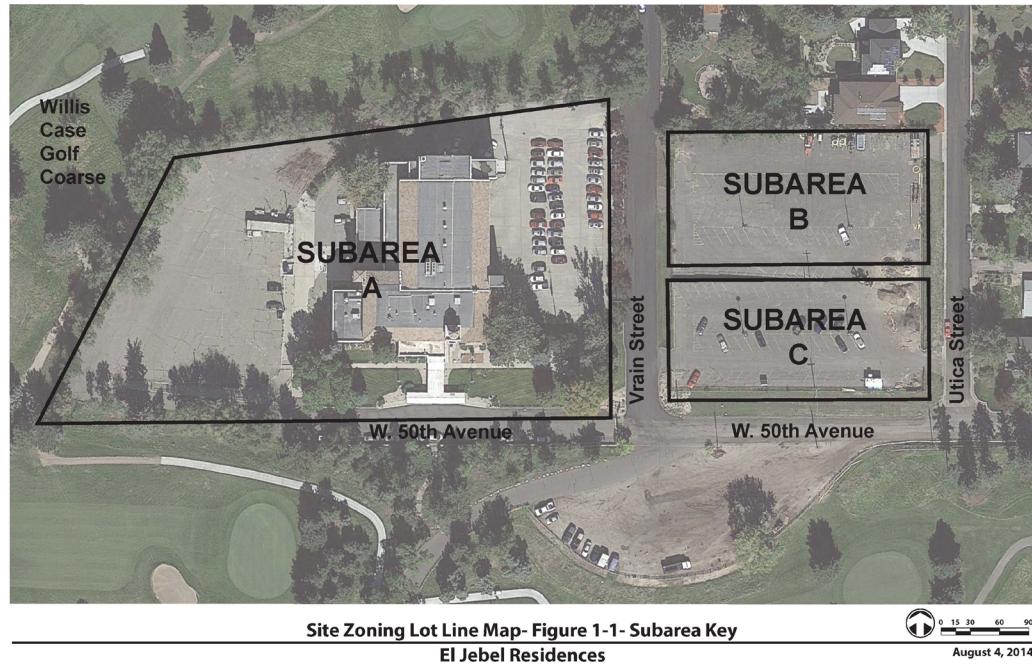
A PARCEL OF LAND IN THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT A POINT ON THE SOUTH LINE OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION, WHICH POINT IS 636.5 FEET WEST OF THE SOUTHEAST CORNER OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION; RUNNING THENCE WEST ON SAID SOUTH LINE 618 FEET TO A POINT; RUNNING THENCE NORTH 27 DEGREES 51 MINUTES AND 30 SECONDS EAST 307 FEET; RUNNING THENCE NORTH 83 DEGREES, NO MINUTES AND 30 SECONDS EAST 480 FEET TO A POINT ON THE WESTERLY LINE OF BERKELEY PARK HEIGHTS; RUNNING THENCE SOUTHERLY ON SAID WESTERLY LINE, 330 FEET TO THE PLACE OF BEGINNING.

B. Subarea B Legal Description

BERKELEY PARK HEIGHTS, BLOCK 3 LOT 14 TO LOT 19 INCLUSIVE AND BLOCK 3 LOT 31 TO LOT 36 INCLUSIVE, INCLUDING ALL VACATED ALLEYS PER ORDINANCE 89-1928, AND THE VACATED PORTION OF VRAIN STREET PER ORDINANCE 89-1928, ADJACENT TO THE ABOVE-DESCRIBED PROPERTY, CITY AND COUNTY OF DENVER, STATE OF COLORADO.

C. Subarea C Legal Description

BERKELEY PARK HEIGHTS, BLOCK 3 LOT 20 TO LOT 30 INCLUSIVE, INCLUDING ALL VACATED ALLEYS PER ORDINANCE 89-1928, AND THE VACATED PORTION OF VRAIN STREET PER ORDINANCE 89-1928, ADJACENT TO THE ABOVE DESCRIBED PROPERTY, CITY AND COUNTY OF DENVER, STATE OF COLORADO.



SECTION 1.2 PUD-G11 GENERAL PURPOSE

The general purpose of PUD-G11 is to:

- 1.2.1 Accommodate the preservation and reuse of the unique El Jebel Shrine building, originally constructed in 1930, and a historic focal point in the Berkeley/Regis statistical neighborhoods.
- 1.2.2 Accommodate the reuse and redevelopment of vacant lands surrounding the El Jebel Shrine building with uses and building forms that, while compatible with the PUD district's neighborhood context, also take advantage of a unique infill development opportunity to introduce a variety of new housing types for Denver residents.
- 1.2.3 Allow uses and building forms that contribute to the planned vision for preserving and enhancing the quality of the existing stable residential areas to the north and east of the PUD district.
- 1.2.4 Creatively address PUD-G11's unique location surrounded on several sides by a City and County of Denver public golf course (Willis Case Golf Course).

SECTION 1.3 PUD-G11 SPECIFIC INTENT

The specific intent of PUD-G11 is to:

- 1.3.1 Maintain and preserve the Existing El Jebel Shrine Building, with particular emphasis on the southern portion of the building that still retains original materials, tile work, finishes and decorative towers, by providing standards and guidelines for preservation and limits on exterior alterations.
- 1.3.2 Facilitate the creative reuse of the Existing El Jebel Shrine Building for primary multi-unit dwelling use by modifying building form standards to conform to the building's existing height and bulk.
- 1.3.3 Facilitate the creative redevelopment of the vacant lands surrounding the El Jebel Shrine building by allowing moderate densities of multi-unit residential land uses using primarily an urban "row house" building form in Subarea A surrounding the existing structure and east to Vrain Street, and transitioning to single-unit and two-unit dwelling land uses using modified "urban house" and "duplex" building forms in Subareas B and C along Vrain Street east to Utica Street closest to the existing, stable neighborhoods adjacent to the PUD district.

- 1.3.4 Establish additional building form standards that are compatible with an established Urban Edge Neighborhood Context, including the anticipated reintroduction of rear alleys for primary vehicle access in Subareas B and C and the reintroduction of Vrain Street as a public street.
- 1.3.5 Establish specific zone lot and building form standards that accommodate the unique location of Subarea A adjacent to a public golf course, including orienting primary structures to take advantage of views west and south toward the golf course and Rocky Mountains, allowing for limited vehicle access from front private drives (rather than from the rear of structures), and providing adequate public pedestrian connections to and through the PUD zone district.
- 1.3.6 Facilitate redevelopment of PUD-G11, which changes significantly in elevation across the site from west to east, with an elevation gain of 36 feet from the west boundary to the east boundary of Subarea A, and a further elevation gain of 20 feet from the east boundary of Subarea A to Utica Street (east boundary of Subareas B and C). Accommodation for the substantial changes in slope within PUD-G11 is achieved primarily by modifying otherwise applicable rules of measurement for building height in Subarea A, while more closely matching building height in Subareas B and C to existing building heights in the adjacent E-SU-Dx zoned neighborhood.

CHAPTER 2. NEIGHBORHOOD CONTEXT DESCRIPTION

SECTION 2.1 SUBAREA A

All development within PUD-G11, Subarea A, shall conform to the Denver Zoning Code, Division 5.1, Urban Neighborhood Context Description, as amended from time to time.

SECTION 2.2 SUBAREAS B AND C

All development within PUD-G11, Subareas B and C, shall conform to the Denver Zoning Code, Division 4.1, Urban Edge Neighborhood Context Description, as amended from time to time.

CHAPTER 3. DISTRICTS

Development in this PUD-G11 by subarea shall conform to the Denver Zoning Code as follows:

SECTION 3.1 SUBAREA A

All development in Subarea A shall conform to the Denver Zoning Code, Division 5.2, Districts, as specifically applicable to the U-RH-3A Zone District, except as modified in this PUD-G11 zone district, and as amended from time to time.

SECTION 3.2 SUBAREA B

All development in Subarea B shall conform to the Denver Zoning Code, Division 4.2, Districts, as specifically applicable to the E-SU-D1 Zone District, except as modified in this PUD-G11 zone district, and as amended from time to time.

SECTION 3.3 SUBAREA C

All development in Subarea C shall conform to the Denver Zoning Code, Division 4.2, Districts, as specifically applicable to the E-TU-C Zone District, except as modified in this PUD-G11 zone district, and as amended from time to time.

CHAPTER 4. DESIGN STANDARDS

Development in this PUD-G11 shall comply with the design standards in the Denver Zoning Code (“DZC”), Division 5.3 or Division 4.3, as follows:

SECTION 4.1 SUBAREA A

Development in Subarea A shall comply with DZC, Division 5.3, Design Standards, as specifically applicable to the U-RH-3A Zone District, as amended from time to time, with the following modifications and exceptions:

4.1.1 Existing El Jebel Shrine Building - Preservation and Allowed Exterior Alterations

A. Intent

To maintain and preserve the original exterior design features and elements of the Existing El Jebel Shrine Building existing at the time of this PUD approval, with particular emphasis on maintaining and preserving the entire southern portion of the Existing El Jebel Shrine Building as delineated in Attachment B to this PUD (“southern portion of the building”). Maintenance and preservation is intended to be balanced with the desire to make reuse and rehabilitation of the Existing El Jebel Shrine Building economically feasible. Accordingly, this Section 4.1.1 also allows flexibility to make future alterations to exterior portions of the Existing El Jebel Shrine Building that are sensitive to and compatible with the original 1930 building design.

B. Preservation and Exterior Alteration - General Standards and Limitations

The following standards shall apply to the entirety of the Existing El Jebel Shrine Building:

1. The exterior of the “Existing El Jebel Shrine Building” as defined in Section 6.5 of this PUD-G11, shall be retained according to this Section 4.1.1., and reasonably maintained in good repair.
2. Existing exterior design features and elements original to the Existing El Jebel Shrine Building’s construction in 1930 shall be preserved and maintained, except as otherwise allowed in this Section 4.1.1.
3. Removal of materials, additions, enclosures or features not original to the Existing El Jebel Shrine Building’s construction in 1930 is allowed, including reopening of original enclosures and including but not limited to the removal of: (1) the metal canopy over the building’s south entrance, (2) elevator shafts, (3) exterior stairs, (4) nonfunctioning smoke stacks, and (5) the post-1930 addition on the building’s west side.
4. Alterations allowed by this Section 4.1.1 to the exterior of the Existing El Jebel Shrine Building, whether taken individually or cumulatively over any period of time, shall not result in the “voluntary demolition” of the structure, or cause damage or alterations other than those allowed by this Section 4.1.1. See DZC, Article 13, for definition of “voluntary demolition.”
5. All exterior alterations allowed under this Section 4.1.1 shall comply, to the maximum extent feasible, with: (a) *The Secretary of the Interior’s Standards for Rehabilitation*, 36 C.F.R. 67, as amended from time to time, and (b) *The Secretary of the Interior’s Guidelines for Rehabilitating Historic Buildings*, as amended from time to time.
6. Staff shall use the original Bowman architectural drawings for the Existing El Jebel Building contained in Attachment C to this PUD to guide review for compliance with this Section 4.1.1.

C. Preservation and Exterior Alterations - Southern Portion of the Building

In addition to the general standards in subsection 4.1.1.B, the following standards shall apply only to the southern portion of the building:

1. The exterior of the southern portion of the building shall be preserved to ensure long-term preservation of original design features and elements, including original materials

and finishes, exterior walls, roofing structure and cladding, windows, decorative towers, tile work, architectural details and applied ornamentation.

2. Notwithstanding Section 4.1.2 of this PUD, building additions to or expansions of the southern portion of the building are prohibited.
3. Landscape and flatwork improvements as well as minor exterior alterations (e.g., addition of new balconies) to the southern portion of the building are allowed only if staff finds such improvements or alterations meet the general standards and limitations in subsection 4.1.1.B above.
4. Exterior alterations necessary to provide ADA access or to meet the Denver Building Code or other city requirements may be allowed to the southern portion of the building provided the applicant demonstrates these alterations cannot reasonably be made to parts of the building other than the southern portion of the building.

D. Allowed & Prohibited Alterations to Other Portions of the Existing El Jebel Shrine Building

In addition to the general standards in subsection 4.1.1.B, the following standards shall apply to the Existing El Jebel Shrine Building other than the southern portion of the building:

1. Building additions to or expansions to the Existing El Jebel Shrine Building, not including the southern portion of the building, are allowed only if such additions/expansions do not contain dwelling units.
2. Exterior alterations to the Existing El Jebel Shrine Building, not including the southern portion of the building, shall be allowed only to those parts of the building that have been substantially altered since the building's original construction in 1930, except as otherwise allowed in this Section 4.1.1. Alterations that may be allowed include, but are not limited to: (i) the addition of new window and door openings; (ii) the addition of unenclosed balconies; and (iii) the addition of new vehicle access doors.
3. Staff shall determine compliance with this standard by comparing the proposed alteration to the original Bowman architectural drawings in Attachment C to this PUD-G11.

4.1.2 Primary Building Form Standards

Development in Subarea A shall comply with DZC, Division 5.3.3, Primary Building Form Standards, as specifically applicable to the U-RH-3A Zone District, as amended from time to time, with the following modifications and exceptions:

A. Primary Building Form Standards Applicable to the Existing El Jebel Shrine Building and Future Building Expansions/Additions

Instead of the primary building form standards in the DZC, Section 5.3.3, only the following building form standards shall apply to the Existing El Jebel Shrine Building, including future additions or expansions of such building: (See Section 6.5 of this PUD-G11 zone district for definition of "Existing El Jebel Shrine Building"):

1. **Building Form Standards Applicable to Existing El Jebel Shrine Building**
 - a. **Building Height (max):** 65 feet.
 - b. **Setback from All Zone Lot Lines (minimum):** 10 feet.
 - c. **Uses:** All primary, temporary, accessory, and interim uses allowed in Subarea A by this PUD-G11, Chapter 5.
 - d. **Surface Parking** between Existing El Jebel Shrine Building and Zone Lot Line Abutting West 50th Avenue: Not allowed, except for surface parking spaces needed to comply with the minimum requirement for accessible spaces under DZC, Section 10.4.4.3, Accessible Parking Spaces. Such accessible parking spaces shall be re-

quired to serve primary uses established inside the Existing El Jebel Shrine Building only.

2. Building Form Standards Applicable to Expansions/Additions to the Existing El Jebel Shrine Building

Any development that adds to or expands the Building Coverage of the Existing El Jebel Shrine Building shall comply with the following building form standards (See Section 6.5 of this PUD-G11 for the existing amount of Building Coverage).

- a. Building Height (max):** 3 stories and 40 feet.
- b. Setback from All Zone Lot Lines (minimum):** 10 feet.
- c. Pedestrian Access:** Entrance required.
- d. Surface Parking** between building expansions/additions and Zone Lot Line Abutting West 50th Avenue: Not Allowed, except for surface parking spaces needed to comply with the minimum requirement for accessible spaces under DZC, Section 10.4.4.3, Accessible Parking Spaces. Such accessible parking spaces shall be required to serve primary uses established inside the Existing El Jebel Shrine Building and in any additions/expansion to the Existing El Jebel Shrine Building.
- e. Vehicle Access to Private Garages:** Vehicle access to one or more parking spaces contained in a private garage associated with an individual dwelling unit (whether attached or detached) shall be taken only from an alley or private drive and not from Vrain Street or West 50th Street as those streets are labeled and shown in Figure 1-1.
- f. Uses in an Expansion/Addition to the Existing El Jebel Shrine Building:**
 - i. Primary uses are limited to Residential primary uses only allowed in Subarea A of this PUD-G11 by Chapter 5.
 - ii. Accessory uses are limited to those allowed in Subarea A by this PUD-G11, Chapter 5, except that "Limited Commercial Sales, Services Accessory to Multi-Unit Dwelling Use" are prohibited.

B. Primary Building Form Standards Applicable to All Other Development in Subarea A

1. Applicability

This Section 4.1.2.B shall apply to development in Subarea A not otherwise subject to the primary building form standards in Section 4.1.2.A. above.

2. Primary Building Form Standards

Instead of the primary building form standards allowed in DZC, Section 5.3.3, only the "PUD-G11-Subarea A Primary Building Form" standards set forth below shall apply:

PUD-G11 - SUBAREA "A" PRIMARY BUILDING FORM STANDARDS

*APPLICABLE ONLY TO DEVELOPMENT SUBJECT TO SECTION 4.1.2.B. ABOVE

		PUD-G11 Subarea A*
HEIGHT		
Stories (max)		3
Feet (max)	35'	except portions of primary building under a Pitched Roof may be 40' [Note 2]
Side Wall Height (max)		35'
SITING		PUD-G11 Subarea A*
ZONE LOT		
Zone Lot Size (min/max)	6,000 ft ² / na	
Zone Lot Width (min)	50'	
Dwelling Units per Primary Residential Structure (max)	2	
SETBACKS		
Primary Street (min)	5'	
Side Street (min)	5'	
Side Interior (min)	5'	
Rear (min)	10'	
PARKING		
Surface Parking between building(s) and Zone Lot Lines Abutting Vrain Street and West 50th Avenue [Note 1]	Not Allowed	
Vehicle Access to Private Garages	Vehicle access to one or more parking spaces contained in a private garage associated with an individual dwelling unit (whether the garage is attached or detached) shall be taken only from an alley or private drive, and not from Vrain Street or West 50th Avenue.	
DESIGN ELEMENTS	PUD-G11 Subarea A*	
BUILDING CONFIGURATION		
Upper Story Stepback, Above 25', Primary Street (min)	10'	
Attached Garage doors facing Zone Lot Lines Abutting Vrain Street and West 50th Avenue	Not Allowed	
GROUND STORY ACTIVATION		
Pedestrian Access	(1) Each dwelling unit shall have an Entrance facing a private drive, Vrain Street, or West 50th Avenue; or (2) Only for multi-unit structures abutting an internal Garden Court, one dwelling unit shall have an Entrance facing Vrain Street, West 50th Avenue, or a private drive, and all other dwelling units shall have an Entrance facing the Garden Court. See PUD-G11, Section 4.1.3, for "Garden Court" minimum requirements. (3) A required Entrance shall be located on a primary building facade either: (a) facing the streets/drives specified in (1) above, or (b) facing the Garden Court specified in (2). DZC Section 13.1.6.2.B.3.d. shall apply only to allow a Door or Corner Entrance, but all other types of Entrance described in DZC Section 13.1.6.2.B.3 are prohibited.	
USES	PUD-G11 Subarea A*	
All Uses Allowed in PUD-G11. See PUD-G11, Chapter 5		

Notes to Above Table:

1. Vrain Street and West 50th Avenue are labeled and shown in Figure 1-1.
2. See DZC, Sections 5.3.5 - 5.3.7 for Supplemental Design Standards, Design Standard Alternatives and Design Standard Exceptions, except as modified in this PUD-G11, Section 4.1.4 below.

4.1.3 Detached Accessory Building Form Standards

Development in Subarea A shall comply with DZC, Section 5.3.4, Detached Accessory Building Form Standards, as specifically applicable to the U-RH-3A Zone District, as amended from time to time.

4.1.4 Supplemental Design Standards, Alternatives, and Design Standard Exceptions

Development in Subarea A shall comply with DZC, Sections 5.3.5 through 5.3.7, regarding Supplemental Design Standards, Design Standard Alternatives, and Design Standard Exceptions, as specifically applicable to the U-RH-3A Zone District, as amended from time to time, with the following modifications and exceptions:

A. Modifications & Exceptions to Supplemental Design Standards

Development in Subarea A shall comply with the Denver Zoning Code, Section 5.3.5, Supplemental Design Standards, with the following modifications and exceptions:

1. Rooftop and/or Second-Story Decks (DZC, Section 5.3.5.1)

Rooftop and/or second-story decks shall be allowed without limitation in Subarea A of PUD-G11.

2. Garden Court (DZC, Section 5.3.5.2)

Instead of the Garden Court standards in DZC, Section 5.3.5.2, the following standards shall apply to a Garden Court in Subarea A of PUD-G11:

- a. A "Garden Court" shall mean a landscaped area open to the sky on which permanent structures are prohibited and through which vehicle access is prohibited.
- b. At a minimum, a Garden Court shall comply with the following design standards:
 - i. Primary buildings containing primary uses allowed in PUD-G11 shall abut the Garden Court on at least 2 sides.
 - ii. The Garden Court shall be visible and physically accessible to pedestrians from all abutting Primary Street zone lot lines and from walkways provided on internal private drives. Pedestrian access may be secured for private use.
 - iii. Pedestrian-scaled Full Cutoff Lighting Fixtures shall be provided within the Garden Court for security and safety. See DZC, Division 13.3, for definition of "Full Cutoff Lighting Fixture."
 - iv. All Garden Courts shall be considered "open areas" subject to minimum landscaping requirements in the DZC, Article 10, Section 10.5.4.2, Site Landscaping Standards-Group 1.
- c. To ensure resident and guest safety and security within the Garden Court, primary buildings and individual dwelling units abutting a Garden Court are strongly encouraged to include windows on those facades facing the Garden Court.

B. Modifications to Design Standard Exceptions

Development in Subarea A shall comply with the DZC, Section 5.3.7, Design Standards Exceptions, applicable to the U-RH-3A zone district and Row House building form, with the following modification:

1. Height Exceptions (DZC, Section 5.3.7.1)

The height exceptions in DZC, Section 5.3.7.1, shall apply in Subarea A of PUD-G11 with the following additional limitation:

- a. Development of a building with a Pitched Roof that takes advantage of the maximum allowed height of 40 feet (per Section 4.1.2.B of this PUD-G11) may apply one or more height exceptions allowed in DZC, Section 5.3.7.1, except that such height exceptions shall be measured from an allowed height of 35 feet and not 40 feet.

2. Setback Permitted Encroachments (DZC, Section 5.3.7.4)

The setback encroachments in DZC, Section 5.3.7.4, shall apply in Subarea A of PUD-G11 with the following additional limitation and allowance:

- a. Encroachments of any kind are prohibited into a required Primary Street Setback.
- b. Surface parking visibly signed and used for guest parking only shall be allowed to encroach "any distance" into the required minimum Side Interior Setback abutting the northern most property line of Subarea A. This allowed setback encroachment shall contain not more than 8 guest parking spaces.

SECTION 4.2 SUBAREA B

Development in Subarea B shall comply with DZC, Division 4.3, Design Standards, as specifically applicable to the E-SU-D1 Zone District, as amended from time to time, with the following modifications:

4.2.1 Exceptions to the Urban House Form

The Urban House building form, set forth in DZC, Section 4.3.3.4.B., shall apply in Subarea B with the following modifications and exceptions:

- A. The **minimum zone lot width** shall be 45 feet.
- B. **Primary Street Setback:**
 1. For zone lots where the zone lot line abutting Utica Street is the Primary Street zone lot line, a block sensitive Primary Street Setback shall apply.
 2. For zone lots where the zone lot line abutting Vrain Street is the Primary Street zone lot line, a Block Sensitive Primary Street Setback shall not be required. Instead, the minimum Primary Street Setback shall be 20 feet.
- C. **Vehicle access** shall be from an alley, regardless whether the alley is public right-of-way or privately owned and maintained. Vehicle access directly to a zone lot from Vrain Street or Utica Street is prohibited.
- D. **Building Configuration - Required Roof Form:** All primary buildings in Subarea B shall have a Pitched Roof. See Section 6.5.3 of this PUD-G11 for definition of "Pitched Roof."

4.2.2 Modifications to the Detached Accessory Building Form Standards

The Detached Accessory Building form standards for the Detached Accessory Dwelling Unit form, the Detached Garage form, and the Other Detached Accessory Structures form, set forth in DZC, Section 4.3.4, shall apply in Subarea B with the following modification:

A. Prohibited Location

The Detached Accessory Unit building form is prohibited on any zone lot that is 45 feet or less distance from the northern boundary of Subarea B.

SECTION 4.3 SUBAREA C

Development in Subarea C shall comply with DZC, Division 4.3, Design Standards, as specifically applicable to the E-TU-C Zone District, as amended from time to time, with the following modifications:

4.3.1 Modifications to the Urban House Form

The Urban House building form, set forth in DZC, Section 4.3.3.4.B., shall apply in Subarea C with the following modifications:

A. Maximum building height, in front 65% of zone lot, in feet and stories, shall be:

1. 30 feet, except portions of the building under a Pitched Roof may be 38 feet; and
2. 2.5 stories.

- B. **Maximum side wall height:** 30 feet. See rule of measurement in Section 6.5.1 of this PUD-G11.
- C. A block sensitive **Primary Street setback** shall not be required. Instead, the minimum Primary Street setback shall be 20 feet.
- D. **Vehicle access** shall be from an alley, regardless whether the alley is public right-of-way or privately owned and maintained. Vehicle access directly to a zone lot from Vrain Street, Utica Street, or West 50th Avenue is prohibited.
- E. A required **Entry Feature** is limited to one of the following types:
 - 1. Door facing the Primary Street zone lot line,
 - 2. Front Porch,
 - 3. Front Stoop, or
 - 4. Corner Entrance as described in DZC, Section 13.1.6.2.B.3.d.iii.

4.3.2 Modifications to the Duplex Form

The Duplex building form, set forth in DZC, Section 4.3.3.4.C., shall apply in Subarea C with the following modifications:

- A. **Maximum building height**, in front 65% of zone lot, in feet and stories, shall be either:
 - 1. 30 feet, except portions of the building under a Pitched Roof may be 38 feet; and
 - 2. 2.5 stories.
- B. **Maximum side wall height:** 30 feet. See rule of measurement in Section 6.5.1 of this PUD-G11.
- C. A block sensitive **Primary Street setback** shall not be required. Instead, the minimum primary street setback shall be 20 feet.
- D. **Vehicle access** shall be from an alley, regardless whether the alley is public right-of-way or privately owned and maintained. Vehicle access directly to a zone lot from West 50th Avenue, Vrain Street, or Utica Street is prohibited.
- E. A required **Entry Feature** is limited to one of the following types:
 - 1. Door facing the Primary Street zone lot line,
 - 2. Front Porch,
 - 3. Front Stoop, or
 - 4. Corner Entrance as described in DZC, Section 13.1.6.2.B.3.d.iii.

4.3.3 Modifications to Design Standard Exceptions

Development in Subarea C shall comply with the DZC, Section 4.3.7, Design Standards Exceptions, applicable to the E-TU-C zone district and Duplex building form, with the following modification:

A. Height Exceptions (DZC, Section 4.3.7.1)

The height exceptions in DZC, Section 4.3.7.1, shall apply in Subarea C of PUD-G11 with the following additional limitation:

1. Development of a building with a Pitched Roof that takes advantage of the maximum allowed height of 38 feet (per Sections 4.3.1.A or 4.3.2.A of this PUD-G11) may apply one or more height exceptions allowed in DZC, Section 4.3.7.1, except that such height exceptions shall be measured from an allowed height of 30 feet and not 38 feet.

SECTION 4.4 PUBLIC ACCESS EASEMENTS REQUIRED

Public access easements, as approved by the City, shall be recorded on all private drives or private alleys providing primary vehicle access to dwelling units within Subareas A, B, and C. Such public access easements relevant to all or a portion of PUD-G11 included in one or more Site Development Plan shall be recorded at any time prior to or concurrent with recording the final approved Site Development Plan.

SECTION 4.5 MAXIMUM DWELLING UNITS ALLOWED

No more than 78 dwelling units shall be permitted and maintained in this PUD-G11 zone district. This maximum shall apply to total development in Subareas A, B, and C, including dwelling units established and maintained in the Existing El Jebel Shrine Building.

CHAPTER 5. USES AND REQUIRED MINIMUM PARKING

SECTION 5.1 USES

5.1.1 Subarea A - Uses Allowed

Primary, accessory and temporary uses allowed in Subarea A of PUD-G11 shall be those same uses allowed in the U-RH-3A Zone District, as stated in the DZC, Division 5.4, Uses and Required Minimum Parking, as amended from time to time, with the addition of the following accessory use, which shall be allowed:

- A. **Limited Commercial Sales, Services Accessory to Multi-Unit Dwelling Use**, as defined in the DZC, Section 11.12.7.4, provided the use complies with the following:
 - 1. The accessory use shall comply with the applicable limitations in DZC, Sections 11.7 and 11.8.7, as amended from time to time.
 - 2. A zoning permit is required to establish this accessory use.
 - 3. An "Outdoor Eating and Serving Area" is allowed as common, customary and incidental to an allowed Limited Commercial Sales, Services Accessory to Multi-Unit Dwelling Use, provided the Outdoor Eating and Serving Area complies with all limitations and zoning review procedures applicable to such accessory use in the U-MX-2 zone district.

5.1.2 Subarea A - Additional Interim Uses Allowed

A. Intent

These provisions are intended to allow a limited number of additional primary uses to continue to operate only in the Existing El Jebel Shrine Building for up to two years after the effective date of this PUD-G11 zone district.

B. Additional Interim Primary Uses Allowed

Subject to this Section 5.1.2, the following additional primary uses shall be allowed only within the Existing El Jebel Shrine Building:

- 1. **Conference Center/Event Center**, a specific type of Indoor Arts, Recreation, and Entertainment primary use, defined in the DZC, Section 11.12.4.2.B.1.l, as amended from time to time.

C. Additional Interim Accessory Uses Allowed

- 1. Accessory uses common, customary, and incidental to the interim primary uses allowed in this Section 5.1.2 are allowed without a zoning permit, except that:
 - a. All such accessory uses, other than accessory parking, shall be established, operated, and maintained within a completely enclosed structure.
- 2. Accessory parking required or provided to serve an interim primary use allowed by this Section 5.1.2 may be located either within Subarea A or within Subareas B or C, subject to the expiration of such right stated in Subsection 5.1.2.D below.

D. Expiration of Right to Continue Interim Uses

All primary and accessory uses allowed under this Section 5.1.2 shall not continue indefinitely, but shall instead automatically lapse by operation of law on January 22, 2017.

5.1.3 Subarea B - Uses Allowed

Primary, accessory and temporary uses allowed in Subarea B of PUD-G11 shall be those same uses allowed in the E-SU-D1 Zone District, as stated in the Denver Zoning Code, Division 4.4, Uses and Required Minimum Parking, as amended from time to time, except for the following exception:

A. Prohibited Location

The Detached Accessory Dwelling Unit accessory use is prohibited on any zone lot that is 45 feet or less distance from the northern boundary of Subarea B.

5.1.4 Subarea C - Uses Allowed

Primary, accessory and temporary uses allowed in Subarea C of PUD-G11 shall be those same uses allowed in the E-TU-C Zone District, as stated in the Denver Zoning Code, Division 4.4, Uses and Required Minimum Parking, as amended from time to time.

SECTION 5.2 REQUIRED MINIMUM PARKING**5.2.1 Subarea A**

All new uses established in Subarea A of this PUD-G11 shall comply with the Denver Zoning Code, Division 5.4, Uses and Required Minimum Parking, as amended from time to time, as specifically applicable to uses allowed in the U-RH-3A zone district, except that no minimum parking is required for an accessory Limited Commercial Sales, Services use allowed under Section 5.1.1.A of this PUD-G11.

5.2.2 Subarea B

All new uses established in Subarea B of this PUD-G11 shall comply with the Denver Zoning Code, Division 4.4, Uses and Required Minimum Parking, as amended from time to time, as specifically applicable to uses allowed in the E-SU-D1 zone district.

5.2.3 Subarea C

All new uses established in Subarea C of this PUD-G11 shall comply with the Denver Zoning Code, Division 4.4, Uses and Required Minimum Parking, as amended from time to time, as specifically applicable to uses allowed in the E-TU-C zone district.

CHAPTER 6. ADDITIONAL STANDARDS

SECTION 6.1 ARTICLES 1 AND 2 OF THE DENVER ZONING CODE

6.1.1 Applicability

Development in this PUD-G11 shall conform to Article 1, General Provisions, and Article 2, Using the Code, of the Denver Zoning Code, as amended from time to time.

SECTION 6.2 ARTICLE 10 OF THE DENVER ZONING CODE

6.2.1 General Applicability - Subarea A

Development in Subarea A of this PUD-G11 shall comply with the Denver Zoning, Code Article 10, General Design Standards, as specifically applicable to the U-RH-3A Zone District, as amended from time to time, and except as otherwise modified in this PUD-G11.

6.2.2 General Applicability - Subarea B

Development in Subarea B of this PUD-G11 shall comply with the Denver Zoning, Code Article 10, General Design Standards, as specifically applicable to the E-SU-D1 Zone District, as amended from time to time, and except as otherwise modified in this PUD-G11.

6.2.3 General Applicability - Subarea C

Development in Subarea C of this PUD-G11 shall comply with the Denver Zoning, Code Article 10, General Design Standards, as specifically applicable to the E-TU-C Zone District, as amended from time to time, and except as otherwise modified in this PUD-G11.

6.2.4 Parking and Loading Standards - Subarea A

Primary uses established in Subarea A of this PUD-G11 shall comply with the Denver Zoning Code, Division 10.4, Parking and Loading, as amended from time to time, with the following modifications:

- A. Except as otherwise allowed in Section 5.1.2 for interim primary uses, primary uses established in Subarea A of this PUD-G11 shall locate all required and provided accessory parking and loading spaces entirely within Subarea A.
- B. Except as otherwise allowed in Section 5.1.2 for interim uses, off-site vehicle parking serving a primary use located in Subarea A, as provided in the Denver Zoning Code, Section 10.4.4.5, is prohibited in this PUD-G11.

6.2.5 Landscaping, Fences, Walls and Screening

Development in all subareas of this PUD-G11 shall comply with the Denver Zoning Code, Division 10.5, Landscaping, Fences, Walls and Screening, as amended from time to time, with the following modifications:

A. Landscaping Standards - Subarea B

1. Intent

The intent of these Subarea B supplemental landscape standards is to screen the view of rear garage structures in Subarea C from the adjacent public right-of-way.

2. Applicability

This Section 6.2.5.A's landscaping standards shall apply in Subarea B only to zone lots abutting a public alley.

3. Landscaping Required for Side Interior Setback Area

- a. At a minimum, landscaping shall be required in that portion of the 5-foot minimum Side Interior Setback area within the Primary Street setback area. See Figure 6-1A below.

- b. A minimum of 50% of the applicable Side Interior Setback area shall be landscaped with live planting material and the remaining 50% shall be landscaped with either live or non-live landscaping material, according to DZC, Section 10.5.4.6, Landscaping Material Standards.

B. Landscaping Standards - Subarea C

1. Intent

The intent of these Subarea C supplemental landscape standards is to screen the view of rear garage structures in Subarea C from the adjacent public right-of-way.

2. Applicability

This Section 6.2.5.B's landscaping standards shall apply in Subarea C only to zone lots with:

- a. A Side Street zone lot line, and
- b. Either a Detached Garage structure or a garage (with vehicle access doors) attached to the Primary Building, and
- c. Where a fence/wall is **not** provided under the provisions in Section 6.2.5.D. of this PUD-G11.

3. Landscaping Required for Side Street Setback Area

- a. At a minimum, landscaping shall be required in that portion of the 5-foot minimum Side Street Setback area abutting the wall of the Detached Garage structure or the wall of the attached garage portion of the Primary Building, when such wall is parallel to the Side Street zone lot line. See Figure 6-1A below.
- b. A minimum of 50% of the applicable Side Street Setback area shall be landscaped with live planting material and the remaining 50% shall be landscaped with either live or non-live landscaping material, according to DZC, Section 10.5.4.6, Landscaping Material Standards, except that private walkways within the Side Street setback area may be considered "non-live landscaping material."

