



APPLICATION

FOR ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT-OF-WAY

An Encroachment Permit is required prior to placing privately-owned improvements ("Encroachment" or "Encumbrance") in the public Right-of-Way (ROW). Only Encroachment Permit Applications in accordance with Rules and Regulations and Permit Entrance Requirements for Encroachments in the Public Right-of-Way will be considered by the Department of Transportation & Infrastructure (DOTI). **It is the City's sole discretion whether to grant an Encroachment Permit based on any facts the City feels are relevant. Approval is not guaranteed.**

To apply, complete this application and submit together with required application materials in accordance with the Permit Entrance Requirements to DOTI.ER@denvergov.org. Please type or print clearly. If necessary, attach additional sheets to fully answer any of the following sections. Incomplete applications packages will not be accepted. Questions on this application or the process can be sent to DOTI.ER@denvergov.org.

ENCROACHMENT OWNER/ADJACENT PROPERTY OWNER:

The adjacent property owner will be the Encroachment Owner and Permittee and is the responsible party for the Encroachment in accordance with the Rules and Regulations, including all fees and annual billing.

Company Name:	Uptown Trio, LLC	
Contact Name:	Steve Kursh	
Property Address:	1475 E. 17th Avenue & 1702 Humboldt St, Denver, CO 80218	
Billing Address:	1700 Humboldt St, Denver, CO 80218	
Telephone Number:	917.806.8636	Email Address: sk@casualthought.com

OWNER REPRESENTATIVE: *Check if the same as Adjacent Property Owner*

Company Name:	ArcDen Studio	
Contact Name:	Hans Osheim	
Address:	3201 Osage Street	
Telephone Number:	720.688.9028	Email Address: hosheim@arcdenstudio.com

ENCROACHMENT INFORMATION:

Project Name:	White Pie & Dos Santos Patios	
Adjacent Property Address:	1700 Humboldt St, Denver, CO 80218	
Coordinates (Lat/Long):		
Encroachment Area, in SF:	333	

City and County of Denver – Department of Transportation & Infrastructure
Right-of-Way Services | Engineering & Regulatory
201 West Colfax Ave. Dept. 507 | Denver, CO 80202
www.denvergov.org/doti
Phone: 720-865-3003



Is this project associated with a LAND DEVELOPMENT REVIEW?

Yes No If 'Yes', provide Project Master, Site Plan and/or Concept Development Project Numbers:

Location Description: (e.g. Located on the South side of 23rd Ave, twenty (20) feet from face of curb, and ten (10) feet west of pavement on Private Drive.)

Located on the East side of Humboldt Street, 89'-0" from East 17th Avenue and Located on the North side of 17th Avenue, 11'-0" from the face of the curb, and 20'-0" from the public alley.

Description of Encroachment:

Describe the proposed encroachment, including the type, dimensions, and quantity of objects. If the space below is not enough space to describe the encroachment, attach the description as a sheet. Additionally, provide required application materials in accordance with the Permit Entrance Requirements. It is not acceptable to use "please see attached plans" or other vague descriptors.

We are proposing new heaters suspended from new post and beam steel structures above existing patio spaces in the public ROW. The steel structures are not covered and will not provide walls for the patios. The steel structures will not extend above the existing building.

Justification for Private Improvements in the Public ROW:

Private improvements should be located on private property. Only in cases where there are physical constraints that preclude the placement of private improvements on private property that an encroachment may be considered within the right-of-way. Make your case as to why this is a good use of the public right-of-way. It is not acceptable to use "you want/need it" or other vague descriptors.

The Dos Santos patio along 17th Avenue is existing and approved in Resolution No. CR 15-0171. The proposed changes include adding the area as outlined in Exhibit A and on the site plan of an existing patio space on the East side of Humboldt for White Pie to that of the resolution and allowing for the permitted use of heaters and support structure for the existing patios. These heater systems would not further interfere in the public ROW and will not extend beyond the footprint of the existing patios.

FOR ER INTERNAL USE ONLY:

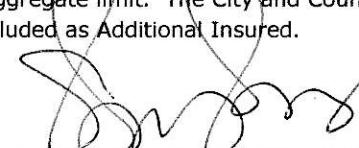
Tier Determination: _____ Project Number: _____ Initials: _____

ATTESTATION:

By submitting this permit application and signing below, I understand and agree to the following:

1. That I am the property owner adjacent to the Encroachment Area, or the authorized representative of a Special District, that is responsible for the placement, maintenance, repair, replacement, removal, site restoration, ownership, or is otherwise responsible for the Encroachment in accordance with the Rules & Regulations for Encroachments and Encumbrances in the Public Right-of-Way.
2. That it is the City's sole discretion to classify the Tier of an Encroachment and whether to grant an Encroachment Permit based on any facts the City feels are relevant. The issuance of an Encroachment Permit confers no rights to the Right-of-Way, the Encroachment Permit is revocable and DOTI can order the removal of the Encroachment and restoration of the Encroachment Area for any reason the City feels relevant.
3. Permittee agrees to defend, indemnify, reimburse and hold harmless the City, its appointed and elected officials, agents and employees for, from and against all liabilities, claims, judgments, suits or demands for damages to persons or property arising out of, resulting from, or relating to an Encroachment Permit and the Encroachment ("Claims"). This indemnity shall be interpreted in the broadest possible manner to indemnify City for any acts or omissions of Permittee or its subcontractors either passive or active, irrespective of fault, including City's negligence whether active or passive.
4. Permittee's duty to defend and indemnify City shall arise at the time written notice of the Claim is first provided to City regardless of whether claimant has filed suit on the Claim. Permittee's duty to defend and indemnify City shall arise even if City is the only party sued by claimant and/or claimant alleges that City's negligence or willful misconduct was the sole cause of claimant's damages.
5. Permittee will defend any and all Claims which may be brought or threatened against City and will pay on behalf of City any expenses incurred by reason of such Claims including, but not limited to, court costs and attorney fees incurred in defending and investigating such Claims or seeking to enforce this indemnity obligation. Such payments on behalf of City shall be in addition to any other legal remedies available to City and shall not be considered City's exclusive remedy.
6. Insurance coverage requirements specified in an Encroachment Permit shall in no way lessen or limit the liability of Permittee under the terms of this indemnification obligation. Permittee shall obtain, at its own expense, any additional insurance that it deems necessary for the City's protection.
7. This defense and indemnification obligation shall survive the expiration or termination of any issued Encroachment Permit.
8. Permittee is fully responsible for all costs to install, maintain, repair, replace, remove, and restore the Encroachment Area, including annual City Encroachment Permit Fees. A lien will be placed on the Permittee's property for failure to remove a revoked or abandoned Encroachment for cost incurred by CCD to remove the Encroachment and restore the Encroachment Area on behalf of the Permittee.
9. Indemnity and Insurance for Tier I and Tier II Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier I or Tier II Encroachment, the Owner of such Tier I or Tier II Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier I or Tier II Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$2,000,000 policy aggregate. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.
10. Indemnity and Insurance for Tier III Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier III Encroachment, the Owner of such Tier III Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier III Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$5,000,000 policy aggregate. A combination of primary and excess coverage may be used to meet the aggregate limit. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.

**ADJACENT PROPERTY
OWNER SIGNATURE:**



STEVE KURSM

DATE:

1-18-23

PRINT NAME:

TITLE: MANAGING PARTNER

COMPANY:

UPTOWN TRIO LLC



DOS SANTOS

ENCROACHMENT PERMIT

01.12.2022

GENERAL NOTES

1-ALL WORK PERFORMED, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH APPLICABLE AND LATEST REQUIREMENTS OF THE NATIONAL, STATE AND LOCAL BUILDING CODES, ALL LOCAL AND STATE HANDICAP ACCESS AND USE REGULATIONS, ANY FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, LANDLORD'S RULES AND REGULATIONS, AND GENERAL CONDITIONS OF APPLICABLE OWNER/CONTRACTOR AGREEMENT.

2-BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE OWNER, LANDLORD AND THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING AGENCIES.

3-THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THAT ALL EXISTING CONDITIONS AGREE WITH INFORMATION SHOWN ON THE DRAWINGS. ANY CONFLICTS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF ANY WORK. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON HIS BEHALF FOR ANY ADDITIONAL EXPENSES WHICH ARE INCURRED DUE TO INSPECTION OF EXISTING CONDITIONS.

4-PRIOR TO COMMENCING WORK, ORDERING OF MATERIALS AND SHOP FABRICATION OF ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS INDICATED ON THE DRAWING AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.

5-DRAWINGS INDICATE DIMENSIONS, REFERENCES, AND TYPICAL DETAIL FOR CONSTRUCTION. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS. FOR CONDITIONS NOT ILLUSTRATED, NOTIFY ARCHITECT FOR CLARIFICATION AND OF SIMILAR DETAIL.

6-THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, DEVICES AND SUPERVISION REQUIRED FOR PROPER EXECUTION AND COMPLETION OF THE WORK DESCRIBED ON THE DRAWINGS AND SPECIFIED HEREIN. PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF, THE SUBCONTRACTORS, MATERIAL SUPPLIERS AND TRADES PEOPLE WITH ALL CONSTRUCTION DOCUMENTS, FIELD CONDITIONS AND EXISTING DIMENSIONS, AND SHALL CONFIRM THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CLARIFICATION FROM THE ARCHITECT.

7-THE WORK IN THIS PROJECT SHALL CONFORM TO ALL APPLICABLE CODES, STANDARDS, REGULATIONS, ETC. REQUIRED, ISSUED, OR OTHERWISE ENFORCED BY ANY AND ALL AUTHORITIES HAVING JURISDICTION. REFER TO CODE INFORMATION ON THIS SHEET FOR APPLICABLE CODES AND JURISDICTIONS.

8-THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY KNOWLEDGE OF POSSIBLE CONFLICTS OR DISCREPANCIES BETWEEN REQUIREMENTS OF THESE CONSTRUCTION DOCUMENTS AND APPLICABLE CODES, STANDARDS AND REGULATIONS, ETC.

9-THE SCOPE OF WORK INCLUDES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS REQUIRED TO COMPLY WITH THE INTENT OF THE DESIGN SHALL BE PERFORMED TO PROVIDE A COMPLETE AND FINISHED PRODUCT, INCLUDING WORK WHICH MAY NOT BE SPECIFICALLY INCLUDED ON THE CONTRACT DOCUMENTS, AND SHALL BE INCLUDED IN ALL BIDS. CONTRACTOR TO INSPECT AT TIME OF DELIVERY ALL FIXTURES PROVIDED BY OWNER TO INSURE PROPER QUANTITY, THAT ITEMS ARE DEFECT FREE, AND MATCH VOICE. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION, WHICH MAY INCLUDE BLOCKING, SHIMMING, ETC. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL ITEMS SUPPLIED BY OWNER'S VENDORS AND TO VERIFY THAT ALL MATERIALS RECEIVED ARE IN ACCORDANCE WITH THE SPECIFICATION HEREIN. ANY DAMAGES ITEMS OR DISCREPANCIES BETWEEN MATERIALS SPECIFIED AND MATERIALS SHIPPED SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PROMPTLY.

10-THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS, MATERIALS AND FINISHES WITHIN THE PROPOSED CONSTRUCTION AREA AND ALL ADJOINING PROPERTY AFFECTED BY CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. ANY EXISTING MATERIALS AND FINISHES WHICH ARE DAMAGED, SHALL BE REPLACED AS NECESSARY WITH NEW MATCHING MATERIAL AT THE CONTRACTOR'S OWN COST AND EXPENSE.

11-THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK THAT MAY BE INDICATED ON THE DRAWING, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PATCHING SHALL MATCH ADJACENT SYSTEMS, MATERIALS AND FINISHES UNLESS OTHERWISE NOTED.

12-CONTRACTOR SHALL EMPLOY ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK. ALL WORK SHALL BE PERFORMED BY DULY LICENSED TRADESMEN AND AS REQUIRED BY STATE AND LOCAL GOVERNMENTS FOR EACH APPLICABLE TRADE. (PLUMBING, ELECTRICAL, ETC.) WHO SHALL ARRANGE FOR AND OBTAIN REQUIRED INSPECTIONS AND SIGNS OFFS.

13-THESE DRAWINGS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTOR, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS.

14-CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK OF ALL TRADES AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS, AND SHALL VERIFY THAT ANY WORK RELATING TO THEM WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.

15-CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL AND CEILING MOUNTED FIXTURES, FINISHES, EQUIPMENT, BATH ACCESSORIES, ETC.

16-CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTION AND/OR RECOMMENDATIONS.

17-CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP THE ADJOINING PREMISES, INCLUDING STREET AND OTHER AREAS ASSIGNED TO OR USED BY THE CONTRACTOR, FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY CONTRACTOR'S AND SUBCONTRACTOR'S EMPLOYEES.

18-CONTRACTOR SHALL ASSIST WITH DELIVERY AND STORAGE OF OWNER SUPPLIED ITEMS, AND DISPOSE OF ANY RESULTING TRASH.

19-CONTRACTOR SHALL VERIFY WITH OWNER AND IMPLEMENT ALL LANDLORD CONSTRUCTION AND DESIGN CRITERIA, SHOWN ON THIS SET OF DRAWINGS OR ACKNOWLEDGED IN WRITING.

20-CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL TRADES PRIOR TO INSTALLATION, AND SAMPLES OF ALL MATERIAL AND COLOR FINISHES FOR ARCHITECT'S APPROVAL. CONTRACTOR SHALL PROVIDE TIMELY AND COMPLETE DATA ON ANY DEVIATION/SUBSTITUTION FROM CONTRACT DOCUMENTS.

21-CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH, PROFESSIONAL CLEANING OF THE ENTIRE FACILITY PRIOR TO OWNER TAKEOVER DATE. ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING MUST BE WIPED CLEAN AND FREE OF DUST, WALLS, EXPOSED STRUCTURAL MEMBERS, STAIRS AND RAILINGS, CABINERY, LIGHTING FIXTURES/LAMPS, DUCT WORK, SPRINKLER PIPES, STOREFRONT SYSTEMS, INTERIOR/EXTERIOR GLAZING, ETC. ALL FLOORS MUST BE MOPPED CLEAN.