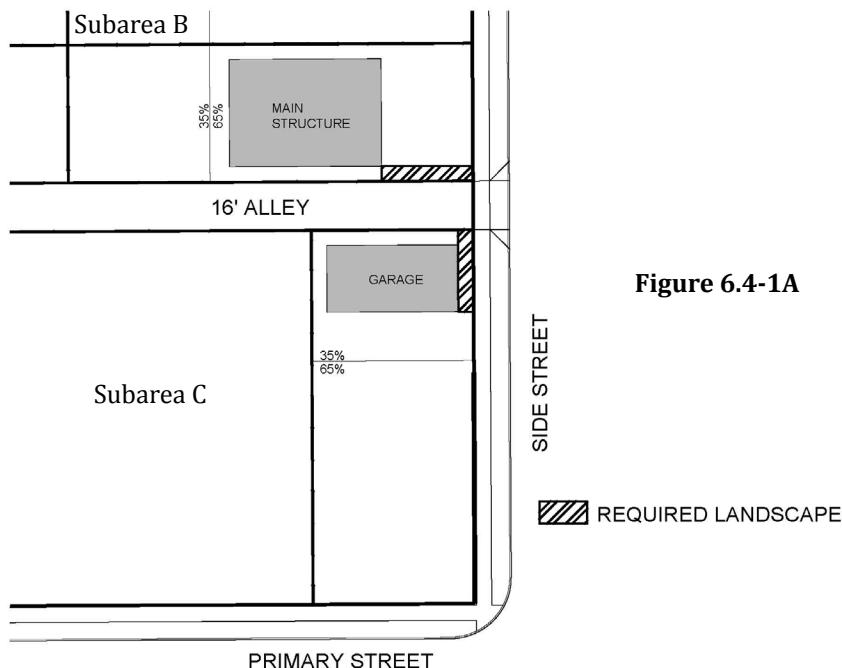


Figure 6.4-1A

C. Fence and Wall Standards - Subarea A

1. Applicability

In Subarea A of PUD-G11, the fence and wall standards in this Subsection 6.2.5.C shall supplement the fence and wall standards in DZC, Section 10.5.5 (Fences and Walls) and shall apply in case of any conflict with a fence/wall standards in DZC, Section 10.5.5. The specific fence and wall standards in this Subsection 6.2.5.C shall apply to fences and walls constructed:

- a. On a Primary Street zone lot line,
- b. On a zone lot line abutting the City of Denver golf course, or
- c. Between a building and a zone lot line abutting the City of Denver golf course.

2. Subarea A Fence and Wall Standards

- a. Fencing and walls shall be minimized in PUD-G11 where they are adjacent to a City of Denver public golf course.
- b. The fence or wall shall be a minimum of 75% open over the entire area of the subject fence or wall (e.g., a split-rail fence).
- c. Maximum fence or wall height shall be 4 feet, except where City ordinances specifically require a taller height.
- d. The fence or wall shall be constructed of the following quality materials:
 - i. Masonry,
 - ii. Wood, and/or
 - iii. Wrought iron or metal bars not exceeding 1.5 inches in diameter.

D. Fence and Wall Standards - Subarea C

1. Applicability

In Subarea C of PUD-G11, the fence and wall standards in this Subsection 6.2.5. D shall supplement the fence and wall standards in DZC, Section 10.5.5 (Fences and Walls) and shall apply in case of any conflict with a fence/wall standards in DZC, Section 10.5.5.

2. Subarea C Fence and Wall Standards

- a. The fence or wall shall be constructed of the following quality materials:
 - i. Masonry,
 - ii. Wood, and/or
 - iii. Wrought iron or metal bars not exceeding 1.5 inches in diameter.
- b. All fences and walls constructed on or adjacent to a Side Street Zone Lot Line or Primary Street Zone Lot Line shall be combined with live landscaping material planted between the fence or wall and the subject zone lot line. The live landscaping area shall be a minimum of 3 feet wide and planted with sufficient trees, native grasses, shrubs, or any combination thereof, to achieve live landscaping coverage of 60% at plant maturity. See also DZC, Section 10.5.4.6 for minimum landscaping material standards.

E. Modified Standards Not Applicable to Retaining Walls

The fence and wall standards in this Section 6.2.5 shall not apply to Retaining Walls, as defined in the Denver Zoning Code, Article 13. Retaining walls in PUD-G11 shall comply with the general standards in the Denver Zoning Code, Section 10.5.6, Retaining Walls.

SECTION 6.3 ARTICLE 11 OF THE DENVER ZONING CODE

6.3.1 Applicability - Subarea A

Development in Subarea A of this PUD-G11 shall comply with the Denver Zoning Code, Article 11, Use Limitations and Definitions, as specifically applicable to the U-RH-3A Zone District, as amended from time to time, and except as otherwise modified in this PUD-G11.

6.3.2 Applicability - Subarea B

Development in Subarea B of this PUD-G11 shall comply with the Denver Zoning Code, Article 11, Use Limitations and Definitions, as specifically applicable to the E-SU-D1 Zone District, as amended from time to time, and except as otherwise modified in this PUD-G11.

6.3.3 Applicability - Subarea C

Development in Subarea C of this PUD-G11 shall comply with the Denver Zoning Code, Article 11, Use Limitations and Definitions, as specifically applicable to the E-TU-C Zone District, as amended from time to time, and except as otherwise modified in this PUD-G11.

SECTION 6.4 ARTICLE 12 OF THE DENVER ZONING CODE

6.4.1 Applicability

All development in this PUD-G11 shall comply with the Denver Zoning Code, Article 12, Zoning Procedures & Enforcement, as amended from time to time, with the following additional allowance:

A. Official Map Amendment

The zoning procedure for an Official Map Amendment in the Denver Zoning Code, Section 12.4.10 shall apply, except that this PUD-G11 may be amended by subarea, platted lots, or metes and bounds parcels, as allowed in the Denver Zoning Code, Section 9.6.1.4, Amendment to Approved PUD District Plans.

SECTION 6.5 ARTICLE 13 OF THE DENVER ZONING CODE

6.5.1 Rules of Measurement - Applicability

Development in this PUD-G11 shall comply with the Denver Zoning Code, Article 13, Division 13.1, Rules of Measurement, as amended from time to time, with the following modifications and exceptions:

A. Subarea A - Rules of Measurement

Development in Subarea A of PUD-G11 shall comply with the Denver Zoning Code, Division 13.1, Rules of Measurement, as applicable to a Residential Zone District and the U-RH-3A zone district, with the following modifications:

1. Height - Building Specific Base Plane Measurement Allowed

Development in Subarea A of PUD-G11 shall comply with the Denver Zoning Code, Section 13.1.2, Height for All SU-, TU-, TH-, RH-, E-MU-2.5, MU-3, and RO-3 Zone Districts, as applicable to the U-RH-3A zone district, except that development in Subarea A may also use the following "PUD-G11 Building Specific Base Plane" rule of measurement:

a. Intent

A building-specific base plane is allowed only in Subarea A to accommodate the substantial change in elevation within the subarea, such that all similar residential buildings in Subarea A could have the same finished floor elevation.

b. Applicability

In Subarea A, the PUD-G11 Building Specific Base Plane rule of height measurement may be used only for development of multiple primary buildings on a single zone lot that is 18,000 square feet or more in gross land area.

c. PUD-G11 Building Specific Base Plane Rule

The PUD-G11 Building Specific Base Plane shall be a horizontal plane established at the average elevation of finished grade measured at the corners of each building.

2. Height - Side Wall Height Rule of Measurement

Side wall height shall be measured as stated in DZC, Section 13.1.4.3, Side Wall Height.

3. Determination of Primary Street Zone Lot Line, Side Street Zone Lot Line and Side Interior Zone Lot Line

Determination of zone lot lines provide a reference of measurement for standards related to building form and building placement, as referenced in Chapter 4 of this PUD-G11. The following zone lot line determinations shall apply to development in Subarea A of PUD-G11 without resort to the standards and criteria in the Denver Zoning Code, Section 13.1.5.2. Administrative adjustments or variances to this subsection's determinations of zone lot lines in Subarea A are not allowed.

- a. The west zone lot line abutting the City of Denver public golf course ("R" on Figure 6-1 below) is designated a Rear zone lot line.
- b. The south zone lot line abutting the City of Denver public golf course and West 50th Avenue ("SI" on Figure 6-1 below) is designated a Side Interior zone lot line.
- c. The east zone lot line abutting Vrain Street ("P" on Figure 6-1 below) is designated a Primary Street zone lot line.
- d. The north zone lot line abutting the City of Denver public golf course ("SI" on Figure 6-1 below) is designated a Side Interior zone lot line.



B. Subarea B - Rules of Measurement

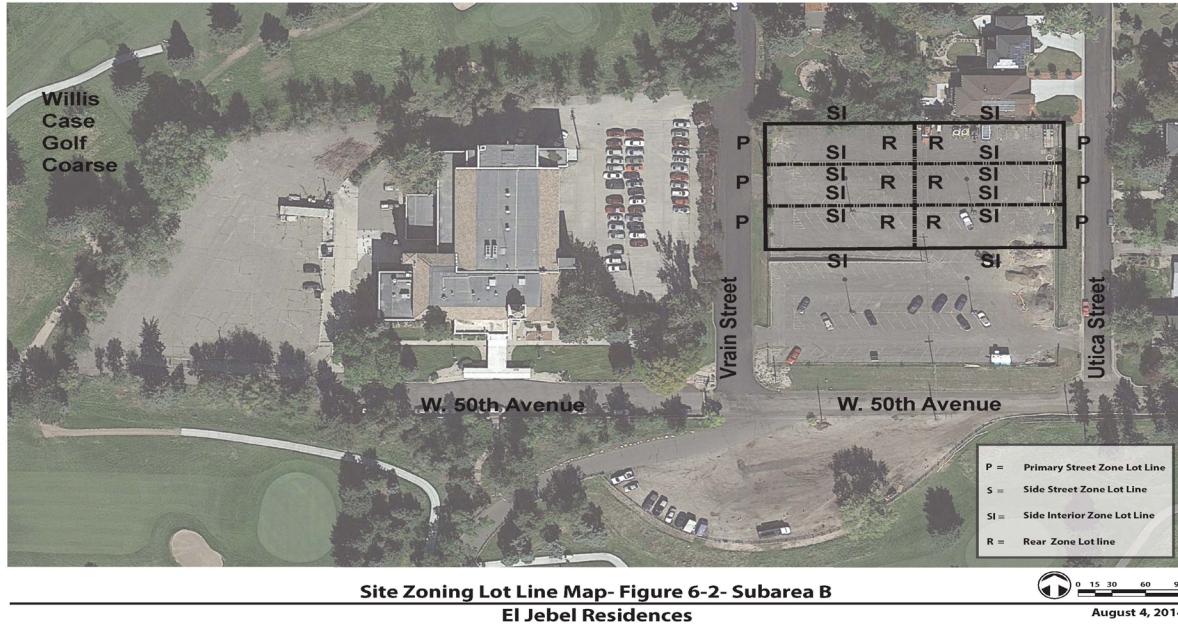
Development in Subarea B of PUD-G11 shall comply with the Denver Zoning Code, Division 13.1, Rules of Measurement, as applicable to a Residential Zone District and the E-SU-D1 zone district, with the following exceptions and modifications:

1. Determination of Primary Street Zone Lot Line, Side Street Zone Lot Line and Side Interior Zone Lot Line

Determination of zone lot lines provide a reference of measurement for standards related to building form and building placement, as referenced in Chapter 4 of this PUD-G11.

The following zone lot line determinations shall apply to development in Subarea B of PUD-G11 without resort to the standards and criteria in the Denver Zoning Code, Section 13.1.5.2. Administrative adjustments or variances to this subsection's determinations of zone lot lines in Subarea B are not allowed.

- a. A zone lot line abutting either Vrain Street or Utica Street is designated a Primary Street zone lot line. ("P" on Figure 6-2 below.)
- b. A zone lot line opposite to a Primary zone lot line and not also designated a Primary Street Zone Lot line shall be a Rear zone lot line. ("R" on Figure 6-2 below.)
- c. All other zone lot lines shall be Side Interior zone lot lines. ("SI" on Figure 6-2 below.)



C. Subarea C - Rules of Measurement

Development in Subarea C of PUD-G11 shall comply with the Denver Zoning Code, Division 13.1, Rules of Measurement, as applicable to a Residential Zone District and the E-TU-C zone district, with the following exceptions and modifications:

1. Height - Side Wall Height Rule of Measurement

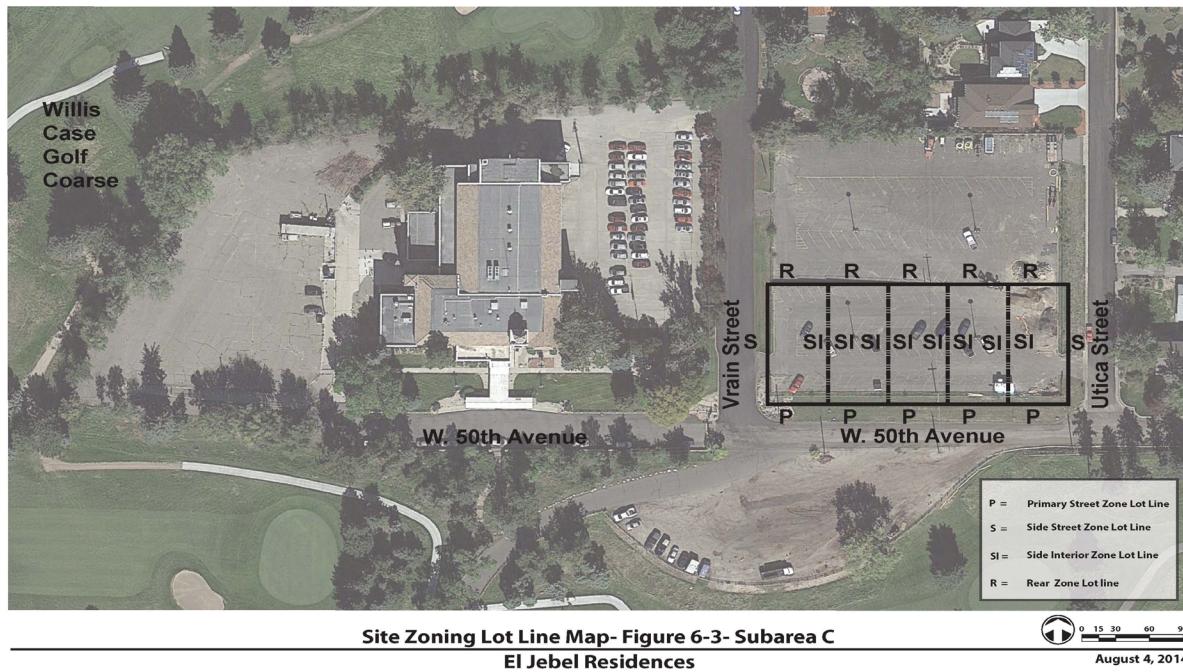
Side wall height shall be measured as stated in DZC, Section 13.1.4.3, Side Wall Height.

2. Determination of Primary Street Zone Lot Line, Side Street Zone Lot Line and Side Interior Zone Lot Line

Determination of zone lot lines provide a reference of measurement for standards related to building form and building placement, as referenced in Chapter 4 of this PUD-G11.

The following zone lot line determinations shall apply to development in Subarea C of PUD-G11 without resort to the standards and criteria in the Denver Zoning Code, Section 13.1.5.2. Administrative adjustments or variances to this subsection's determinations of zone lot lines in Subarea C are not allowed.

- A zone lot line abutting West 50th Avenue is designated a Primary Street Zone Lot line. ("P" on Figure 6-3 below.)
- A zone lot line abutting Vrain Street or Utica Street is designated a Side Street zone lot line. ("S" on Figure 6-3 below.)
- A zone lot line opposite to a Primary Street zone lot line is a Rear zone lot line. ("R" on Figure 6-3 below.)
- All other zone lot lines shall be Side Interior zone lot lines. ("SI" on Figure 6-3 below.)



6.5.2 Rules of Interpretation

The Rules of Interpretation in Article 13, Division 13.2, shall apply as amended from time to time.

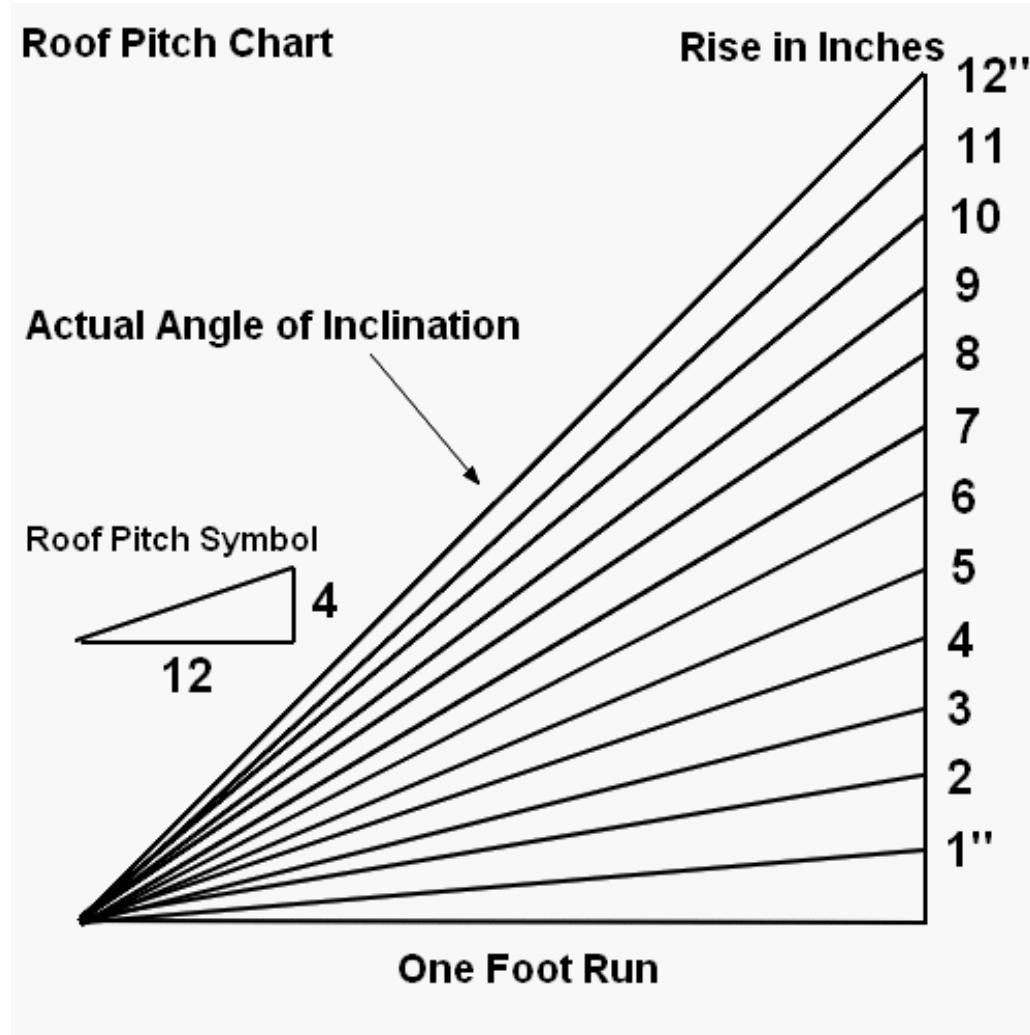
6.5.3 Definitions

The Definitions of Words, Terms and Phrases in Article 13, Division 13.3, shall apply, as amended from time to time, and with the following modifications and additions:

- This PUD-G11 zone district shall be considered a **"Residential Zone District,"** as defined in Article 13, Division 13.3, as amended from time to time.
- The **"Existing El Jebel Shrine Building"** shall mean the existing structure identified as the "3 story stucco building" with a Building Coverage of 25,439 square feet, shown in the Alta/ACSM Land Title Survey dated December 20, 2013, and included as part of this PUD-G11 as Attachment A.

C. "Pitched Roof" shall mean a two-sided sloped roof having a gable or pitch at both ends with a minimum pitch of 4:12. See Figure 6-4 below.

Figure 6.4



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ATTACHMENT A:
ALTA/ACSM LAND TITLE SURVEY
DECEMBER 20, 2103

ALTA/ACSM LAND TITLE SURVEY
PART OF THE SM1/4 OF SECTION 18, T35, R68W, 6TH P.M.,
CITY AND COUNTY OF DENVER, STATE OF COLORADO

PART OF THE SW1/4 OF SECTION 18, T3S, R68W, 6TH P.M.,
CITY AND COUNTY OF DENVER, STATE OF COLORADO

LEGEND

EXISTING INDEX CONTOUR
EXISTING INTERMEDIATE CONTOUR
EXISTING BUILDING/STRUCTURE

PUD-G11
January 22, 2015

January 22, 2015

SHEET 2 OF 2



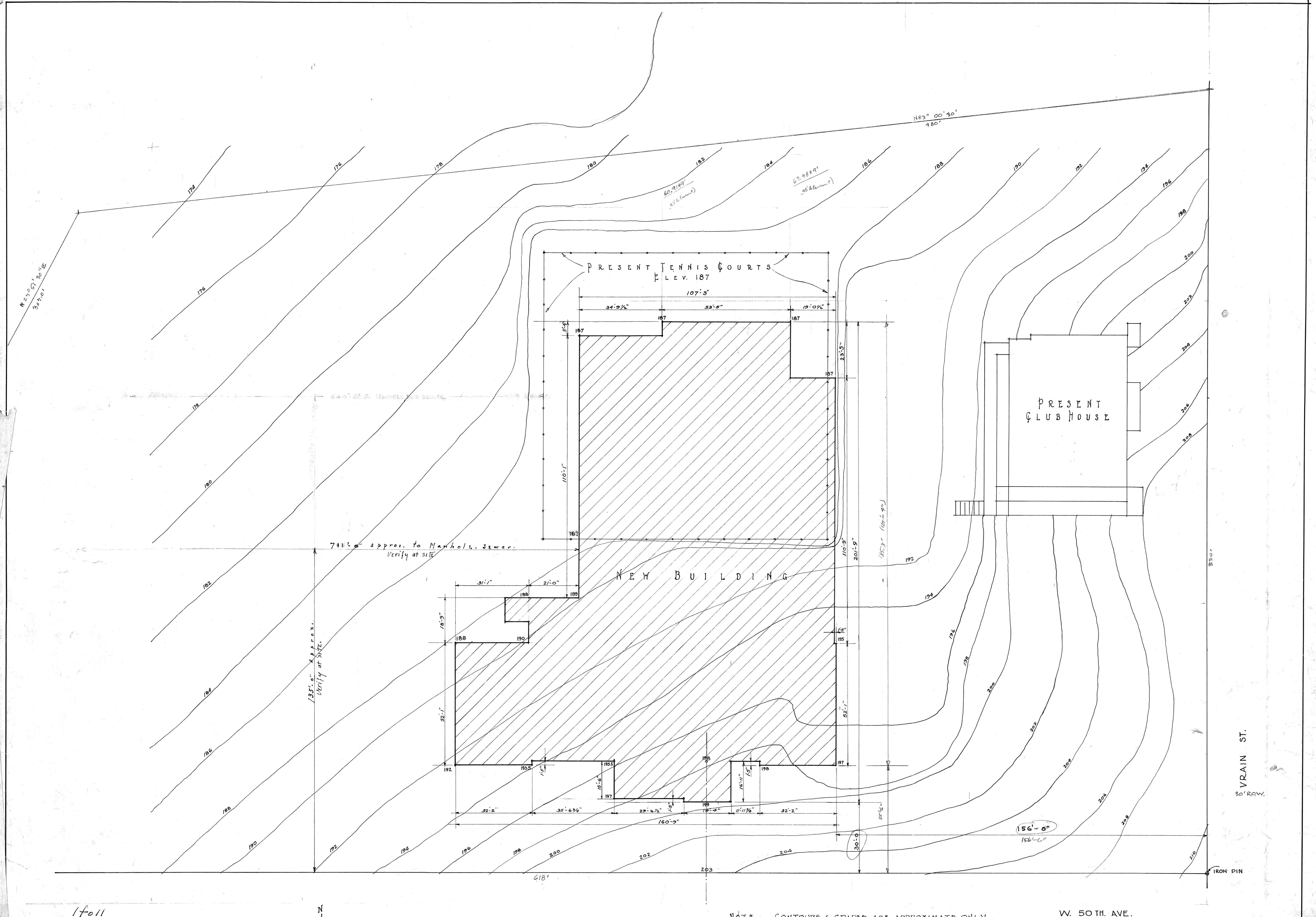
THE JEWISH COUNTY
CITY & COUNTY

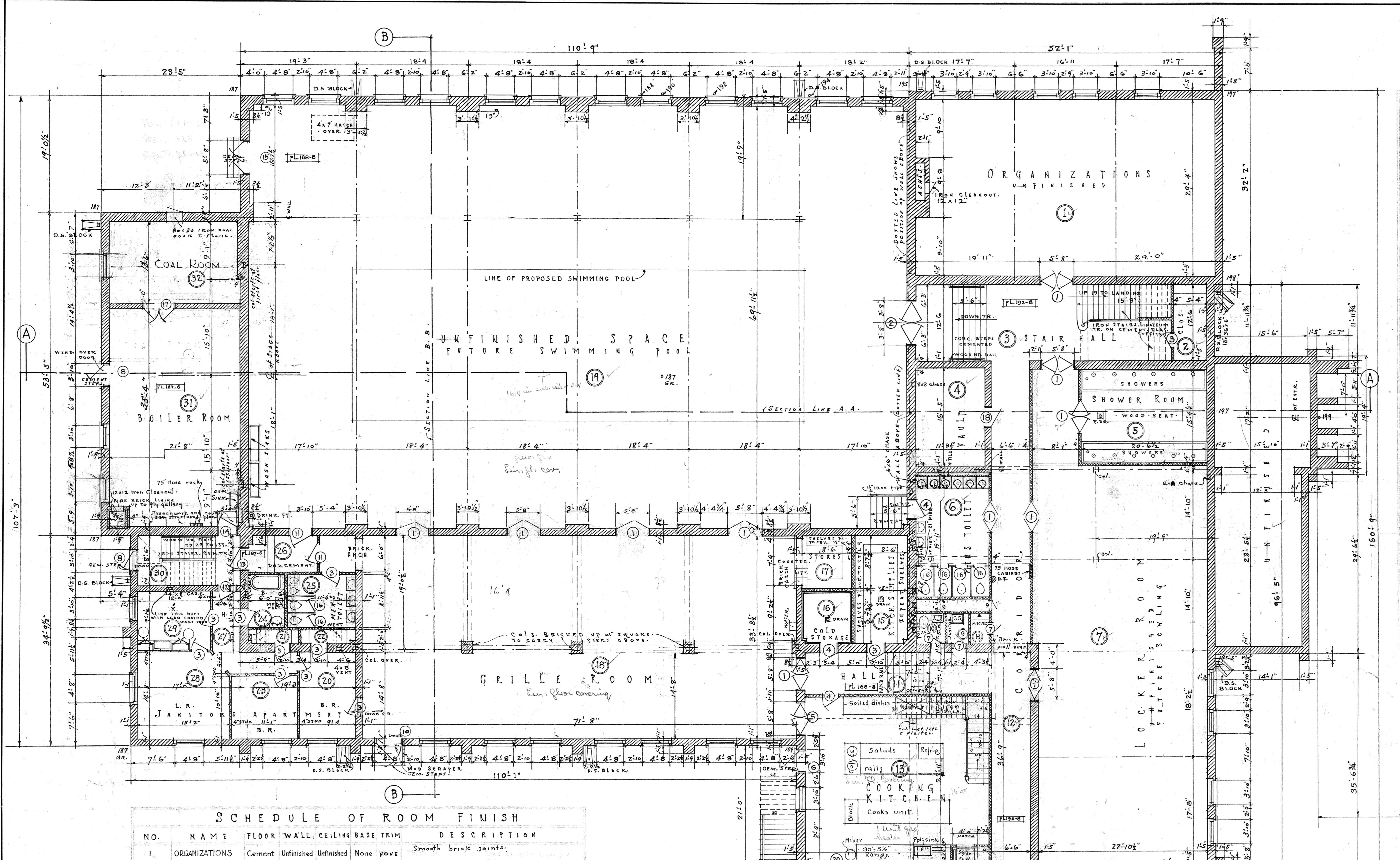
26 of 29 |

ATTACHMENT B:

SOUTHERN PORTION OF BUILDING

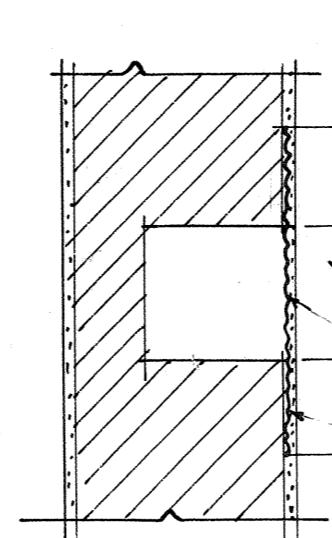
ATTACHMENT C:
ORIGINAL BOWMAN ARCHITECTURAL/
BUILDING PLANS FOR THE EXISTING
EL JEBEL SHRINE BUILDING
(DATED 1928)





SCHEDULE OF ROOM FINISH

NO.	NAME	FLOOR	WALL	CEILING	BASE	TRIM	DESCRIPTION
1	ORGANIZATIONS	Cement	Unfinished	Unfinished	None	None	Smooth brick joints.
2-21-22	CLOSETS	Cement	Plaster	Plaster	Wood	Wood	Smooth brick joints.
3	STAIR HALL	Cement	Plaster	Plaster	Wood	Wood	Smooth brick joints.
4	VAULT	Cement	Plaster	Plaster	Wood	Metal	Smooth brick joints.
5	SHOWER ROOM	Cement	Plaster	Plaster	Cement	Wood	Smooth brick joints.
6-25	MENS TOILETS	Terrazzo	Knees Cam. Keenes	6" flush	terrazzo	terrazzo	Smooth brick joints.
7-14	ORGANIZATIONS & LOCKER ROOMS	Cement	Unfinished	Unfinished	None	None	Smooth brick joints.
8	PHONE BOOTH	Cement	Plaster	Plaster	Wood	Wood	12" shelf.
9	JANITORS CLOS.	Cement	Plaster	Plaster	Wood	Wood	Hook strip.
10	TOILET	Cement	Plaster	Plaster	Wood	Wood	Wood chair rail.
11-12-26	CORRIDOR - HALLS	Cement	Plaster	Plaster	Wood	Wood	Smooth brick joints.
13	COOKING KITCHEN	Cement	Plas.	Plas.	Wood	Wood	Smooth brick joints.
15	KITCH. SUPPLIES	Cement	Plas.	Plas.	Wood	Wood	Smooth brick joints.
16	COLD STORAGE	Cement	Cork	Cork	None	None	Smooth brick joints.
17	STORES	Cement	Plas.	Plas.	Wood	Wood	Smooth brick joints.
18	GRILLE ROOM	Cement	Plas.	Plas.	Wood	None	Smooth brick joints.
19	UNFINISHED SPACE	Cement	Unfinished	Unfinished	None	None	Smooth brick joints.
20-23-28	JANITORS APT.	Cement	Plas.	Plas.	Wood	Wood	Smooth brick joints.
30	STAIR HALL	Cement	Plas.	Wood	Wood	Wood	Smooth brick joints.
31-32	BOILER & COALRM.	Cement	Unfinished	Unfinished	None	None	Smooth brick joints.