22-CONTRACTOR TO PROVIDE THREE (3) COPIES OF AS BUILT INFORMATION, OPERATION AND MAINTENANCE MANUALS, INCLUDING ALL PRODUCT GUARANTEES AND WARRANTIES.

23-CONTRACTOR IS RESPONSIBLE FOR A CERTIFICATE OF OCCUPANCY PRIOR TO FINAL RETAINAGE INVOICE, ANY AND ALL TRADE TESTING AND SIGN-OFFS, AND SHALL VERIFY THAT THEY HAVE BEEN SECURED AS ISSUED BY REQUIRED LOCAL AUTHORITIES PRIOR TO OWNER OCCUPANCY.

24-CONTRACTOR TO PROVIDE ARCHITECT WITH SAMPLES OF ALL FINISHES, TEXTURES, AND COLORS (10) BUSINESS DAYS PRIOR TO INSTALLATION.

25-CERTAIN PROFESSIONAL SERVICES MAY BE PERFORMED BY INDEPENDENT CONSULTANTS UNDER SEPARATE AGREEMENTS WITH THE OWNER. THE ARCHITECT WILL NOT BE PROFESSIONALLY LIABLE OR RESPONSIBLE FOR WORK OF INDEPENDENT CONSULTANTS, WHERE INFORMATION OR DOCUMENTS HAVE BEEN PROVIDED BY INDEPENDENT CONSULTANTS, THE CONTRACTOR SHALL DIRECT ALL INQUIRIES AND SUBMITTALS TO SUCH CONSULTANTS WITH COPIES TO THE ARCHITECT FOR INFORMATION ONLY.

26-CERTAIN ITEMS SHOWN OR SPECIFIED IN THE CONTRACT DOCUMENTS MAY BE FURNISHED BY THE OWNER, AT THEIR DISCRETION, FOR INSTALLATION BY THE CONTRACTOR. OR THE OWNER MAY CHOOSE TO FURNISH AND INSTALL CERTAIN ITEMS THEMSELVES.

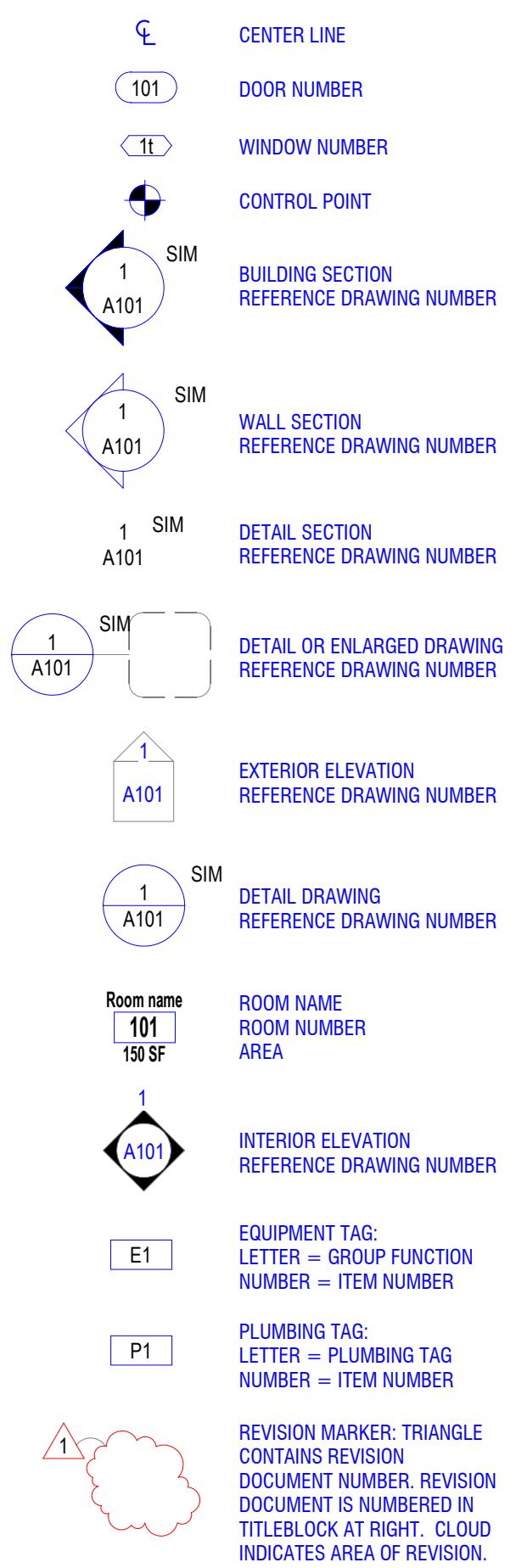
27-EXISTING STRUCTURES: THESE CONTRACT DOCUMENTS HAVE BEEN PREPARED FROM OWNER FURNISHED INFORMATION AND SITE OBSERVATION. DURING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER EXISTING CONDITIONS WHICH ARE NOT NOW KNOWN OR ARE AT VARIANCE WITH PROJECT DOCUMENTATION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL CONDITIONS NOT PER THE CONTRACT DOCUMENTS. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO: SIZES OR DIMENSIONS OTHER THAN THOSE SHOWN; DAMAGE OR DETERIORATION TO MATERIALS AND COMPONENTS; CONDITIONS OF INSTABILITY OR LACK OF SUPPORT.

28-DO NOT SCALE DRAWINGS

29-THES DRAWINGS, INCLUDING SPECIFICATIONS, DO NOT PURPORT TO FURNISH ALL INFORMATION REQUIRED FOR A COMPLETE INSTALLATION. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF THE PROJECT.

30-ALL CONTRACTORS AND SUB CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING THAT THEIR WORK IS DONE IN ACCORDANCE WITH THE GOVERNING LAWS AND CODES.

SYMBOL LEGEND



PROJECT DESCRIPTION

PROJECT NAME & ADDRESS: DOS SANTOS
1475 E 17th Ave.
Denver, CO 80218

PARCEL INFORMATION
SCHEDULE NUMBER: 02354-14-014-000

LEGAL DESCRIPTION: L 20 TO 22 INC BLK 13 PARK AVENUE ADD

PROJECT DESCRIPTION: EXTERIOR PATIO - ADD GAS FIRED PATIO HEATERS AND SUPPORTS

BUILDING STORIES: 1

TYPE OF CONSTRUCTION: V-B

SQUARE FOOTAGE: DOS SANTOS
GROUND LEVEL 1870 SF
EXISTING PATIO 420 SF
TOTAL AREA: 2290 SF

AREA OF WORK:
EXISTING PATIO: 420 SF
TOTAL AREA: 528 SF

PATIO OCCUPANCY: A-2

PATIO OCCUPANCY LOAD: UNCONCENTRATED: 15 NET
DOS SANTOS AREA: 528 OCCUPANTS: 35

EXITS REQUIRED: 1

EXITS PROVIDED: 1

PERMITTING AUTHORITY: CITY AND COUNTY OF DENVER BUILDING DEPARTMENT

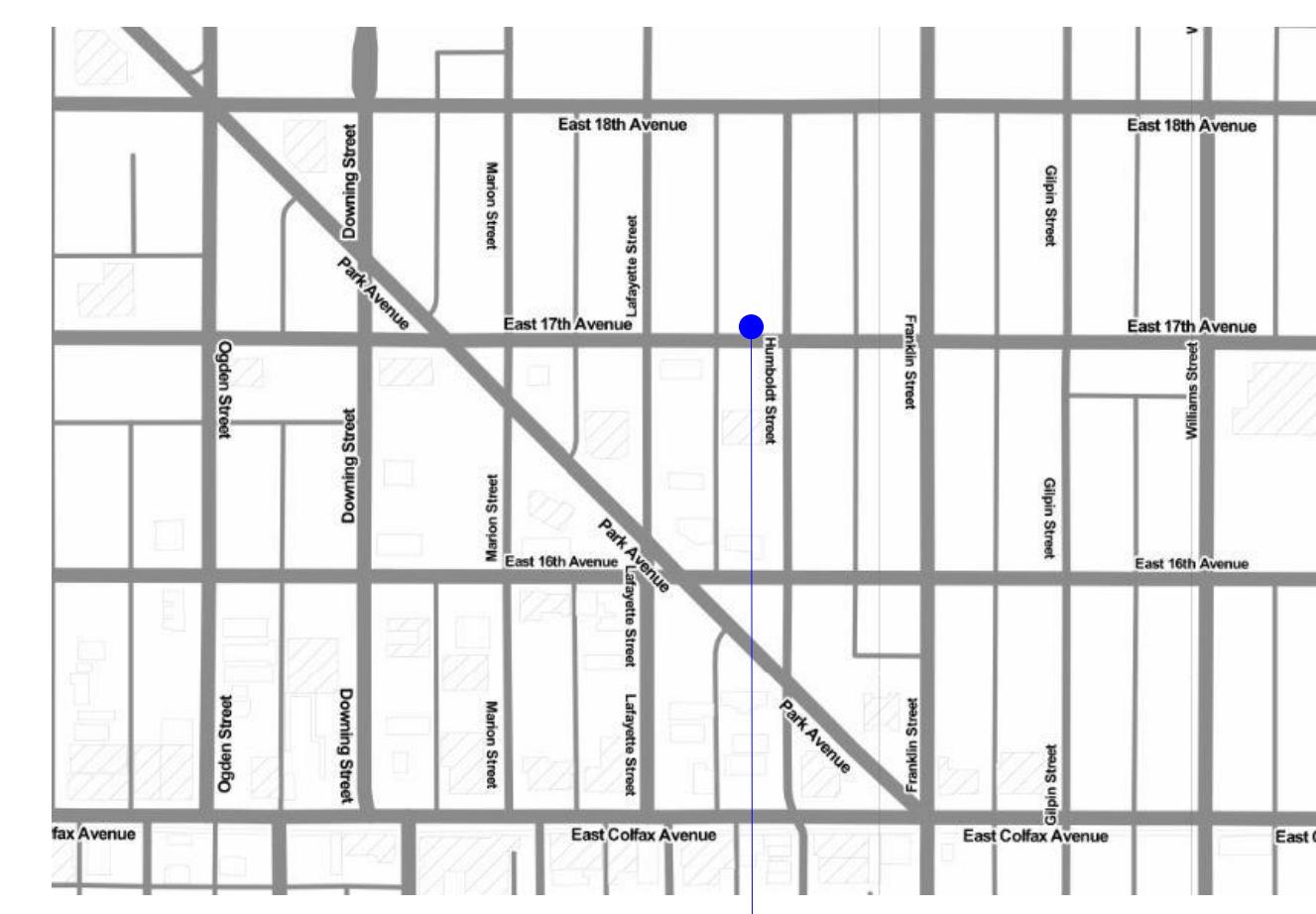
FIRE JURISDICTION: DENVER

ZONING: URBAN CENTER - MIXED USE - 5 STORIES MAX HEIGHT (CMX-5)

ADOPTED BUILDING CODES: 2018 ICC



VICINITY MAP



LOCATION MAP

DOS SANTOS

1475 E. 17TH AVE. DENVER, CO
80218

© 2022 ArcDen Studio, LLC
This document and the ideas and designs incorporated herein are given in confidence and shall be used only pursuant to the agreement with ArcDen Studio, LLC. No other use, dissemination or duplication may be made without prior written consent of ArcDen Studio, LLC. All common law rights of copyright are hereby specifically reserved.



Date: 01/12/2022
Phase: DOTI PERMIT

Revisions/Issues:
-
-
-

Contents:
TITLE/GEN. INFO

Sheet:

T1.01

INDEX OF DRAWINGS

DRAWING LIST				
DRAWING #	TITLE	ISSUE DATES	REVISION DATE	CURRENT REVISION DESCRIPTION
T100	COVER SHEET WHITE PIE	01/12/2022		
T1.01	TITLE/ GEN. INFO	01/12/2022		
T1.02	SITE PLAN	01/12/2022		
A1.01	FLOOR PLAN	01/12/2022		
A1.03	ELEVATIONS	01/12/2022		
S100	STRUCTURAL PLAN	01/12/2022		
S101	STRUCTURAL SECTION AND NOTES	01/12/2022		

Owner:
Elan Group
475 17TH Ave.
Denver, CO 80218

Design:
arcDen Studio, LLC
201 Osage St, #101
Denver, CO 80211
Contact: Hans Osheim
20.688.9028

Structural:
Mozer-Renn Structural
Service, Inc.
573 E. Napa Place
Denver, CO 80237
303.870.5039

MEP:
RJA, LLC
295 Blake St, #104
Denver, CO 80205
20.598.0774

DOS SANTOS
1475 E. 17TH AVE. DENVER, CO
80218

2022 ArcDen Studio, LLC
is document and the ideas and
signs incorporated herein are given in
confidence and shall be used only
pursuant to the agreement with ArcDen
Studio, LLC. No other use,
semination or duplication may be
ade without prior written consent of
ArcDen Studio, LLC. All common law
ights of copyright are hereby
ecifically reserved.

A circular stamp with a rope-like border. The words "COLORADO LICENSED" are curved along the top inner edge, and "ARCHITECT" is curved along the bottom inner edge. In the center, the name "Hans Osheim" is printed above the identification number "00405616". The number is crossed out with a large, blue, hand-drawn X.

Date:01/12/2022

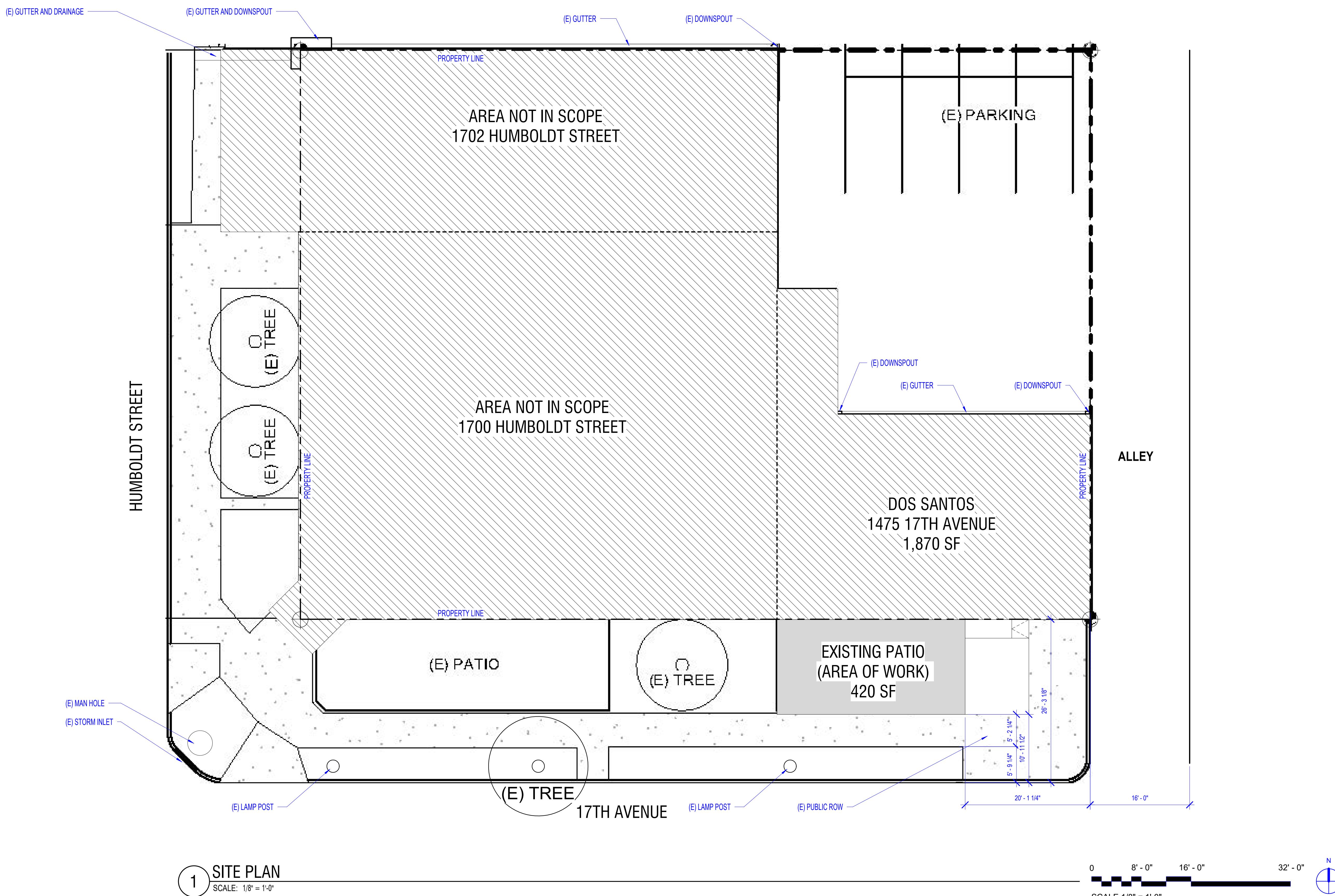
Visions/Issues:

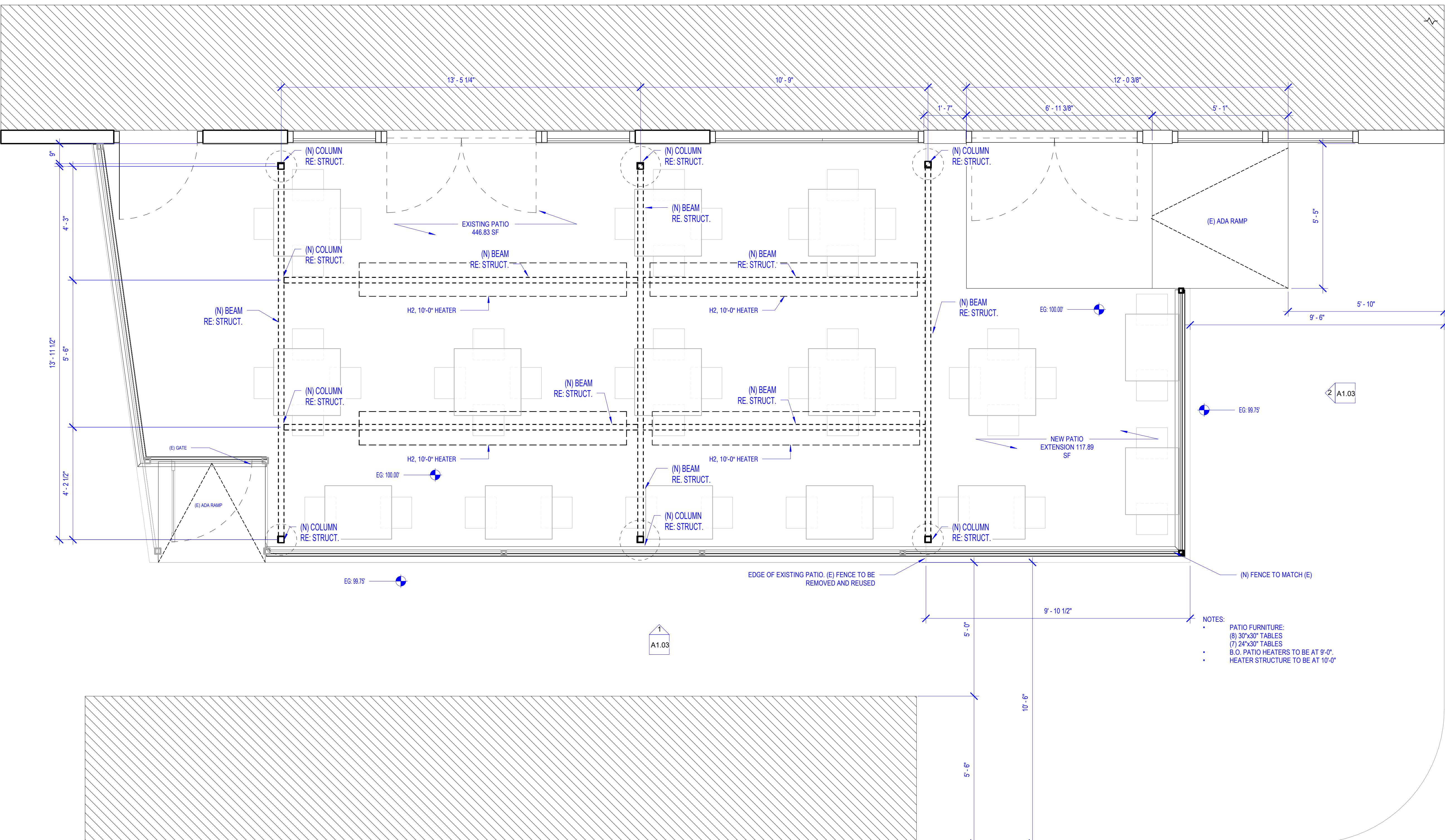
Contents:

THE PLAN

et:

T1.02





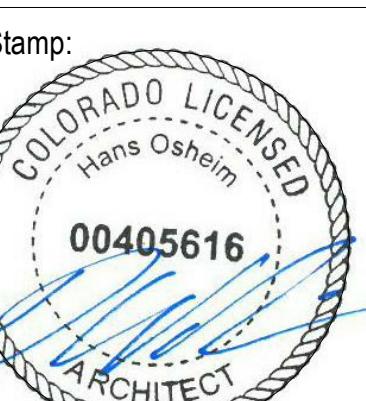
1 DOS SANTOS PATIO
1/2" = 1'-0"

N

A1.01

DOS SANTOS
1475 E. 17TH AVE, DENVER, CO
80218

© 2022 ArcDen Studio, LLC
This document and the ideas and designs incorporated herein are given in confidence and shall be used only pursuant to the agreement with ArcDen Studio, LLC. No other use, dissemination or duplication may be made without prior written consent of ArcDen Studio, LLC. All common law rights of copyright are hereby specifically reserved.



Date: 01/12/2022

Phase: DOTI PERMIT

Revisions/Issues:

Contents:
FLOOR PLAN

Sheet:

Owner:
Elan Group
1475 17TH Ave.
Denver, CO 80218

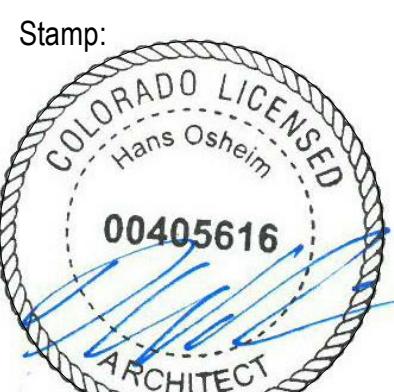
Design:
ArcDen Studio, LLC
3201 Osage St, #101
Denver, CO 80211
Contact: Hans Osheim
720.688.9028

Structural:
Mozer-Renn Structural
Service, Inc.
8573 E. Napa Place
Denver, CO 80237
303.870.5039

MEP:
RJA, LLC
3295 Blake St, #104
Denver, CO 80205
720.598.0774

DOS SANTOS
1475 E. 17TH AVE, DENVER, CO
80218

© 2022 ArcDen Studio, LLC
This document and the ideas and
designs incorporated herein are given in
confidence and shall be used only
pursuant to the agreement with ArcDen
Studio, LLC. No other use,
dissemination or duplication may be
made without prior written consent of
ArcDen Studio, LLC. All common law
rights of copyright are hereby
specifically reserved.



Date: 01/12/2022

Phase: DOTI PERMIT

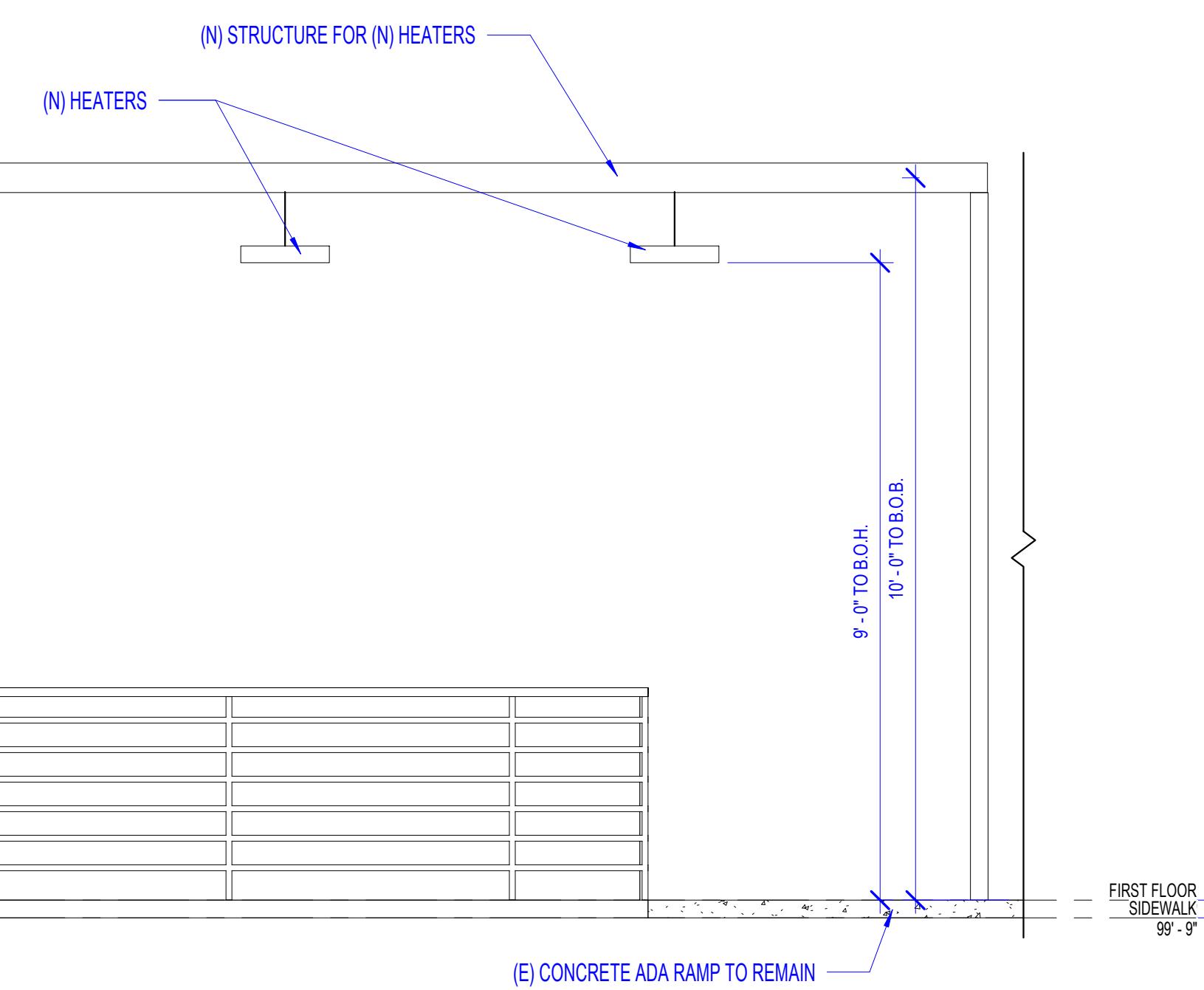
Revisions/Issues:

Contents:

ELEVATIONS

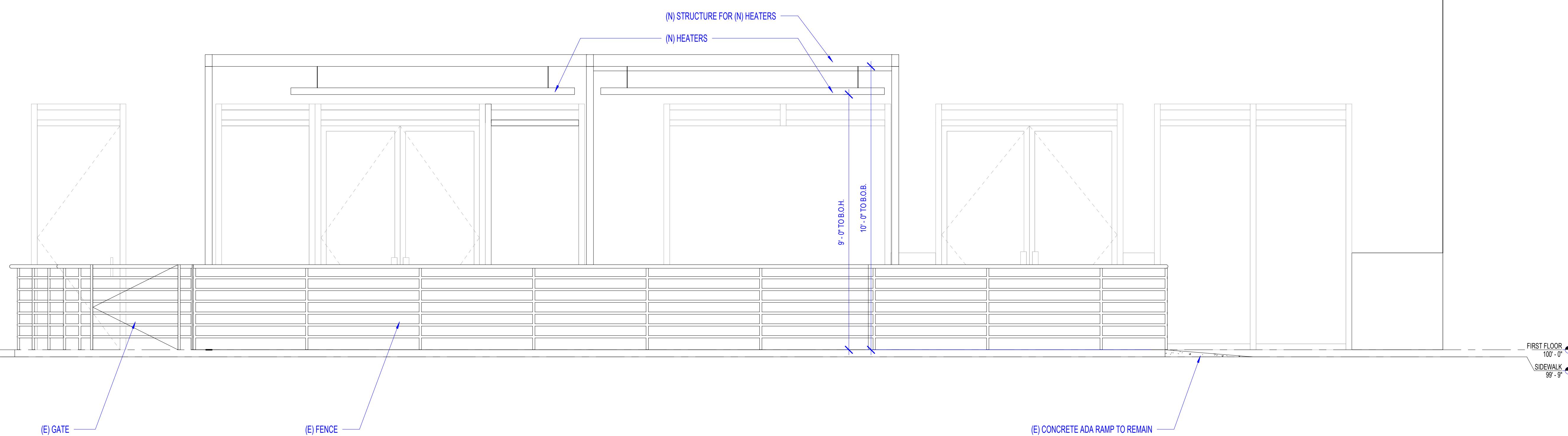
Sheet:

A1.03



2 HEATER STRUCTURE ELEVATION EAST

SCALE: 1/2" = 1'-0"



1 HEATER STRUCTURE ELEVATION SOUTH

SCALE: 1/2" = 1'-0"



WHITE PIE

ENCROACHMENT PERMIT

01.12.2022

GENERAL NOTES

1-ALL WORK PERFORMED, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH APPLICABLE AND LATEST REQUIREMENTS OF THE NATIONAL, STATE AND LOCAL BUILDING CODES, ALL LOCAL AND STATE HANDICAP ACCESS AND USE REGULATIONS, ANY FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, LANDLORD'S RULES AND REGULATIONS, AND GENERAL CONDITIONS OF APPLICABLE OWNER/CONTRACTOR AGREEMENT.

2-BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE OWNER, LANDLORD AND THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING AGENCIES.

3-THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THAT ALL EXISTING CONDITIONS AGREE WITH INFORMATION SHOWN ON THE DRAWINGS. ANY CONFLICTS, OMISSIONS OR DISCREPANCIES SHALL BE REPORTED TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF ANY WORK. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON HIS BEHALF FOR ANY ADDITIONAL EXPENSES WHICH ARE INCURRED DUE TO INSPECTION OF EXISTING CONDITIONS.

4-PRIOR TO COMMENCING WORK, ORDERING OF MATERIALS AND SHOP FABRICATION OF ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS INDICATED ON THE DRAWING AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.

5-DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCES AND TYPICAL DETAIL FOR CONSTRUCTION. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS. FOR CONDITIONS NOT ILLUSTRATED, NOTIFY ARCHITECT FOR CLARIFICATION AND OF SIMILAR DETAIL.

6-THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, DEVICES AND SUPERVISION REQUIRED FOR PROPER EXECUTION AND COMPLETION OF THE WORK DESCRIBED ON THE DRAWINGS AND SPECIFIED HEREIN. PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF, THE SUBCONTRACTORS, MATERIAL SUPPLIERS AND TRADES PEOPLE WITH ALL CONSTRUCTION DOCUMENTS, FIELD CONDITIONS AND EXISTING DIMENSIONS, AND SHALL CONFIRM THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CLARIFICATIONS FROM THE ARCHITECT.

7-THE WORK IN THIS PROJECT SHALL CONFORM TO ALL APPLICABLE CODES, STANDARDS, REGULATIONS, ETC., REQUIRED, ISSUED, OR OTHERWISE ENFORCED BY ANY AND ALL AUTHORITIES HAVING JURISDICTION. REFER TO CODE INFORMATION ON THIS SHEET FOR APPLICABLE CODES AND JURISDICTIONS.

8-THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY KNOWLEDGE OF POSSIBLE CONFLICTS OR DISCREPANCIES BETWEEN REQUIREMENTS OF THESE CONSTRUCTION DOCUMENTS AND APPLICABLE CODES, STANDARDS AND REGULATIONS, ETC.

9-THE SCOPE OF WORK INCLUDES ALTERATION TO EXISTING FACILITIES, WORK WHICH IS REQUIRED TO COMPLY WITH THE INTENT OF THE DESIGN SHALL BE PERFORMED TO PROVIDE A COMPLETE AND FINISHED PRODUCT, INCLUDING WORK WHICH MAY NOT BE SPECIFICALLY INCLUDED ON THE CONTRACT DOCUMENTS, AND SHALL BE INCLUDED IN ALL BIDS. CONTRACTOR IS RESPONSIBLE FOR DELIVERY OF ITEMS PROVIDED BY OWNER, TO INSURE PROPER QUANTITY, THAT ITEMS ARE IN FACT, AND MATCH IN COLOR, CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, WHICH MAY INCLUDE BLOCKING, SHIMMING, ETC. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL ITEMS SUPPLIED BY OWNER'S VENDORS AND TO VERIFY THAT ALL MATERIALS RECEIVED ARE IN ACCORDANCE WITH THE SPECIFICATION HEREIN. ANY DAMAGES ITEMS OR DISCREPANCIES BETWEEN MATERIALS SPECIFIED AND MATERIALS SHIPPED SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PROMPTLY.

10-THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS, MATERIALS AND FINISHES WITHIN THE PROPOSED CONSTRUCTION AREA AND ALL ADJOINING PROPERTY AFFECTED BY CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. ANY EXISTING MATERIALS AND FINISHES WHICH ARE DAMAGED, SHALL BE REPLACED AS NECESSARY WITH NEW MATCHING MATERIAL AT THE CONTRACTOR'S OWN COST AND EXPENSE.

11-THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK THAT MAY BE INDICATED ON THE DRAWING, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PATCHING SHALL MATCH ADJACENT SYSTEMS, MATERIALS AND FINISHES UNLESS OTHERWISE NOTED.

12-CONTRACTOR SHALL EMPLOY ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK. ALL WORK SHALL BE PERFORMED BY DULY LICENSED TRADESMEN AND AS REQUIRED BY STATE AND LOCAL GOVERNMENTS FOR EACH APPLICABLE TRADE, (PLUMBING, ELECTRICAL, ETC.) WHO SHALL ARRANGE FOR AND OBTAIN REQUIRED INSPECTIONS AND SIGNS OFF.

13-THOSE DRAWINGS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTOR, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS.

14-CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK OF ALL TRADES AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS, AND SHALL VERIFY THAT ANY WORK RELATING TO THEM WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.

15-CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL AND CEILING MOUNTED FIXTURES, FINISHES, EQUIPMENT, BATH ACCESSORIES, ETC.

16-CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTION AND/OR RECOMMENDATIONS.

17-CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP THE ADJOINING PREMISES, INCLUDING STREET AND OTHER AREAS ASSIGNED TO OR USED BY THE CONTRACTOR, FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY CONTRACTOR'S AND SUBCONTRACTOR'S EMPLOYEES.

18-CONTRACTOR SHALL ASSIST WITH DELIVERY AND STORAGE OF OWNER SUPPLIED ITEMS, AND DISPOSE OF ANY RESULTING TRASH.

19-CONTRACTOR SHALL VERIFY WITH OWNER AND IMPLEMENT ALL LANDLORD CONSTRUCTION AND DESIGN CRITERIA, SHOWN ON THIS SET OF DRAWINGS OR ACKNOWLEDGED IN WRITING.

20-CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL TRADES PRIOR TO INSTALLATION, AND SAMPLES OF ALL MATERIAL AND COLOR FINISHES FOR ARCHITECTS APPROVAL. CONTRACTOR SHALL PROVIDE TIMELY AND COMPLETE DATA ON ANY DEVIATIONS/SUBSTITUTION FROM CONTRACT DOCUMENTS.

21-CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH, PROFESSIONAL CLEANING OF THE ENTIRE FACILITY PRIOR TO OWNER TAKEOVER DATE. ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING MUST BE WIPE CLEAN AND FREE OF DUST, WALLS, EXPOSED STRUCTURAL MEMBERS, STAIRS AND RAILINGS, CABINETRY, LIGHTING FIXTURES/LAMPS, DUCT WORK, SPRINKLER PIPES, STOREFRONT SYSTEMS, INTERIOR/ EXTERIOR GLAZING, ETC. ALL FLOOR MUST BE MOPPED CLEAN.

22-CONTRACTOR TO PROVIDE THREE (3) COPIES OF AS BUILT INFORMATION, OPERATION AND MAINTENANCE MANUALS, INCLUDING ALL PRODUCT GUARANTEES AND WARRANTIES.

23-CONTRACTOR IS RESPONSIBLE FOR A CERTIFICATE OF OCCUPANCY PRIOR TO FINAL RETAINAGE INVOICE, ANY AND ALL TRADE TESTING AND SIGN-OFFS, AND SHALL VERIFY THAT THEY HAVE BEEN SECURED AS ISSUED BY REQUIRED LOCAL AUTHORITIES PRIOR TO OWNER OCCUPANCY.

24-CONTRACTOR TO PROVIDE ARCHITECT WITH SAMPLES OF ALL FINISHES, TEXTURES, AND COLORS (10) BUSINESS DAYS PRIOR TO INSTALLATION.

25-CERTAIN PROFESSIONAL SERVICES MAY BE PERFORMED BY INDEPENDENT CONSULTANTS UNDER SEPARATE AGREEMENTS WITH THE OWNER. THE ARCHITECT WILL NOT BE PROFESSIONALLY LIABLE OR RESPONSIBLE FOR WORK OF INDEPENDENT CONSULTANTS, WHERE INFORMATION OR DOCUMENTS HAVE BEEN PROVIDED BY INDEPENDENT CONSULTANTS, THE CONTRACTOR SHALL DIRECT ALL INQUIRIES AND SUBMISSIONS TO SUCH CONSULTANTS WITH COPIES TO THE ARCHITECT FOR INFORMATION ONLY.

26-CERTAIN ITEMS SHOWN OR SPECIFIED IN THE CONTRACT DOCUMENTS MAY BE FURNISHED BY THE OWNER, AT THEIR DISCRETION, FOR INSTALLATION BY THE CONTRACTOR, OR THE OWNER MAY CHOOSE TO FURNISH AND INSTALL CERTAIN ITEMS THEMSELVES.

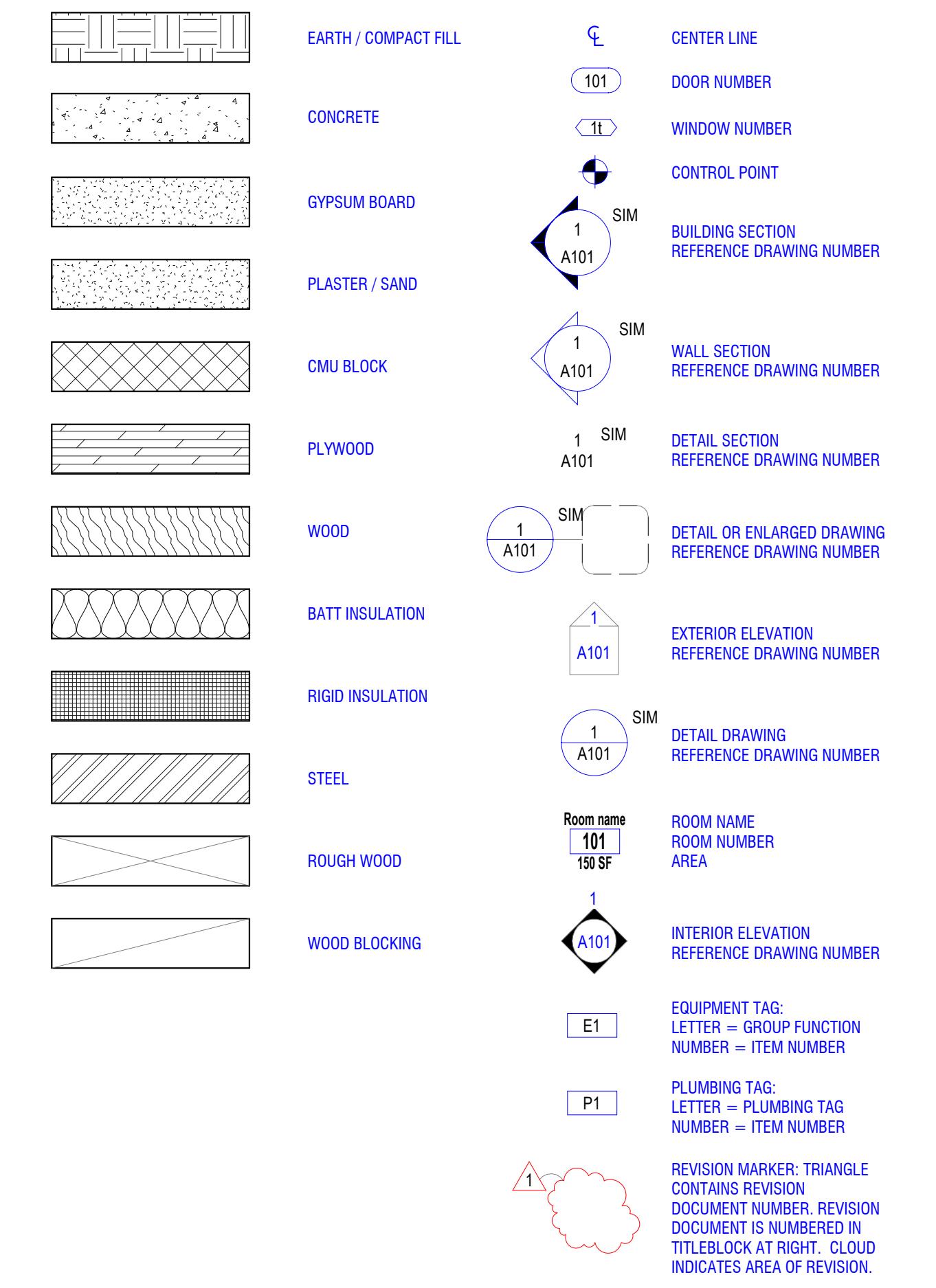
27-EXISTING STRUCTURES: THESE CONTRACT DOCUMENTS HAVE BEEN PREPARED FROM OWNER FURNISHED INFORMATION AND SITE OBSERVATION. DURING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER EXISTING CONDITIONS WHICH ARE NOT NOW KNOWN OR ARE AT VARIANCE WITH PROJECT DOCUMENTATION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL CONDITIONS NOT PER THE CONTRACT DOCUMENTS. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, SIZES OR DIMENSIONS OTHER THAN THOSE SHOWN; DAMAGE OR DEGENERATION TO MATERIALS AND COMPONENTS; CONDITIONS OF INSTABILITY OR LACK OF SUPPORT.