METHOD OF
COVERING CHASES
IN PLASTERED ROOMS

METAL LATH

PLASTER

CHASE

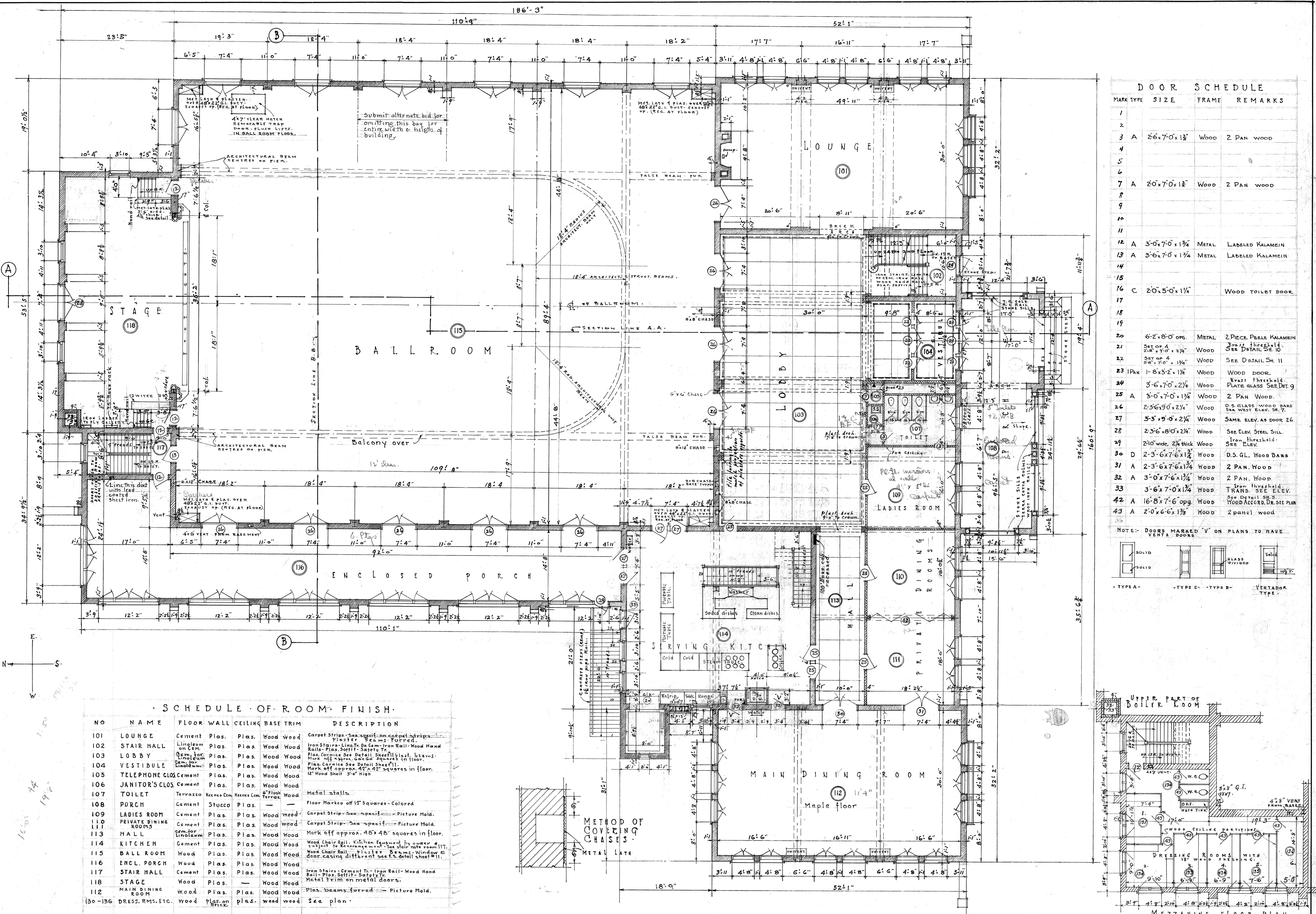
IRON RAILING

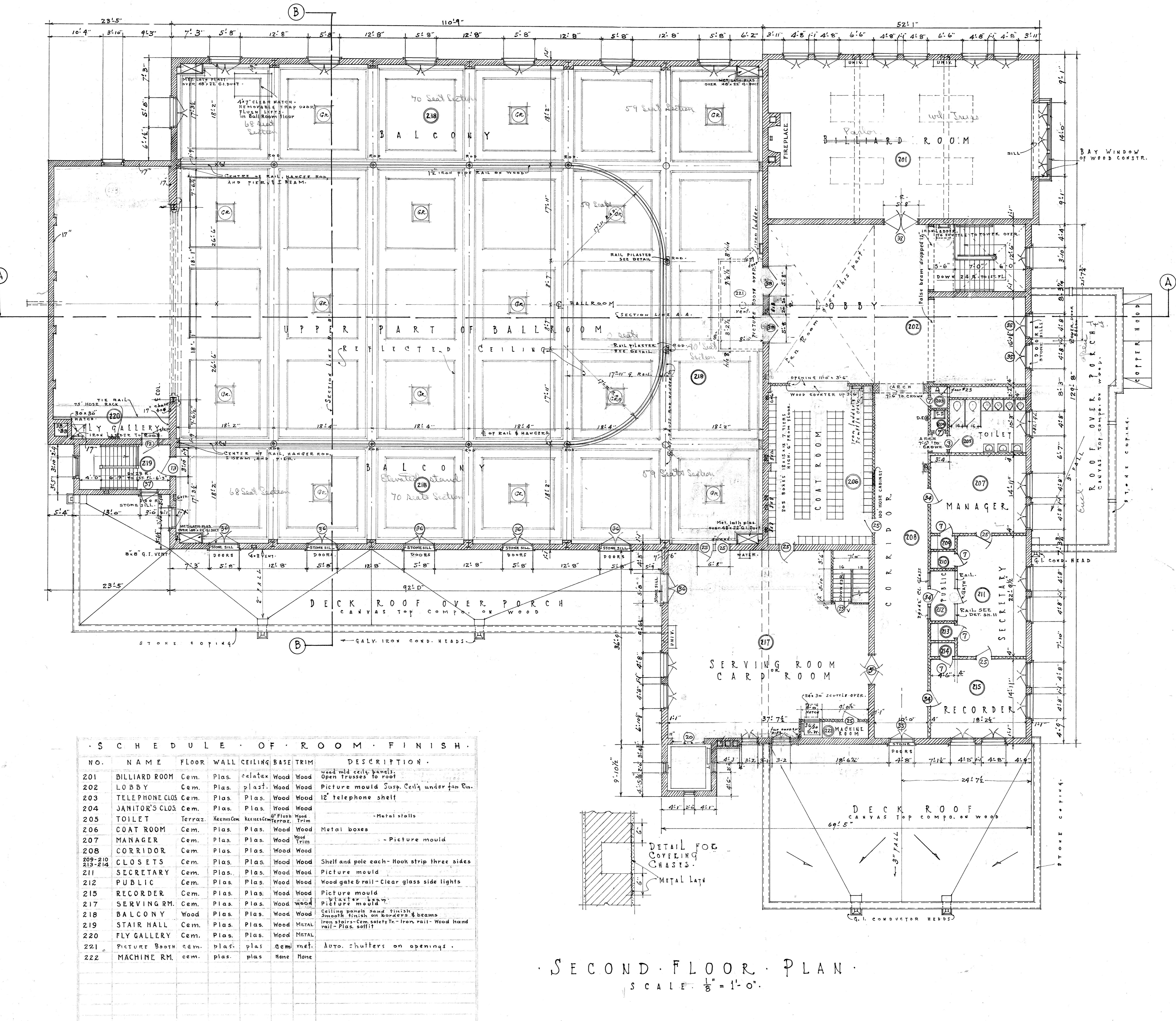
WOOD RAILING

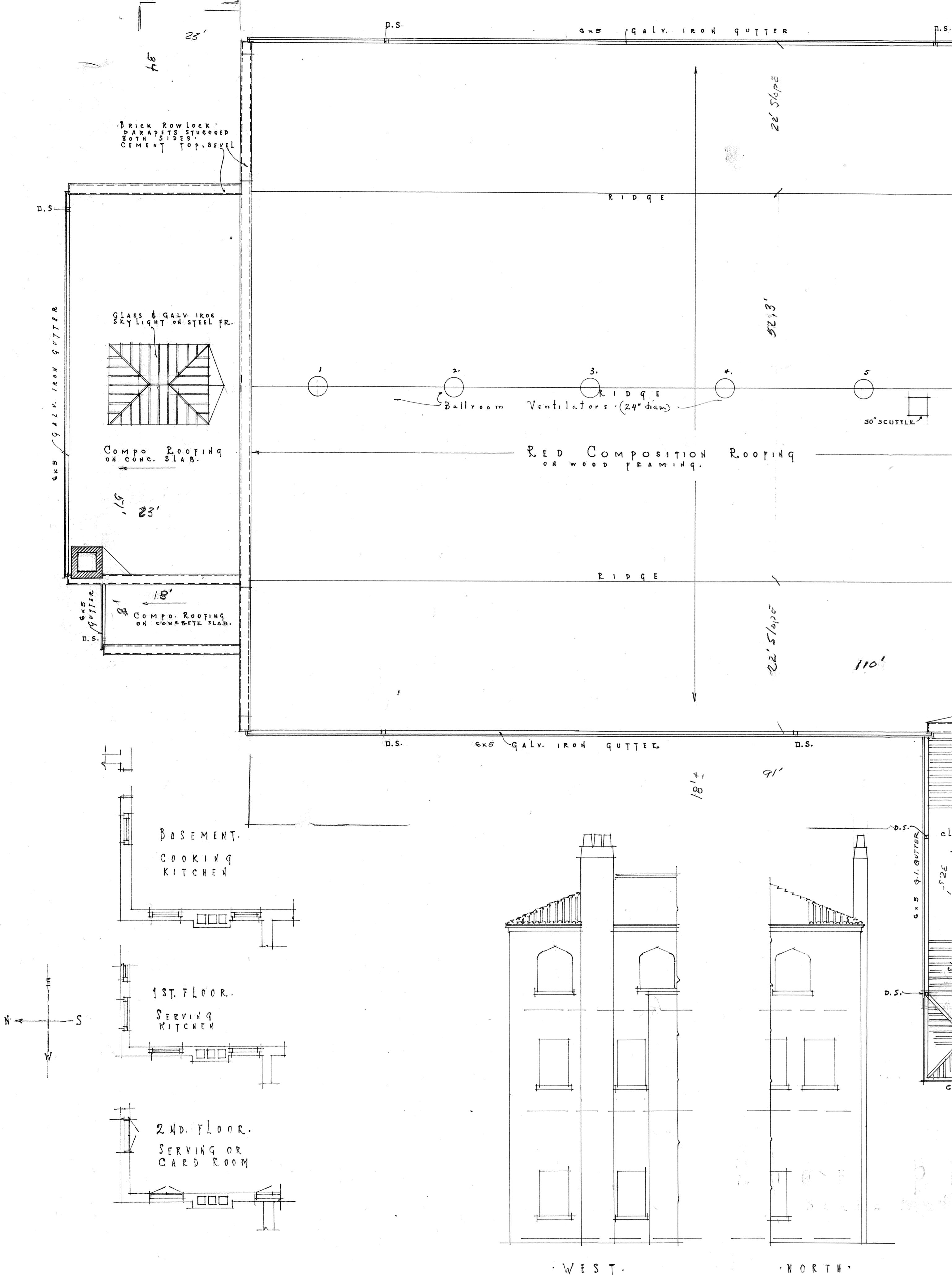
WOOD SOFFIT

IRON RAILING

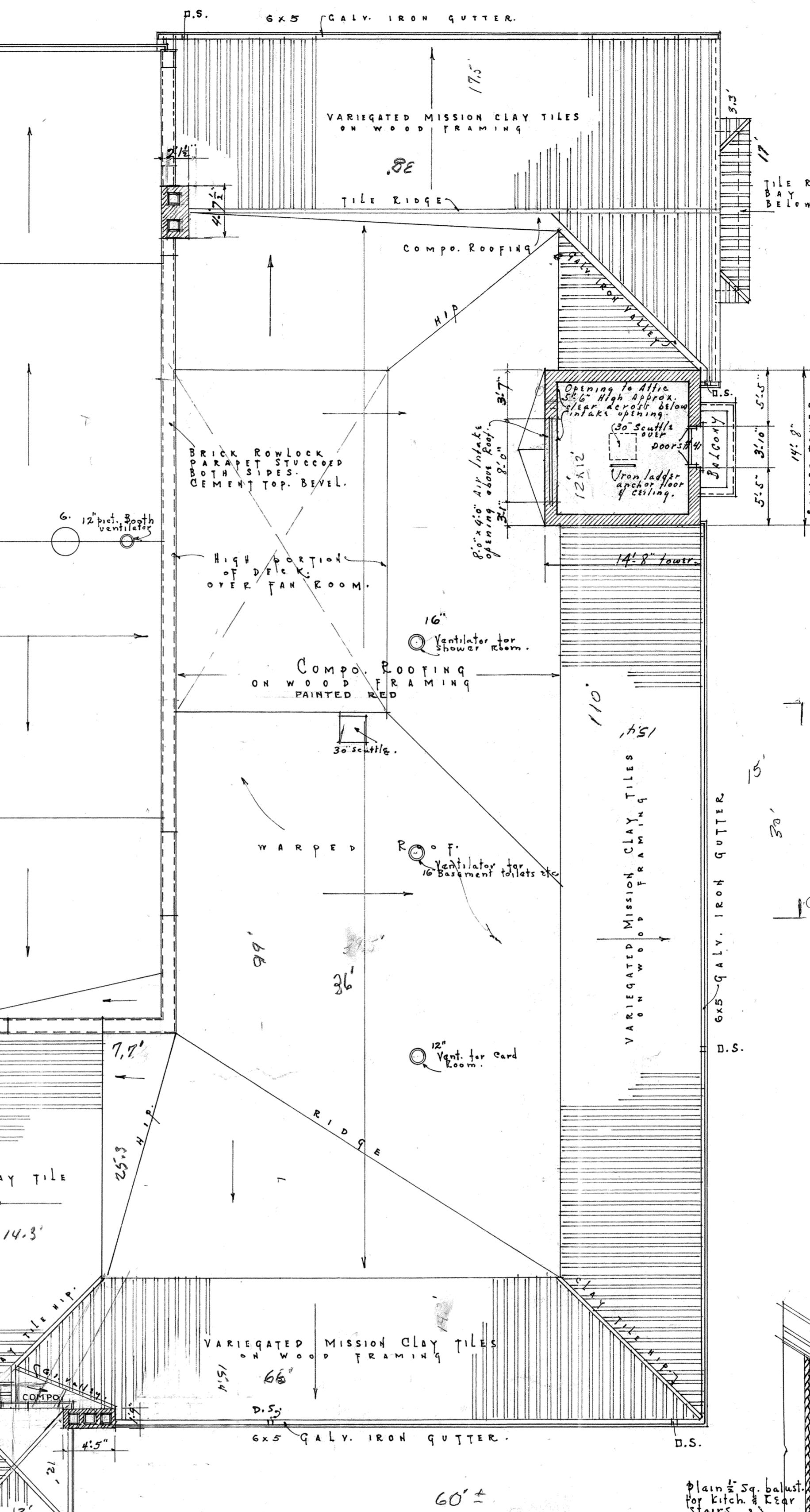
WOOD RAILING



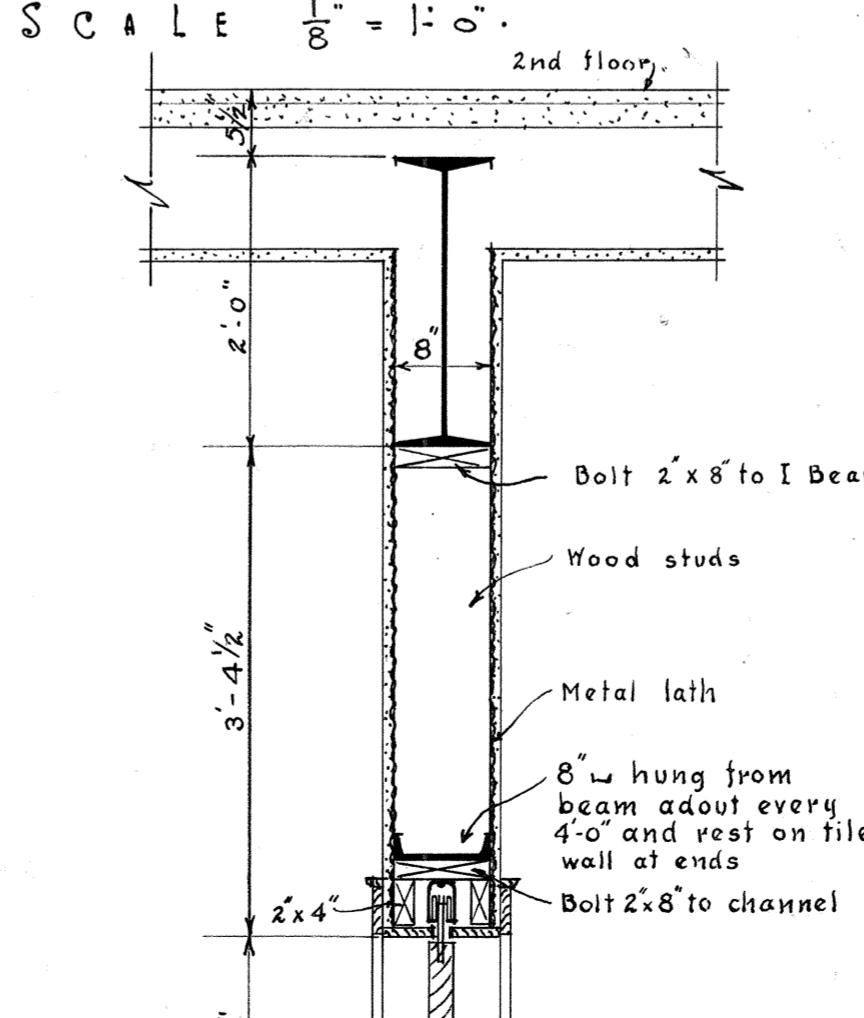




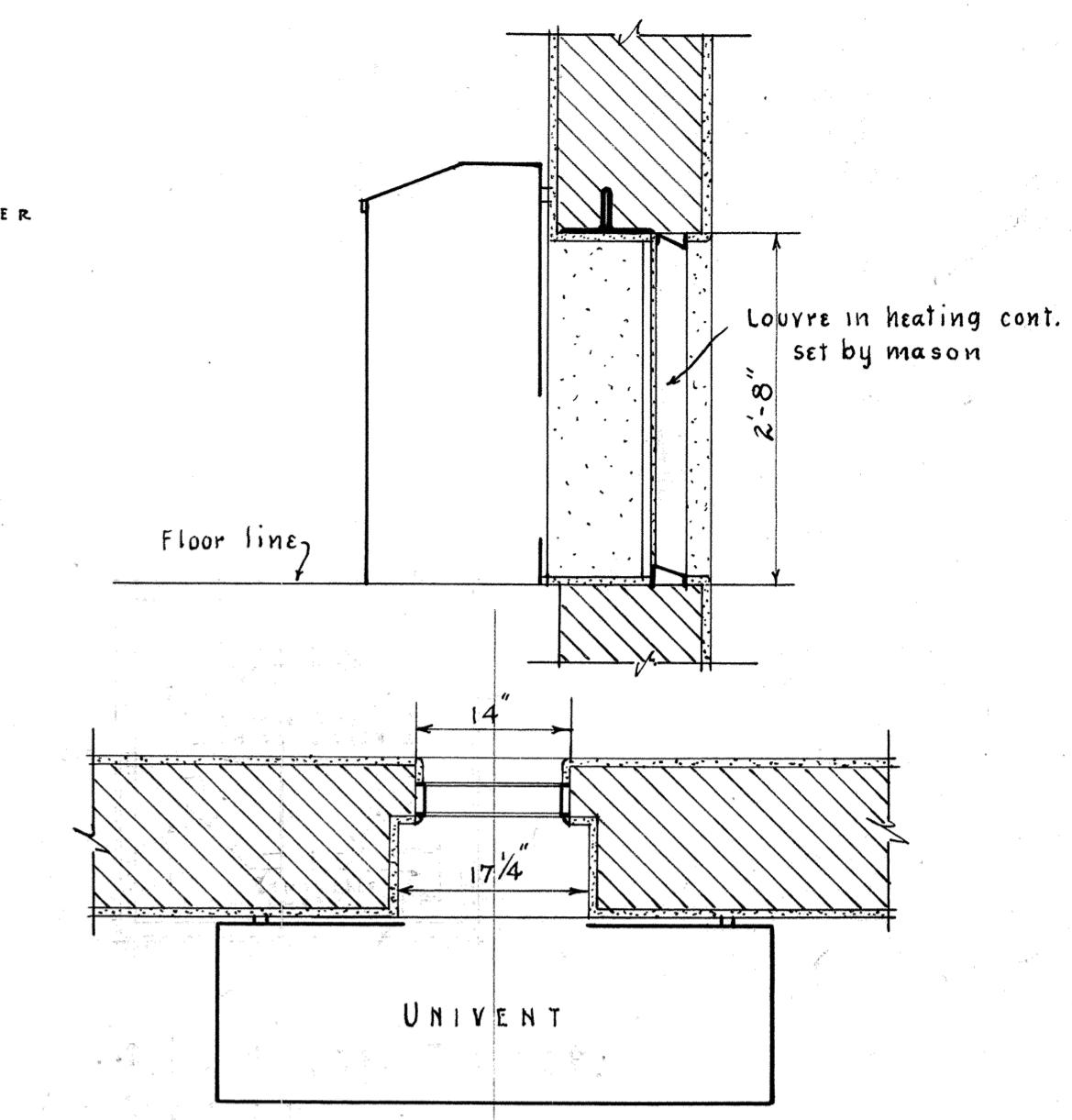
PLANS & ELEVATIONS OF NORTH WEST CORNER OF KITCHEN PART OMITTING FREIGHT ELEV. FOR ALTERNATE



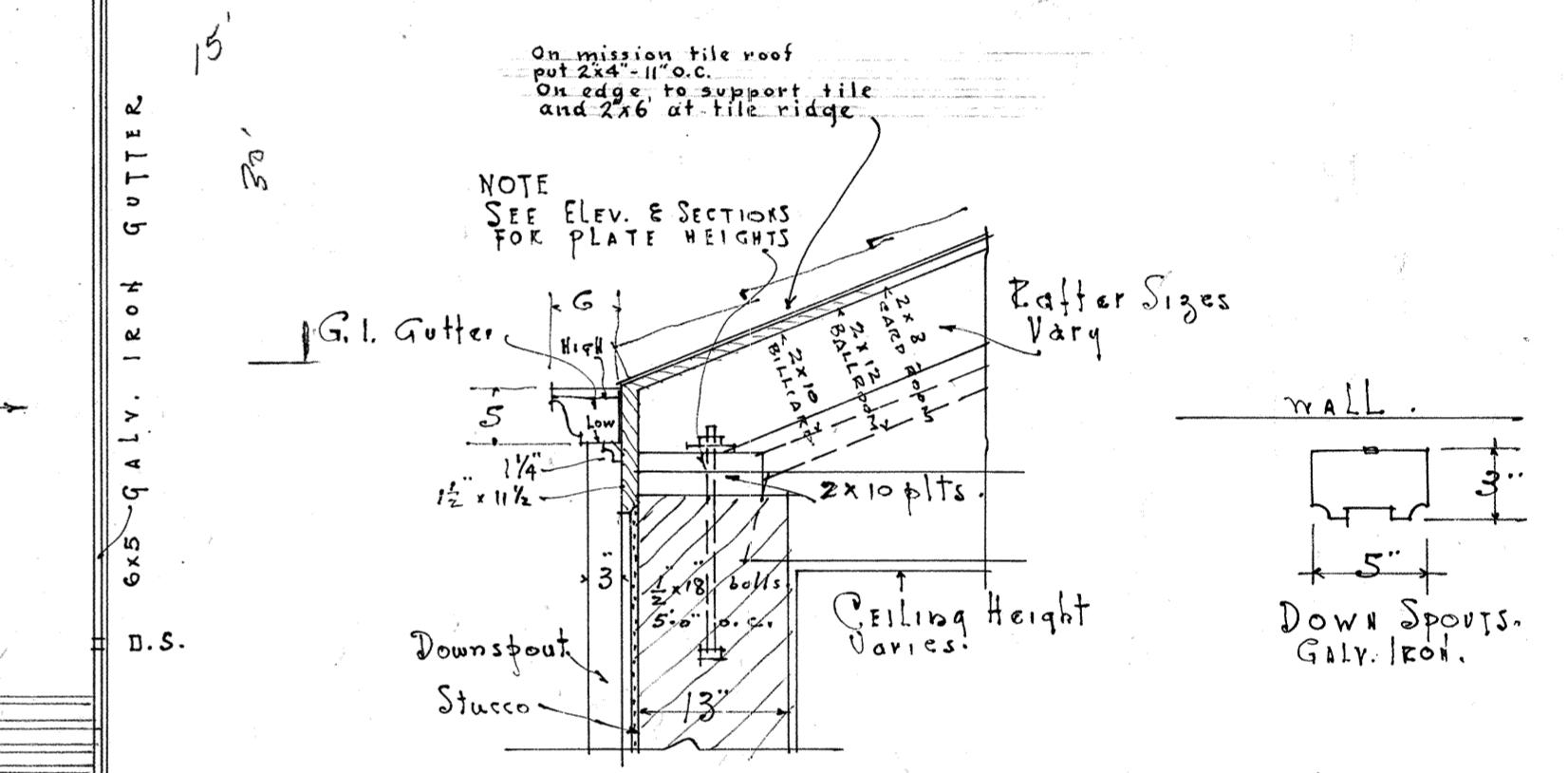
ROOF PLAN.
SCALE $\frac{1}{8} = 1'-0"$



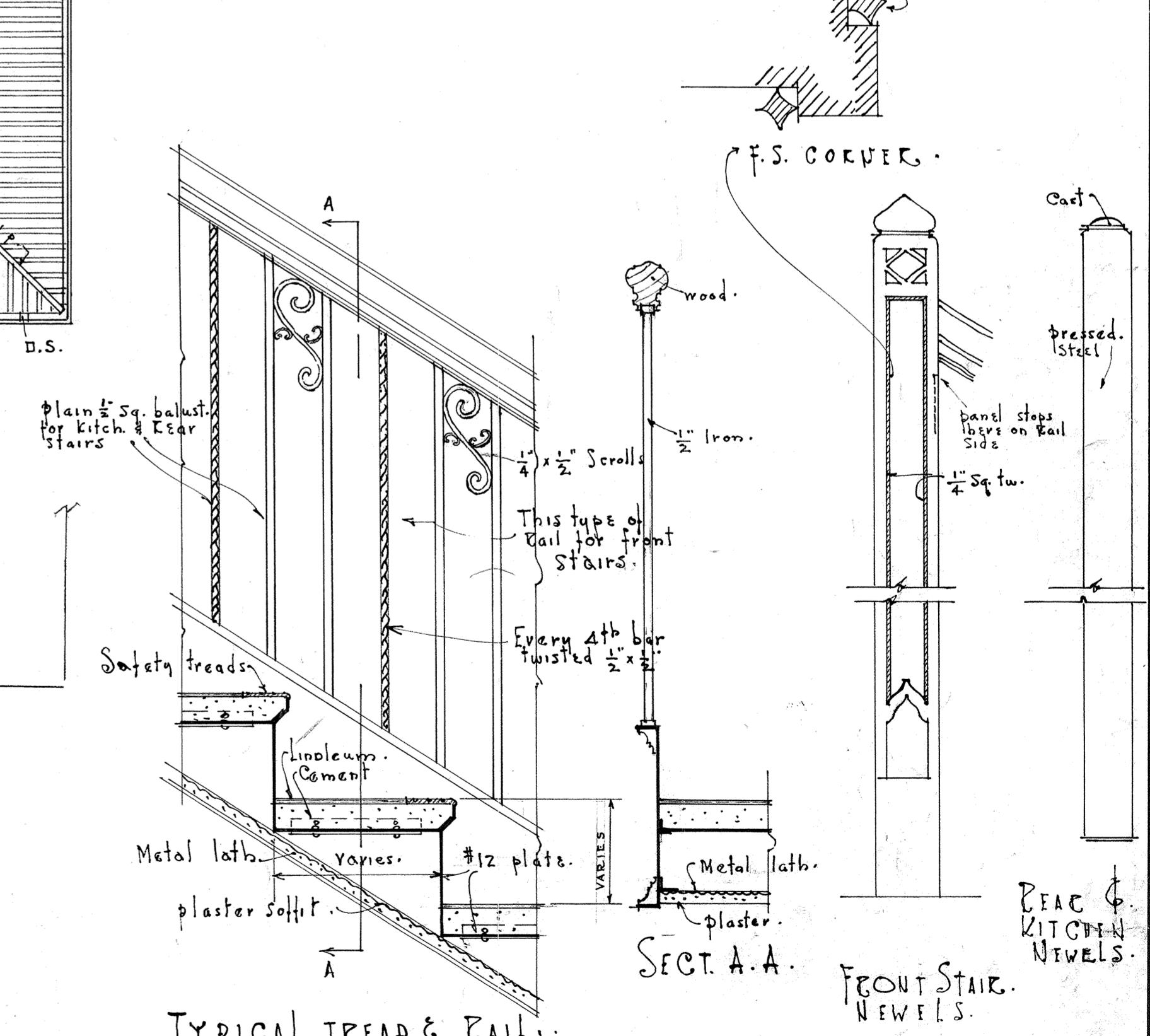
DETAIL OF HEADER FOR ACCORDIAN DOORS
SCALE $\frac{3}{4} = 1'-0"$



TYPICAL UNIVENT DETAIL
SCALE $\frac{3}{4} = 1'-0"$



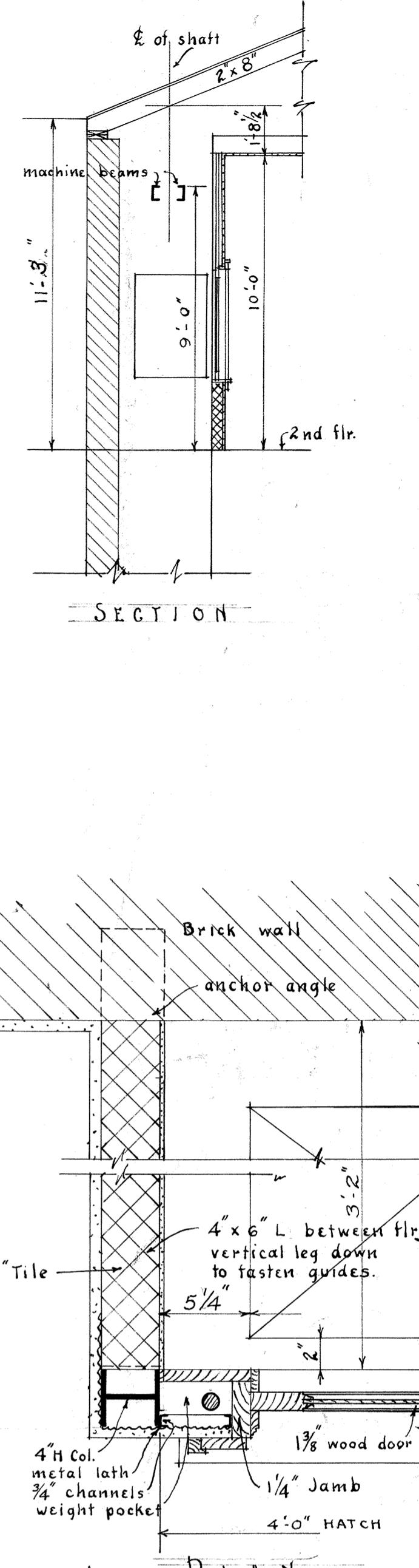
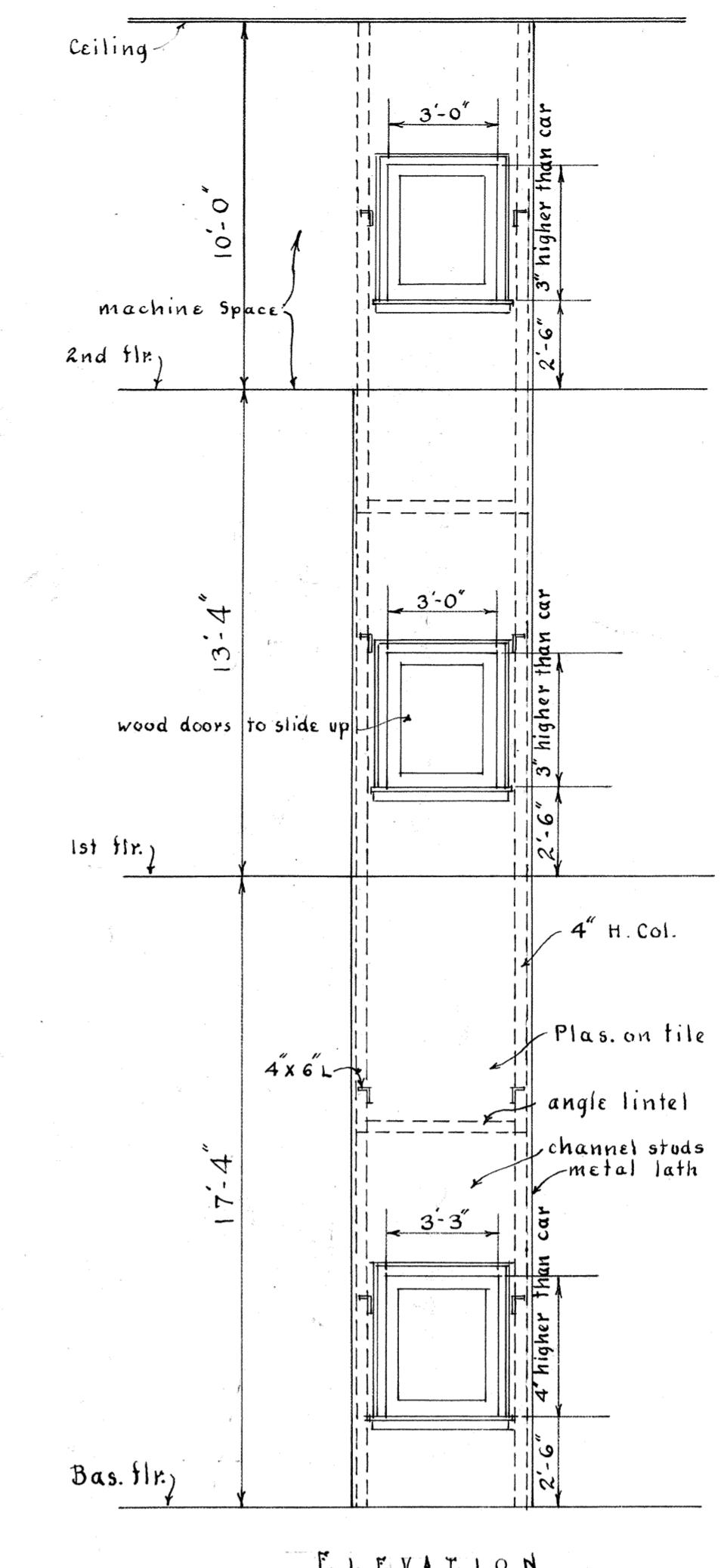
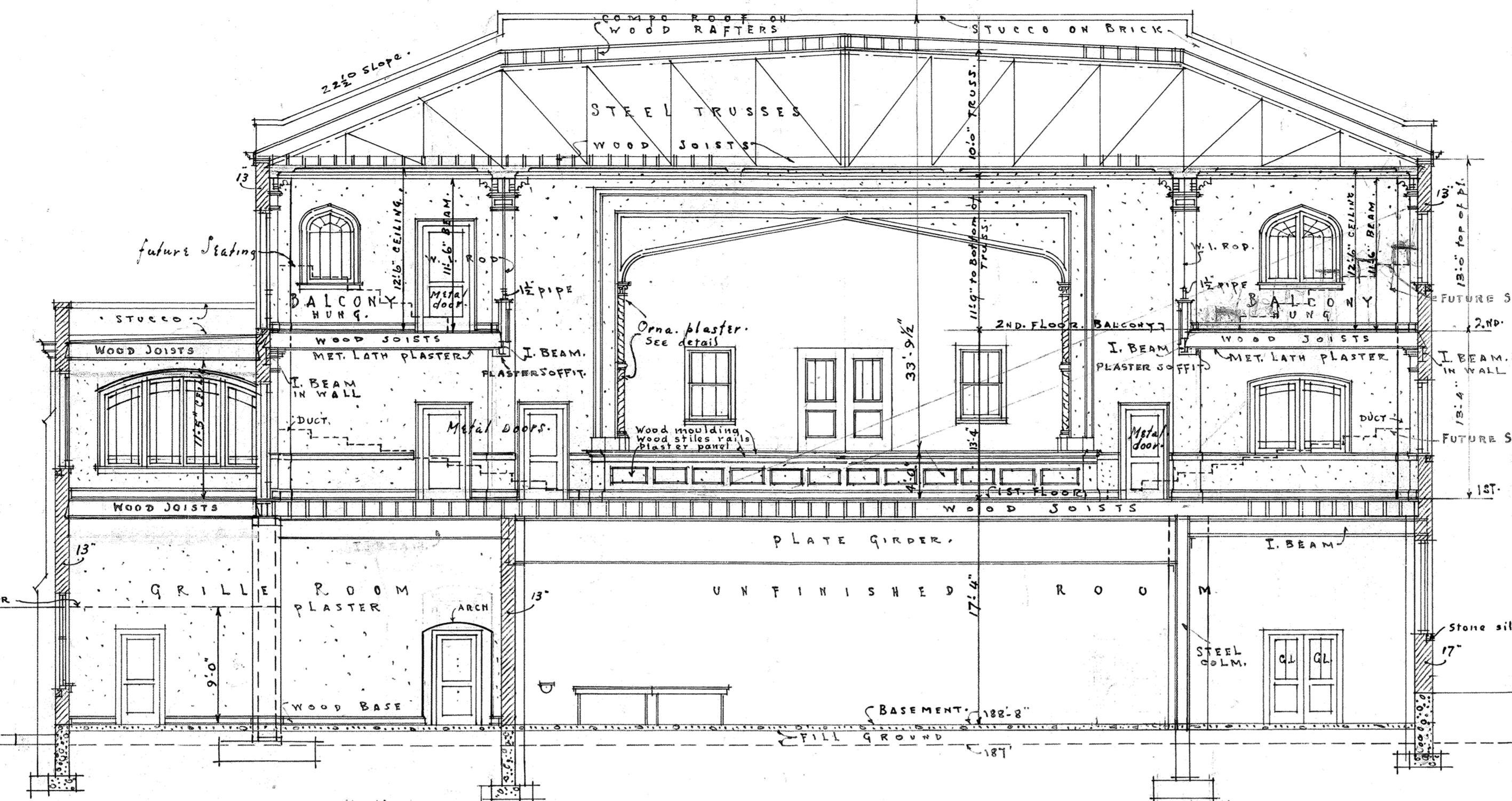
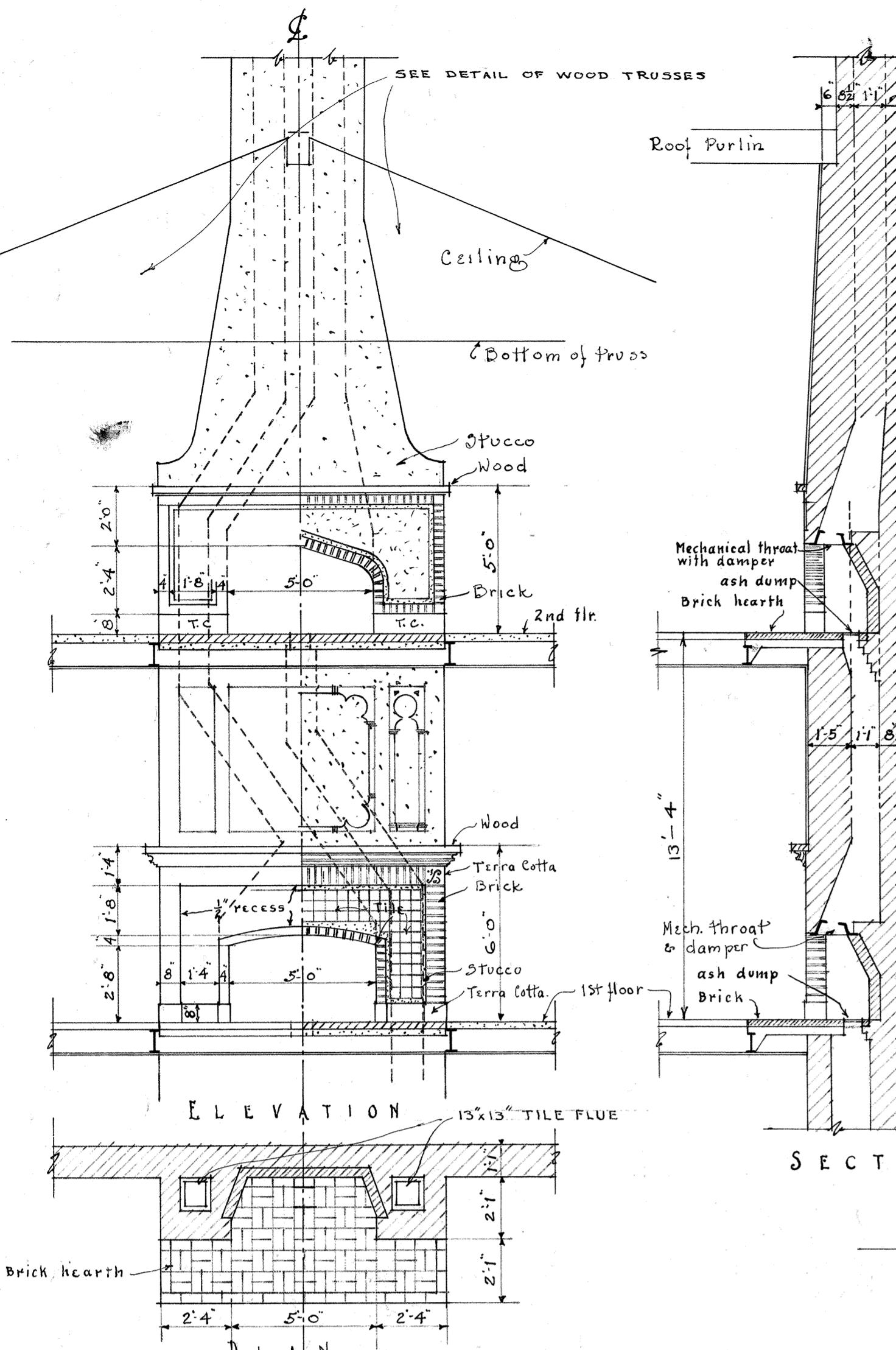
TYPICAL EAVES. DETAIL
 $\frac{3}{4}$ SCALE



IRON STAIR DETAILS
 $\frac{1}{2}$ SCALE

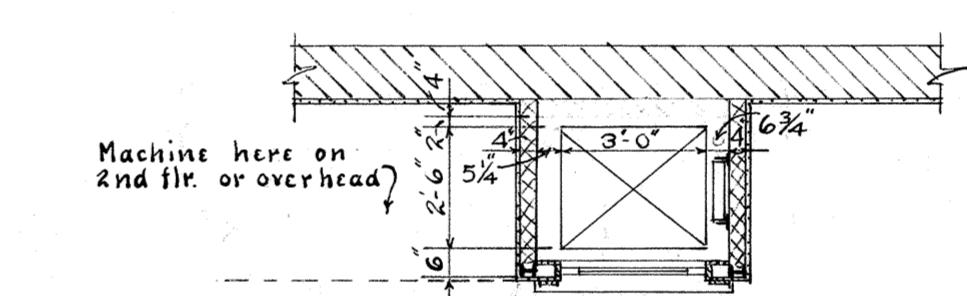
MATERIAL KEY	DATE April 30-28
CONCRETE	
BRICK	
CINDER TILE	
WOOD STUD	
	CHECKED JUN. 1.28

BUILDING FOR
EL JEBEL SARINE
COUNTRY HOME
WILLIAM N. BOWMAN COMPANY
T. ROBERT WIEGER
ASSOCIATED ARCHITECTS
DENVER - COLORADO

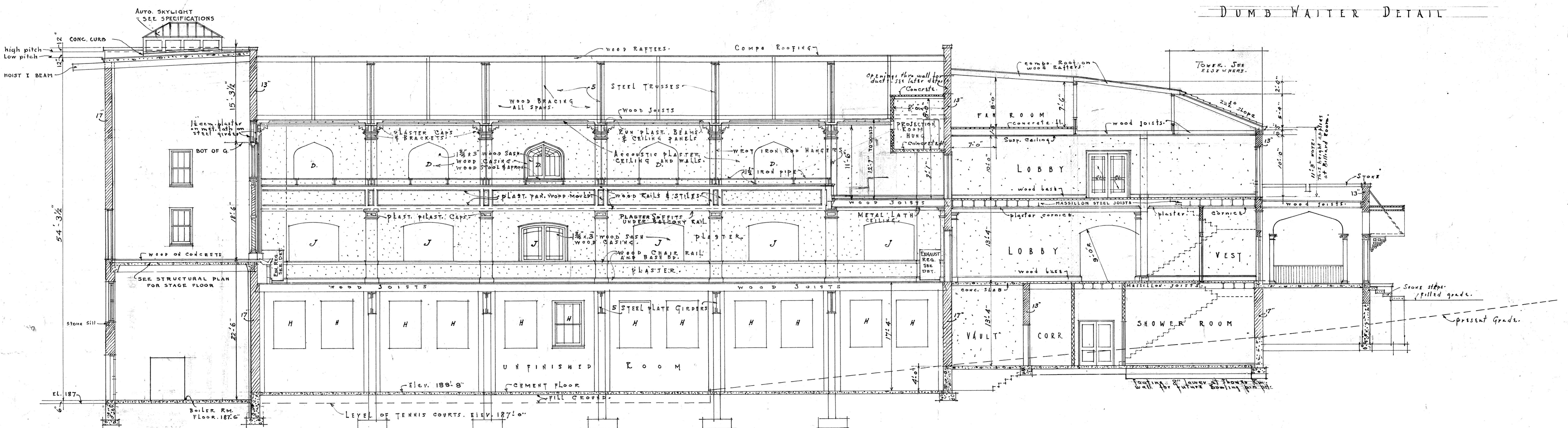


FIRE PLACE DETAIL
Scale $\frac{1}{4}$ " = 1'-0"

• C R O S S • S E C T I O N • B . B



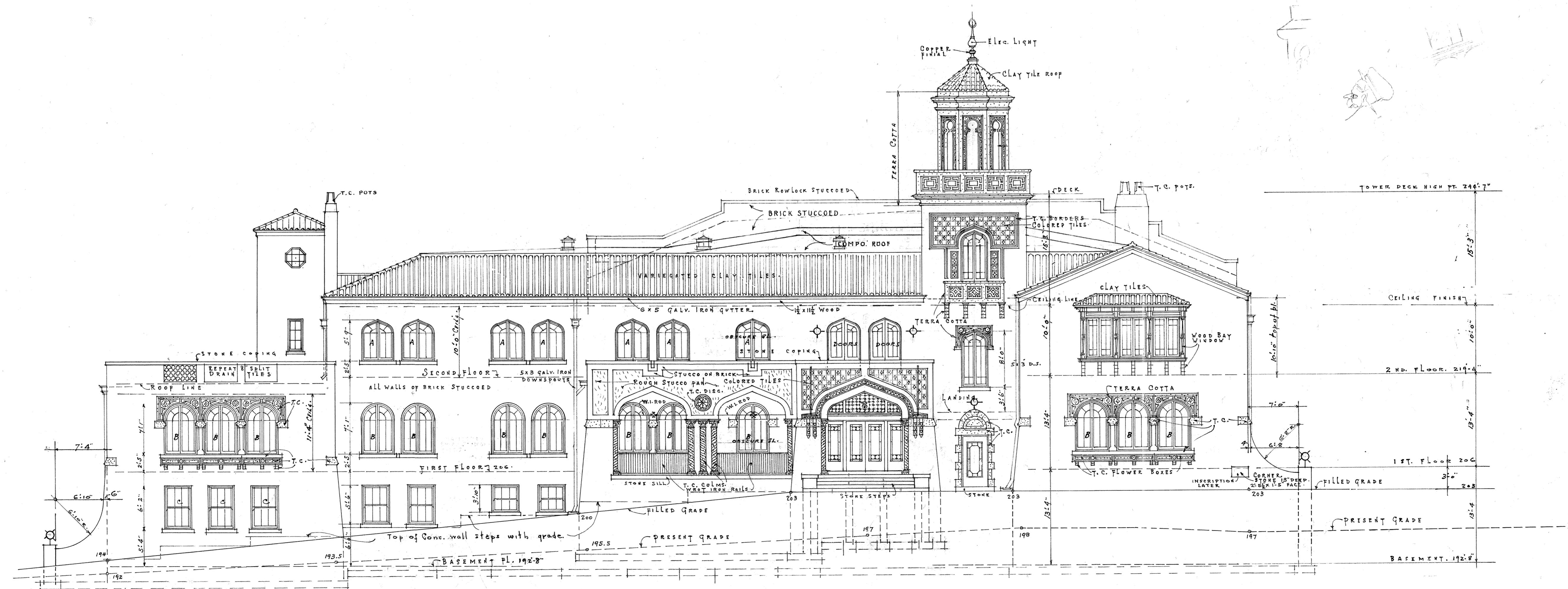
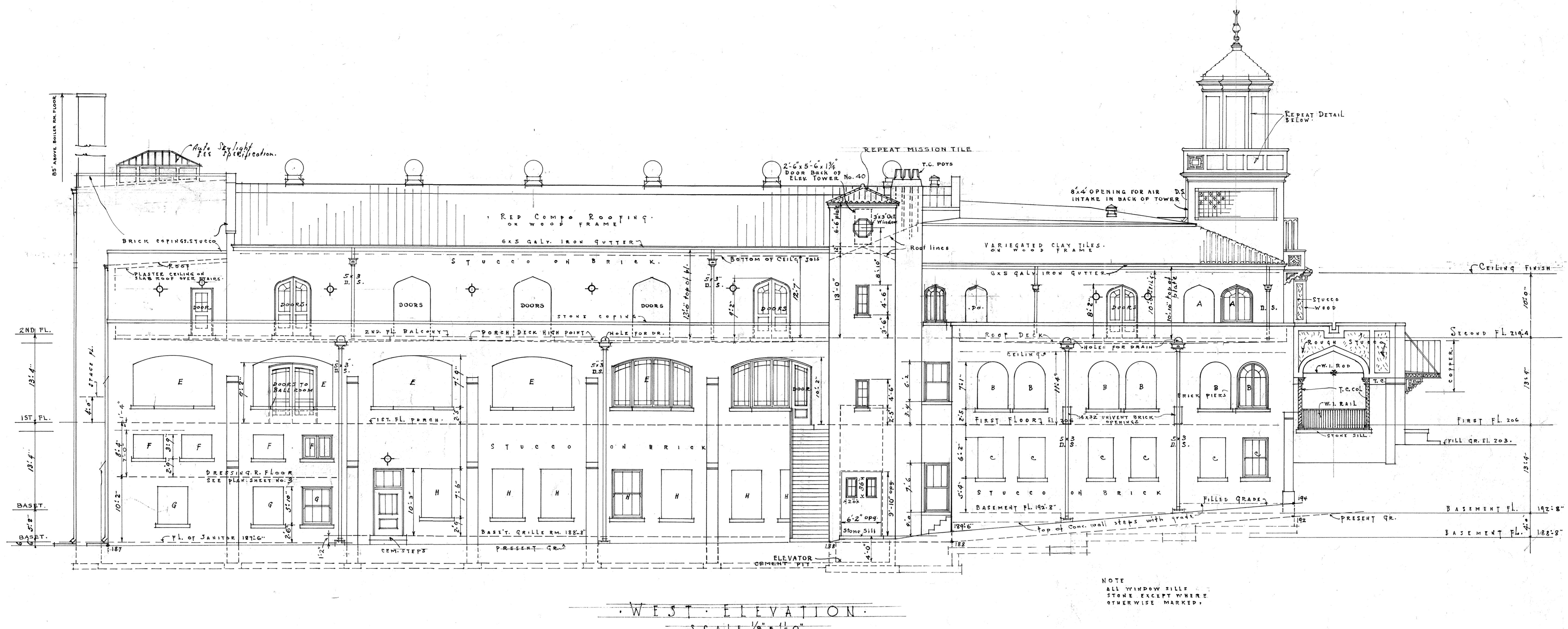
PLAN
SCALE $\frac{1}{4}$ " = 1'-0" DUMB WAITER DETAIL



• LONGITUDINAL SECTION A-A

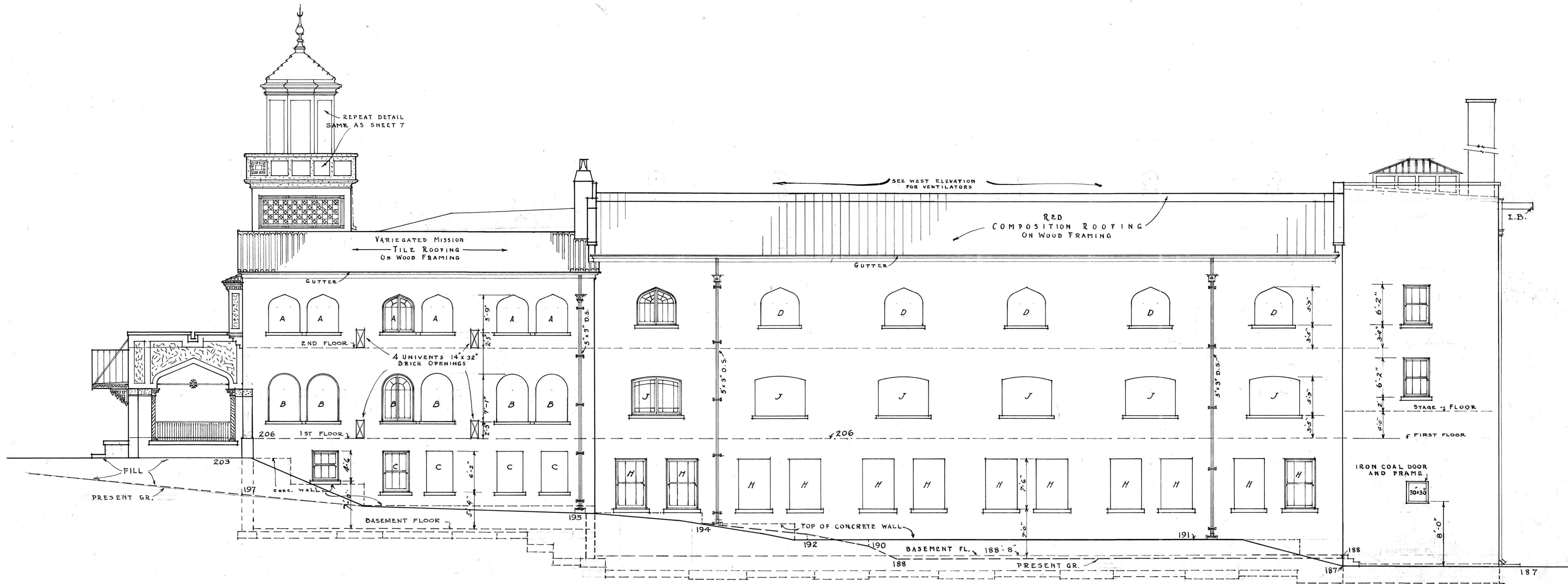
S C A L E $\frac{1}{8}'' = 1$

MATERIAL KEY		DATE APRIL 30, 28	BUILDING FOR EL JEBEL SHRINE COUNTRY HOME ♦ ♦ — ♦ ♦ WILLIAM N. BOWMAN COMPANY T. ROBERT WIEGER ASSOCIATED ARCHITECTS DENVER - COLORADO	6 826
CONCRETE				
BRICK				
CINDER TILE				
WOOD STUD				
CHECKED		JUN. 1, 28		



MATERIAL KEY	
CONCRETE	1/8" DASHED
BRICK	HATCHED
CINDER TILE	STIPPLED
WOOD STUD	STRIPED
IRON	WAVES

BUILDING FOR
EL JEBEL SARNE
COUNTRY HOME
WILLIAM N. BOWMAN COMPANY
T. ROBERT WIEGER
ASSOCIATED ARCHITECTS
DENVER - COLORADO



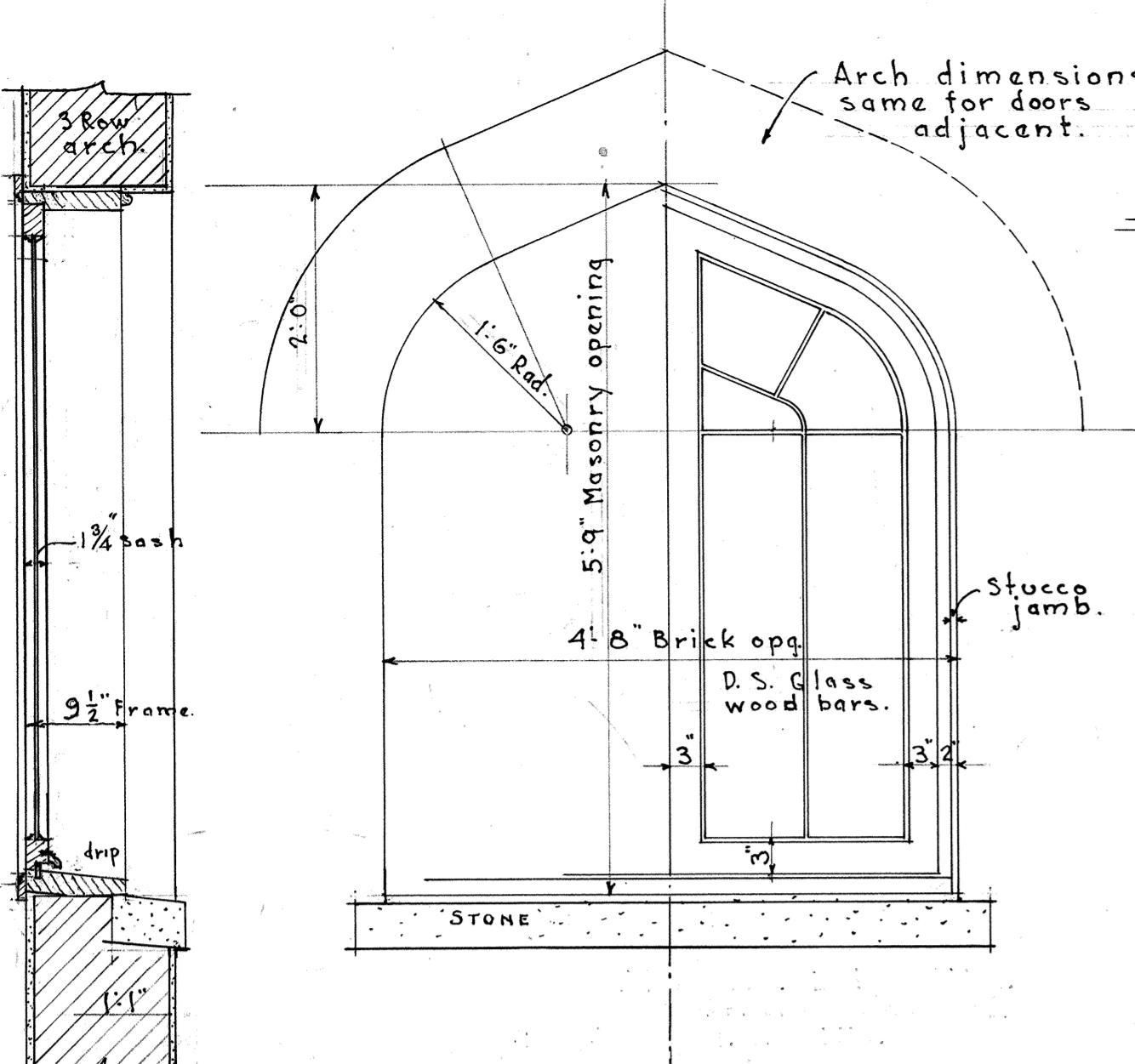
EAST ELEVATION
SCALE $\frac{1}{8}$ " = 1'-0"

NOTE:
ALL WINDOW SILLS
STONE EXCEPT WHERE
OTHERWISE MARKED.

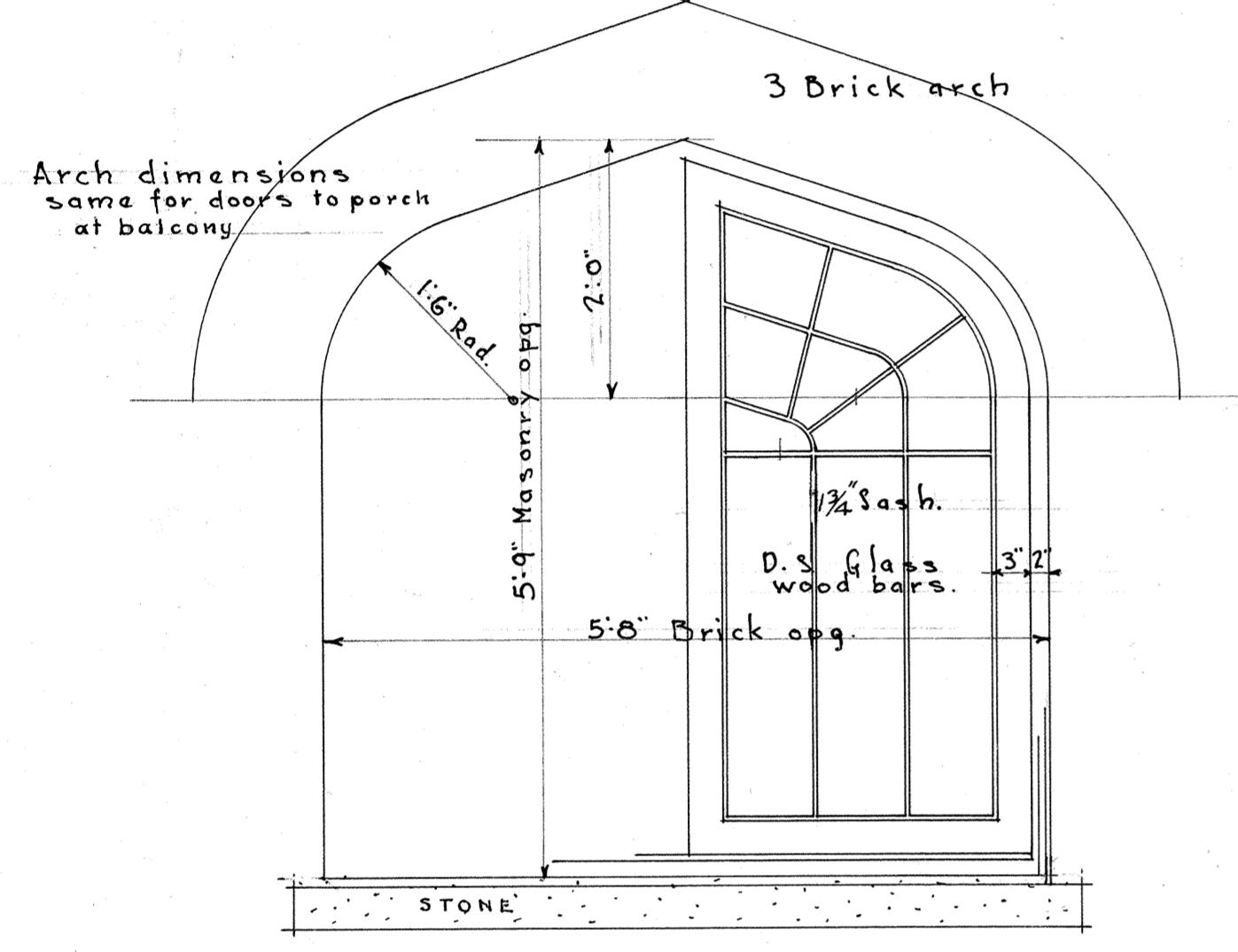


NORTH ELEVATION

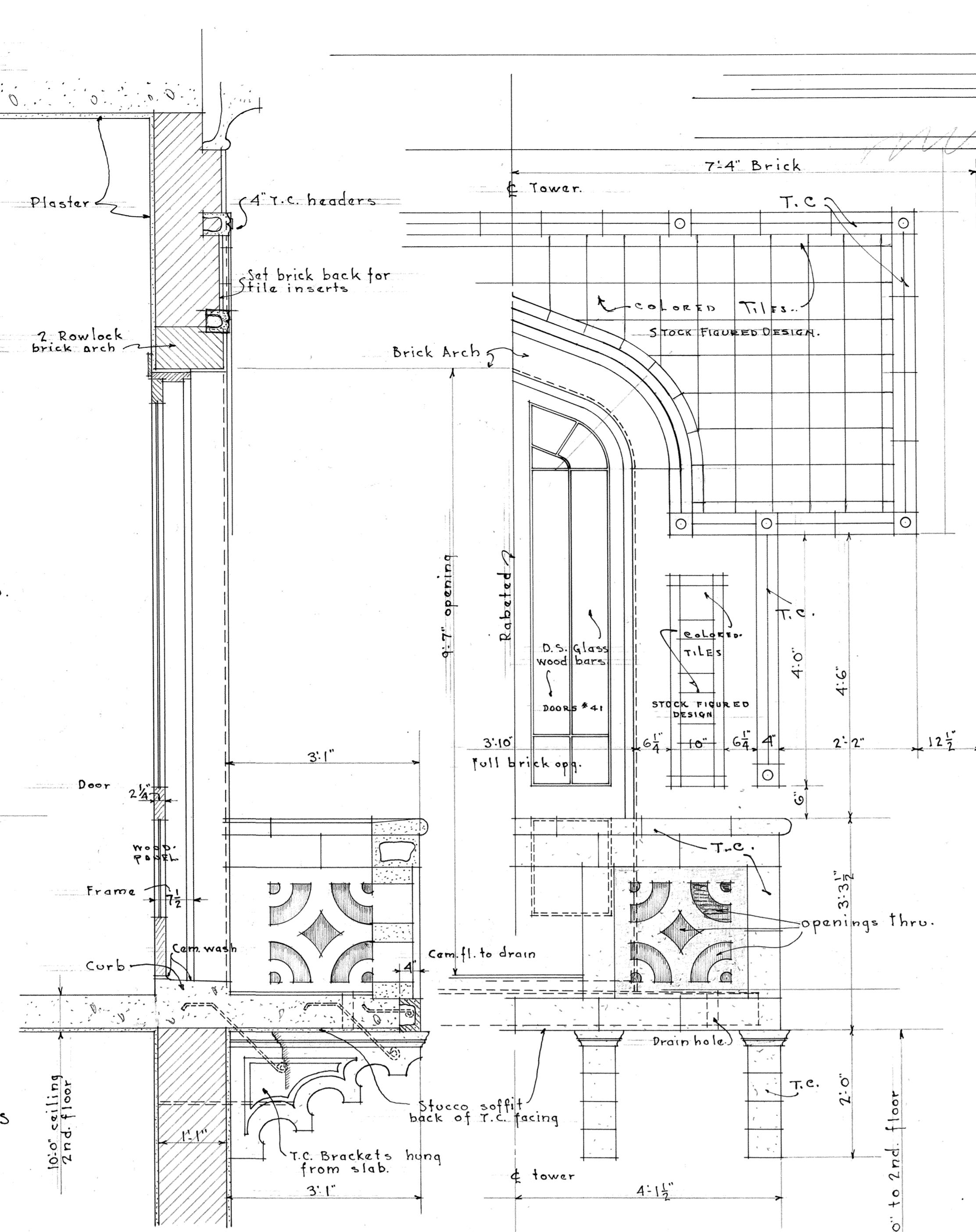
MATERIAL KEY		DATE	BUILDING FOR	
CONCRETE	BRICK	APRIL 30-28	EL JEBEL SARINE	
CINDERBLOCK	WOOD STUD		COUNTRY HOME	
			WILLIAM N. BOWMAN COMPANY	
			T. ROBERT WIEGER	
			ASSOCIATED ARCHITECTS	
			DENVER COLORADO	
CHECKED JUN. 1, 28			826	



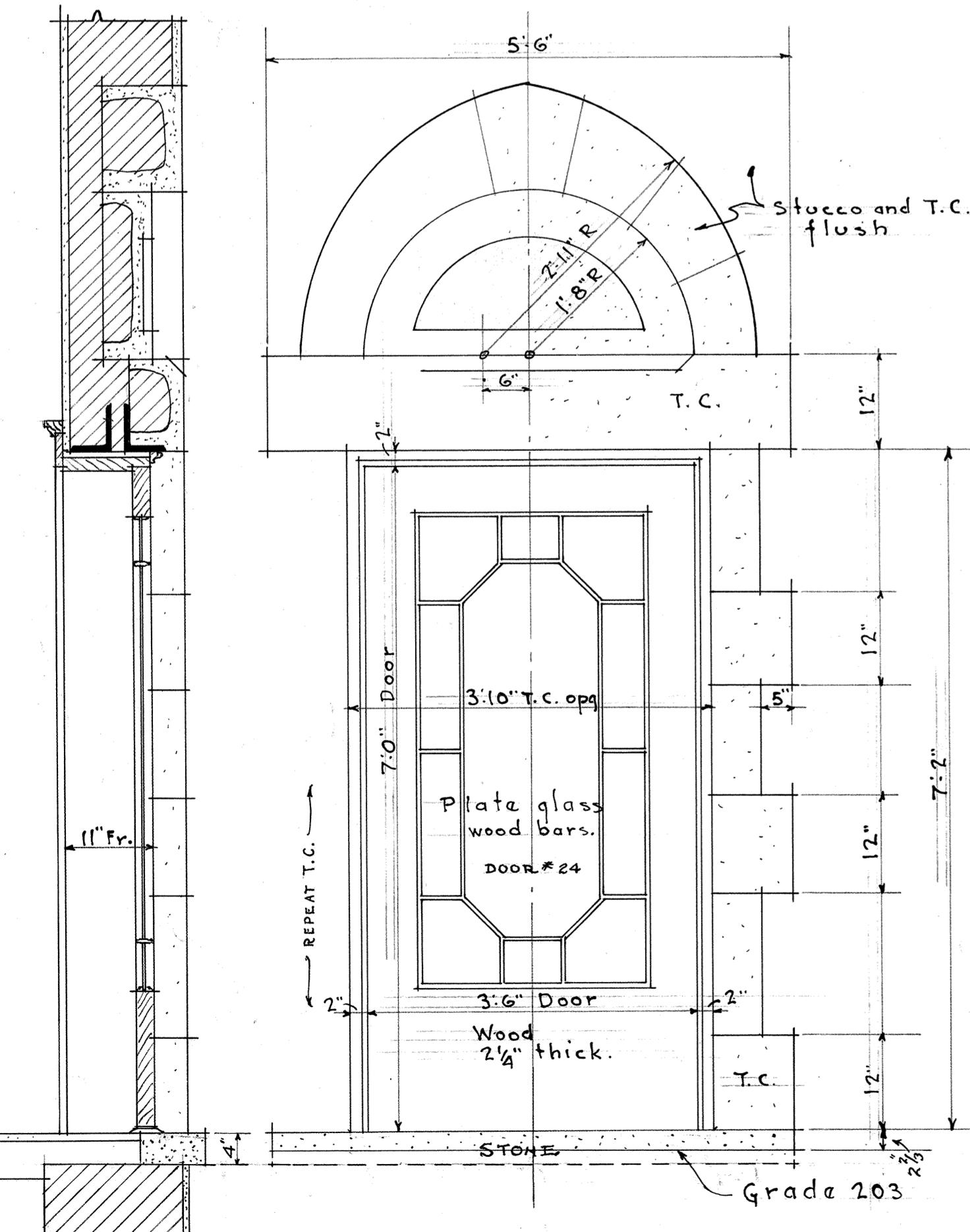
3/4" DETAIL FOR "A" CASEMENT WINDOWS



3/4" DETAIL FOR "D" CASEMENT WINDOWS

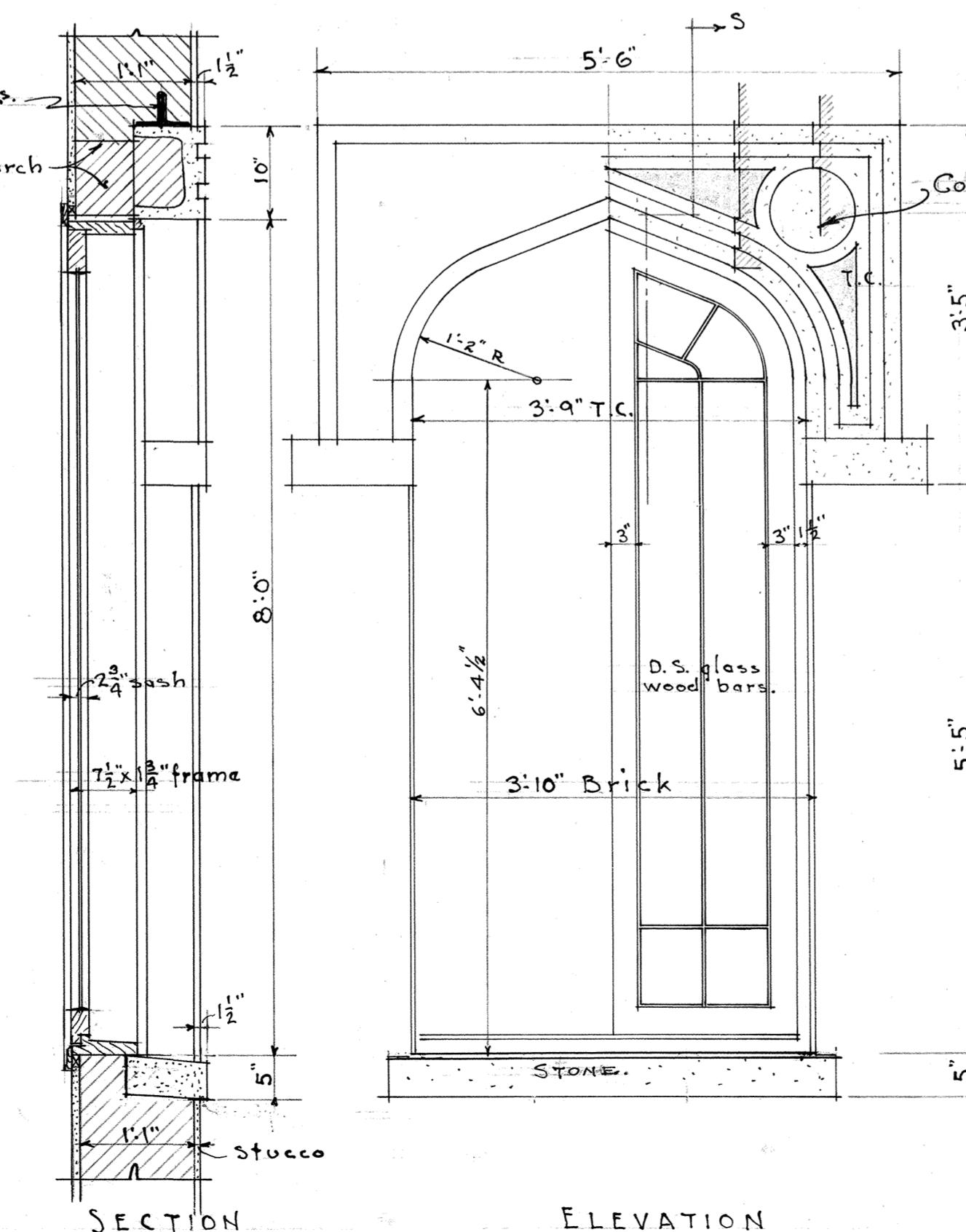


SECTION 1/2 ELEVATION
DETAIL OF UPPER TOWER TREATMENT
Scale $\frac{3}{4}'' = 1:0''$

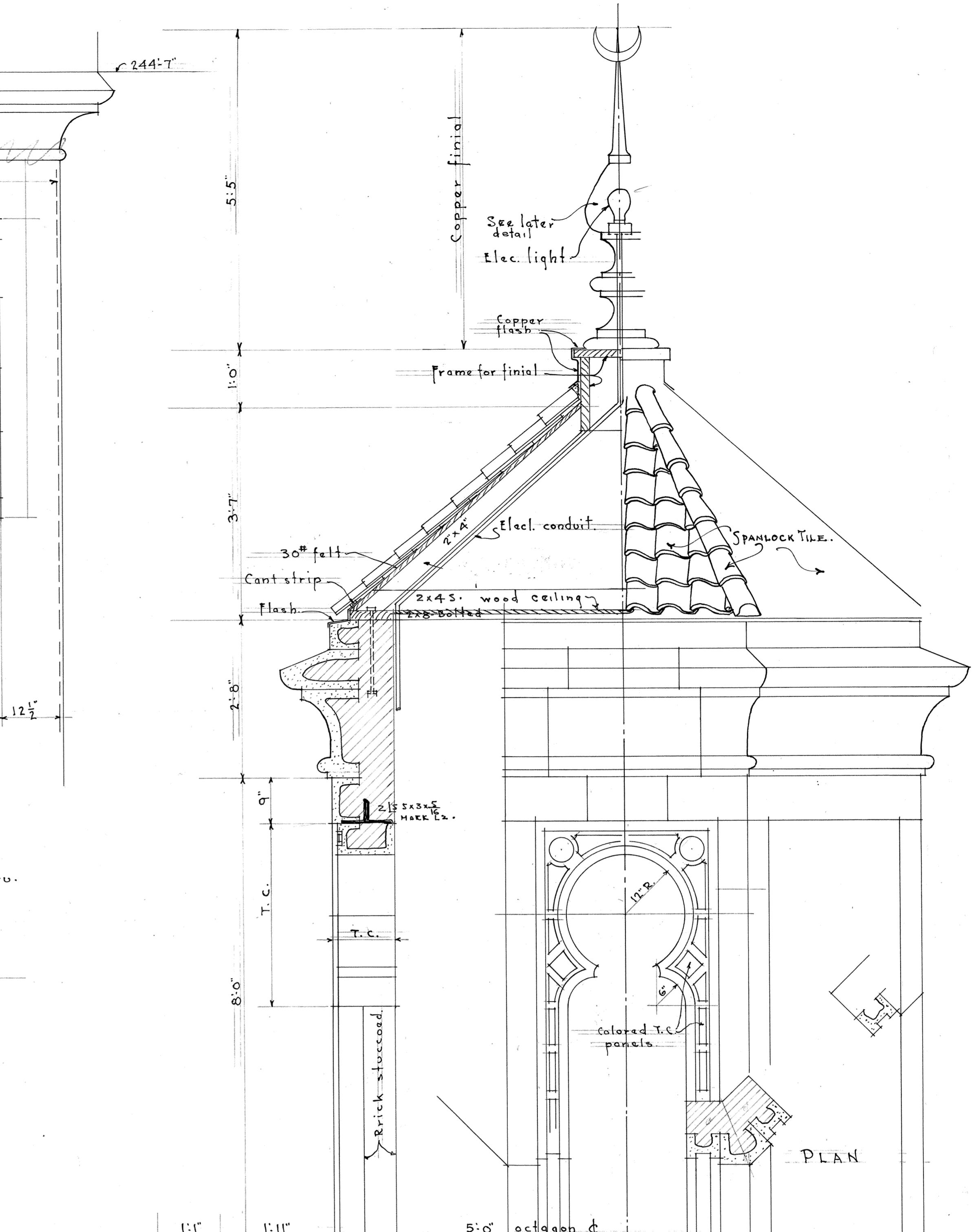


DETAIL OF DOOR TO TOWER
AT GRADE (SOUTH ELEV)