28-DO NOT SCALE DRAWINGS

29-THOSE DRAWINGS, INCLUDING SPECIFICATIONS, DO NOT PURPORT TO FURNISH ALL INFORMATION REQUIRED FOR A COMPLETE INSTALLATION. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF THE PROJECT.

30-ALL CONTRACTORS AND SUB CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING THAT THEIR WORK IS DONE IN ACCORDANCE WITH THE GOVERNING LAWS AND CODES.

SYMBOL LEGEND



PROJECT DESCRIPTION

PROJECT NAME & ADDRESS: WHITE PIE
1702 Humboldt St.
Denver, CO 80218

PARCEL INFORMATION
SCHEDULE NUMBER: 02354-14-014-000

LEGAL DESCRIPTION: L 20 TO 22 INC BLK 13 PARK AVENUE ADD

PROJECT DESCRIPTION: EXTERIOR PATIO - ADD GAS FIRED PATIO HEATERS AND SUPPORTS

BUILDING STORIES: 1

TYPE OF CONSTRUCTION: V-B

SQUARE FOOTAGE: 2448 SF
PATIO 333 SF
TOTAL AREA: 2781 SF

WHITE PIE
GROUND LEVEL: 2448 SF
PATIO 333 SF
TOTAL AREA: 2781 SF

AREA OF WORK:
PATIO 333 SF
TOTAL AREA: 333 SF

PATIO OCCUPANCY: A-2

PATIO OCCUPANCY LOAD: UNCONCENTRATED: 15 NET
WHITE PIE AREA: 333 OCCUPANTS: 22

EXITS REQUIRED: 1

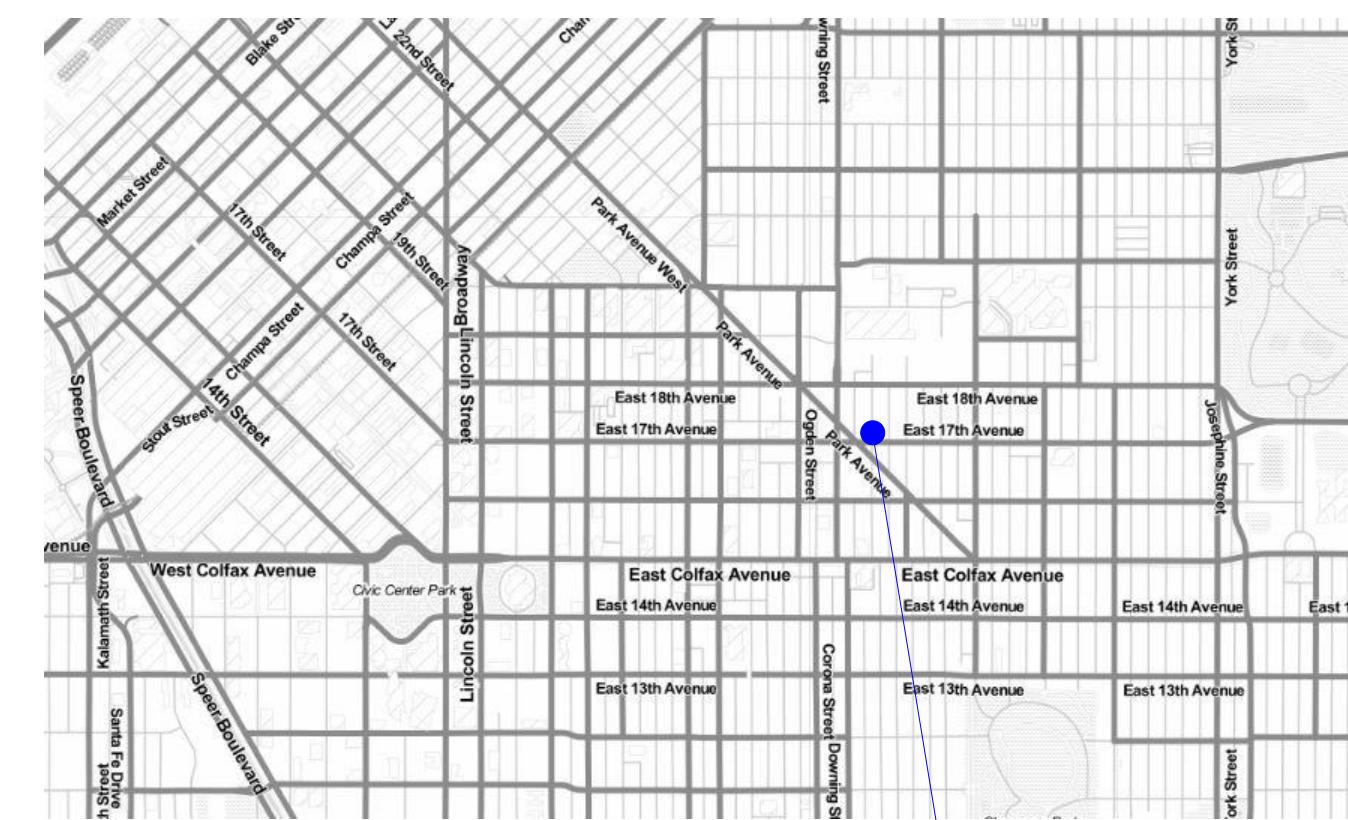
EXITS PROVIDED: 1

PERMITTING AUTHORITY: CITY AND COUNTY OF DENVER BUILDING DEPARTMENT

FIRE JURISDICTION: DENVER

ZONING: URBAN CENTER - MIXED USE - 5 STORIES MAX HEIGHT (CMX-5)

ADOPTED BUILDING CODES: 2018 ICC



VICINITY MAP



LOCATION MAP

ABBREVIATIONS

AND	IN.	INCHES
AT	INSTL.	INSTALLATION
#	INSUL.	INSULATION
C	JAN.	JANITOR
C/A/C	JAN.	JANITOR
A/C	LAV.	LAVATORY
ADD.	LAV.	LAVATORY
ADJ.	MAX.	MAXIMUM
ALT.	MECH.	MECHANICAL
A.F.F.	MIN.	MINIMUM
ALUM.	MTL.	METAL
APPROX.	(N)	NEW
BLDG.	NAT.	NATURAL
B.O.	N.I.C.	NOT IN CONTRACT
B/TWN.	N.T.S.	NOT TO SCALE
B.U.B.	O.C.	ON CENTER
CABIN.	PART.	PARTITION
CEM.	P-LAM.	PLASTIC LAMINATE
CER.	PLYWD.	PLYWOOD
C.I.P.	RE:	REFERRED
CLG.	REFIN.	REINFORCING
CLR.	REQ'D.	REQUIRED
C.J.	RM.	ROOM
CLOS.	R.O.	ROUGH OPENING
COL.	SCHED.	SCHEDULE
CONC.	S.F.	SQUARE FEET
CONT.	SHT.	SHED
D	SP.C.	SPECIFICATIONS
DTL.	SQ.	SQUARE
D.F.	STN. STL.	STAINLESS STEEL
DR.	STL.	STEEL
D.S.	STRUCT.	STRUCTURAL
DWR.	T&G.	TONGUE AND GROOVE
(E)	T.B.D.	TO BE DETERMINED
E.J.	T.B.S.	TO BE SELECTED
EL.	TEL.	TELEPHONE
ELEC.	T.O.	TO ORDER
EQ.	TPC.	TOPICAL
EXT.	VERT.	VERTICAL
FIN.	VNR.	VENeer
F.F.	V.I.F.	VERIFY IN FIELD
FT.	WT.	WIDTH
GA.	W/	WITH
G.C.	W.C.	WATER CLOSET
GL.	W.I.C.	WALK IN CLOSET
GUB.	WO.	WOOD
HDR.	W.H.	WATER HEATER
HOR.	WIN.	WINDOW
H.P.	VCT.	VINYL COMPOSITE TILE
HT.		
HVAC		

INDEX OF DRAWINGS

DRAWING LIST				
DRAWING #	TITLE	ISSUE DATES	REVISION DATE	CURRENT REVISION DESCRIPTION
T100	COVER SHEET WHITE PIE	01/12/2022		
T101	TITLE / GEN. INFORMATION	01/12/2022		
T102	SITE PLAN	01/12/2022		
A101	FLOOR PLAN WHITE PIE	01/12/2022		
A103	ELEVATIONS	01/12/2022		
S100	STRUCTURAL PLAN	01/12/2022		
S101	STRUCTURAL SECTION AND NOTES	01/12/2022		

WHITE PIE
1702 HUMBOLDT STREET, DENVER,
CO 80218

© 2022 ArcDen Studio, LLC
This document and the ideas and designs incorporated herein are given in confidence and shall be used only pursuant to the agreement with ArcDen Studio, LLC. No other use, dissemination or duplication may be made without prior written consent of ArcDen Studio, LLC. All common law rights of copyright are hereby specifically reserved.



Date: 01/12/2022

Phase: DOTI PERMIT

Revisions/Issues:

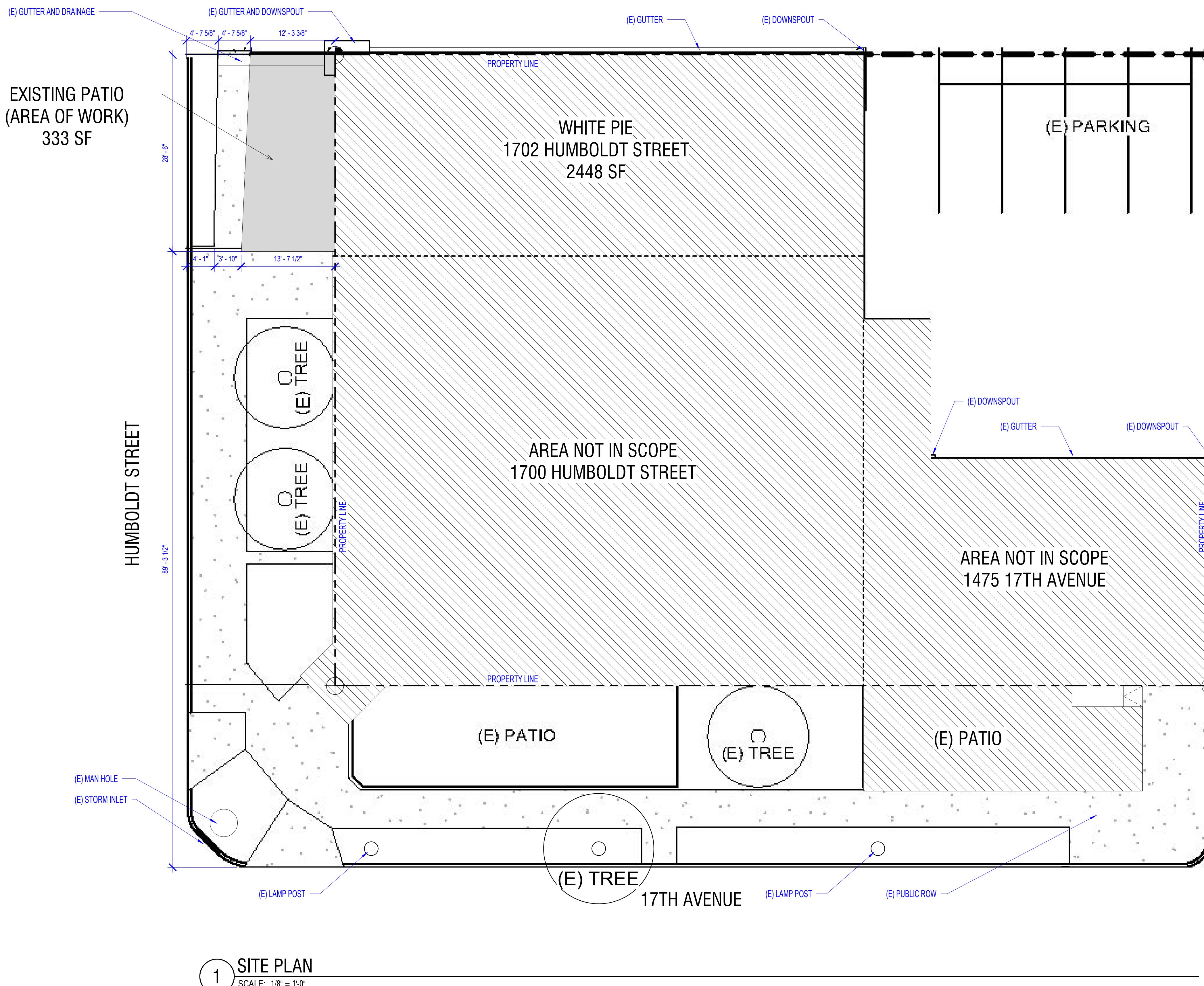
-

Contents:

TITLE / GEN. INFORMATION

Sheet:

T101



WHITE PIE
1702 HUMBOLDT STREET, DENVER,
CO 80218

© 2022 ArcDen Studio, LLC
This document and the ideas and designs incorporated herein are given in confidence and shall be used only pursuant to the agreement with ArcDen Studio, LLC. No other use, dissemination or duplication may be made without prior written consent of ArcDen Studio, LLC. All common law rights of copyright are hereby specifically reserved.