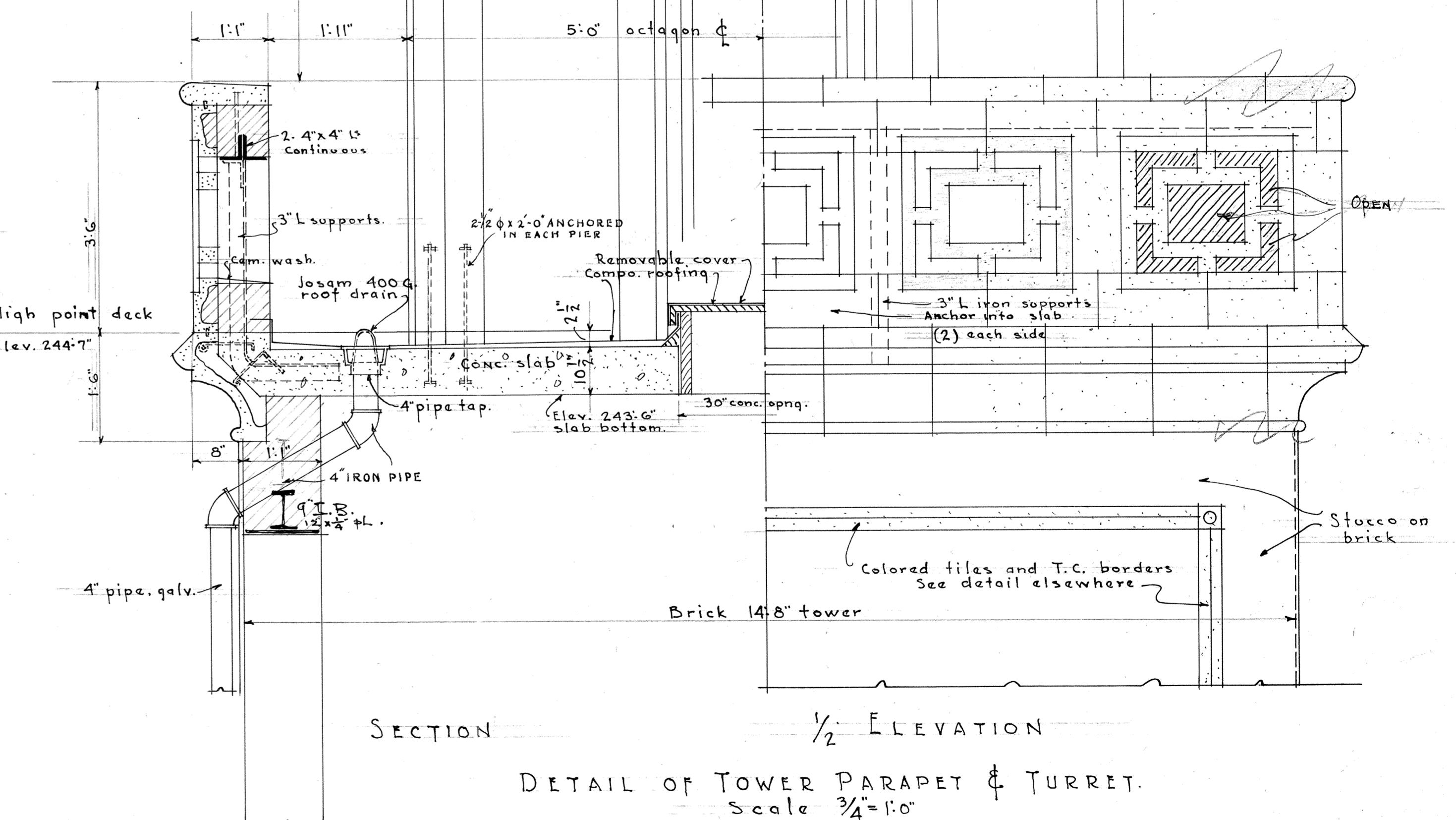
$$\text{Scale } 3/4" = 1:0"$$



SECTION ELEVATION
DETAIL TOWER WINDOW AT LANDIN
Scale $\frac{3}{4}''=1:0''$



SECTION 1/2 ELEVATION
DETAIL OF TOWER PARAPET & TURRET.
Scale $\frac{3}{4}$ " = 1:0"



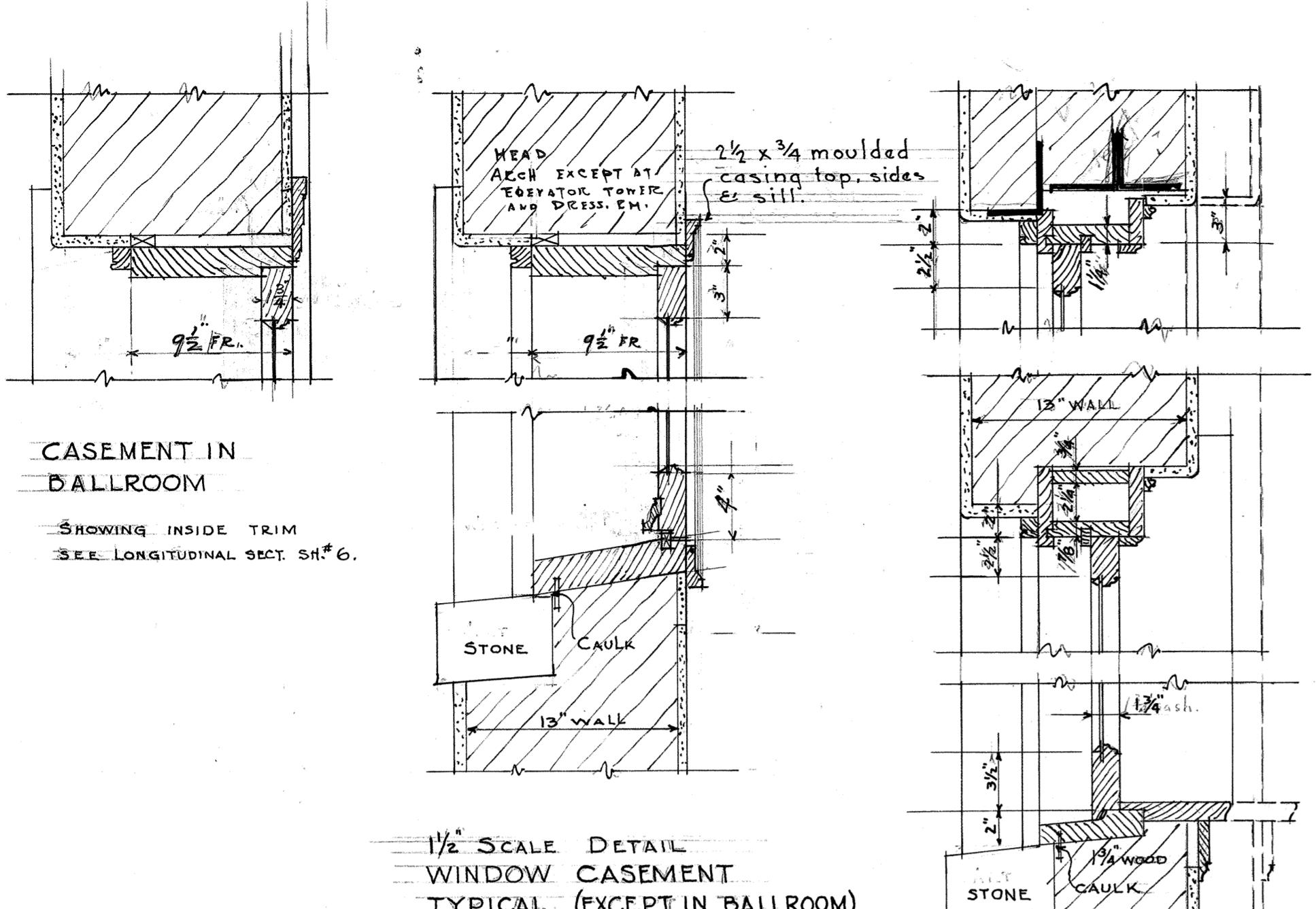
DETAIL OF TOWER PARAPET & TURRET.
Scale $\frac{3}{4}'' = 1:0'$

MATERIAL KEY	
CONCRETE	DATE APRIL 30, '28
BRICK	
CINDER TILE	
WOOD STUD	
CHECKED JUN. 1, 28	

BUILDING FOR
**EL JEBEL SHRINE
 COUNTRY HOME**

WILLIAM N. BOWMAN COMPANY
 T. ROBERT WIEGER
 ASSOCIATED ARCHITECTS
 DENVER & COLORADO

9
 826

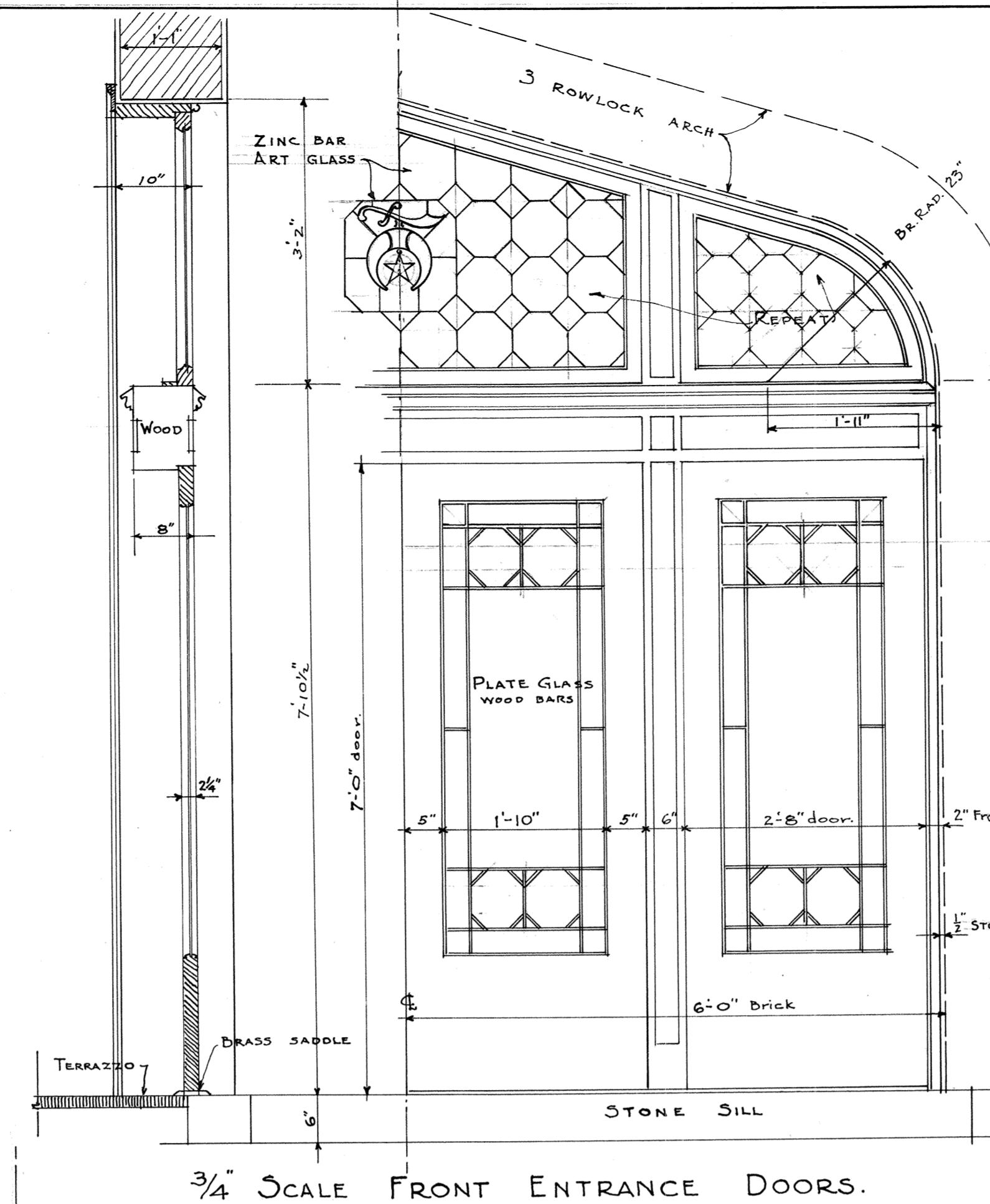


**CASEMENT IN
BALLROOM**

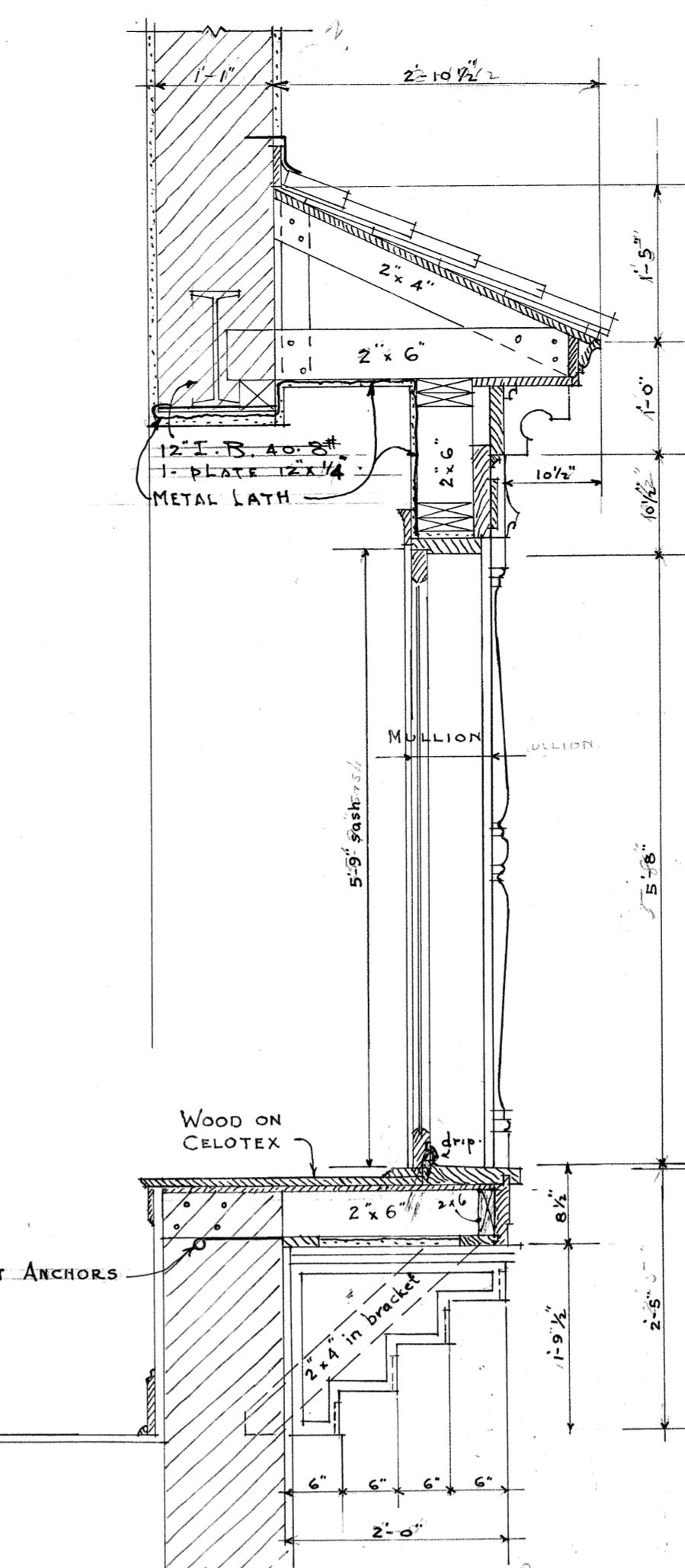
SHOWING INSIDE TRIM
SEE LONGITUDINAL SECT. SH. #6

1½" SCALE DETAIL
WINDOW CASEMENT
TYPICAL (EXCEPT IN BALLROOM)

1½" SCALE DETAIL
D. H. WINDOWS "C" "H" "G"
(13" & 17" WALLS)



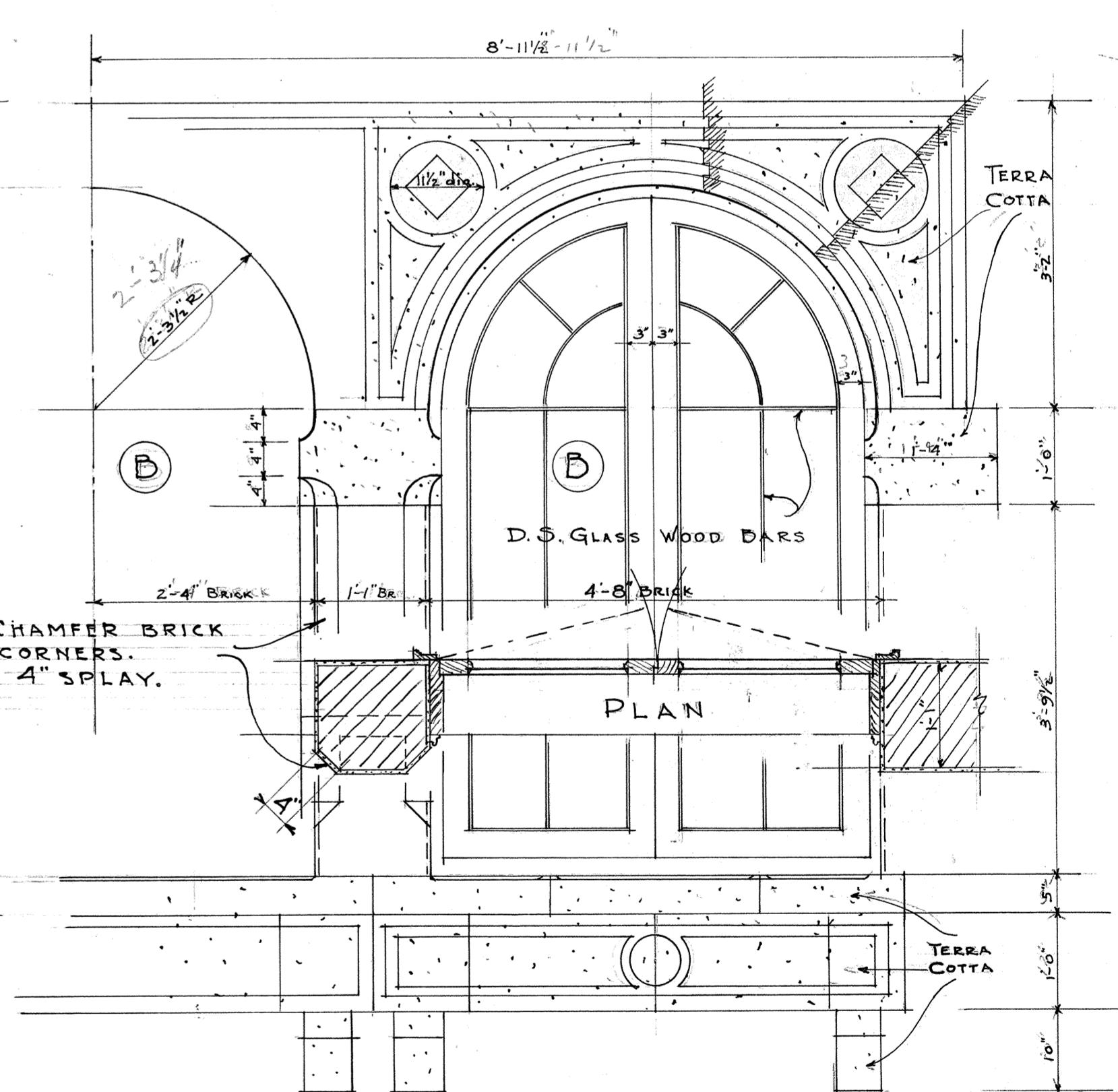
3/4" SCALE FRONT ENTRANCE DOORS



SECTION

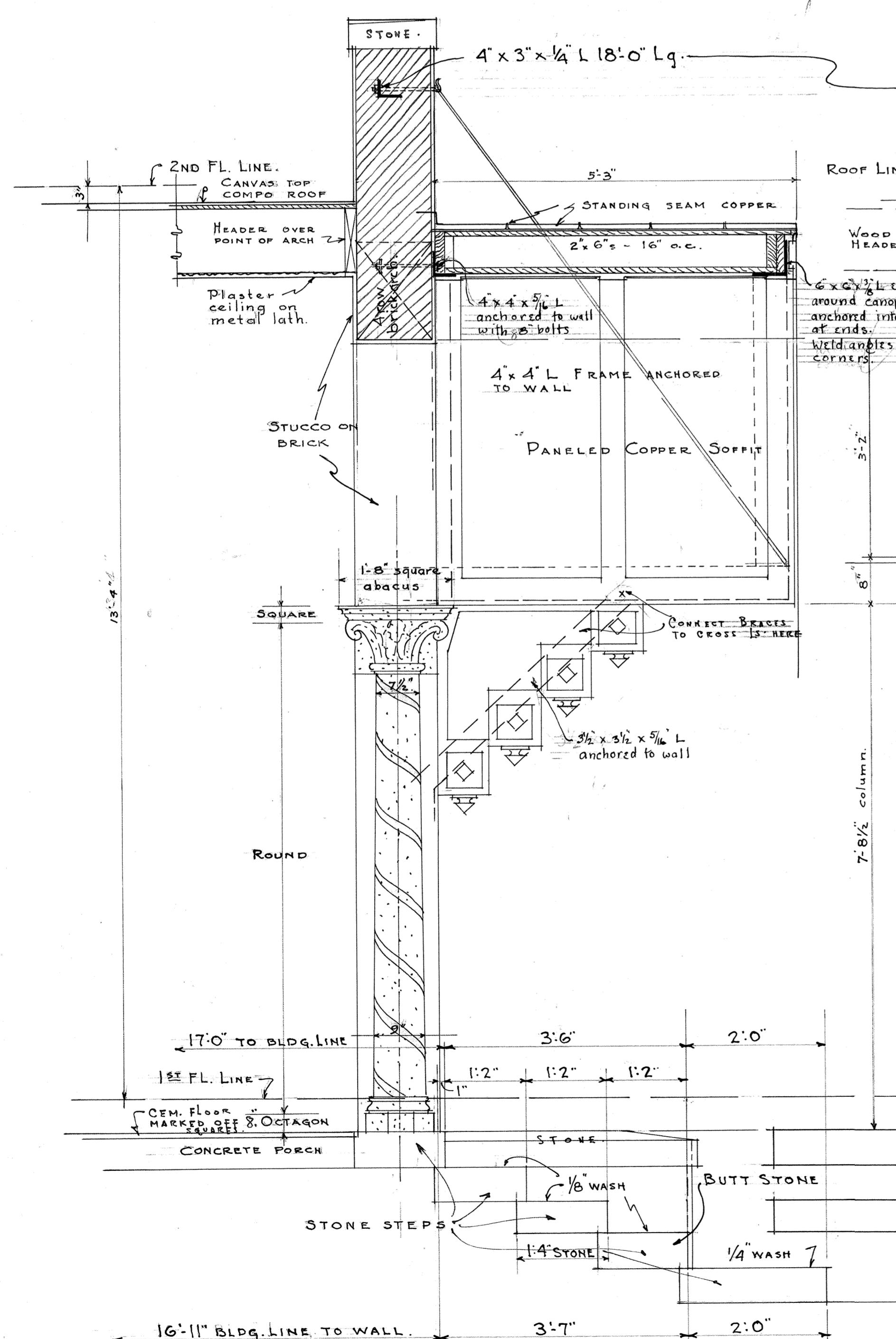
HALF ELEVATION

DETAIL OF WOOD BAY WINDOW (SOUTH ELEV.)
scale $\frac{3}{4}'' = 1'-0''$



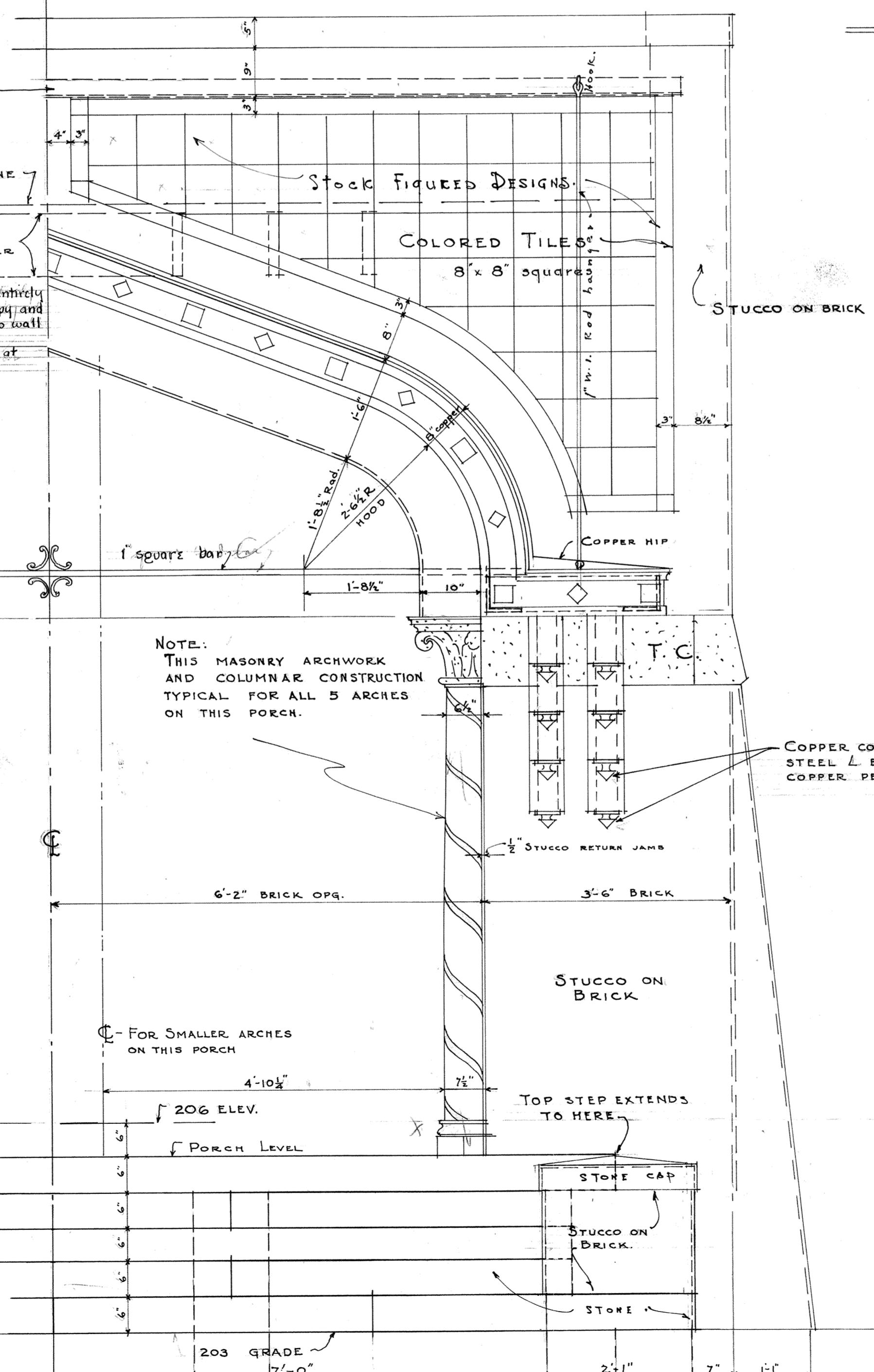
HALF ELEVATION

DETAIL OF TRIPLE WINDOW GROUP
(SOUTH ELEVATION) Scale $\frac{3}{4}'' = 1'-0''$



SECTION

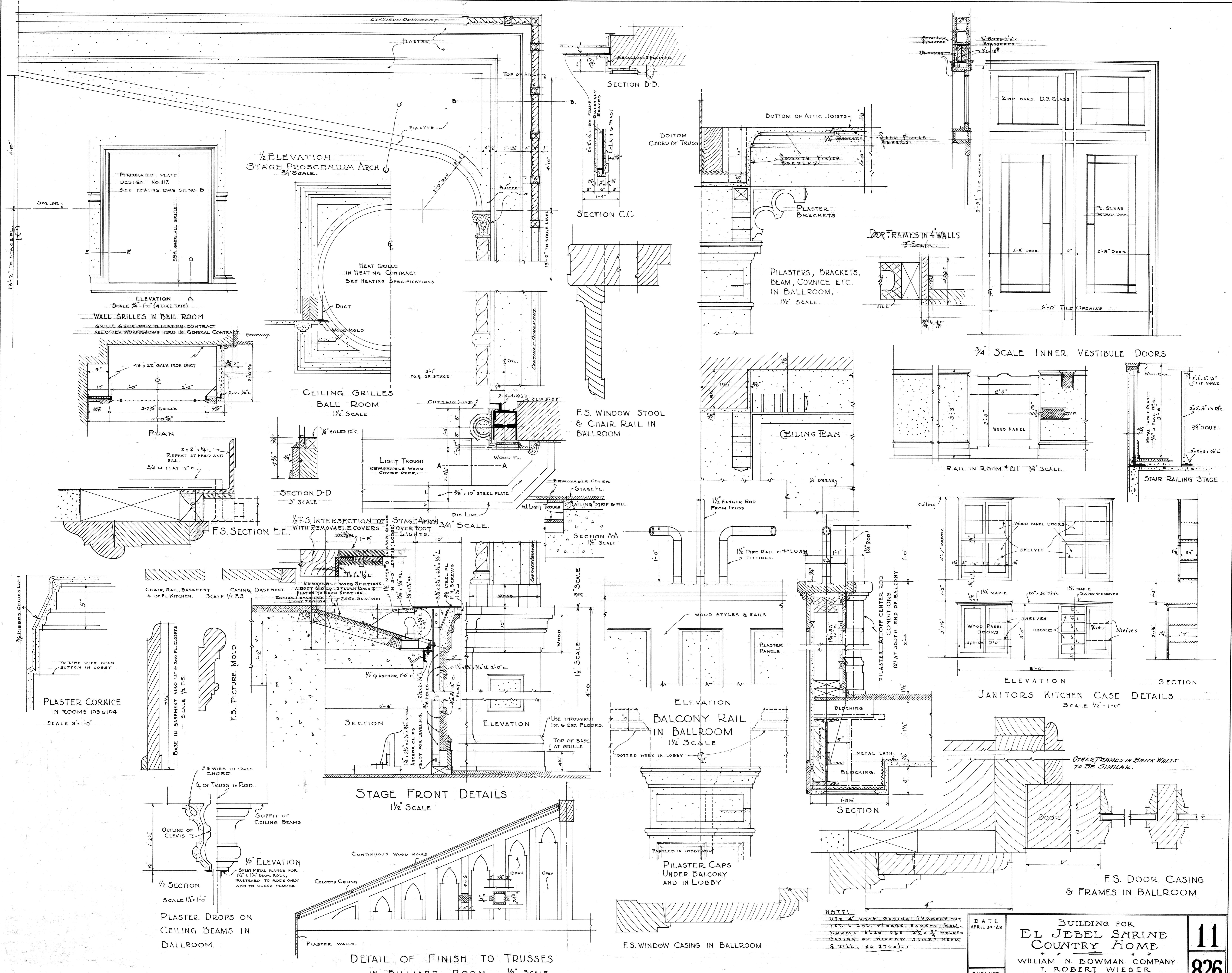
DETAIL OF PORCH ENTRANCE
Scale $\frac{3}{4}$ " = 1'-0"

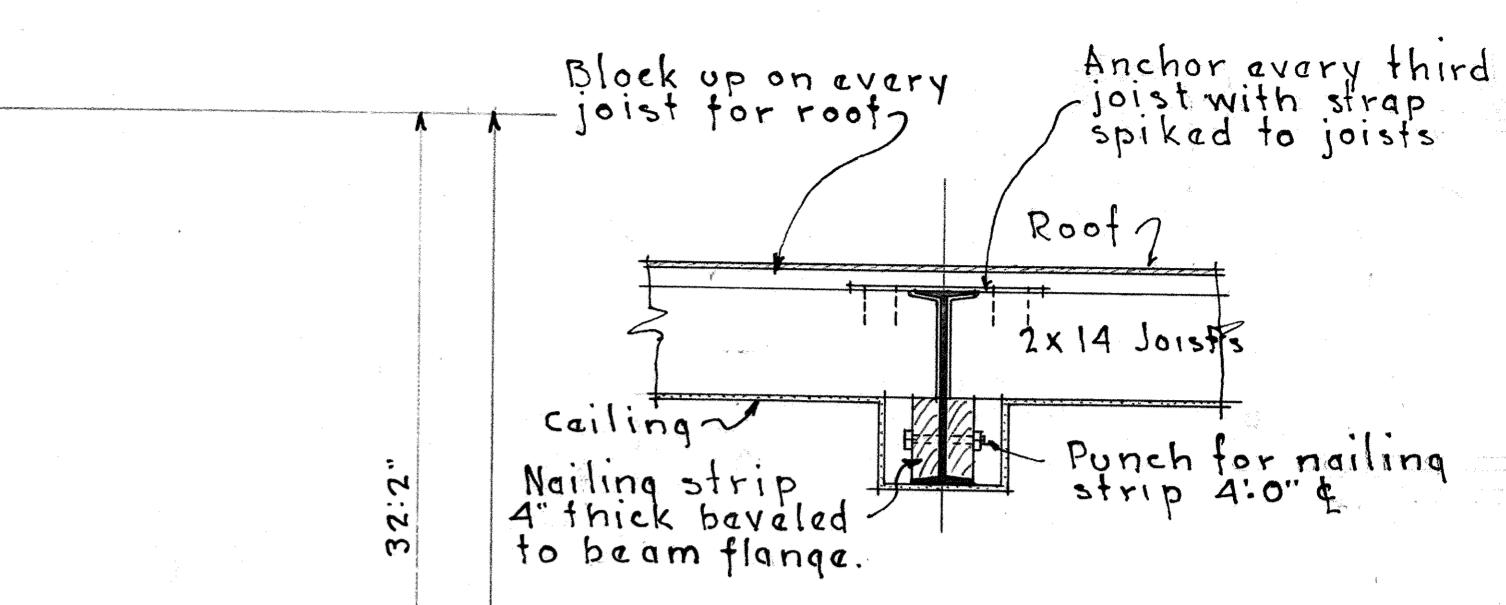
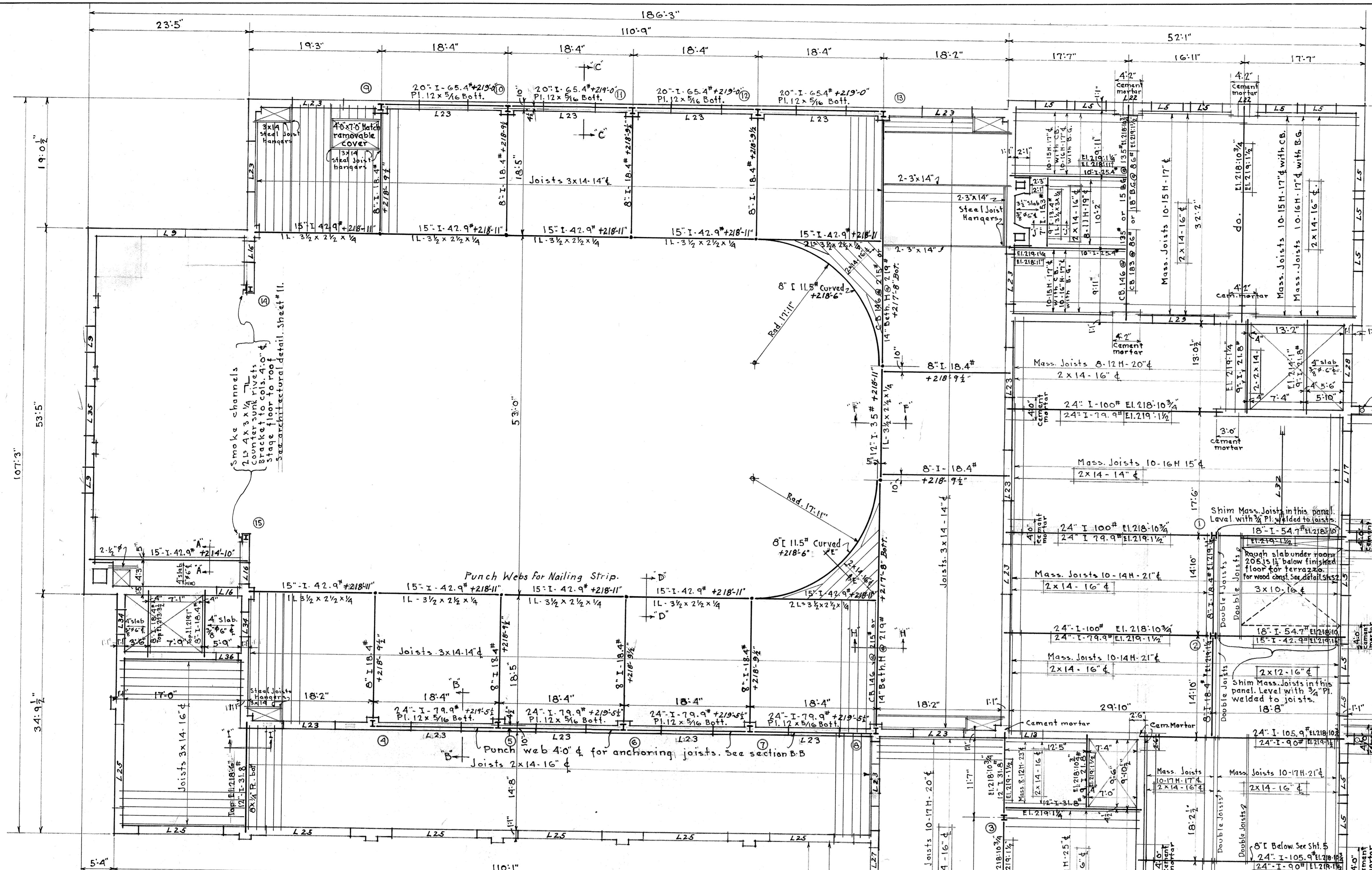


HALF ELEVATION

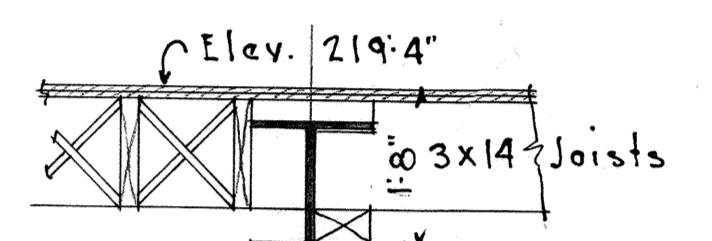
EXTERIOR DETAILS

MATERIAL KEY		DATE APRIL 30, '28	BUILDING FOR EL JEBEL SHRINE COUNTRY HOME ♦ ♦ — ♦ ♦	10
CONCRETE	---			
BRICK	---			
CINDER TILE	---			
WOOD STUD	---			
CHECKED JUN. 1, 28		WILLIAM N. BOWMAN COMPANY T. ROBERT WIEGER ASSOCIATED ARCHITECTS DENVER - COLORADO		826

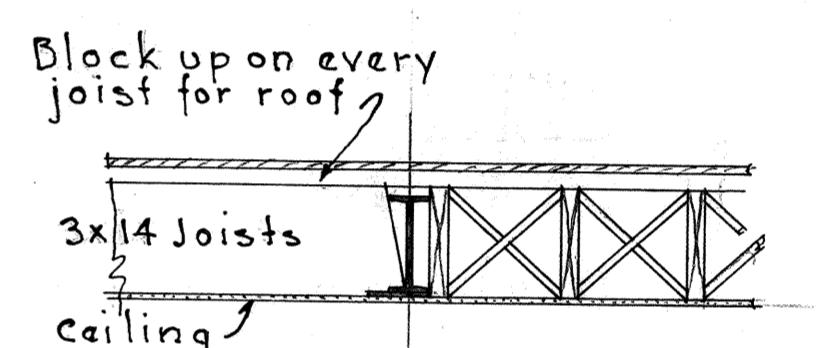




SECTION G-G
Scale $\frac{1}{2}$ = 1'-0"

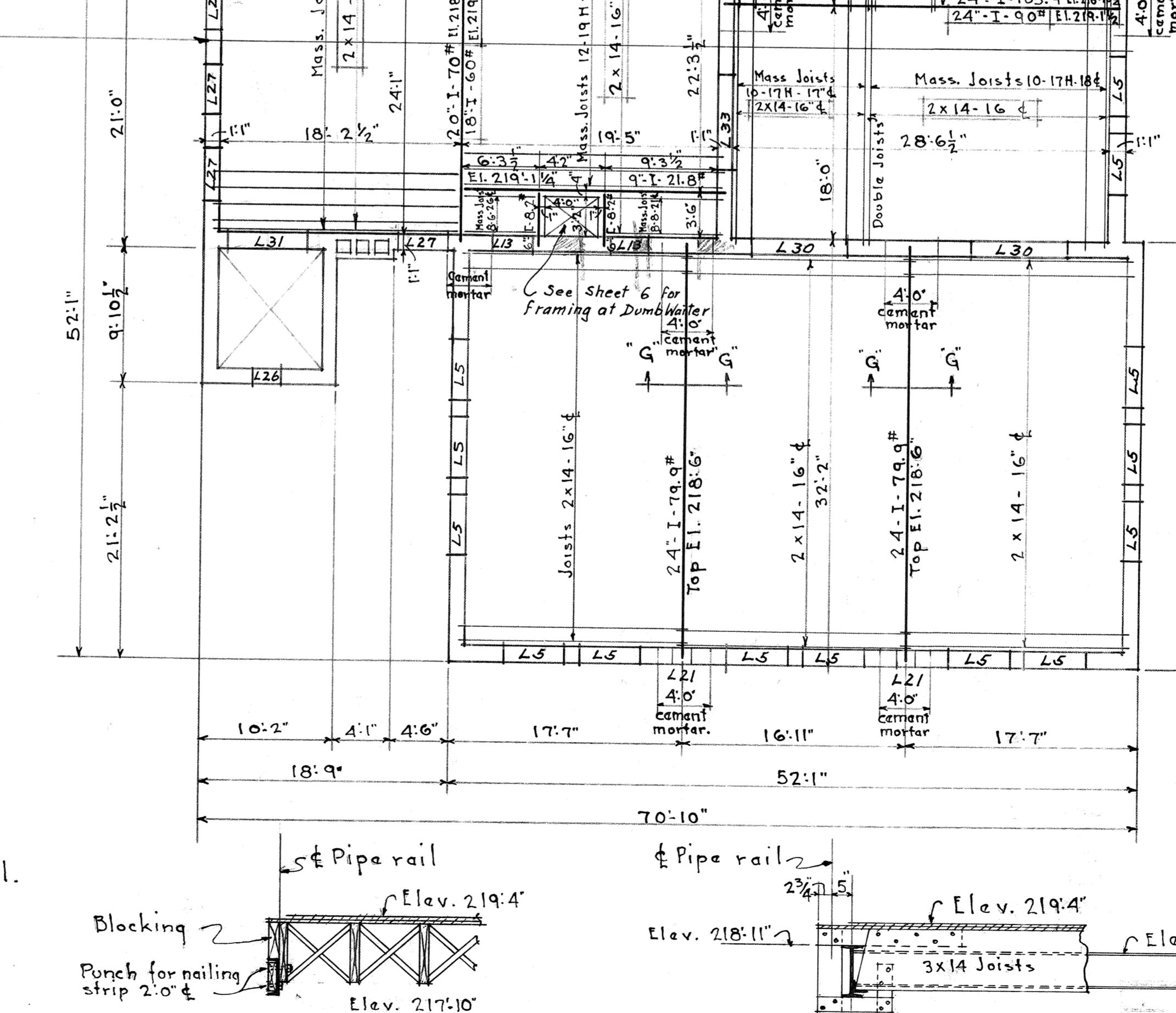


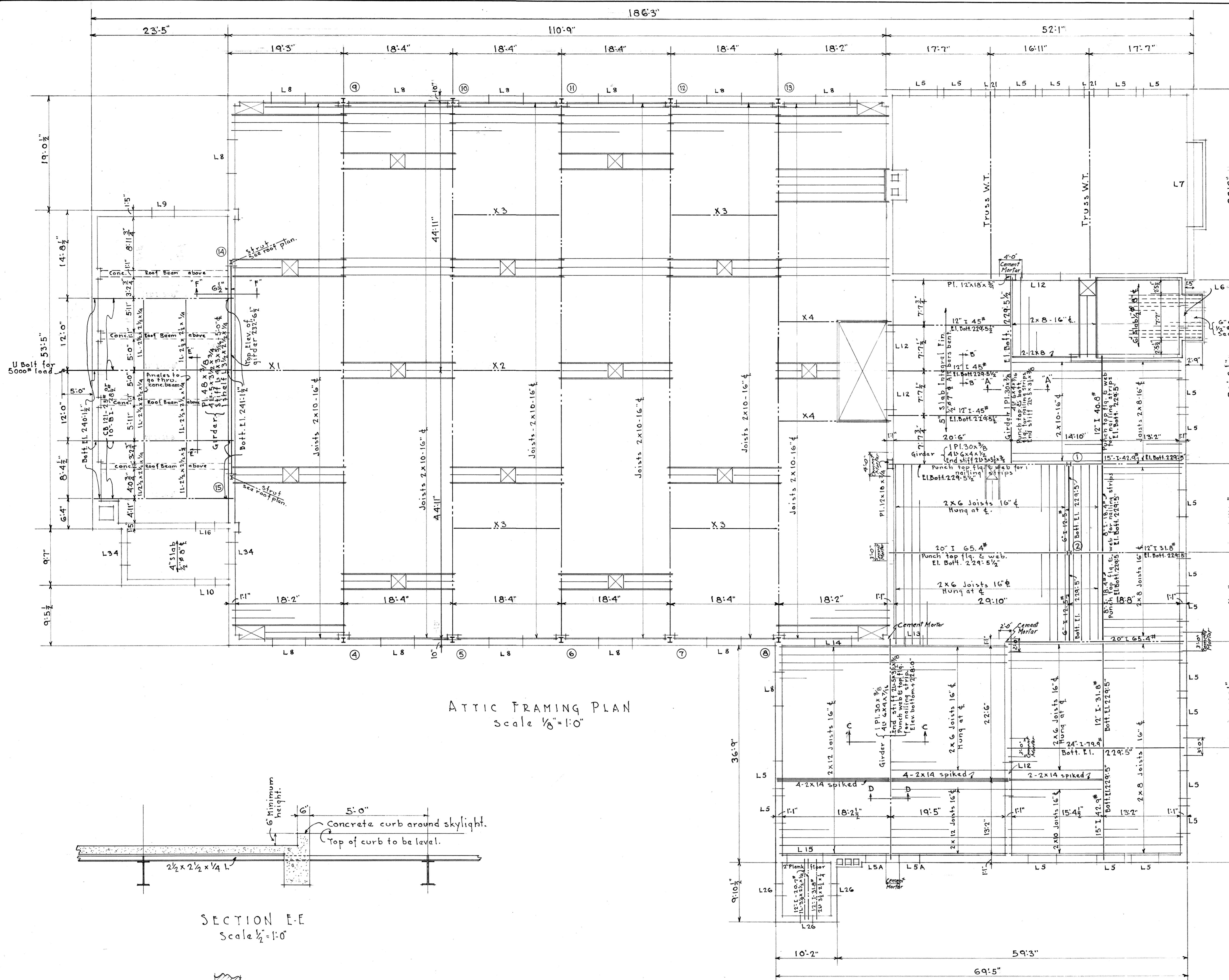
SECTION H-H
Scale $\frac{1}{2}$ = 1'-0"



SECTION I-I
Scale $\frac{1}{2}$ = 1'-0"

FOR SECTION J-J SEE SECTION E-E ON SHEET S2





ATTIC FRAMING PLAN
scale $\frac{1}{8}$ " = 1:0"

A hand-drawn technical sketch showing a cross-section of a concrete curb. The sketch includes a vertical line labeled '6" minimum height' and a horizontal line labeled '5'-0". A bracket indicates the 'Concrete curb around skylight' and 'Top of curb to be level'.

2 $\frac{1}{2}$ x 2 $\frac{1}{2}$ x 1 $\frac{1}{4}$ L

6" minimum height.

5'-0"

Concrete curb around skylight

Top of curb to be level.

SECTION E-E

Hand-drawn technical sketch showing a wall joist connection. A vertical wall is on the left, with a horizontal girder extending to the right. A bracket labeled "2x10 Joists" is attached to the girder. A "flat bar joist anchor" is bent over the top flange of the girder and spiked to every third joist. A dimension line indicates a height of 7' 10" from the base of the wall to the top of the joist. A shelf bracket labeled "3 1/2" x 2 1/2" x 1/4" shelf L is attached to the girder below the joist. The sketch is labeled "SECTION F-F" at the bottom.

SECTION F-F
Scale $\frac{1}{2}$ " = 1:0"

Architectural elevation drawing showing slab thicknesses and hanger sizes for a building section. The drawing includes a vertical scale on the left and various slab thicknesses indicated by arrows.

Key dimensions and notes:

- Vertical scale: 32' - 0" (Total height)
- Slab thicknesses (indicated by arrows):
 - Top slab: 4" P.S.I. 3.7# (8' 0" thick)
 - Second slab: 4" P.S.I. 3.7# (8' 0" thick)
 - Third slab: 4" P.S.I. 3.7# (8' 0" thick)
 - Fourth slab: 4" P.S.I. 3.7# (8' 0" thick)
 - Fifth slab: 5" E.G. 7# (16' 5" thick)
 - Sixth slab: 5" E.G. 7# (16' 5" thick)
 - Seventh slab: 5" E.G. 7# (16' 5" thick)
 - Eighth slab: 5" E.G. 7# (16' 5" thick)
 - Ninth slab: 5" E.G. 7# (16' 5" thick)
 - Tenth slab: 5" E.G. 7# (16' 5" thick)
 - Bottom slab: 2 1/2" B. to B. (17' 5 1/2" thick)
- Hanger sizes (indicated by arrows):
 - Top slab: 2 1/2" x 2 1/2" x 1/4" L Hanger
 - Second slab: 2 1/2" x 2 1/2" x 1/4" L Hanger
 - Third slab: 2 1/2" x 2 1/2" x 1/4" L Hanger
 - Fourth slab: 2 1/2" x 2 1/2" x 1/4" L Hanger
 - Fifth slab: 2 1/2" x 2 1/2" x 1/4" L Hanger
 - Sixth slab: 2 1/2" x 2 1/2" x 1/4" L Hanger
 - Seventh slab: 2 1/2" x 2 1/2" x 1/4" L Hanger
 - Eighth slab: 2 1/2" x 2 1/2" x 1/4" L Hanger
 - Ninth slab: 2 1/2" x 2 1/2" x 1/4" L Hanger
 - Bottom slab: 2 1/2" x 2 1/2" x 1/4" L Hanger
- Other notes:
 - 2" Slab on 4# - 3/8" Rib-lath
 - Integral finish
 - Elevation of floor + 2 27 1/2"
 - Top E1. 5" E. 227-3"
 - Top E1. 4" I3. 235-9"

PLAN OF PICTURE BOOTH FLOOR.

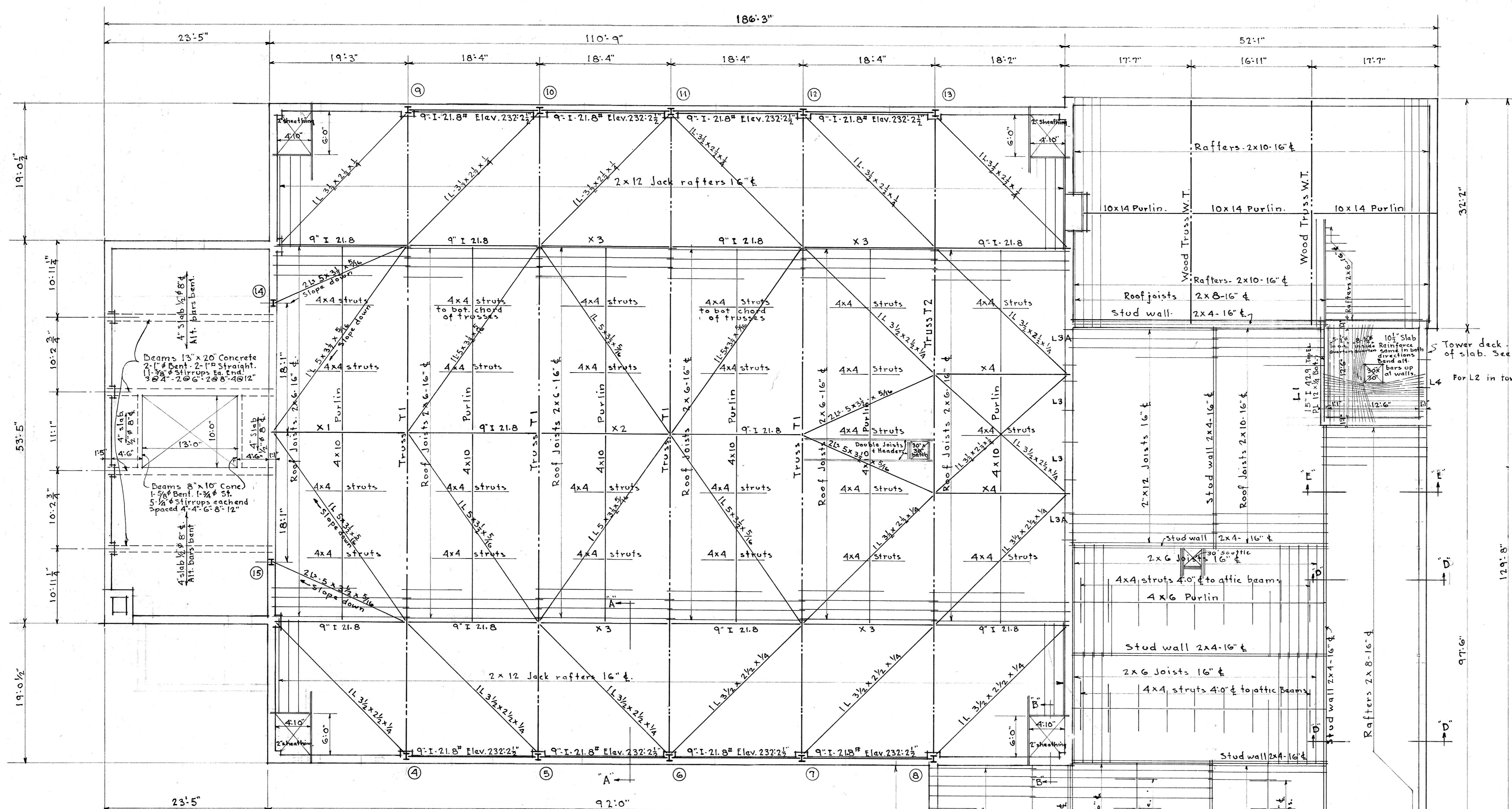
PLAN OF PICTURE BOOTH CEILING.

TYPICAL DETAIL OF END OF ALL ATTIC
BEAMS BEARING ON EXTERIOR WALLS.
Scale $\frac{1}{2}$ " = 1:0"

scale $1\frac{1}{2}'' = 1:0$

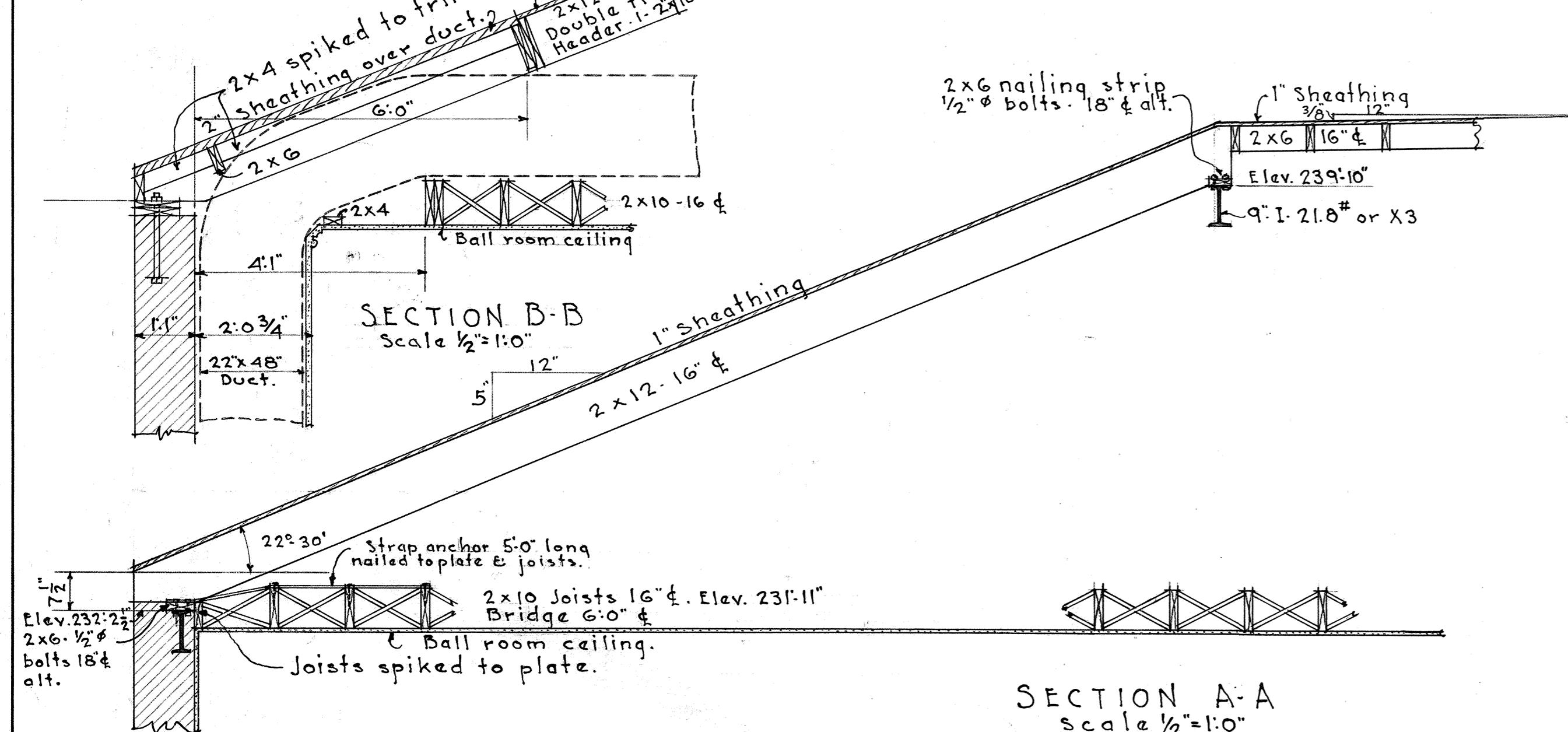
SECTION D.D.
Scale 1" = 100'

SECTION C-C
Scale 1"=10"

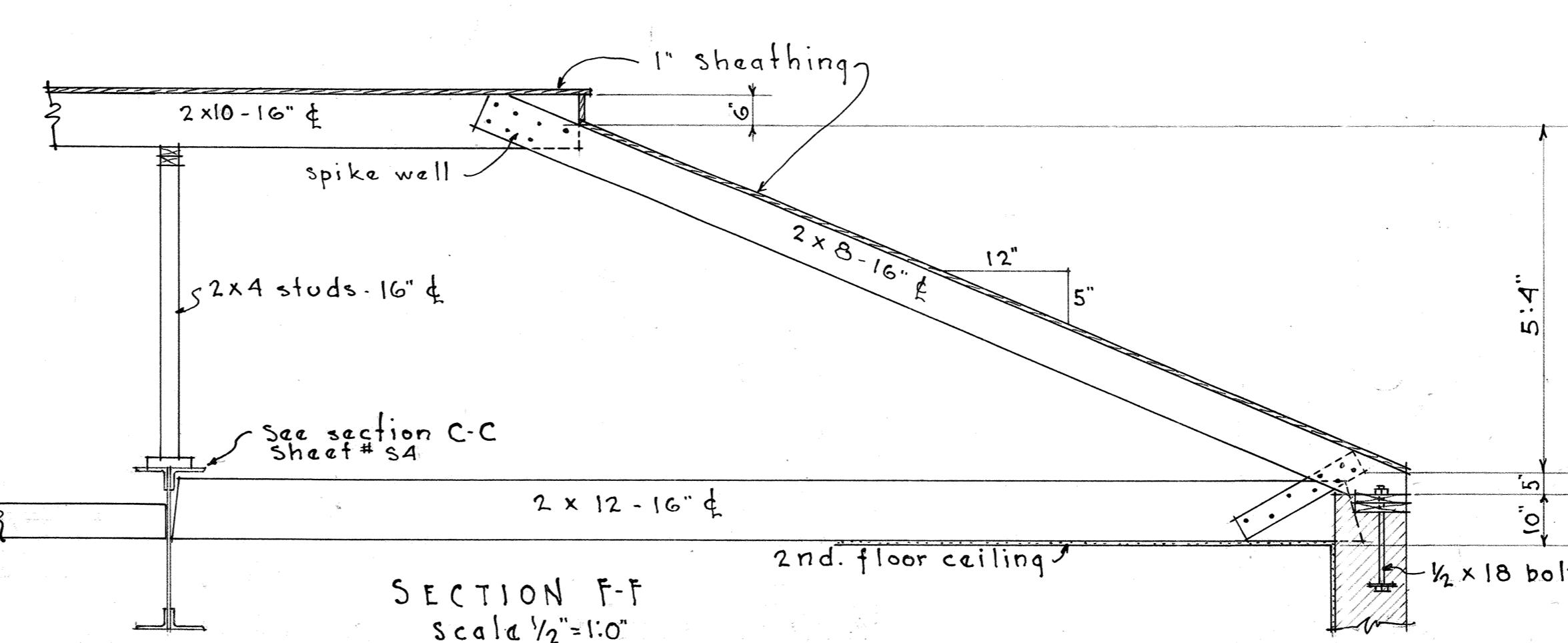
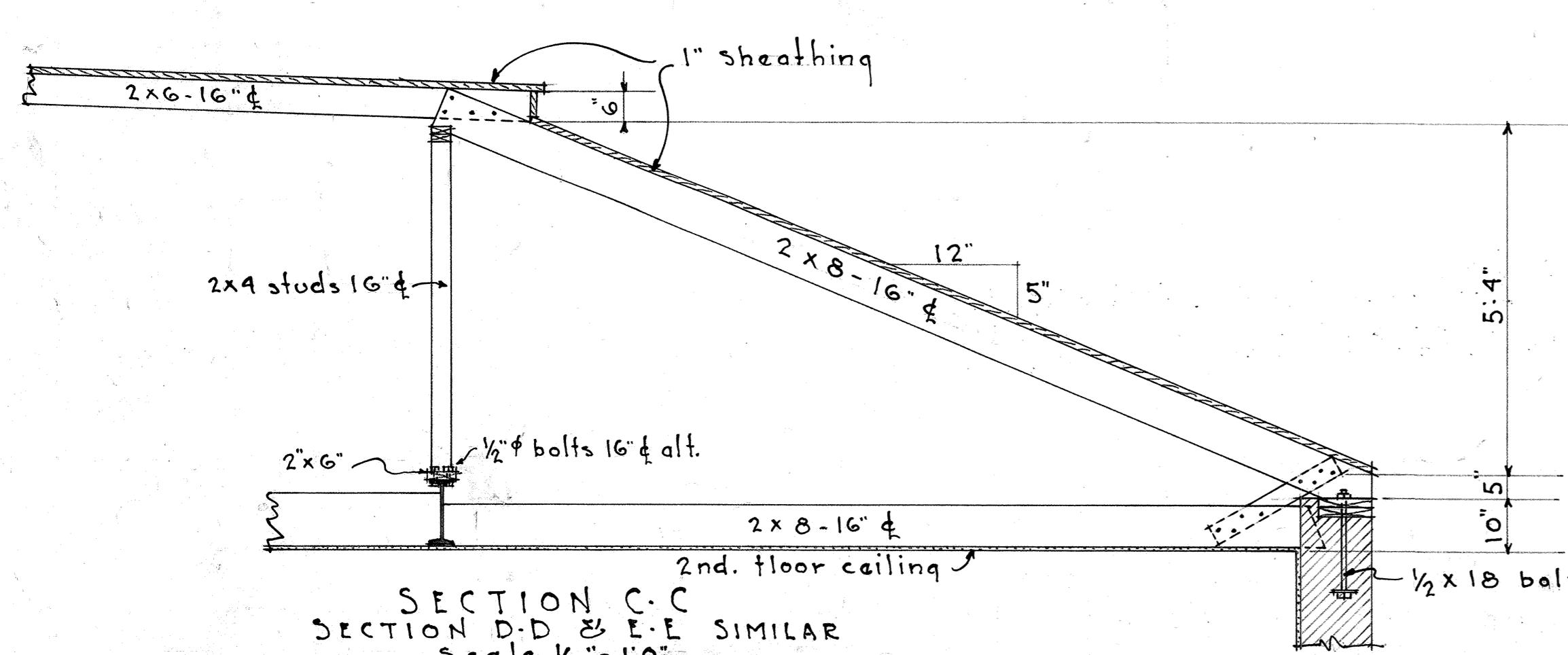


ROOF FRAMING PLAN

Scale $\frac{1}{8}$ = 1:0



SECTION A-A
scale $\frac{1}{2}$ = 1:0

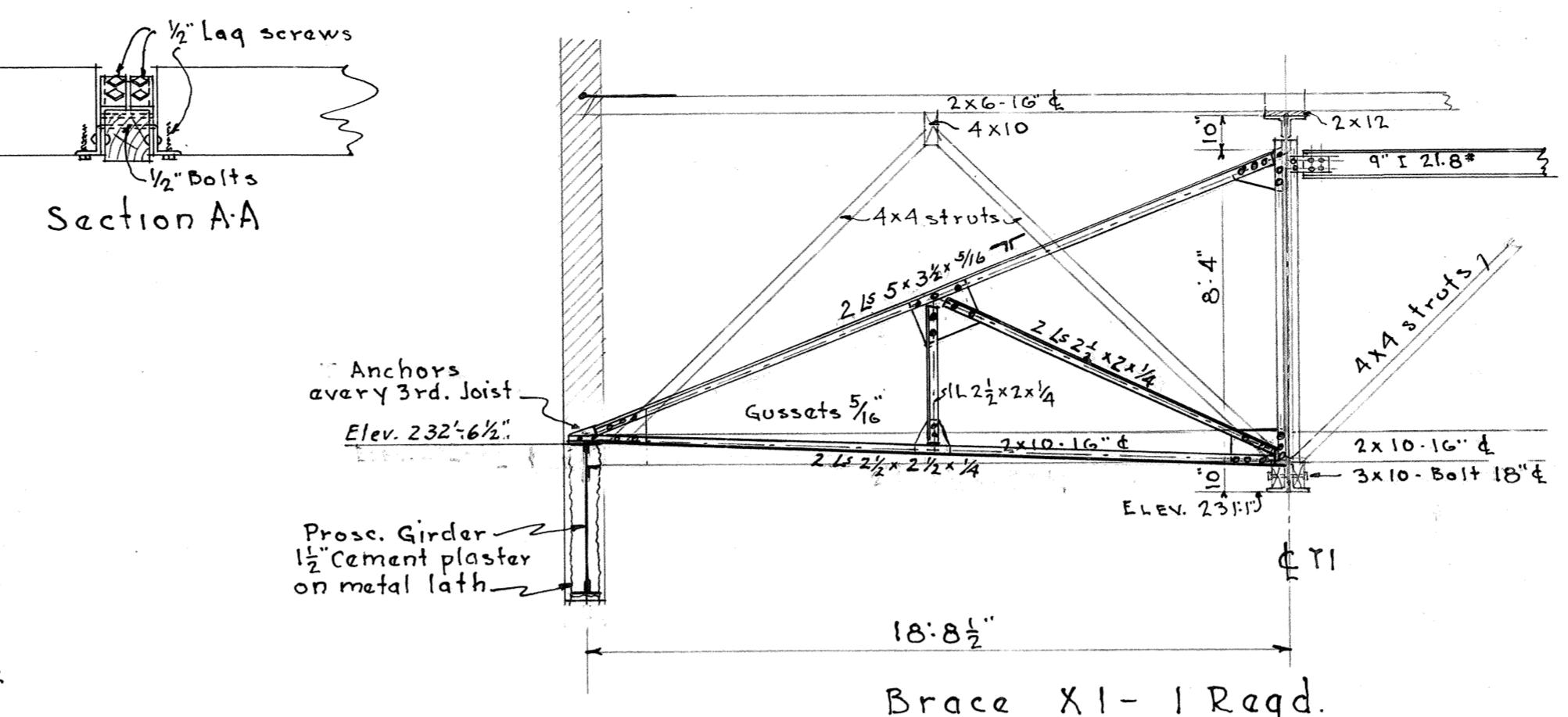
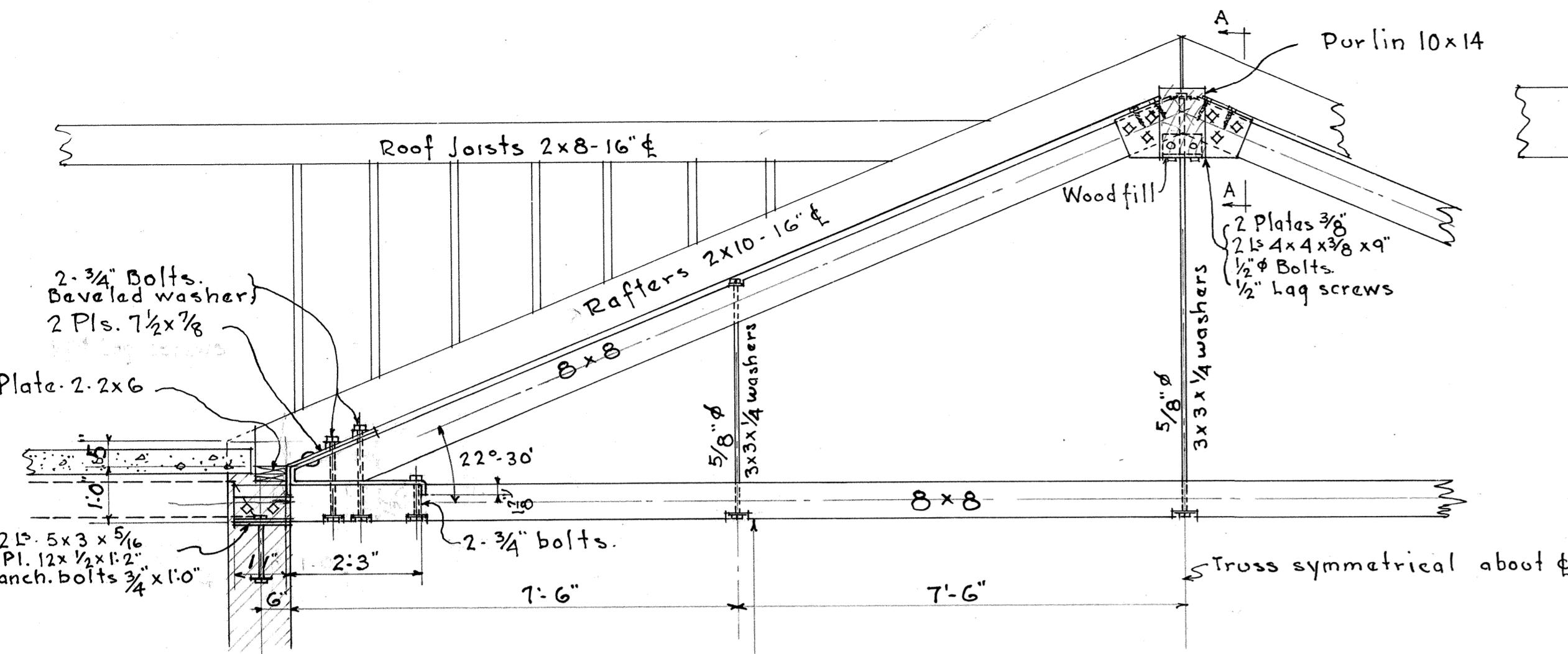


DATE
Apr. 30, 28
MAY 1, 28

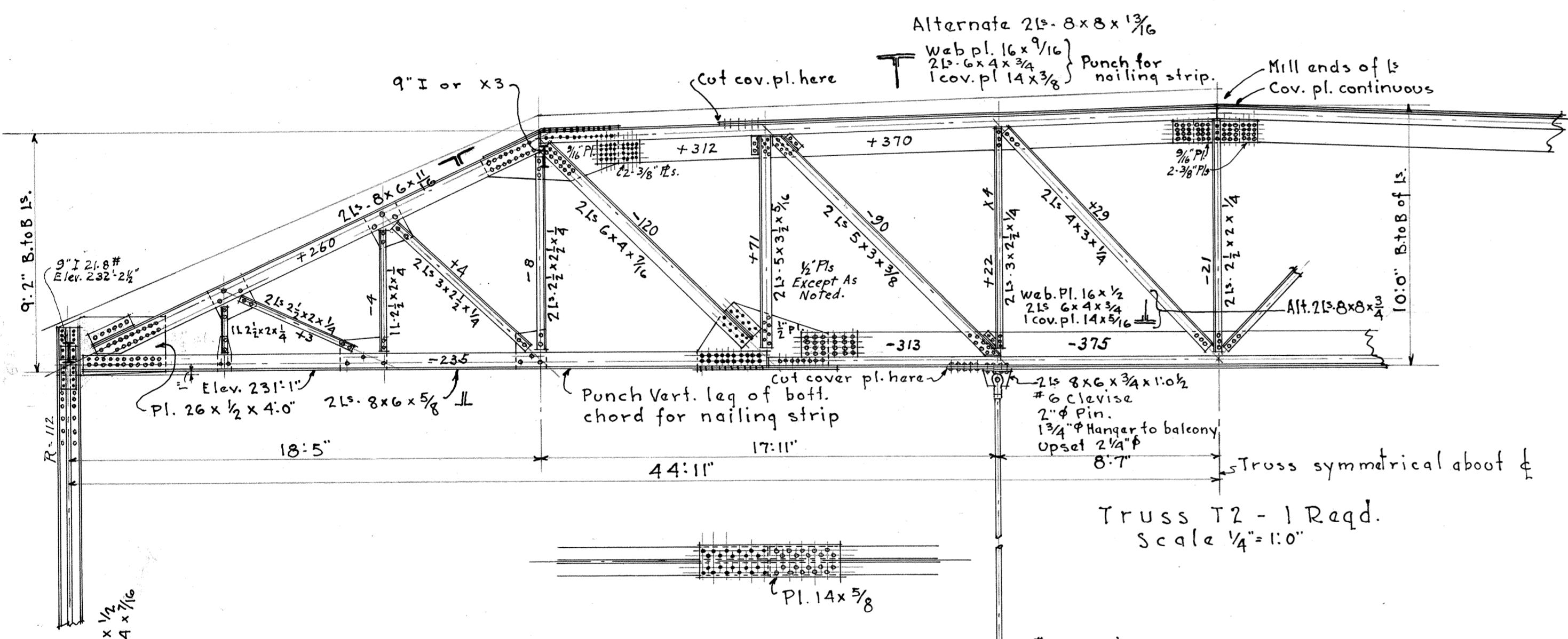
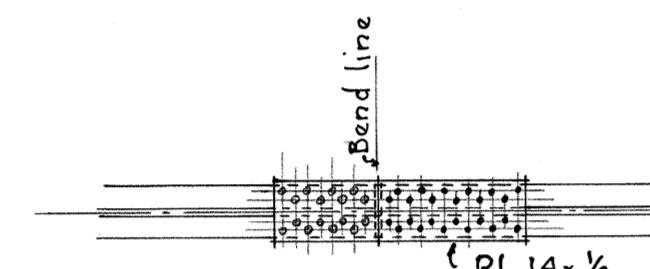
CHECKED
June 6, 28

BUILDING FOR
EL JEBEL SARINE
COUNTRY HOME
WILLIAM N. BOWMAN COMPANY
T. ROBERT WIEGER
ASSOCIATED ARCHITECTS
DENVER - COLORADO

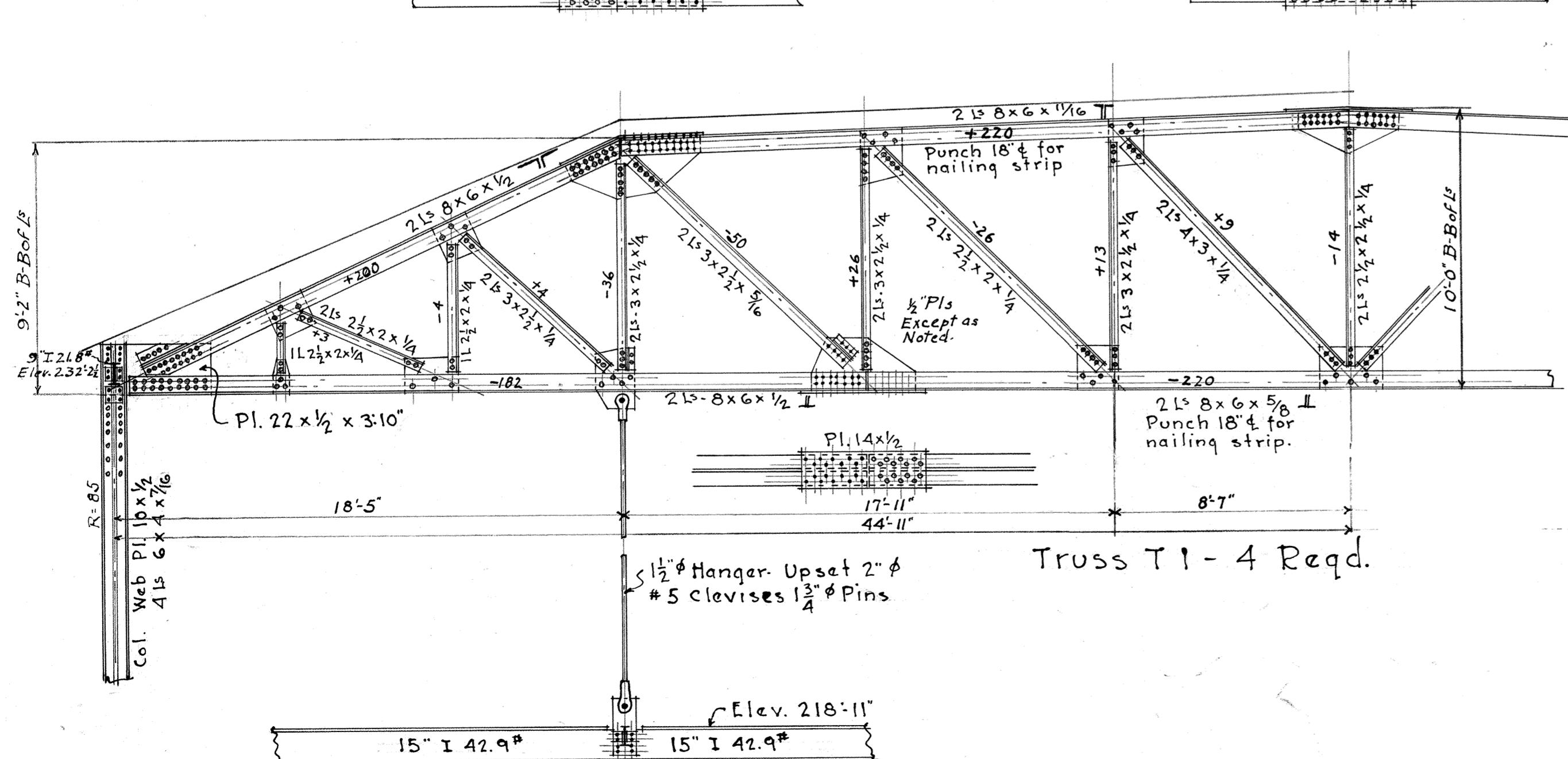
S5
826



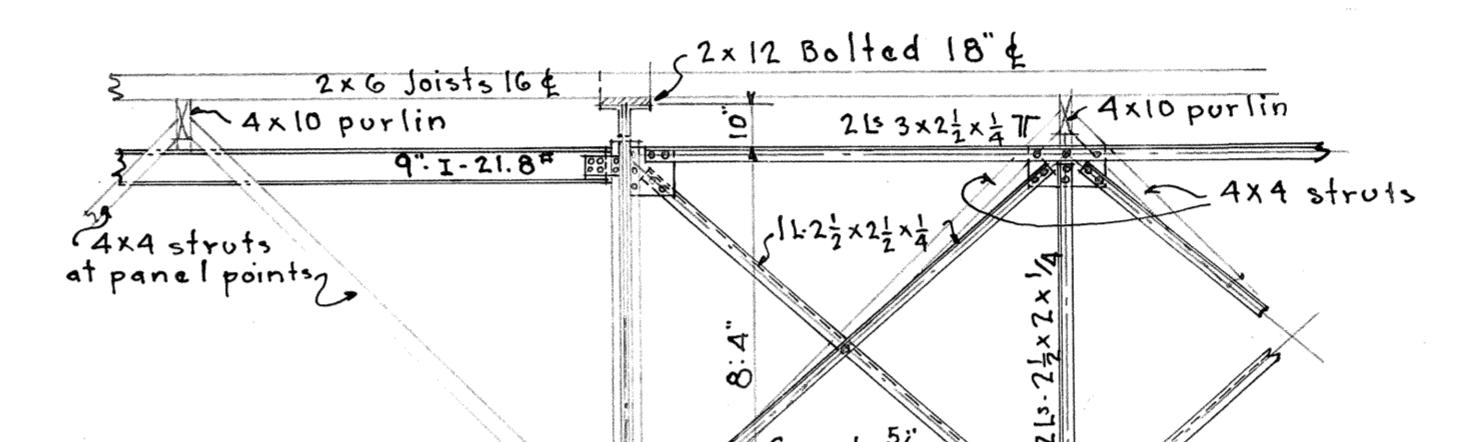
TRUSS W.T. - 2 Rqd.
Scale $1/2$ = 1:0"



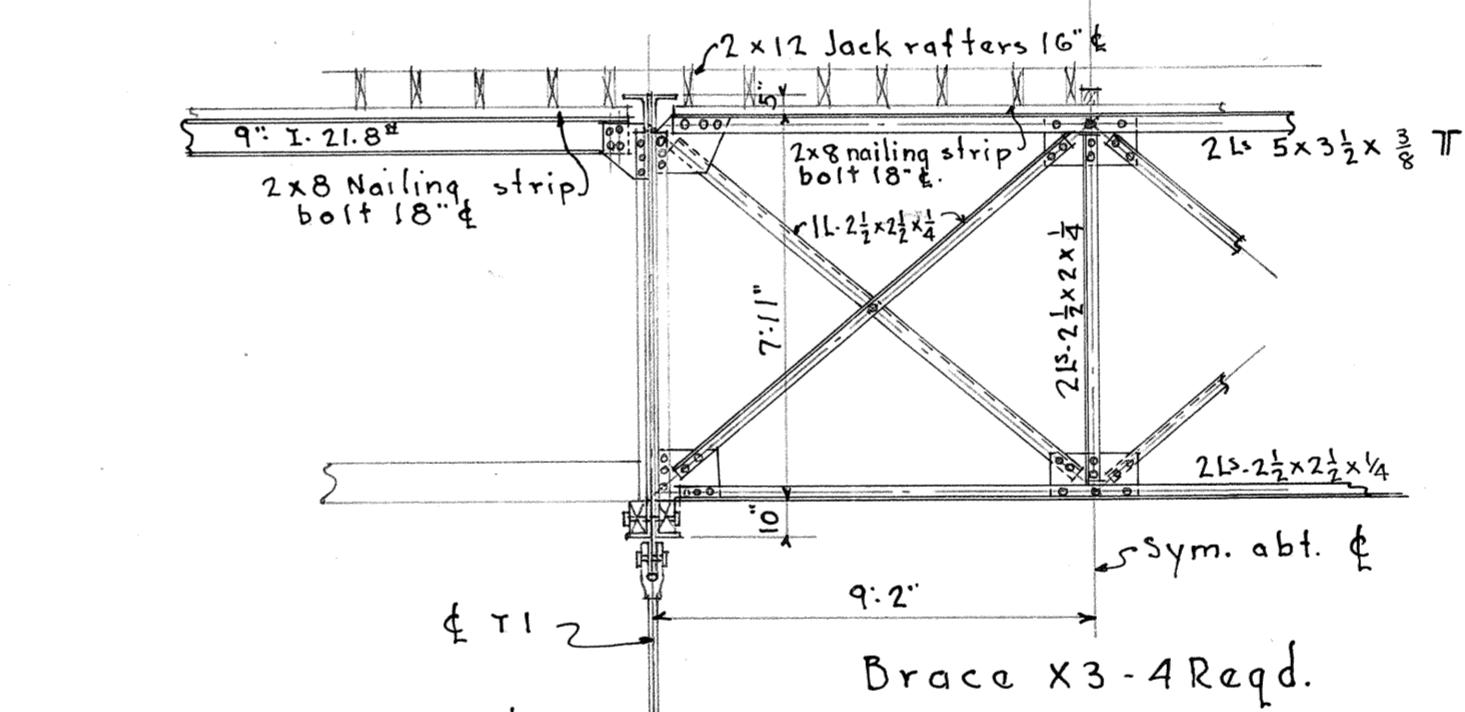
Truss T2 - 1 Rqd.
Scale $1/4$ = 1:0"



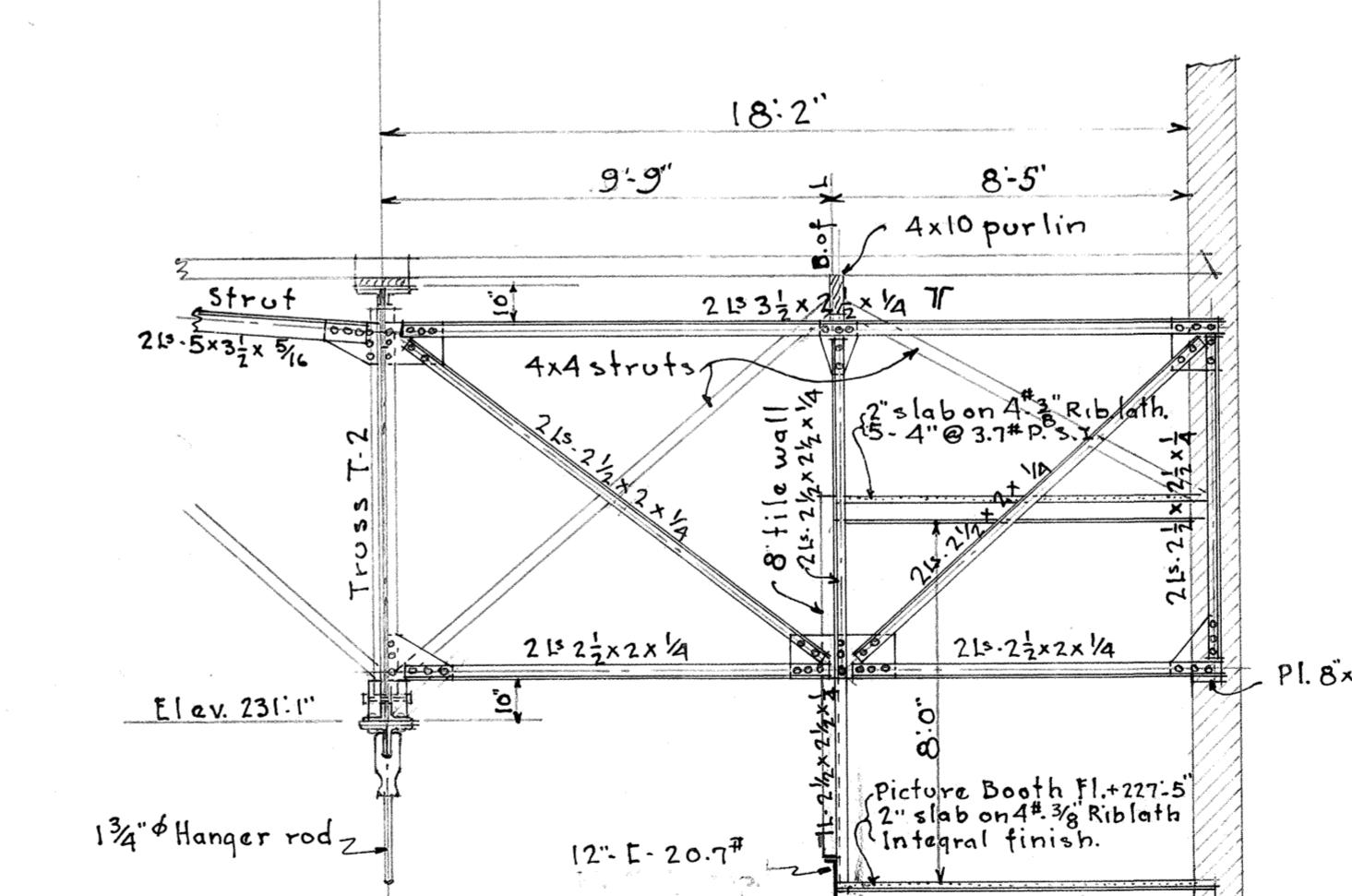
Truss T1 - 4 Rqd.



Brace x2 - 1 Rqd.



Brace x3 - 4 Rqd.



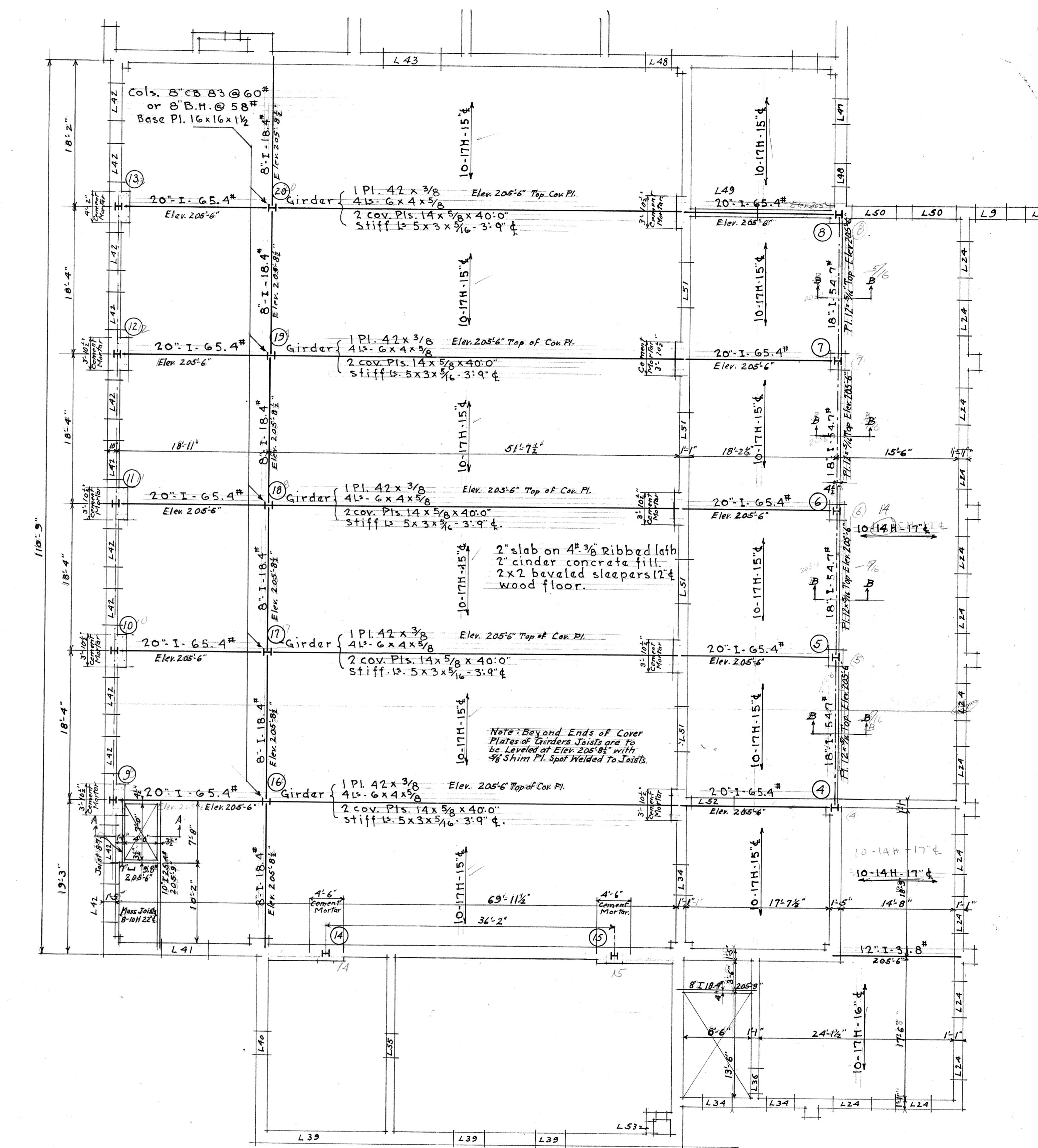
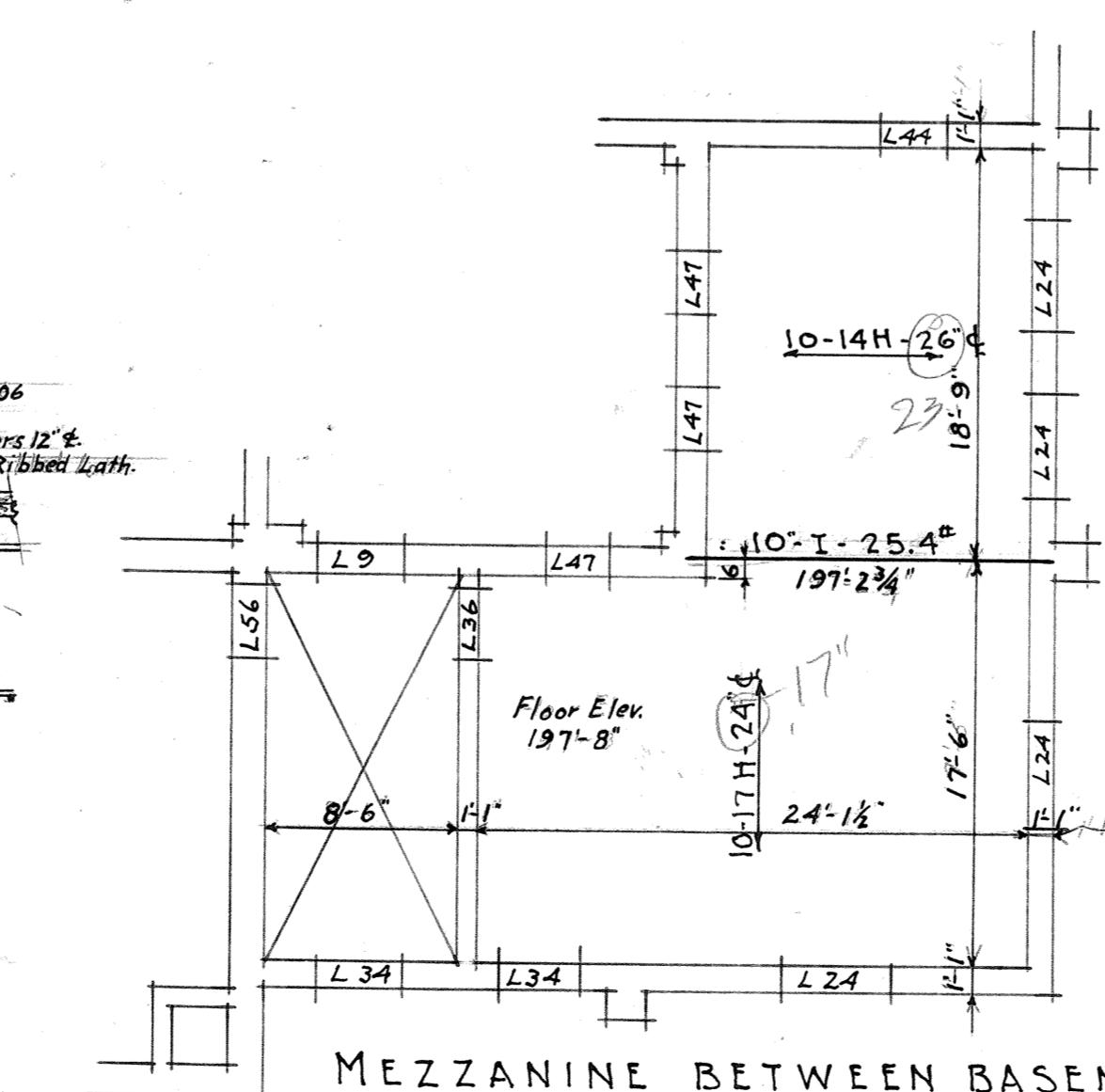
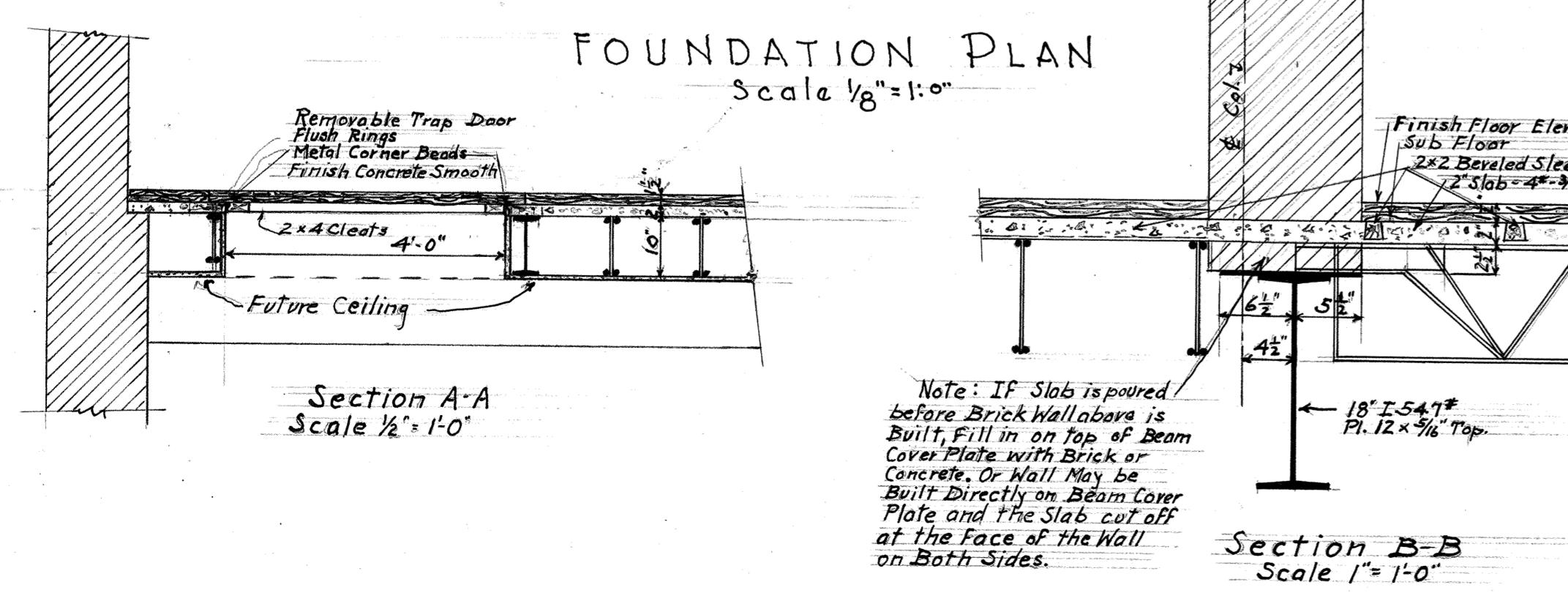
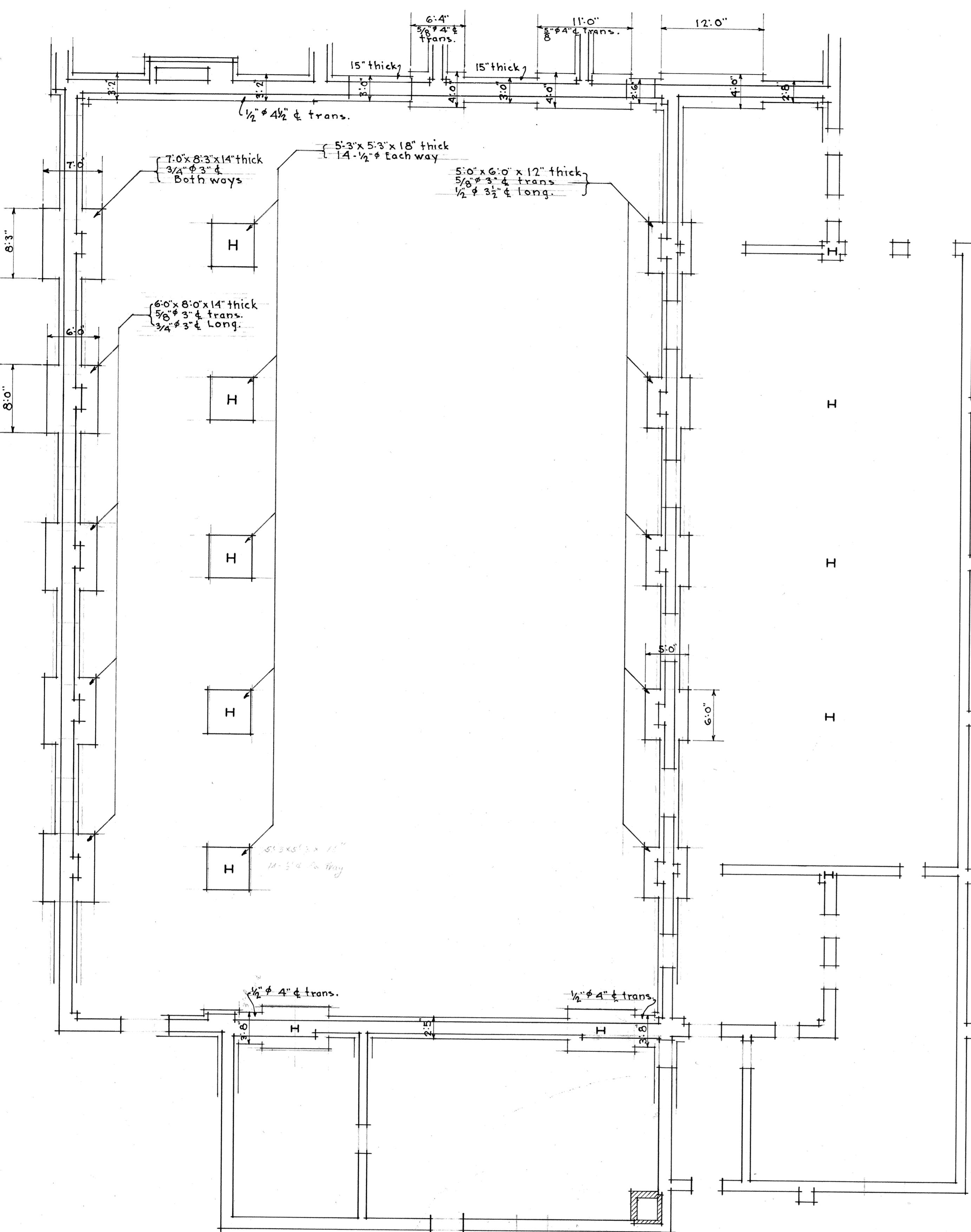
Cross Brace x4 - 2 Rqd.
Scale $1/4$ = 1:0"

COLUMN NUMBER	1	2	3	16-17-18-19-20	9-10-11-12-13	14-15	4-5-6-7-8
	16-17-18-19-20	9-10-11-12-13	14-15	4-5-6-7-8			
ELEV. TOP OF COLUMNS	+ 231-11 1/2"	+ 231-1 1/2"					+ 232-11"
2ND. FL. ELEV. 219 1/4							+ 232-6 1/2"
1ST. FL. ELEV. 206 0	8' H - 37.7"	8' H - 37.6"	+ 218-10 1/4"				
	8' CO 83 @ 48"	8' CO 83 @ 48"					
	or 8' BH @ 48.5"	or 8' BH @ 48.5"					
BASE PLATE SIZE	20x20x2	18x20x2	15x14x1 1/4	15x14x1 1/4	20x20x2	14x18x1 1/4	24x21x2 1/2
ELEVATION TOP OF BASE SLAB	+ 191-8"	+ 191-8"	+ 187.8"	+ 184.8"	+ 202.0"	+ 204.6"	+ 187.8" Cols 56-7-8-7-8-6" Col. 4

Mark No	Ref.	Section.	LINTEL SCHEDULE		
			Op. Size	End Bear.	Remarks.
L57	1	Wood Lintel.	2'-10"		
L56	1	5'-4 1/2x3 1/2x4	3'-4"	6"	
L55	1	3 1/2x3 1/2x4	5'-4"	8"	
L54	1	2-10' B 25.4"	5'-8"	1'-0" AR	I-1 G.P. Sep 18 24.
L1	1	9' I 21.8" BOTT.	8'-0"	8"	I
L2	8	2 1/2x3 1/2x4	3'-1"	6"	See sheet 9
L3	2	3 1/2x5 3/4x6 1/2	3'-2 1/2"	6"	
L4	1	BRICK ARCH	3'-10"		See detail Sh. 9
L5	48	BRICK ARCH	4'-8"		
L6	1	2 1/2x3 1/2x4	5'-6"	6"	See detail Sh. 9
L7	1	12' I 40.8" BOTT.	14'-0"	10"	See detail Sh. 9
L8	13	BRICK ARCH	5'-8"		See detail Sh. 9
L9	28	4 1/2x3 1/2x4	3'-10"	8"	
L10	1	3 1/2x3 1/2x4	3'-0"	6"	
L11	3	12x8 CONCRETE	3'-0"	6"	
L12	2	3 1/2x3 1/2x4	5'-8"	6"	
L13	4	3 1/2x3 1/2x4	3'-4"	6"	
L14	1	3 1/2x3 1/2x4	6'-8"	6"	
L15	1	10'-2 1/2x4" BOTT. I	6'-2"	8"	12'-L 20.7" Jamb.
L16	4	4 1/2x3 1/2x4	3'-4"	6"	
L17	1	BRICK ARCH	12'-0"		
L18	3	BRICK ARCH	9'-8 1/2"		
L19	2	BRICK ARCH	11'-1"		
L20	1	BRICK ARCH	12'-3"		
L21	4	3 1/2x3 1/2x4	11'-6"	6"	
L22	2	4 1/2x3 1/2x4	1'-6"	6"	
L23	18	Brick Arch	7'-4"		
L24	18	3 1/2x3 1/2x4	4'-8"	8"	
L25	7	Brick Arch	12'-2"		
L26	4	3 1/2x3 1/2x4	2'-0"	6"	
L27	4	3 1/2x3 1/2x4	3'-10"	6"	
L28	1	2 1/2x3 1/2x4	3'-10"	8"	
L29	3	Brick Arch	See plan		
L30	2	3 1/2x3 1/2x4	7'-4"	8"	12'-E 20.7" Jamb.
L31	2	2 1/2x3 1/2x4 BOTT.	6'-2"	8"	
L32	1	6' I 18.4"	12'-0"	8"	
L33	1	3 1/2x3 1/2x4	6'-10"	8"	
L34	8	3 1/2x3 1/2x4	3'-10"	6"	
L35	1	4 1/2x3 1/2x4	7'-4"	8"	
L36	3	3 1/2x3 1/2x4	3'-4"	6"	
L37	1	4 1/2x3 1/2x4	3'-10"	8"	
L38	1	2 1/2x3 1/2x4	6'-2"	8"	2 1/2x3 1/2x4 Jamb.
L39	3	5 1/2x3 1/2x4	3'-10"	8"	
L40	1	5 1/2x3 1/2x4	2'-6"	6"	
L41	5	4 1/2x5 3/4x6 1/2	5'-8"	8"	
L42	12	4 1/2x5 3/4x6 1/2	4'-8"	8"	
L43	1	4 1/2x6 4x6 1/2	7'-4"	8"	
L44	2	3 1/2x3 1/2x4	2'-10"	6"	
L45	2	4 1/2x3 1/2x4	2'-4"	6"	
L46	1	4 1/2x3 1/2x4	5'-10"	8"	
L47	4	4 1/2x3 1/2x4	2'-10"	6"	
L48	2	4 1/2x3 1/2x4	3'-4"	6"	
L50	2	4 1/2x6 4x6 1/2	5'-8"	8"	
L51	4	3 1/2x5 3/4x6 1/2	5'-8"	8"	
L53	1	2 1/2x3 1/2x4	2'-9"	6"	

DATE APRIL 30 28
MAY 31 28
WILLIAM N. BOWMAN COMPANY
T. ROBERT WIEGER
ASSOCIATED ARCHITECTS
DENVER - COLORADO

S6
826



FIRST FLOOR FRAMING PLAN

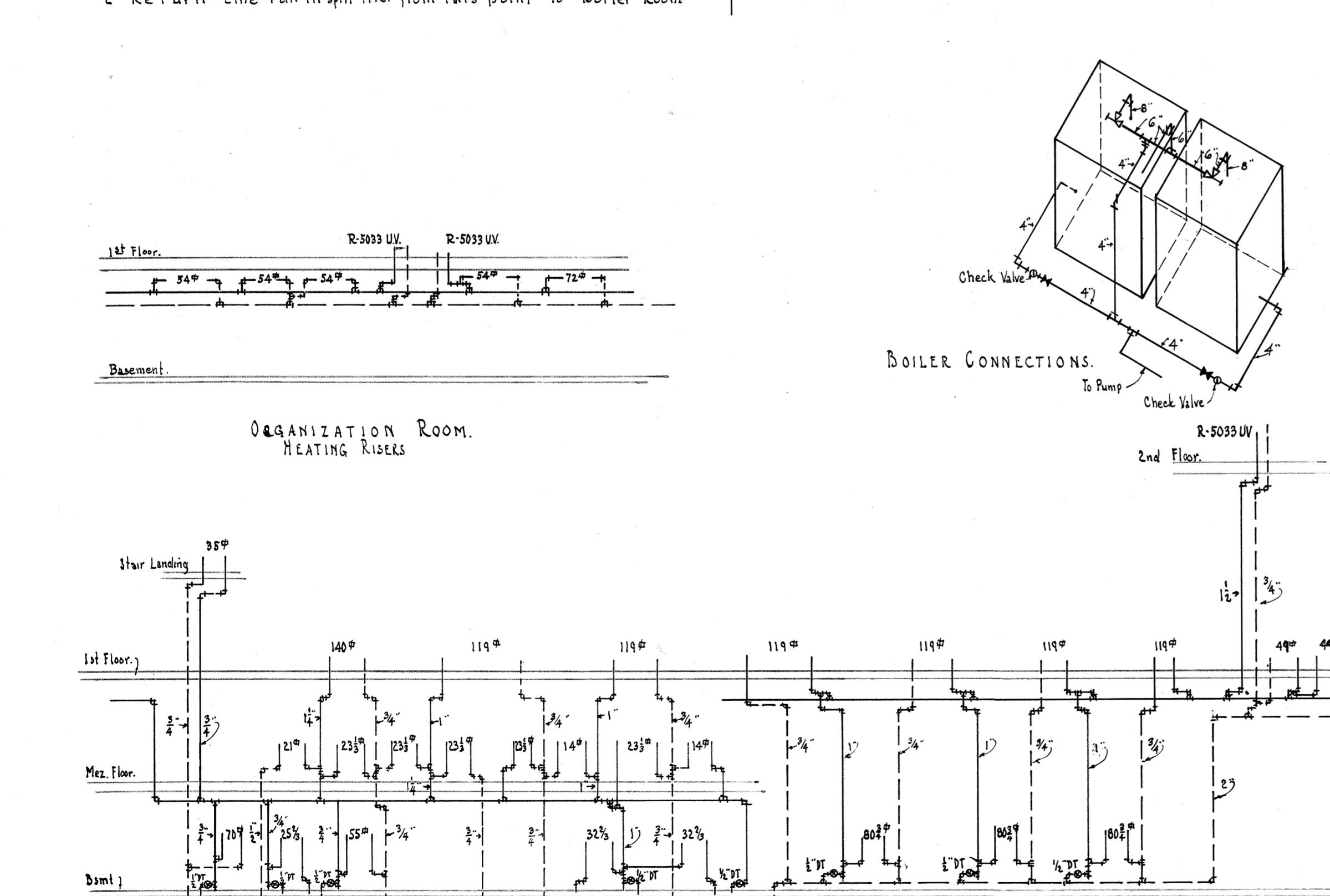
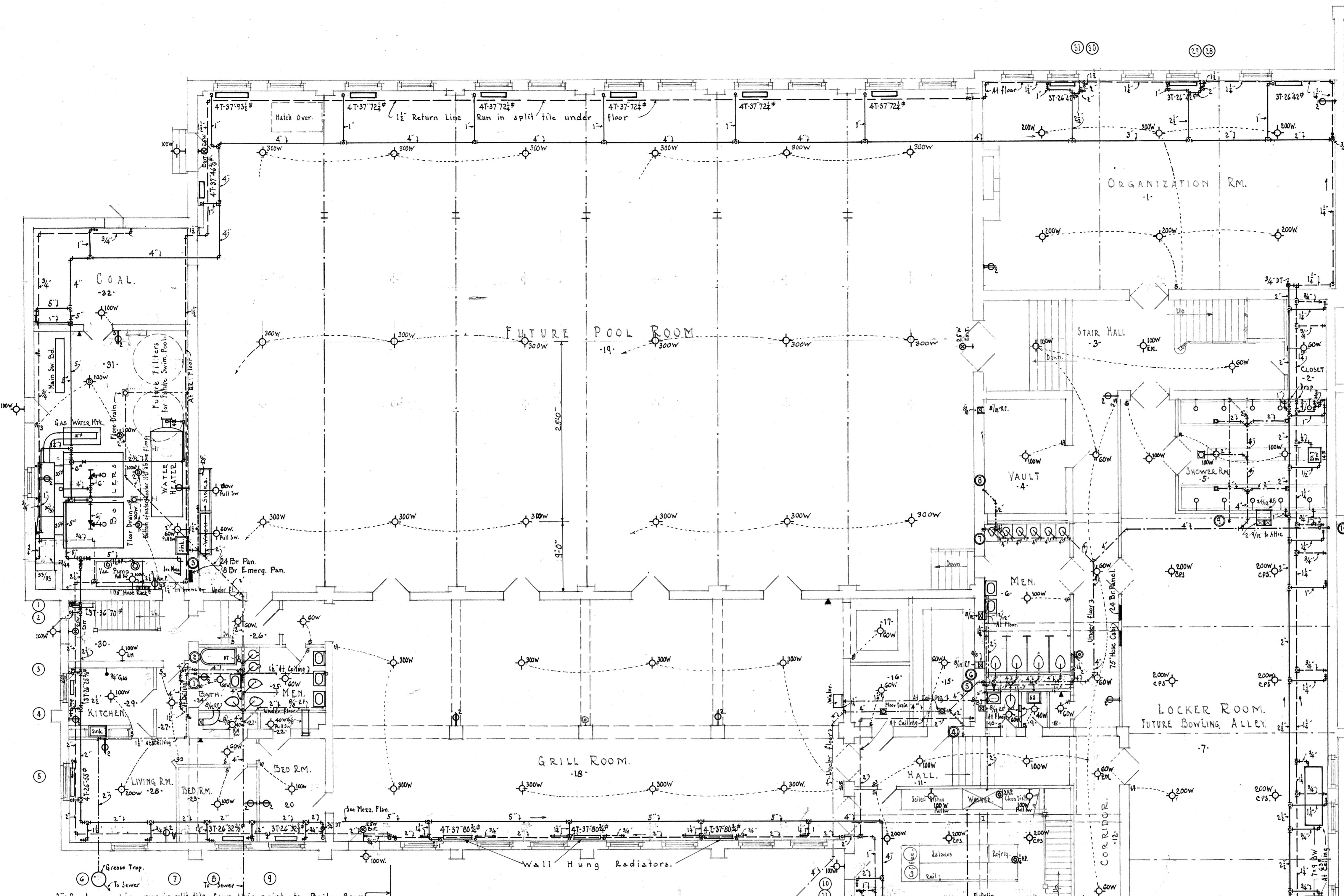
Scale $\frac{1}{8}$ " = 1'-0"

ALTERNATE FOR CONCRETE FLOOR IN BALLROOM

DATE Apr. 30, 28 MAY 31, 28	BUILDING FOR EL JEBEL SHRINE COUNTRY HOME <hr/> WILLIAM N. BOWMAN COMPANY T. ROBERT WIEGER ASSOCIATED ARCHITECTS DENVER & COLORADO
CHECKED	

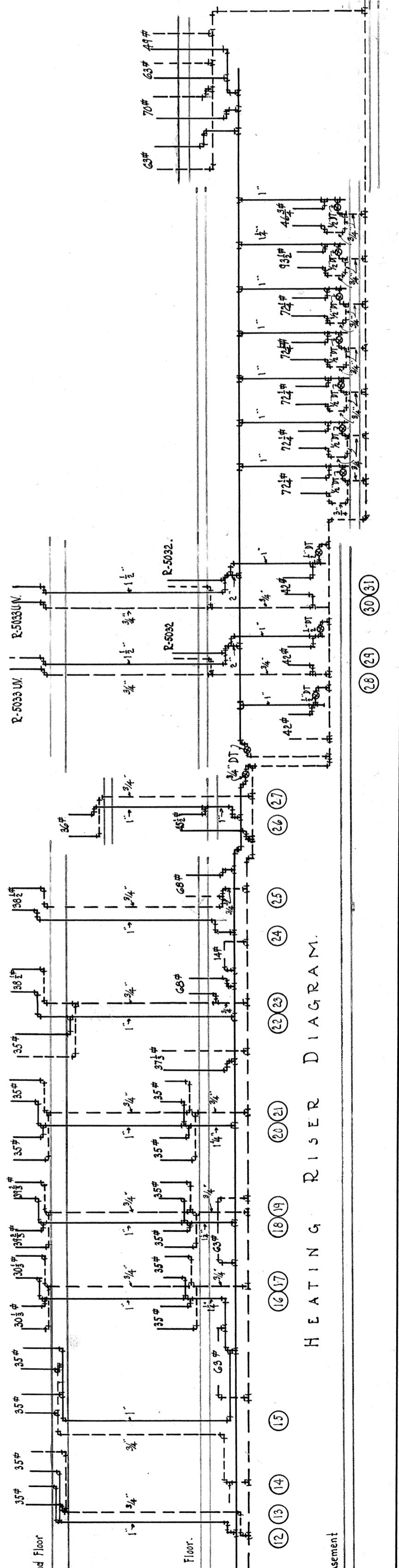
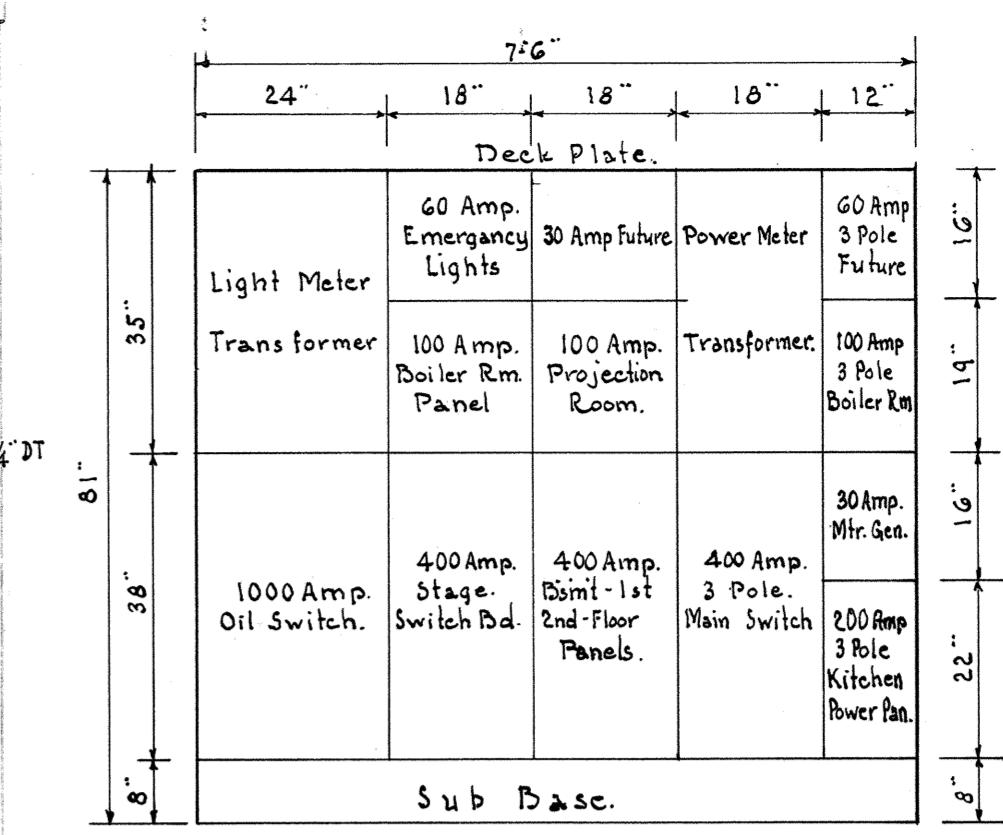
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ELECTRICAL SYMBOLS	
◆	Ceiling Outlet
◆	Wall Bracket Outlet
◆	Emergency Outlet
◆	Drop Cord
◆	Double Convenience Outlet
◆	Exit Light (EM Circuit)
◆	Local Switch
◆	3 Way Switch
◆	Light Panel
◆	Power Panel
◆	Ceiling Pull Switch
◆	Telephone outlet
◆	Motor
◆	Univent Outlet
◆	Floor Outlet



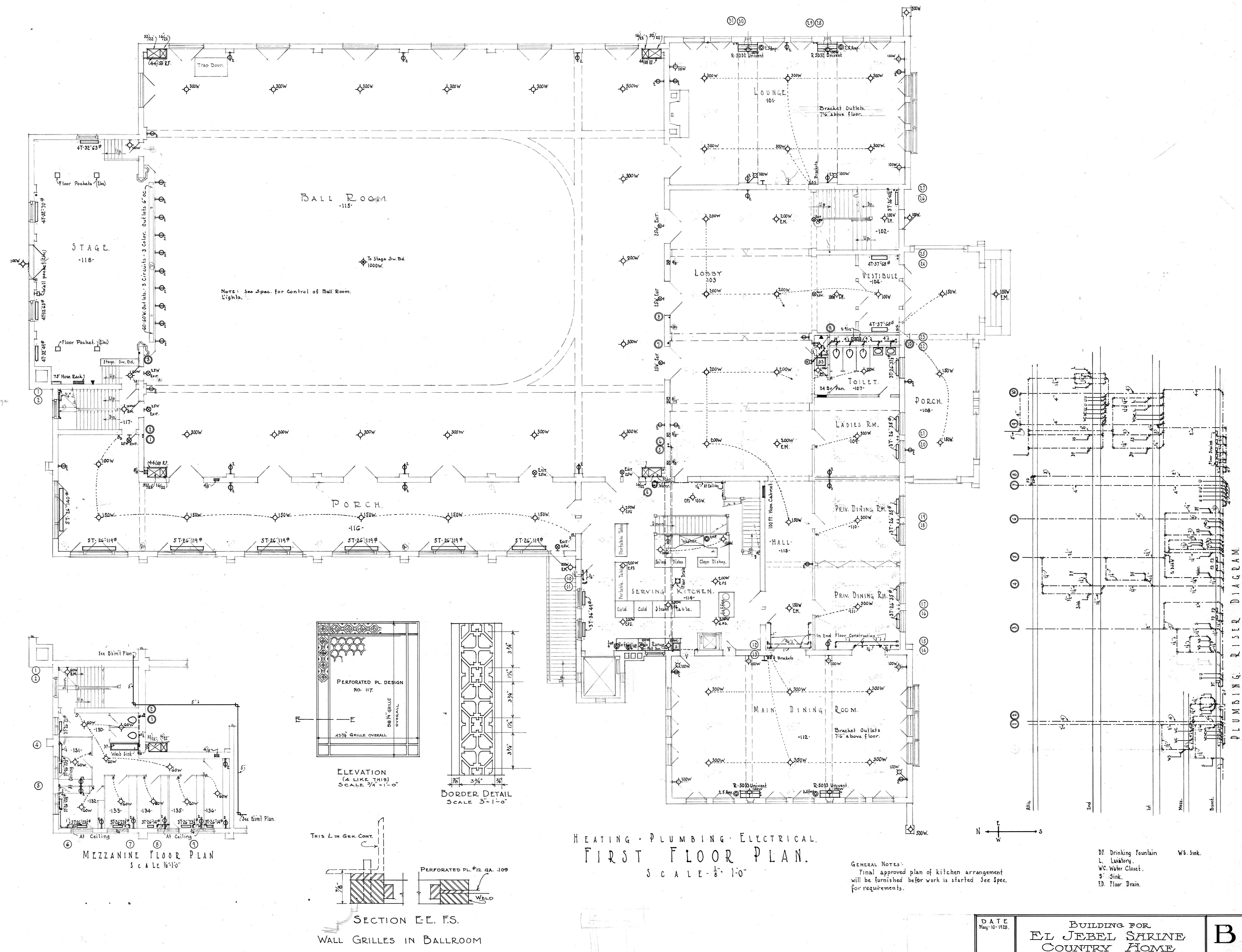
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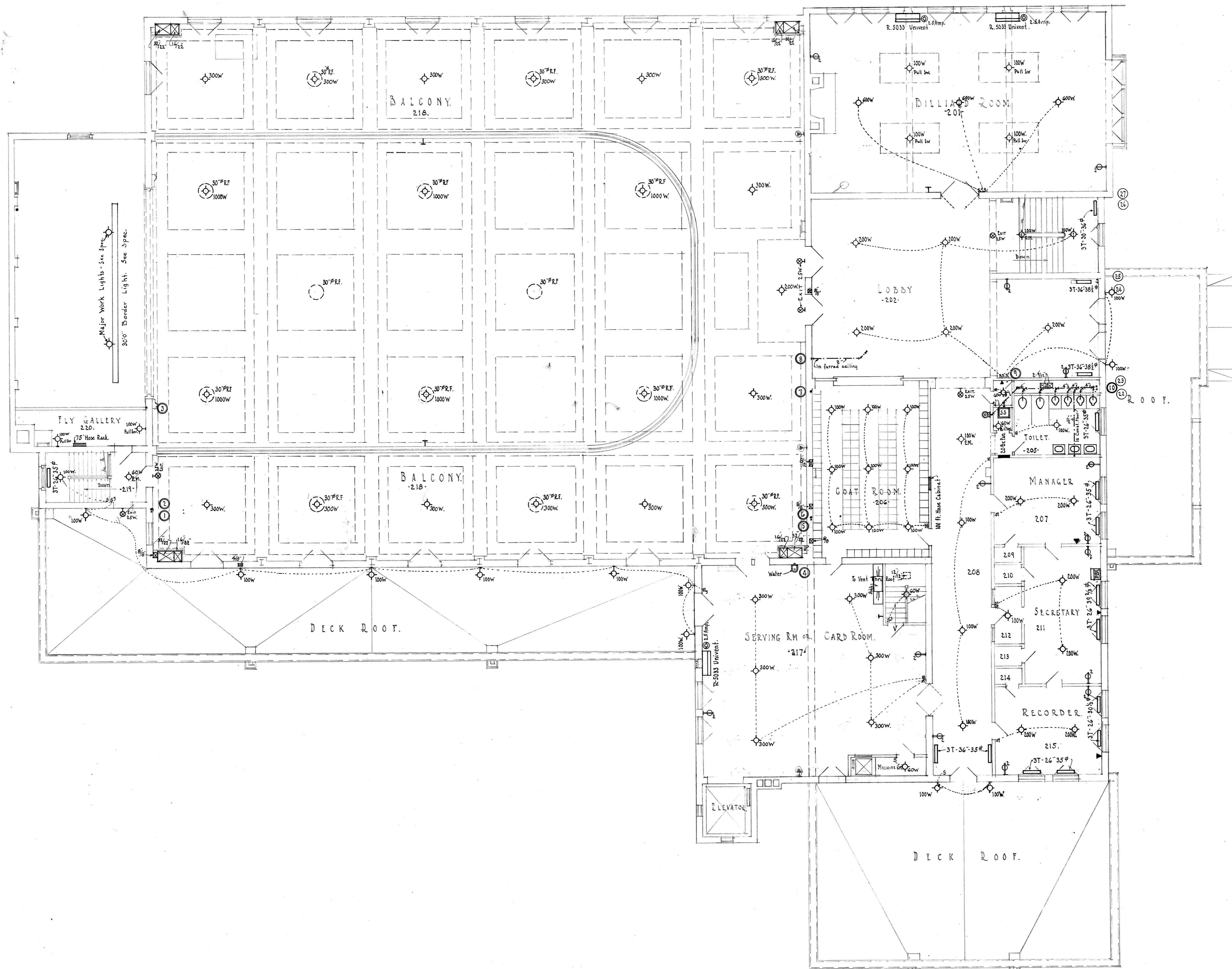
HEATING PLUMBING ELECTRICAL
BASEMENT PLAN
Scale 1:8 = 1'-0"



DATE May 10-1928
CHECKED June 6-1928
BUILDING FOR
EL JEBEL SARINE
COUNTRY HOME
WILLIAM N. BOWMAN COMPANY
T. ROBERT WIEGER
ASSOCIATED ARCHITECTS
DENVER COLORADO

A
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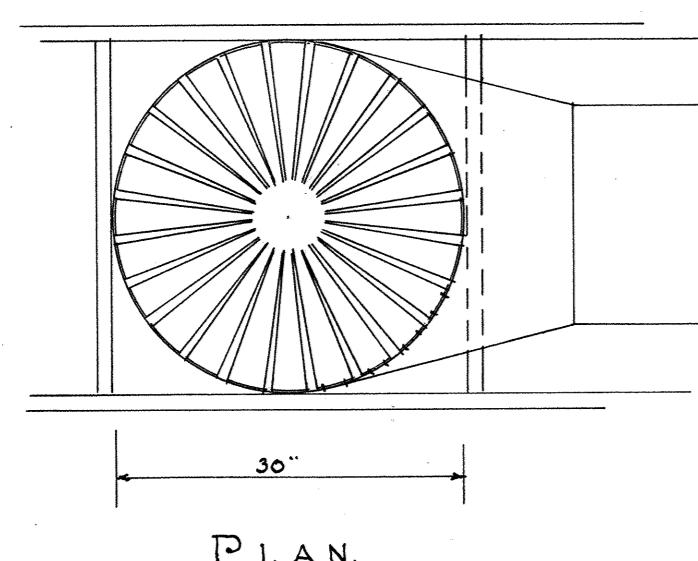
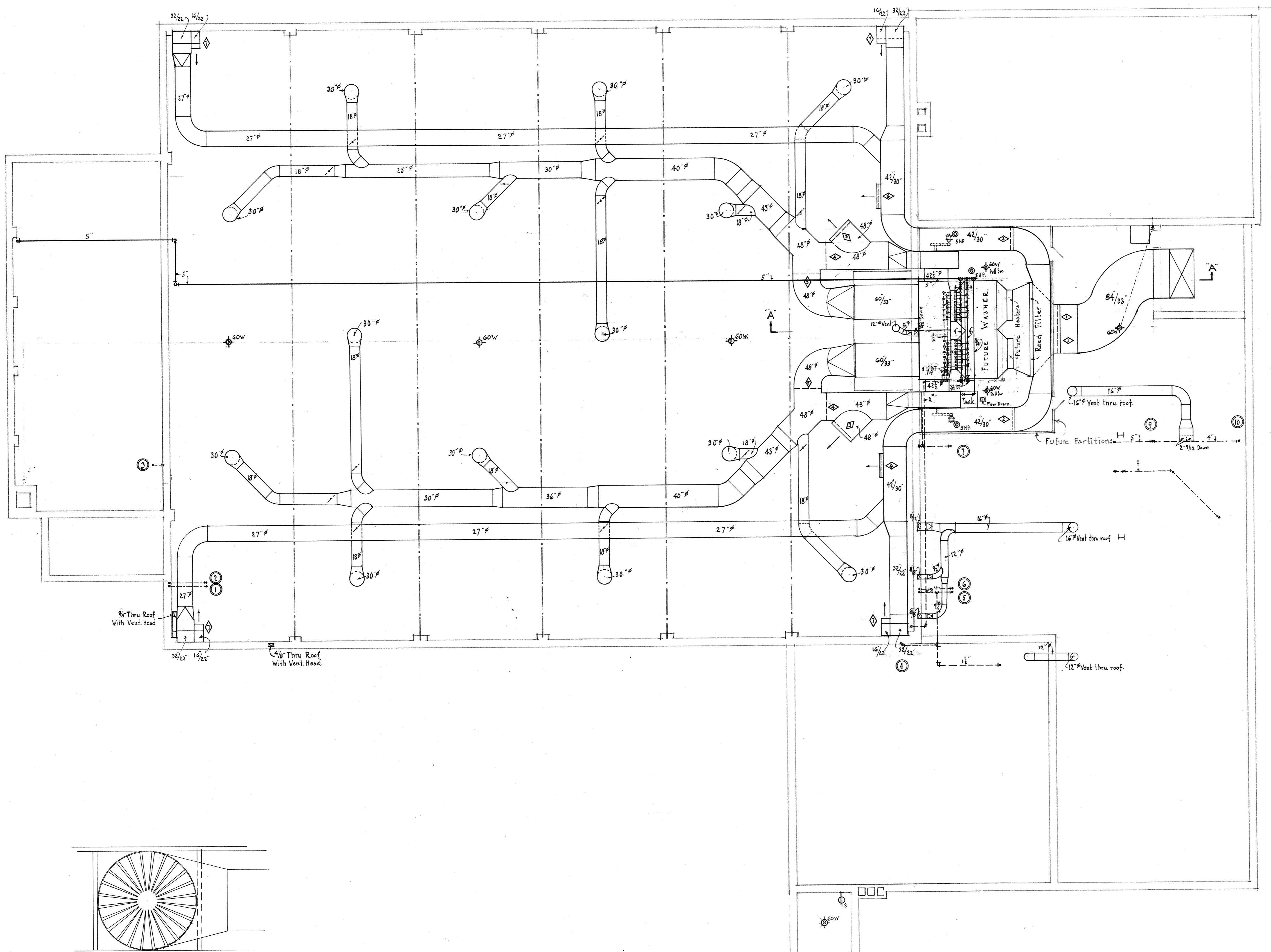




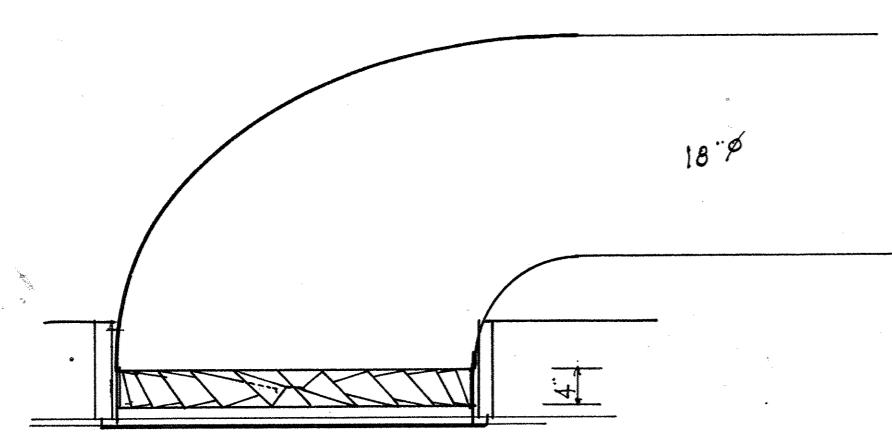
HEATING - PLUMBING - ELECTRICAL.
SECOND FLOOR PLAN.
SCALE - $\frac{1}{8}$ - 1'-0"

N  S.

DATE May - 10 - 1928	BUILDING FOR EL JEBEL SHRINE COUNTRY HOME
CHECKED June 6 1928	WILLIAM N. BOWMAN COMPANY T. ROBERT WIEGER ASSOCIATED ARCHITECTS DENVER - COLORADO
	C 826



PLAN



SECTION

SPECIAL DIFFUSERS.
USE ON ALL AUDITORIUM CEILING SUPPLY INLETS.

Blades to be pitched 45°
Blades to be riveted to casing
Blades and Casing to be 20ga. G.I.
Duct to be 22ga. G.I.

HEATING • PLUMBING • ELECTRICAL • ATTIC • PLAN •

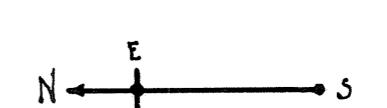
S C A L E - $\frac{1}{8}$ = 1:0

DUCT OPERATION:-

- Normal Heating & Ventilation - Damper No 1 partly open.
Dampers No. 2-4-7 Open. Dampers No. 3-5-6 Closed.
- Ventilation only - Dampers No. 1-4-6-7 Open. Dampers No 2-3-5 Closed.
- Heating only - Dampers No 2-4 Open. Dampers No. 1-3-5-6-7 Closed
- Positive Ventilation. Dampers No 3-5 Open
Dampers No 1-2-4-6-7 Closed.

MOTOR OPERATED DAMPERS.

No 1 - 4 Blade Louvre.	No 5 - Rotary.
No 2 - 3 Blade Louvre.	No 6 - 3 Blade Louvre.
No 3 - Rotary.	No 7 - 2 Blade Louvre.
No 4 - Rotary.	



P A T

May - 10 -

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BUILDING FOR
EL JEBEL SARINE
COUNTRY HOME
+ + + + +
WILLIAM N. BOWMAN COMPANY
T. ROBERT WIEGER
ASSOCIATED ARCHITECTS
DENVER & COLORADO

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