Date: 01/12/2022
Phase: DOTI PERMIT

Revisions/Issues:

Contents:
SITE PLAN

Sheet:

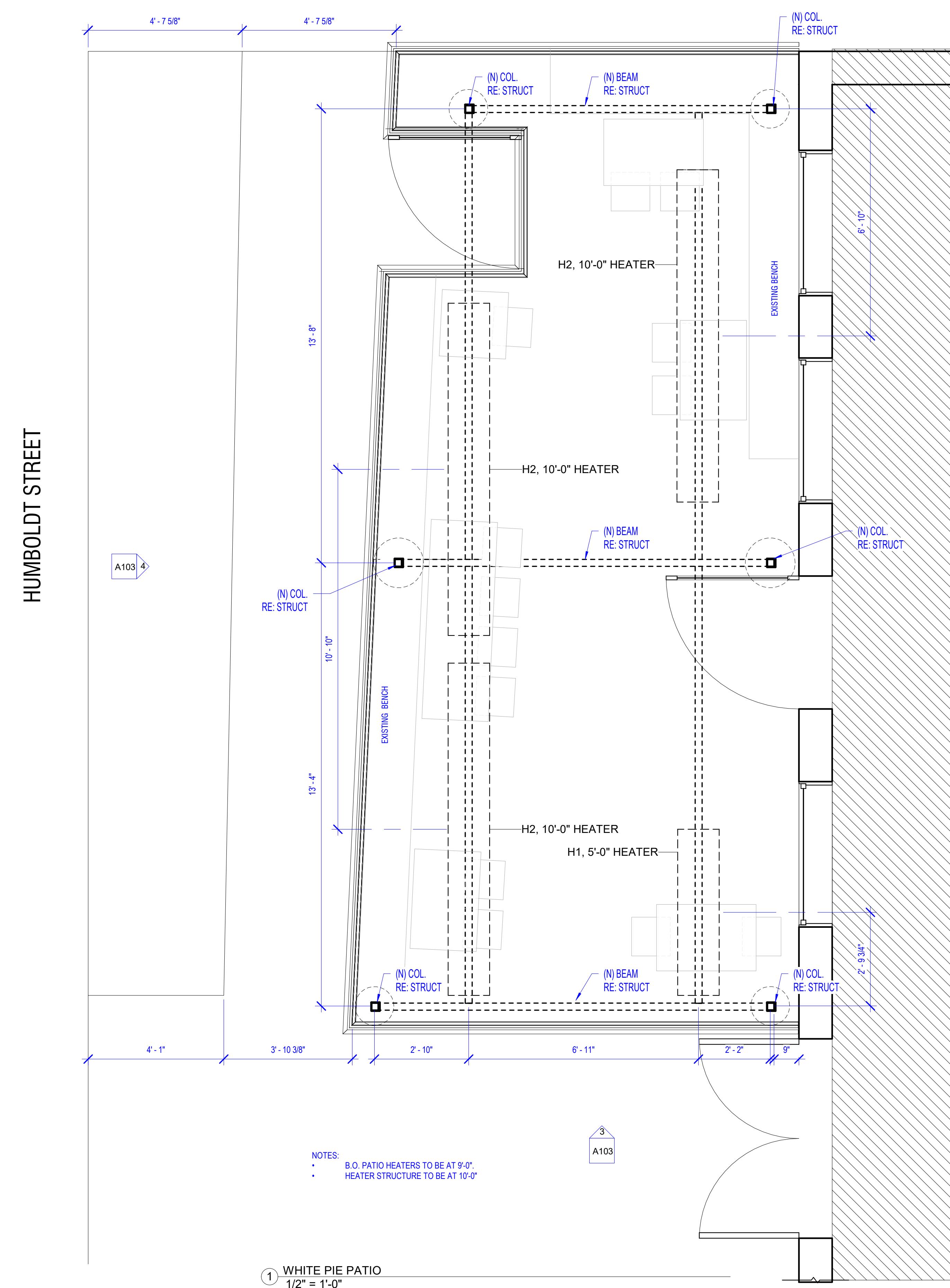
T102

Owner:
Elan Group
1475 17TH Ave.
Denver, CO 80218

Design:
ArcDen Studio, LLC
3201 Osage St, #101
Denver, CO 80211
Contact: Hans Oshiem
720.688.9028

Structural:
Mozer-Renn Structural Service, Inc.
8573 E. Napa Place
Denver, CO 80237
303.870.5039

MEP:
RJA, LLC
3295 Blake St, #104
Denver, CO 80205
720.598.0774



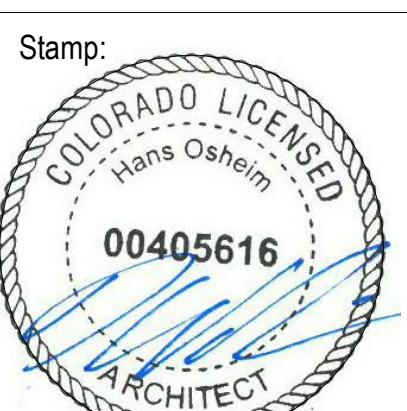
Owner:
Elan Group
1475 17TH Ave.
Denver, CO 80218

Design:
ArcDen Studio, LLC
3201 Osage St, #101
Denver, CO 80211
Contact: Hans Osheim
720.688.9028

Structural:
Mozer-Renn Structural
Service, Inc.
8573 E. Napa Place
Denver, CO 80237
303.870.5039

MEP:
RJA, LLC
3295 Blake St, #104
Denver, CO 80205
720.598.0774

© 2022 ArcDen Studio, LLC
This document and the ideas and
designs incorporated herein are given in
confidence and shall be used only
pursuant to the agreement with ArcDen
Studio, LLC. No other use,
dissemination or duplication may be
made without prior written consent of
ArcDen Studio, LLC. All common law
rights of copyright are hereby
specifically reserved.



Date: 01/12/2022

Phase: DOTI PERMIT

Revisions/Issues:

Contents:

FLOOR PLAN WHITE PIE

Sheet:

A101

Owner:
Elan Group
1475 17TH Ave.
Denver, CO 80218

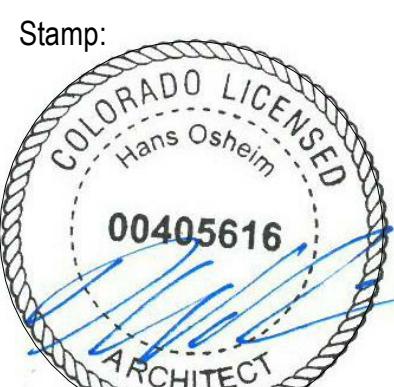
Design:
ArcDen Studio, LLC
3201 Osage St, #101
Denver, CO 80211
Contact: Hans Osheim
720.688.9028

Structural:
Mozer-Renn Structural
Service, Inc.
8573 E. Napa Place
Denver, CO 80237
303.870.5039

MEP:
RJA, LLC
3295 Blake St, #104
Denver, CO 80205
720.598.0774

WHITE PIE
1702 HUMBOLDT STREET, DENVER,
CO 80218

© 2022 ArcDen Studio, LLC
This document and the ideas and
designs incorporated herein are given in
confidence and shall be used only
pursuant to the agreement with ArcDen
Studio, LLC. No other use,
dissemination or duplication may be
made without prior written consent of
ArcDen Studio, LLC. All common law
rights of copyright are hereby
specifically reserved.



Date: 01/12/2022

Phase: DOTI PERMIT

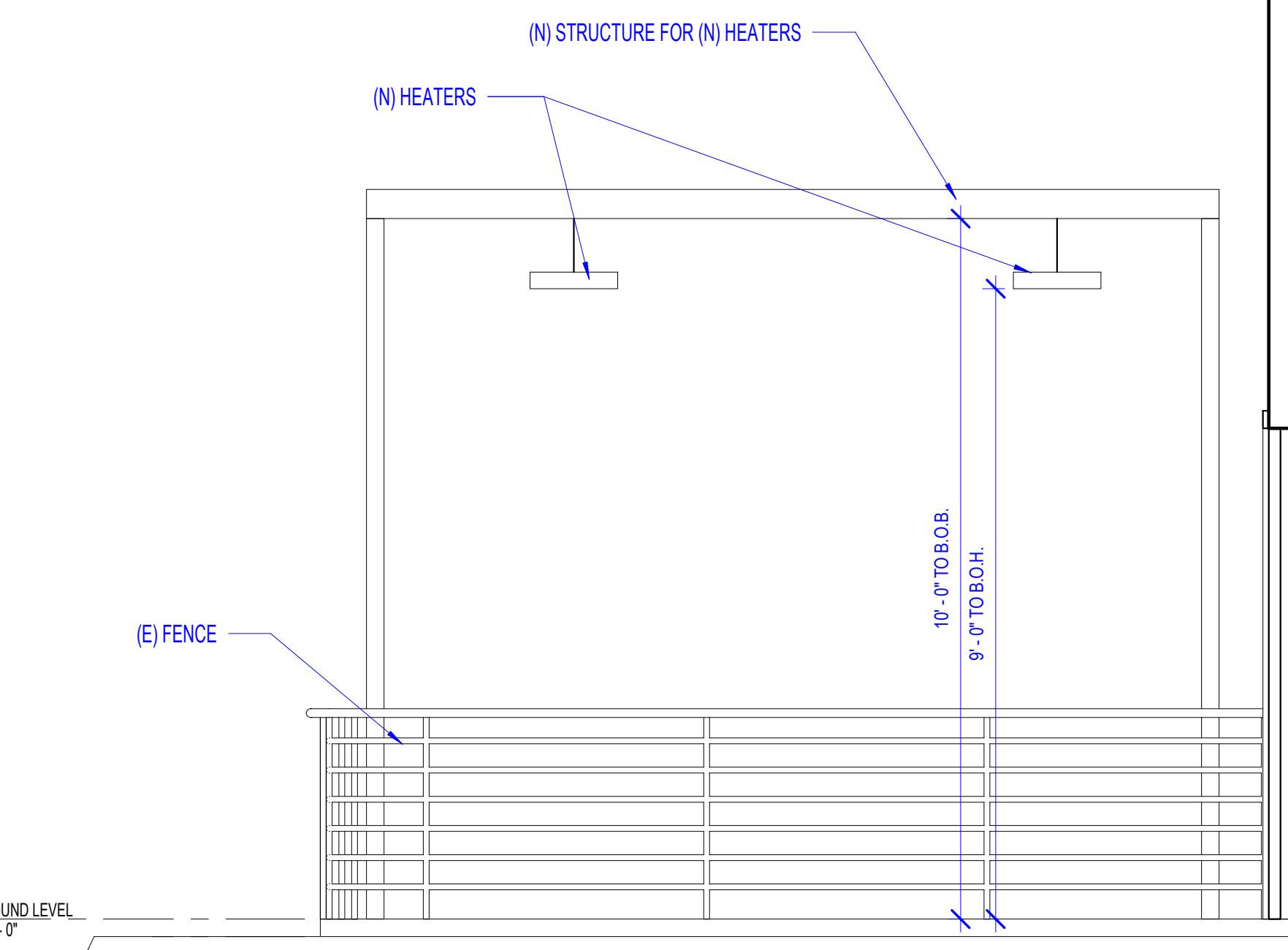
Revisions/Issues:

Contents:

ELEVATIONS

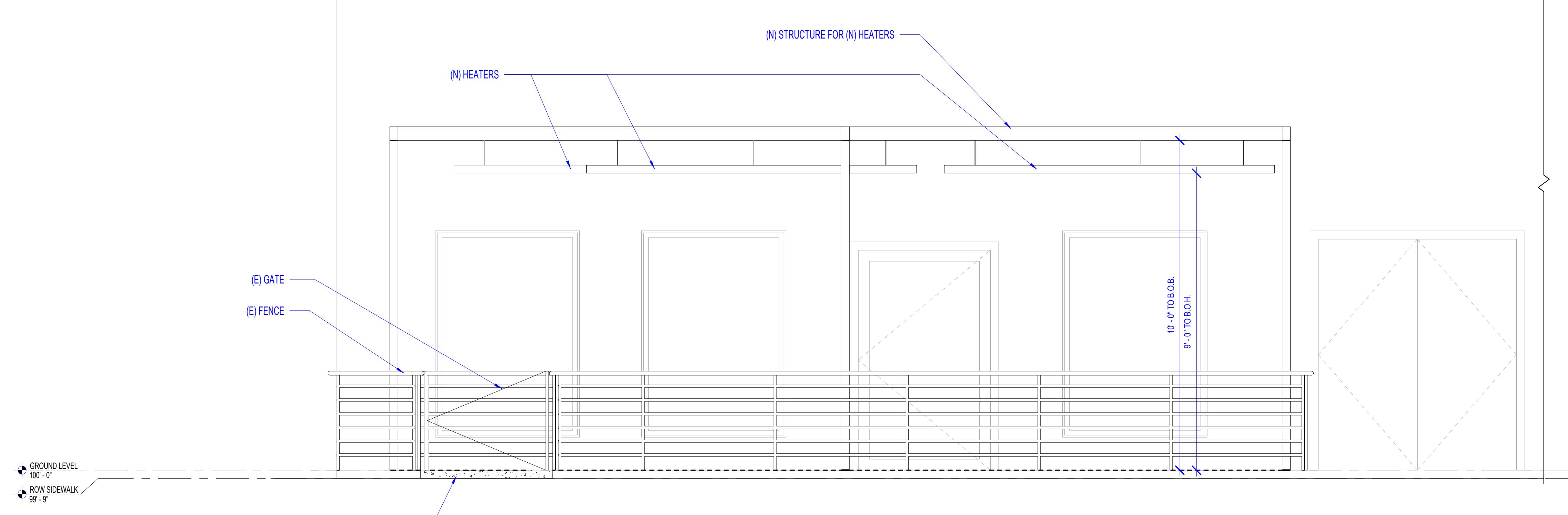
Sheet:

A103



3 HEATER STRUCTURE ELEVATION SOUTH

SCALE: 1/2" = 1'-0"



4 HEATER STRUCTURE ELEVATION WEST

SCALE: 1/2" = 1'-0"

EXHIBIT A
LAND DESCRIPTION
SHEET 1 OF 2

2022-ENCROACHMENT-0000018-002

A PARCEL OF LAND BEING A PORTION OF RIGHT OF WAY OF HUMBOLDT STREET BETWEEN 17TH AVENUE AND 18TH AVENUE LOCATED WITHIN THE SOUTHWEST QUARTER SECTION 35, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BASIS OF BEARINGS: A 20.5 FOOT RANGE LINE IN HUMBOLDT STREET BETWEEN 17TH AVENUE AND 18TH AVENUE IS ASSUMED TO BEAR NORTH 00°01'35" EAST, A DISTANCE OF 582.37 FEET BETWEEN A 2.5" ALUMINUM CAP STAMPED "LS 9489" IN A RANGE BOX FOUND AT THE INTERSECTION OF 17TH AVENUE AND HUMBOLDT STREET AND A 2" ALUMINUM CAP STAMPED "PLS 34579" IN A RANGE BOX FOUND AT THE INTERSECTION OF 18TH AVENUE AND HUMBOLDT STREET.

COMMENCING AT SAID RANGE POINT AT THE INTERSECTION OF 17TH AVENUE AND HUMBOLDT STREET, A FOUND 2.5" ALUMINUM CAP STAMPED LS 9489;

THENCE NORTH 65°43'11" EAST A DISTANCE OF 65.29 FEET TO A POINT BEING THE SOUTHWEST CORNER OF LOT 20, BLOCK 13, PARK AVENUE ADDITION TO DENVER;

THENCE ALONG THE WEST LINE OF SAID LOT 20, BLOCK 13, NORTH 00°01'35" EAST A DISTANCE OF 60.54 FEET TO A POINT ON THE WEST LINE OF LOT 21, BLOCK 13, BEING THE POINT OF BEGINNING;

THENCE DEPARTING SAID WEST LINE OF LOT 21, BLOCK 13, NORTH 89°39'47" WEST A DISTANCE OF 13.23 FEET;

THENCE NORTH 00°48'43" EAST A DISTANCE OF 29.64 FEET;

THENCE SOUTH 89°24'41" EAST A DISTANCE OF 12.82 FEET TO A POINT BEING THE NORTHWEST CORNER OF LOT 22, BLOCK 13;

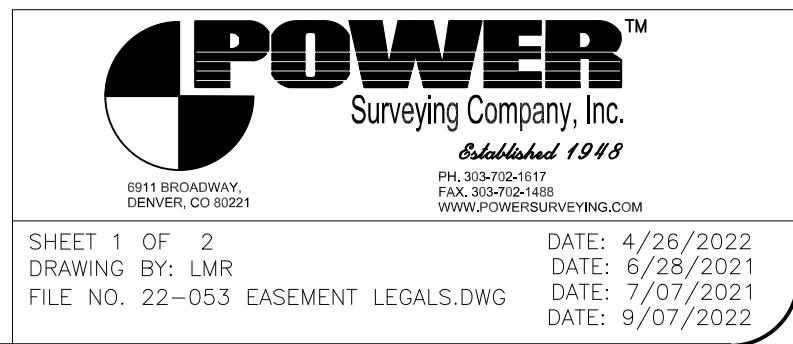
THENCE ALONG SAID WEST LINE OF LOT 22, BLOCK 13, SOUTH 00°01'35" WEST A DISTANCE OF 29.58 FEET TO THE POINT OF BEGINNING.

CONTAINING ± 386 SQUARE FEET OR ± 0.0088 ACRES


RICHARD B. GABRIEL
37929
9/6/2022

Richard B. Gabriel, P.L.S.
Colorado License #37929

For and on behalf of Power Surveying Company, Inc.
303-702-1617



RANGE POINT FOUND
2" ALUMINUM CAP
IN RANGE BOX
LS 34579

E 18TH AVE

EXHIBIT A
ILLUSTRATION
SHEET 2 OF 2

HUMBOLDT STREET
80.0' R.O.W.

N 00°01'35" E 582.37'
(BASIS OF BEARING)

20.5' RANGELINE

N00°48'43"E 29.64'

S89°24'41"E
12.82'

NORTHWEST
CORNER LOT 22

LOT 23

LOT 22

BLOCK 13 PARK
AVENUE ADDITION
TO DENVER

N89°39'47"W
13.23'

POINT OF
BEGINNING

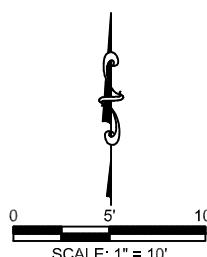
59.50'
PL-RL

LOT 21

LOT 20

N00°01'35"E
60.54'

SOUTHWEST
CORNER LOT 20



E 17TH AVE

RANGE POINT
FOUND 2.5" ALUMINUM CAP LS
9489
IN RANGE BOX
POINT OF
COMMENCEMENT

N65°43'11"E
65.29'

BASIS OF BEARINGS

BASIS OF BEARINGS: A 20.5 FOOT RANGE LINE IN HUMBOLDT STREET BETWEEN 17TH AVENUE AND 18TH AVENUE IS ASSUMED TO BEAR NORTH 00°01'35" EAST, A DISTANCE OF 582.37 FEET BETWEEN A 2.5" ALUMINUM CAP STAMPED "LS 9489" IN A RANGE BOX FOUND AT THE INTERSECTION OF 17TH AVENUE AND HUMBOLDT STREET AND A 2" ALUMINUM CAP STAMPED "PLS 34579" IN A RANGE BOX FOUND AT THE INTERSECTION OF 18TH AVENUE AND HUMBOLDT STREET.

LEGEND

- ◎ FOUND SURVEY MONUMENT AS NOTED
- RANGE LINE
- EASEMENT LINE
- LOT OR BLOCK LINE
- PL PROPERTY LINE
- RL RANGE LINE



POWERTM
Surveying Company, Inc.

Established 1948

PH. 303-702-1617
FAX. 303-702-1488
WWW.POWERSURVEYING.COM

SHEET 2 OF 2
DRAWING BY: LMR
FILE NO. 22-053 EASEMENT LEGALS.DWG

DATE: 4/26/2022
DATE: 6/28/2021
DATE: 7/07/2021
DATE: 9/07/2022

EXHIBIT A
LAND DESCRIPTION
SHEET 1 OF 2

2022-ENCROACHMENT-0000018-001

A PARCEL OF LAND BEING A PORTION OF RIGHT-OF-WAY OF E. 17TH AVENUE BETWEEN HUMBOLDT STREET AND FRANKLIN STREET LOCATED WITHIN THE SOUTHWEST QUARTER SECTION 35, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BASIS OF BEARINGS: A 20.5 FOOT RANGE LINE IN HUMBOLDT STREET BETWEEN 17TH AVENUE AND 18TH AVENUE IS ASSUMED TO BEAR NORTH 00°01'35" EAST, A DISTANCE OF 582.37 FEET BETWEEN A 2.5" ALUMINUM CAP STAMPED "LS 9489" IN A RANGE BOX FOUND AT THE INTERSECTION OF 17TH AVENUE AND HUMBOLDT STREET AND A 2" ALUMINUM CAP STAMPED "PLS 34579" IN A RANGE BOX FOUND AT THE INTERSECTION OF 18TH AVENUE AND HUMBOLDT STREET.

COMMENCING AT SAID RANGE POINT AT THE INTERSECTION OF E. 17TH AVENUE AND HUMBOLDT STREET;

THENCE NORTH 65°43'11" EAST A DISTANCE OF 65.29 FEET TO A POINT BEING THE SOUTHWEST CORNER OF LOT 20, BLOCK 13, PARK AVENUE ADDITION TO DENVER;

THENCE ALONG THE SOUTH LINE OF SAID LOT 20, BLOCK 13, SOUTH 89°51'06" EAST A DISTANCE OF 74.98 FEET TO A POINT ON SAID SOUTH LINE OF LOT 20, BLOCK 13, BEING THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTH LINE OF LOT 20, BLOCK 13, SOUTH 89°51'06" EAST A DISTANCE OF 44.97 FEET TO A POINT ON SAID SOUTH LINE OF LOT 20, BLOCK 13;

THENCE DEPARTING SAID SOUTH LINE OF LOT 20, BLOCK 13, SOUTH 00°08'54" WEST A DISTANCE OF 5.70 FEET;

THENCE SOUTH 89°59'12" WEST A DISTANCE OF 3.68 FEET;

THENCE SOUTH 00°01'02" EAST A DISTANCE OF 10.34 FEET;

THENCE SOUTH 89°59'16" WEST A DISTANCE OF 39.06 FEET;

THENCE NORTH 07°50'31" WEST A DISTANCE OF 16.32 FEET TO A POINT ON SAID SOUTH LINE OF LOT 20, BLOCK 13, AND THE POINT OF BEGINNING;

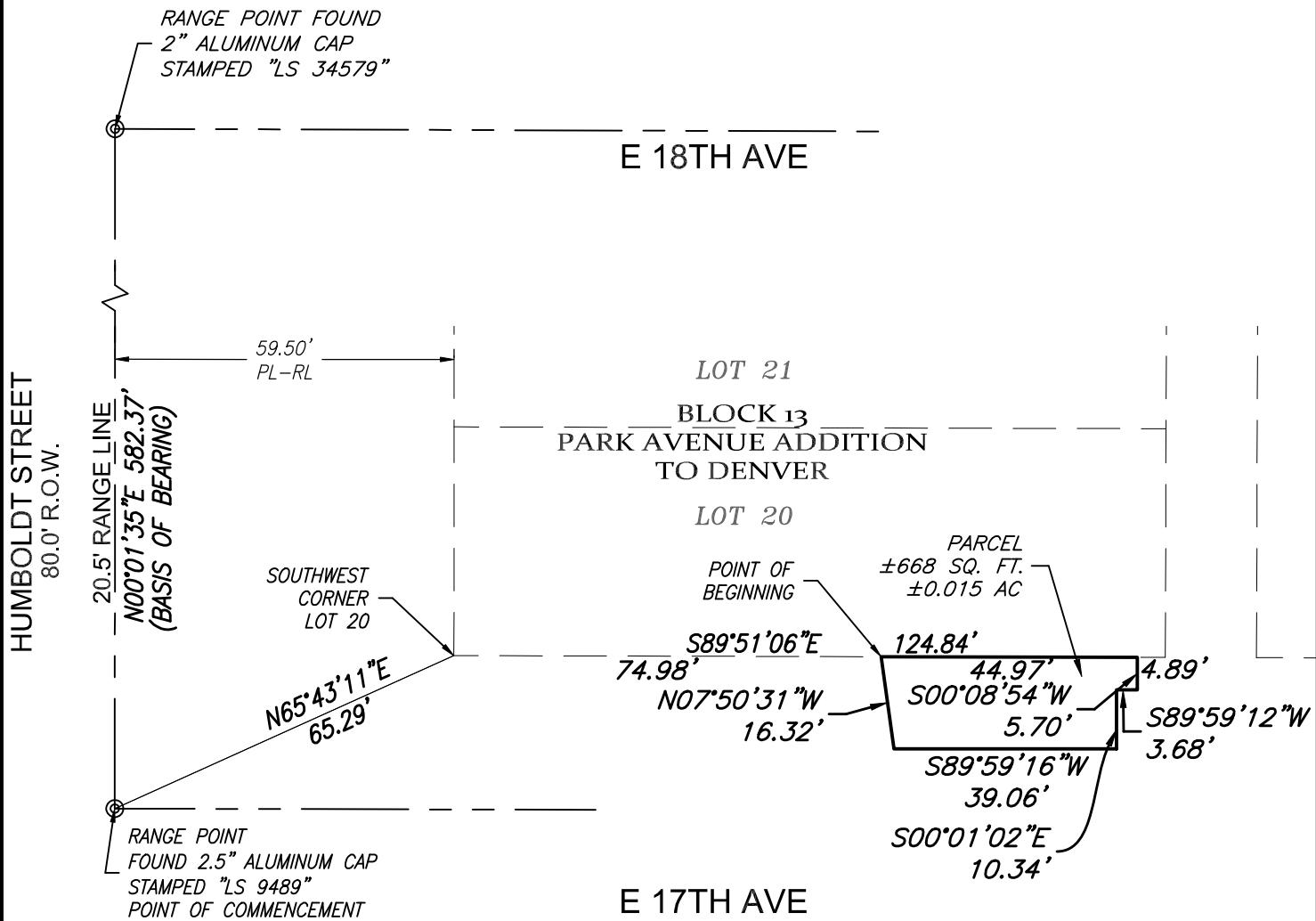
CONTAINING \pm 668 SQUARE FEET OR \pm 0.015 ACRES



Richard B. Gabriel, P.L.S.
Colorado License #37929
For and on behalf of Power Surveying Company, Inc.
303-702-1617



EXHIBIT A
ILLUSTRATION
SHEET 2 OF 2



BASIS OF BEARINGS

BASIS OF BEARINGS: A 20.5 FOOT RANGE LINE IN HUMBOLDT STREET BETWEEN 17TH AVENUE AND 18TH AVENUE IS ASSUMED TO BEAR NORTH 00°01'35" EAST, A DISTANCE OF 582.37 FEET BETWEEN A 2.5" ALUMINUM CAP STAMPED "LS 9489" IN A RANGE BOX FOUND AT THE INTERSECTION OF 17TH AVENUE AND HUMBOLDT STREET AND A 2" ALUMINUM CAP STAMPED "PLS 34579" IN A RANGE BOX FOUND AT THE INTERSECTION OF 18TH AVENUE AND HUMBOLDT STREET.



6911 BROADWAY,
DENVER, CO 80221

PH. 303-702-1617
FAX. 303-702-1488
WWW.POWERSURVEYING.COM



Comment Report

Department of Public Works
Engineering, Regulatory, & Analytics
201 W. Colfax Ave., Dept. 507
Denver, Colorado 80202-5304
(720) 865-3003
denver.pwera@denvergov.org

Page 1 of 9

Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

Master ID: 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000018 **Review Phase:**
Location: **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: DS Transportation Review	Review Status: Approved
--	-------------------------

Reviewers Name: Matt Farmen
Reviewers Email: matt.farmen@denvergov.org

Status Date: 02/16/2022
Status: Approved
Comments:

Reviewing Agency: DS Project Coordinator Review	Review Status: Approved w/Conditions
---	--------------------------------------

Reviewers Name: Tiffany Holcomb
Reviewers Email: Tiffany.Holcomb@denvergov.org

Status Date: 10/31/2022
Status: Approved w/Conditions
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios
Reviewing Agency/Company: Development Services / Project Coordination
Reviewers Name: Tiffany Holcomb
Reviewers Phone: 720-865-3018
Reviewers Email: Tiffany.Holcomb@denvergov.org
Approval Status: Approved with conditions

Comments:
- For Dos Santos at 1475 17th Avenue:
o the different documents show different square footages for the existing and proposed patio areas. Drawings need to be consistent.
o All drawings should show the zone lot line boundary. All of the proposed work appears to be in the public ROW and will be reviewed as a DOTI encroachment. If any work is to occur on the zone lot, then a separate zoning permit will also be needed.
- For 1702 N. Humboldt:
o All drawings should show the zone lot line boundary. All of the proposed work appears to be in the public ROW and will be reviewed as a DOTI encroachment. If any work is to occur on the zone lot, then a separate zoning permit will also be needed.

Status Date: 03/08/2022
Status: Approved w/Conditions
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios
Reviewing Agency/Company: Development Services / Project Coordination
Reviewers Name: Tiffany Holcomb
Reviewers Phone: 720-865-3018
Reviewers Email: Tiffany.Holcomb@denvergov.org
Approval Status: Approved with conditions

Comments:
The application is unclear as to if two separate areas of patio heater/overhead structures are proposed. Two separate applications

Comment Report

Page 2 of 9

Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

Master ID: 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000018 **Review Phase:**
Location: **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

are provided (one for 17th Avenue ROW in front of Dos Santos and one along Humboldt), but only one set of plans (for 17th Avenue) were found. Additionally, the plan for 17th Avenue indicates that the existing encroaching patio will be expanding in area. The applications should be updated to clearly note that an expansion in patio area is included as part of the Tier III request.

Status Date: 03/05/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Survey Review	Review Status: Approved
---------------------------------	-------------------------

Reviewers Name: Robert Castaneda
Reviewers Email: Robert.Castaneda@denvergov.org

Status Date: 10/19/2022
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios
Reviewing Agency/Company: DOTI ROWS Survey
Reviewers Name: Robert Castaneda
Reviewers Phone: 7208791937
Reviewers Email: robert.castaneda@denvergov.org
Approval Status: Approved

Comments:

Status Date: 03/02/2022
Status: Denied
Comments: Survey Comments in Comments

Reviewing Agency: DES Wastewater Review	Review Status: Approved w/Conditions
---	--------------------------------------

Reviewers Name: Philip Kim
Reviewers Email: Philip.Kim@denvergov.org

Status Date: 05/04/2022
Status: Approved w/Conditions
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios
Reviewing Agency/Company: 0001000001802754
Reviewers Name: philip kim
Reviewers Phone: 7203081053
Reviewers Email: philip.kim@denvergov.org
Approval Status: Approved with conditions

Comments:

Owners also should be aware of the street flooding at both sites and during a major storm event the patio space in ROW will experience flooding.

Structures will not be permitted to be enclosed due to the surrounding street flooding.

Status Date: 02/22/2022

2022-ENCROACHMENT-0000018

Comment Report

Page 3 of 9

Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

Master ID: 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000018 **Review Phase:**
Location: **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status: Denied
Comments: Encroachment requests will need to be processed separately.

Both businesses are in high risk flood areas, with flood depths exceeding 12" in the Public ROW. It is unclear if the proposed encroachment will enclose the existing patio space. Please submit architectural drawings of the proposed space. Structural columns and beams runs the risk of the tenant enclosing the space in the future and altering the drainage patterns in these areas thus the encroachment is denied.

Reviewing Agency: City Council Referral Review Status: Approved - No Response

Status Date: 03/05/2022
Status: Approved - No Response
Comments:

Reviewing Agency: ERA Transportation Review Review Status: Approved

Status Date: 09/26/2022
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios
Reviewing Agency/Company: DOTI ROWS ER Transportation
Reviewers Name: Paul Weller
Reviewers Phone: 720-913-0514
Reviewers Email: Paul.Weller@Denvergov.org
Approval Status: Approved

Comments:
The attached site plan has been revised to address our comments. The attached plans were submitted as requested and are acceptable

Attachment: MechPlans - 1475 E 17th Ave - 2021-11-02.pdf

Attachment: MechPlans - 1702 Humboldt St - 2021-11-02.pdf

Attachment: 22_0926-Dos Santos Patio_Site Plan.pdf

Status Date: 03/08/2022
Status: Denied
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios
Reviewing Agency/Company: DOTI ROWS ER Transportation
Reviewers Name: Paul Weller
Reviewers Phone: 720-913-0514
Reviewers Email: Paul.Weller@Denvergov.org
Approval Status: Denied

Comments:
Please identify type of heater (electric, natural gas or propane). Show size and location of service lines to heaters

REDLINES uploaded to E-review webpage

Comment Report

Page 5 of 9

Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

Master ID: 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000018 **Review Phase:**
Location: **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status Date: 03/08/2022
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios
Reviewing Agency/Company: RTD
Reviewers Name: C. Scott Woodruff
Reviewers Phone: 303-299-2943
Reviewers Email: clayton.woodruff@rtd-denver.com
Approval Status: Approved

Comments:

Status Date: 03/05/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Comcast Referral	Review Status: Approved
------------------------------------	-------------------------

Status Date: 03/08/2022
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios
Reviewing Agency/Company: Comcast
Reviewers Name: Jason Hanneman
Reviewers Phone: 7204130104
Reviewers Email: jason_hanneman@cable.comcast.com
Approval Status: Approved

Comments:
No Conflicts

Status Date: 03/05/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Metro Wastewater Referral	Review Status: Approved
---	-------------------------

Status Date: 03/08/2022
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios
Reviewing Agency/Company: Metro Water Recovery
Reviewers Name: Myles Howard
Reviewers Phone: 7207033627
Reviewers Email: MHoward@metrowaterrecovery.com
Approval Status: Approved

Comments:

Status Date: 03/05/2022
Status: Approved - No Response
Comments:

Comment Report

Page 6 of 9

Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

Master ID: 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000018 **Review Phase:**
Location: **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: Street Maintenance Referral	Review Status: Approved - No Response
---	---------------------------------------

Status Date: 03/05/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Office of Emergency Management Referral	Review Status: Approved - No Response
---	---------------------------------------

Status Date: 03/05/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Building Department Review	Review Status: Approved
--	-------------------------

Reviewers Name: Keith Peetz
Reviewers Email: keith.peetz@denvergov.org

Status Date: 03/03/2022
Status: Approved
Comments: Plans for the heaters and patio structure have been submitted for CPD (building department) review under 2021-Log-0014301.

Reviewing Agency: Division of Real Estate Referral	Review Status: Approved
--	-------------------------

Status Date: 02/17/2022
Status: Approved
Comments: From a Real Estate perspective, it's good business practice for the addresses to be confirmed. This request is being approved as the errors on the application can easily be identified as a single parcel, though they have different addresses, and the errors do not prevent identifying the intended encroachment location(s). That said, the following errors were noted:

The application for White Pie lists the Encroachment Owner/Adjacent Property Owner address as 1700 Humboldt Street. That address is also listed in the Encroachment Information section, further down on the page.

1. The address on file with the Colorado Secretary of State for The Elan Group LLC is 1475 E. 17th Ave. This should be the address shown for the Encroachment Owner/Adjacent Property Owner on the application.
2. In the Encroachment Information section, the address is shown as 1700 Humboldt Street.
 - 1700 Humboldt Street is the address for the Humboldt Kitchen and Bar
 - The address for White Pie is 1702 Humboldt Street

The application for Dos Santos shows the address as 1475 17th Street for the Encroachment Owner/Adjacent Property Owner and shows 1700 Humboldt Street as the adjacent property address in the Encroachment Information section.

1. The address on file with the Colorado Secretary of State for The Elan Group LLC is 1475 E. 17th Ave (not 1475 17th Street). This should be the address shown for the Encroachment Owner/Adjacent Property Owner on the application.
 - Certainly a simple omission and typo, but 1475 17th Street is an actual address, located about two miles away.
2. In the Encroachment Information section, the address is shown as 1700 Humboldt Street.
 - 1700 Humboldt street is the address for the Humboldt Kitchen and Bar
 - The address for Dos Santos is 1475 E. 17th Avenue

Comment Report

Page 7 of 9

Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

Master ID: 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000018 **Review Phase:**
Location: **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: Denver Fire Department Review Review Status: Approved

Reviewers Name: Richard Tenorio
Reviewers Email: richard.tenorio@denvergov.org

Status Date: 03/08/2022
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios
Reviewing Agency/Company: DFD / Fire Prevention Division
Reviewers Name: Rich Tenorio
Reviewers Phone: 7206333222
Reviewers Email: richard.tenorio@denvergov.org
Approval Status: Approved

Comments:
Denver Fire Dept. Approved - RT

Status Date: 03/02/2022
Status: Approved
Comments: Denver Fire Dept. Approved - RT

Reviewing Agency: Denver Water Referral Review Status: Approved

Status Date: 03/08/2022
Status: Approved
Comments: RS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios
Reviewing Agency/Company: Denver Water
Reviewers Name: Kela Naso
Reviewers Phone: 13036286302
Reviewers Email: kela.naso@denverwater.org
Approval Status: Approved

Comments:
Status Date: 03/05/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Parks and Recreation Review Review Status: Approved

Reviewers Name: Emily McKee
Reviewers Email: Emily.McKee@denvergov.org

Status Date: 02/15/2022
Status: Approved
Comments:

Reviewing Agency: Policy and Planning Referral Review Status: Approved - No Response

Status Date: 03/05/2022
Status: Approved - No Response

Comment Report

Page 8 of 9

Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

Master ID: 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000018 **Review Phase:**
Location: **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Comments:

Reviewing Agency: Denver Office of Disability Rights Referral	Review Status: Approved
---	-------------------------

Status Date: 03/08/2022
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios
Reviewing Agency/Company: DODR
Reviewers Name: Juan Pasillas
Reviewers Phone: 720-913-3309
Reviewers Email: juan.pasillas@denvergov.org
Approval Status: Approved

Comments:
*Approved.

*Final construction, specifically the 80" min. head clearance (2010 ADA §307.2), shall continue to adhere with all applicable accessibility requirements of this review.

Status Date: 03/05/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Construction Engineering Review	Review Status: Approved
---	-------------------------

Reviewers Name: Joe Saejiw
Reviewers Email: joe.saejiw@denvergov.org

Status Date: 02/25/2022
Status: Approved
Comments:

Reviewing Agency: TES Sign and Stripe Review	Review Status: Approved - No Response
--	---------------------------------------

Reviewers Name: Brittany Price
Reviewers Email: Brittany.Price@denvergov.org

Status Date: 03/05/2022
Status: Approved - No Response
Comments:

Reviewing Agency: City Forester Review	Review Status: Approved - No Response
--	---------------------------------------

Reviewers Name: Nick Evers
Reviewers Email: Nick.Evers@denvergov.org

Status Date: 03/05/2022
Status: Approved - No Response
Comments:

Comment Report

Page 9 of 9

Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

Master ID: 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000018 **Review Phase:**
Location: **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: Landmark Review	Review Status: Approved - No Response
-----------------------------------	---------------------------------------

Reviewers Name: Becca Dierschow
Reviewers Email: becca.dierschow@denvergov.org

Status Date: 03/05/2022
Status: Approved - No Response
Comments:

Reviewing Agency: CDOT Referral	Review Status: Approved
---------------------------------	-------------------------

Status Date: 03/08/2022
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios
Reviewing Agency/Company: CDOT Region 1 survey/ROW
Reviewers Name: dane courville
Reviewers Phone: 7206720231
Reviewers Email: dane.courville@state.co.us
Approval Status: Approved

Comments:
Not CDOT on system location, does not affect CDOT ROW. (approved/accepted)

Status Date: 03/05/2022
Status: Approved - No Response
Comments:

Reviewing Agency: ERA Review	Review Status: Approved - No Response
------------------------------	---------------------------------------

Reviewers Name: Shari Bills
Reviewers Email: Shari.Bills@denvergov.org

Status Date: 03/05/2022
Status: Approved - No Response
Comments: