

# APPLICATION

## FOR ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT-OF-WAY

An Encroachment Permit is required prior to placing privately-owned improvements ("Encroachment" or "Encumbrance") in the public Right-of-Way (ROW). Only Encroachment Permit Applications in accordance with [Rules and Regulations](#) and [Permit Entrance Requirements](#) for Encroachments in the Public Right-of-Way will be considered by the Department of Transportation & Infrastructure (DOTI). **It is the City's sole discretion whether to grant an Encroachment Permit based on any facts the City feels are relevant. Approval is not guaranteed.**

To apply, complete this application and submit together with required application materials in accordance with the [Permit Entrance Requirements](#) to [DOTI.ER@denvergov.org](mailto:DOTI.ER@denvergov.org). Please type or print clearly. If necessary, attach additional sheets to fully answer any of the following sections. Incomplete applications packages will not be accepted. Questions on this application or the process can be sent to [DOTI.ER@denvergov.org](mailto:DOTI.ER@denvergov.org).

### ENCROACHMENT OWNER/ADJACENT PROPERTY OWNER:

**The adjacent property owner will be the Encroachment Owner and Permittee and is the responsible party for the Encroachment in accordance with the Rules and Regulations, including all fees and annual billing.**

Company Name: Uptown Trio, LLC  
Contact Name: Steve Kursh  
Property Address: 1475 E. 17th Avenue & 1702 Humboldt St, Denver, CO 80218  
Billing Address: 1700 Humboldt St, Denver, CO 80218  
Telephone Number: 917.806.8636 Email Address: sk@casualthought.com

### OWNER REPRESENTATIVE: ☐ Check if the same as Adjacent Property Owner

Company Name: ArcDen Studio  
Contact Name: Hans Osheim  
Address: 3201 Osage Street  
Telephone Number: 720.688.9028 Email Address: hosheim@arcdenstudio.com

### ENCROACHMENT INFORMATION:

Project Name: White Pie & Dos Santos Patios  
Adjacent Property Address: 1700 Humboldt St, Denver, CO 80218  
Coordinates (Lat/Long): \_\_\_\_\_  
Encroachment Area, in SF: 333

City and County of Denver — Department of Transportation & Infrastructure  
Right-of-Way Services | Engineering & Regulatory  
201 West Colfax Ave. Dept. 507 | Denver, CO 80202  
[www.denvergov.org/doti](http://www.denvergov.org/doti)  
Phone: 720-865-3003



Is this project associated with a LAND DEVELOPMENT REVIEW?

Yes ☐ No ☒ If 'Yes', provide Project Master, Site Plan and/or Concept Development Project Numbers:

Location Description: (e.g. Located on the South side of 23rd Ave, twenty (20) feet from face of curb, and ten (10) feet west of pavement on Private Drive.)

Located on the East side of Humboldt Street, 89'-0" from East 17th Avenue and Located on the North side of 17th Avenue, 11'-0" from the face of the curb, and 20'-0" from the public alley.

Description of Encroachment:

*Describe the proposed encroachment, including the type, dimensions, and quantity of objects. If the space below is not enough space to describe the encroachment, attach the description as a sheet. Additionally, provide required application materials in accordance with the Permit Entrance Requirements. It is not acceptable to use "please see attached plans" or other vague descriptors.*

We are proposing new heaters suspended from new post and beam steel structures above existing patio spaces in the public ROW. The steel structures are not covered and will not provide walls for the patios. The steel structures will not extend above the existing building.

Justification for Private Improvements in the Public ROW:

*Private improvements should be located on private property. Only in cases where there are physical constraints that preclude the placement of private improvements on private property that an encroachment may be considered within the right-of-way. Make your case as to why this is a good use of the public right-of-way. It is not acceptable to use "you want/need it" or other vague descriptors.*

The Dos Santos patio along 17th Avenue is existing and approved in Resolution No. CR 15-0171. The proposed changes include adding the area as outlined in Exhibit A and on the site plan of an existing patio space on the East side of Humboldt for White Pie to that of the resolution and allowing for the permitted use of heaters and support structure for the existing patios. These heater systems would not further interfere in the public ROW and will not extend beyond the footprint of the existing patios.

**FOR ER INTERNAL USE ONLY:**

Tier Determination: \_\_\_\_\_ Project Number: \_\_\_\_\_ Initials: \_\_\_\_\_

## ATTESTATION:

**By submitting this permit application and signing below, I understand and agree to the following:**

1. That I am the property owner adjacent to the Encroachment Area, or the authorized representative of a Special District, that is responsible for the placement, maintenance, repair, replacement, removal, site restoration, ownership, or is otherwise responsible for the Encroachment in accordance with the Rules & Regulations for Encroachments and Encumbrances in the Public Right-of-Way.
2. That it is the City's sole discretion to classify the Tier of an Encroachment and whether to grant an Encroachment Permit based on any facts the City feels are relevant. The issuance of an Encroachment Permit confers no rights to the Right-of-Way, the Encroachment Permit is revocable and DOTI can order the removal of the Encroachment and restoration of the Encroachment Area for any reason the City feels relevant.
3. Permittee agrees to defend, indemnify, reimburse and hold harmless the City, its appointed and elected officials, agents and employees for, from and against all liabilities, claims, judgments, suits or demands for damages to persons or property arising out of, resulting from, or relating to an Encroachment Permit and the Encroachment ("Claims"). This indemnity shall be interpreted in the broadest possible manner to indemnify City for any acts or omissions of Permittee or its subcontractors either passive or active, irrespective of fault, including City's negligence whether active or passive.
4. Permittee's duty to defend and indemnify City shall arise at the time written notice of the Claim is first provided to City regardless of whether claimant has filed suit on the Claim. Permittee's duty to defend and indemnify City shall arise even if City is the only party sued by claimant and/or claimant alleges that City's negligence or willful misconduct was the sole cause of claimant's damages.
5. Permittee will defend any and all Claims which may be brought or threatened against City and will pay on behalf of City any expenses incurred by reason of such Claims including, but not limited to, court costs and attorney fees incurred in defending and investigating such Claims or seeking to enforce this indemnity obligation. Such payments on behalf of City shall be in addition to any other legal remedies available to City and shall not be considered City's exclusive remedy.
6. Insurance coverage requirements specified in an Encroachment Permit shall in no way lessen or limit the liability of Permittee under the terms of this indemnification obligation. Permittee shall obtain, at its own expense, any additional insurance that it deems necessary for the City's protection.
7. This defense and indemnification obligation shall survive the expiration or termination of any issued Encroachment Permit.
8. Permittee is fully responsible for all costs to install, maintain, repair, replace, remove, and restore the Encroachment Area, including annual City Encroachment Permit Fees. A lien will be placed on the Permittee's property for failure to remove a revoked or abandoned Encroachment for cost incurred by CCD to remove the Encroachment and restore the Encroachment Area on behalf of the Permittee.
9. Indemnity and Insurance for Tier I and Tier II Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier I or Tier II Encroachment, the Owner of such Tier I or Tier II Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier I or Tier II Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$2,000,000 policy aggregate. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.
10. Indemnity and Insurance for Tier III Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier III Encroachment, the Owner of such Tier III Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier III Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$5,000,000 policy aggregate. A combination of primary and excess coverage may be used to meet the aggregate limit. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.

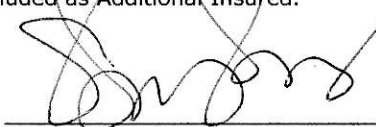
**ADJACENT PROPERTY  
OWNER SIGNATURE:**

**PRINT NAME:**

**COMPANY:**

**DATE:**

**TITLE:**

  
STEVE KURSH  
UPTOWN TRIO LLC  
1-18-23  
MANAGING PARTNER



**DOS SANTOS**

ENCROACHMENT PERMIT

**01.12.2022**



## GENERAL NOTES

1-ALL WORK PERFORMED, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH APPLICABLE AND LATEST REQUIREMENTS OF THE NATIONAL, STATE AND LOCAL BUILDING CODES, ALL LOCAL AND STATE HANDICAP ACCESS AND USE REGULATIONS, ANY FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, LANDLORD'S RULES AND REGULATIONS, AND GENERAL CONDITIONS OF APPLICABLE OWNER/CONTRACTOR AGREEMENT.

2-BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE OWNER, LANDLORD AND THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING AGENCIES.

3-THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THAT ALL EXISTING CONDITIONS AGREE WITH INFORMATION SHOWN ON THE DRAWINGS. ANY CONFLICTS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF ANY WORK. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON HIS BEHALF FOR ANY ADDITIONAL EXPENSES WHICH ARE INCURRED DUE TO INSPECTION OF EXISTING CONDITIONS.

4-PRIOR TO COMMENCING WORK, ORDERING OF MATERIALS AND SHOP FABRICATION OF ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS INDICATED ON THE DRAWING AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.

5-DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCES, AND TYPICAL DETAIL FOR CONSTRUCTION. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS. FOR CONDITIONS NOT ILLUSTRATED, NOTIFY ARCHITECT FOR CLARIFICATION AND OF SIMILAR DETAIL.

6-THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, DEVICES AND SUPERVISION REQUIRED FOR PROPER EXECUTION AND COMPLETION OF THE WORK DESCRIBED ON THE DRAWINGS AND SPECIFIED HEREIN. PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF, THE SUBCONTRACTORS, MATERIAL, SUPPLIERS AND TRADES PEOPLE WITH ALL CONSTRUCTION DOCUMENTS, FIELD CONDITIONS AND EXISTING DIMENSIONS, AND SHALL CONFIRM THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CLARIFICATIONS FROM THE ARCHITECT.

7-THE WORK IN THIS PROJECT SHALL CONFORM TO ALL APPLICABLE CODES, STANDARDS, REGULATIONS, ETC., REQUIRED, ISSUED, OR OTHERWISE ENFORCED BY ANY AND ALL AUTHORITIES HAVING JURISDICTION. REFER TO CODE INFORMATION ON THIS SHEET FOR APPLICABLE CODES AND JURISDICTIONS.

8-THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY KNOWLEDGE OF POSSIBLE CONFLICTS OR DISCREPANCIES BETWEEN REQUIREMENTS OF THESE CONSTRUCTION DOCUMENTS AND APPLICABLE CODES, STANDARDS AND REGULATIONS, ETC.

9-THE SCOPE OF WORK INCLUDES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS REQUIRED TO COMPLY WITH THE INTENT OF THE DESIGN SHALL BE PERFORMED TO PROVIDE A COMPLETE AND FINISHED PRODUCT, INCLUDING WORK WHICH MAY NOT BE SPECIFICALLY INCLUDED ON THE CONTRACT DOCUMENTS, AND SHALL BE INCLUDED IN ALL BIDS. CONTRACTOR TO INSPECT AT TIME OF DELIVERY ALL FIXTURES PROVIDED BY OWNER TO INSURE PROPER QUANTITY, THAT ITEMS ARE DEFECT FREE, AND MATCH INVOICE. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION, WHICH MAY INCLUDE BLOCKING, SHIMING, ETC. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL ITEMS SUPPLIED BY OWNER'S VENDORS AND TO VERIFY THAT ALL MATERIALS RECEIVED ARE IN ACCORDANCE WITH THE SPECIFICATION HEREIN. ANY DAMAGES ITEMS OR DISCREPANCIES BETWEEN MATERIALS SPECIFIED AND MATERIALS SHIPPED SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PROMPTLY.

10-THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS, MATERIALS AND FINISHES WITHIN THE PROPOSED CONSTRUCTION AREA AND ALL ADJOINING PROPERTY AFFECTED BY CONTRACTORS OPERATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. ANY EXISTING MATERIALS AND FINISHES WHICH ARE DAMAGED, SHALL BE REPLACED AS NECESSARY WITH NEW MATCHING MATERIAL AT THE CONTRACTOR'S OWN COST AND EXPENSE.

11-THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK THAT MAY BE INDICATED ON THE DRAWING, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PATCHING SHALL MATCH ADJACENT SYSTEMS, MATERIALS AND FINISHES UNLESS OTHERWISE NOTED.

12-CONTRACTOR SHALL EMPLOY ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK. ALL WORK SHALL BE PERFORMED BY DULY LICENSED TRADESMEN AND AS REQUIRED BY STATE AND LOCAL GOVERNMENTS FOR EACH APPLICABLE TRADE, (PLUMBING, ELECTRICAL, ETC.) WHO SHALL ARRANGE FOR AND OBTAIN REQUIRED INSPECTIONS AND SIGNS OFFS.

13-THESE DRAWINGS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTOR, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS.

14-CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK OF ALL TRADES AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS, AND SHALL VERIFY THAT ANY WORK RELATING TO THEM WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.

15-CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL AND CEILING MOUNTED FIXTURES, FINISHES, EQUIPMENT, BATH ACCESSORIES, ETC.

16-CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTION AND/OR RECOMMENDATIONS.

17-CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP THE ADJOINING PREMISES, INCLUDING STREET AND OTHER AREAS ASSIGNED TO OR USED BY THE CONTRACTOR, FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY CONTRACTORS AND SUBCONTRACTOR'S EMPLOYEES.

18-CONTRACTOR SHALL ASSIST WITH DELIVERY AND STORAGE OF OWNER SUPPLIED ITEMS, AND DISPOSE OF ANY RESULTING TRASH.

19-CONTRACTOR SHALL VERIFY WITH OWNER AND IMPLEMENT ALL LANDLORD CONSTRUCTION AND DESIGN CRITERIA, SHOWN ON THIS SET OF DRAWINGS OR ACKNOWLEDGED IN WRITING.

20-CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL TRADES PRIOR TO INSTALLATION, AND SAMPLES OF ALL MATERIAL AND COLOR FINISHES FOR ARCHITECT'S APPROVAL. CONTRACTOR SHALL PROVIDE TIMELY AND COMPLETE DATA ON ANY DEVIATION/SUBSTITUTION FROM CONTRACT DOCUMENTS.

21-CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH, PROFESSIONAL CLEANING OF THE ENTIRE FACILITY PRIOR TO OWNER TAKEOVER DATE. ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING MUST BE WIPED CLEAN AND FREE OF DUST: WALLS, EXPOSED STRUCTURAL MEMBERS, STAIRS AND RAILINGS, CABINETRY, LIGHTING FIXTURES/LAMPS, DUCT WORK, SPRINKLER PIPES, STOREFRONT SYSTEMS, INTERIOR/ EXTERIOR GLAZING, ETC. ALL FLOORS MUST BE MOPPED CLEAN.

22-CONTRACTOR TO PROVIDE THREE (3) COPIES OF AS BUILT INFORMATION, OPERATION AND MAINTENANCE MANUALS, INCLUDING ALL PRODUCT GUARANTEES AND WARRANTIES.

23-CONTRACTOR IS RESPONSIBLE FOR A CERTIFICATE OF OCCUPANCY PRIOR TO FINAL RETAINAGE INVOICE, ANY AND ALL TRADE TESTING AND SIGNOFFS, AND SHALL VERIFY THAT THEY HAVE BEEN SECURED AS ISSUED BY REQUIRED LOCAL AUTHORITIES PRIOR TO OWNER OCCUPANCY.

24-CONTRACTOR TO PROVIDE ARCHITECT WITH SAMPLES OF ALL FINISHES, TEXTURES, AND COLORS (10) BUSINESS DAYS PRIOR TO INSTALLATION.

25-CERTAIN PROFESSIONAL SERVICES MAY BE PERFORMED BY INDEPENDENT CONSULTANTS UNDER SEPARATE AGREEMENTS WITH THE OWNER. THE ARCHITECT WILL NOT BE PROFESSIONALLY LIABLE OR RESPONSIBLE FOR WORK OF INDEPENDENT CONSULTANTS, WHERE INFORMATION OR DOCUMENTS HAVE BEEN PROVIDED BY INDEPENDENT CONSULTANTS. THE CONTRACTOR SHALL DIRECT ALL INQUIRIES AND SUBMITTALS TO SUCH CONSULTANTS WITH COPIES TO THE ARCHITECT FOR INFORMATION ONLY.

26-CERTAIN ITEMS SHOWN OR SPECIFIED IN THE CONTRACT DOCUMENTS MAY BE FURNISHED BY THE OWNER, AT THEIR DISCRETION, FOR INSTALLATION BY THE CONTRACTOR. OR THE OWNER MAY CHOOSE TO FURNISH AND INSTALL CERTAIN ITEMS THEMSELVES.

27-EXISTING STRUCTURES: THESE CONTRACT DOCUMENTS HAVE BEEN PREPARED FROM OWNER FURNISHED INFORMATION AND SITE OBSERVATION. DURING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER EXISTING CONDITIONS WHICH ARE NOT NOW KNOWN OR ARE AT VARIANCE WITH PROJECT DOCUMENTATION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL CONDITIONS NOT PROVIDED IN THE CONTRACT DOCUMENTS. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO: SIZES OR DIMENSIONS OTHER THAN THOSE SHOWN; DAMAGE OR DETERIORATION TO MATERIALS AND COMPONENTS; CONDITIONS OF INSTABILITY OR LACK OF SUPPORT.

28-DO NOT SCALE DRAWINGS

29-THESE DRAWINGS, INCLUDING SPECIFICATIONS, DO NOT PURPORT TO FURNISH ALL INFORMATION REQUIRED FOR A COMPLETE INSTALLATION. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF THE PROJECT.

30-ALL CONTRACTORS AND SUB CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING THAT THEIR WORK IS DONE IN ACCORDANCE WITH THE GOVERNING LAWS AND CODES.

## SYMBOL LEGEND

	CENTER LINE
	DOOR NUMBER
	WINDOW NUMBER
	CONTROL POINT
	BUILDING SECTION REFERENCE DRAWING NUMBER
	WALL SECTION REFERENCE DRAWING NUMBER
	DETAIL SECTION REFERENCE DRAWING NUMBER
	DETAIL OR ENLARGED DRAWING REFERENCE DRAWING NUMBER
	EXTERIOR ELEVATION REFERENCE DRAWING NUMBER
	DETAIL DRAWING REFERENCE DRAWING NUMBER
	ROOM NAME ROOM NUMBER AREA
	INTERIOR ELEVATION REFERENCE DRAWING NUMBER
	EQUIPMENT TAG: LETTER = GROUP FUNCTION NUMBER = ITEM NUMBER
	PLUMBING TAG: LETTER = PLUMBING TAG NUMBER = ITEM NUMBER
	REVISION MARKER: TRIANGLE CONTAINS REVISION DOCUMENT NUMBER. REVISION DOCUMENT IS NUMBERED IN TITLEBLOCK AT RIGHT. CLOUD INDICATES AREA OF REVISION.

## ABBREVIATIONS

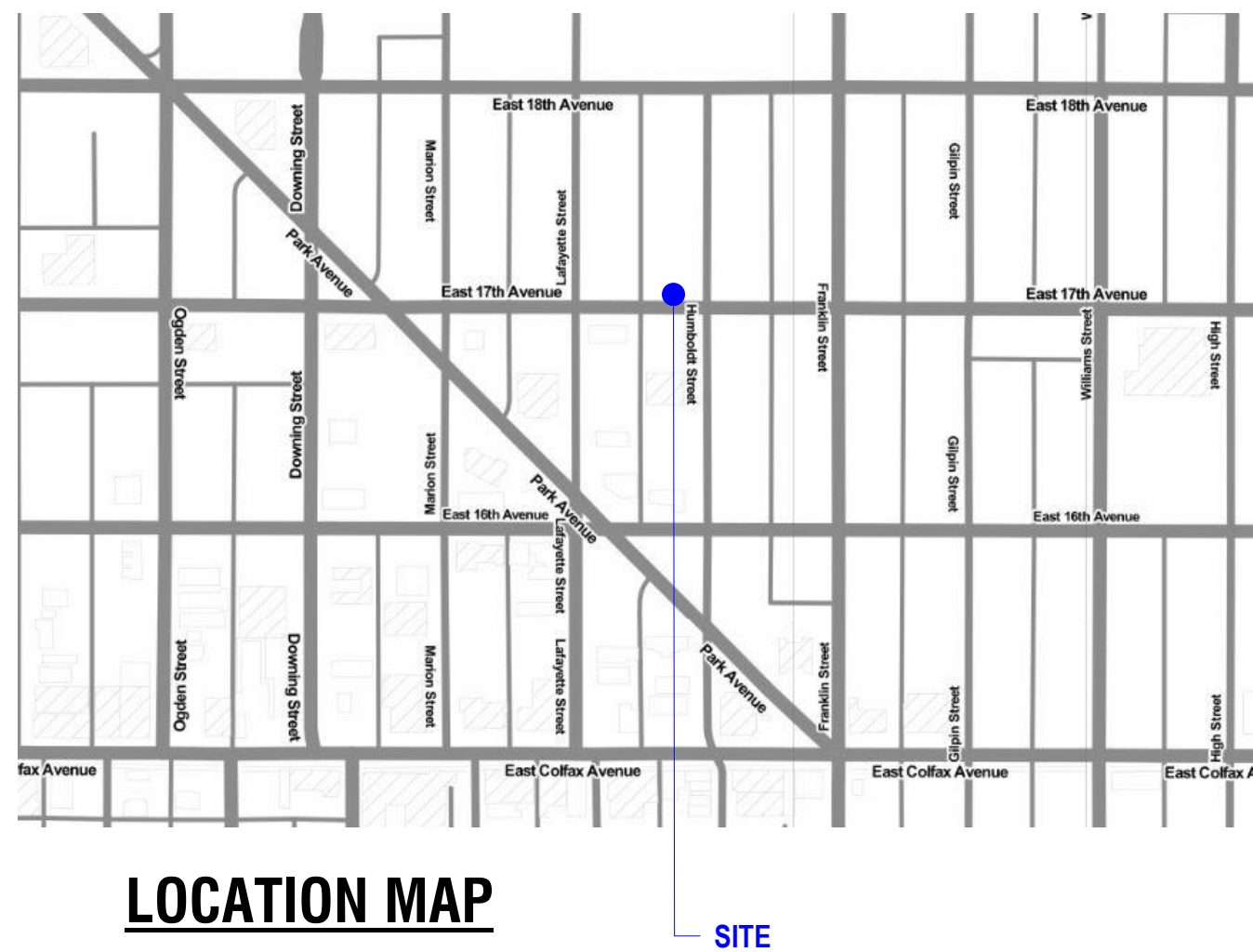
& @ # C A/C ADD. ADJ. ALT. A.F.F. ALUM. APPROX. BLDG. B.O. BTWN. B.U.R. CAB. CEM CER. C.I.P. CLG. CLR. C.J. CLOS. COL. CONC. CONT. D DTL. D.F. DR D.S. DWR. (E) E.J. EL. ELEC. EQ. EXT. FIN. F.F. FT. GA. G.C. GL. GWB HDR. HOR. H.P. HT. HVAC	AND AT NUMBER COPYRIGHT AIR CONDITIONING ADDENDUM ADJUSTABLE ALTERNATE ABOVE FINISHED FLOOR ALUMINUM APPROXIMATE BUILDING BOTTOM OF BETWEEN BUILT UP ROOF CABINET CEMENT CERAMIC CAST IN PLACE CEILING CLEARANCE CONTROL JOINT CLOSET COLUMN CONCRETE CONTINUOUS OR CONTINUE DEPTH DETAIL DRINKING FOUNTAIN DOOR DOWN SPOUT DRAWER (E) EXPANSION JOINT ELEVATION ELECTRIC(AL) EQUAL EXTERIOR FINISH FINISH FLOOR FOOT/FEET GAUGE GENERAL CONTRACTOR GLASS GYPSUM WALL BOARD HEADER HORIZONTAL HIGH POINT HEIGHT HEATING/VENTILATION/AIR CONDITIONING	IN. INSTAL. INSUL. JAN. LAM. LAV. MAX. MECH. MIN. METAL (N) NATURAL NAT. N.T.S. O.C. PART. P-LAM PLYWD. PLY. REF. REINFORCING REQUIRED ROOM ROUGH OPENING R.O. SCHEDULE S.F. SHT. SPEC. SQ. STN. STL. STRCT. TAG T.B.D. T.B.S. TEL. T.O. TYP. VERT. VNR. V.F. VT. W/ W.C. W.I.C. WD. W.H. WIN. VCT	INCHES INSTALLATION INSULATION JANITOR LAMINATE LAVATORY MAXIMUM MECHANICAL MINIMUM METAL NEW NATURAL NOT IN CONTRACT NOT TO SCALE ON CENTER PARTITION PLASTIC LAMINATE PLYWOOD REFER(ED) REINFORCING REQUIRED ROOM ROUGH OPENING R.O. SCHEDULE SQUARE FEET SHEET SPECIFICATION(S) SQUARE STAINLESS STEEL STEEL STRUCTURAL TONGUE AND GROOVE TO BE DETERMINED TO BE SELECTED TELEPHONE TO OF TYPICAL VERTICAL VENEER VERIFY IN FIELD WIDTH WITH WATER CLOSET WALK IN CLOSET WOOD WOOD WATER HEATER HORIZONTAL VINYL COMPOSITE TILE
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## PROJECT DESCRIPTION

PROJECT NAME & ADDRESS:	DOS SANTOS 1475 E 17th Ave. Denver, CO 80218
PARCEL INFORMATION SCHEDULE NUMBER:	02354-14-014-000
LEGAL DESCRIPTION	L 20 TO 22 INC BLK 13 PARK AVENUE ADD
PROJECT DESCRIPTION:	EXTERIOR PATIO - ADD GAS FIRED PATIO HEATERS AND SUPPORTS
BUILDING STORIES:	1
TYPE OF CONSTRUCTION:	V-B
SQUARE FOOTAGE:	DOS SANTOS GROUND LEVEL 1870 SF EXISTING PATIO 420 SF TOTAL AREA: 2,290 SF
AREA OF WORK: EXISTING PATIO: TOTAL AREA:	420 SF 528 SF
PATIO OCCUPANCY	A-2
PATIO OCCUPANCY LOAD	UNCONCENTRATED: 15 NET DOS SANTOS AREA: 528 OCCUPANTS: 35
EXITS REQUIRED	1
EXITS PROVIDED	1
PERMITTING AUTHORITY:	CITY AND COUNTY OF DENVER BUILDING DEPARTMENT
FIRE JURISDICTION:	DENVER
ZONING:	URBAN CENTER - MIXED USE - 5 STORIES MAX HEIGHT (CMX-5)
ADOPTED BUILDING CODES:	2018 ICC



### VICINITY MAP



### LOCATION MAP

## PROJECT DIRECTORY

OWNER:	ELAN GROUP 1475 17TH AVE DENVER, CO 80218  CONTACT: JASON WALLEN JWALLEN@GMAIL.COM
ARCHITECT:	ARC DEN STUDIO 3201 OSAGE STREET #101 DENVER, CO 80211 [P] 720 688 9028  HANS OSHEIM hosheim@arcdenstudio.com
STRUCTURAL ENGINEER:	Mozzer-Renn Structural Service, Inc. 8573 E. Napa Place Denver, CO 80237 303.870.5039
MECHANICAL ENGINEER:	MEP: RJA, LLC 3295 Blake St, #104 Denver, CO 80205 720.598.0774

## INDEX OF DRAWINGS

DRAWING LIST				
DRAWING #	TITLE	ISSUE DATES	REVISION DATE	CURRENT REVISION DESCRIPTION
T100	COVER SHEET WHITE PIE	01/12/2022		
T1.01	TITLE/ GEN. INFO	01/12/2022		
T1.02	SITE PLAN	01/12/2022		
A1.01	FLOOR PLAN	01/12/2022		
A1.03	ELEVATIONS	01/12/2022		
S100	STRUCTURAL PLAN	01/12/2022		
S101	STRUCTURAL SECTION AND NOTES	01/12/2022		



**Owner:**  
Elan Group  
1475 17TH AVE.  
Denver, CO 80218

**Design:**  
ArcDen Studio, LLC  
3201 Osage St, #101  
Denver, CO 80211  
Contact: Hans Osheim  
720.688.9028

**Structural:**  
Mozzer-Renn Structural  
Service, Inc.  
8573 E. Napa Place  
Denver, CO 80237  
303.870.5039

**MEP:**  
RJA, LLC  
3295 Blake St, #104  
Denver, CO 80205  
720.598.0774

**DOS SANTOS**  
1475 E. 17TH AVE. DENVER, CO  
80218

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Stamp:



Date:01/12/2022

Phase:DOTI PERMIT

Revisions/Issues:

-  
-  
-

Contents:  
TITLE/ GEN. INFO

Sheet:

**T1.01**



**Owner:**  
Elan Group  
1475 17TH Ave.  
Denver, CO 80218

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1475 E. 17TH AVE. DENVER, CO  
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Stamp:



Date:01/12/2022

Phase:DOT1 PERMIT

Revisions/Issues:

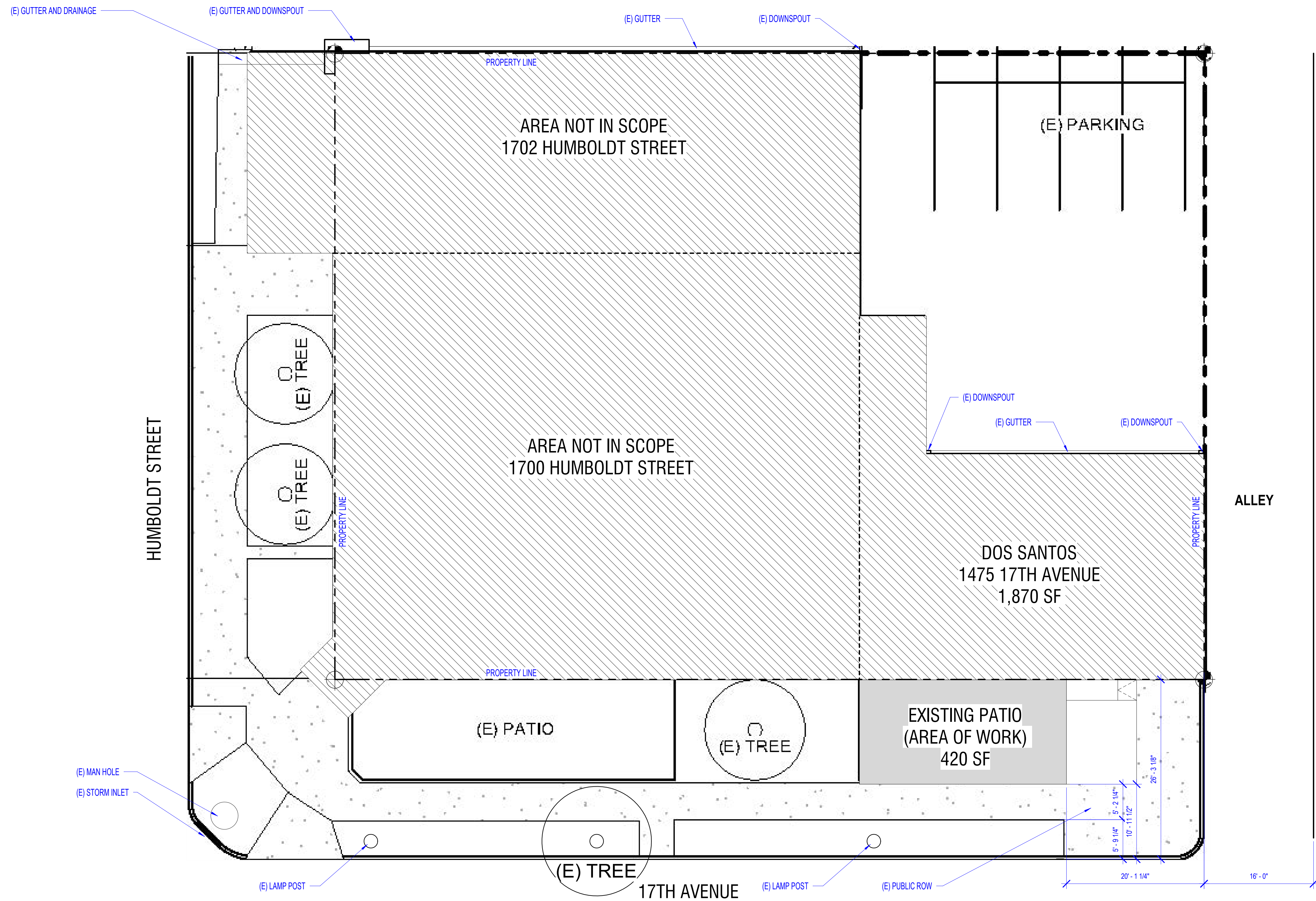
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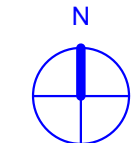
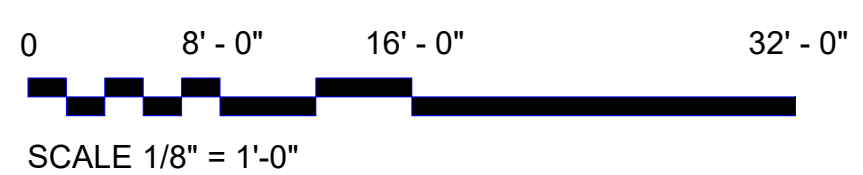
Contents:  
SITE PLAN

Sheet:

**T1.02**



**1 SITE PLAN**  
SCALE: 1/8" = 1'-0"



Owner:  
Elan Group  
1475 17TH Ave.  
Denver, CO 80218

Design:  
ArcDen Studio, LLC  
3201 Osage St, #101  
Denver, CO 80211  
Contact: Hans Osheim  
720.688.9028

Structural:  
Mozzer-Renn Structural  
Service, Inc.  
8573 E. Napa Place  
Denver, CO 80237  
303.870.5039

MEP:  
RJA, LLC  
3295 Blake St, #104  
Denver, CO 80205  
720.598.0774

DOS SANTOS  
1475 E. 17TH AVE. DENVER, CO  
80218

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Date:01/12/2022

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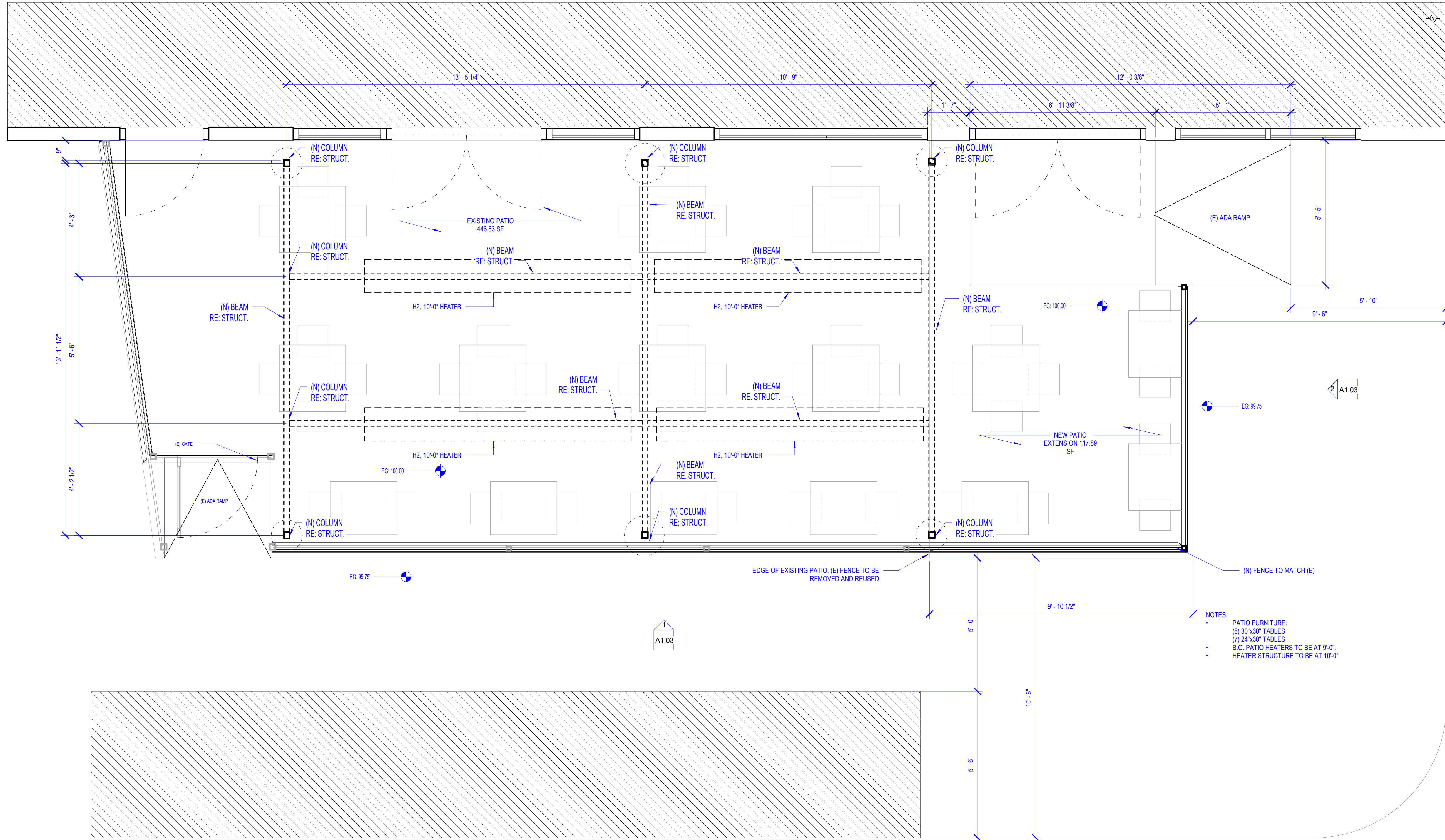
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Contents:

FLOOR PLAN

Sheet:

A1.01



1 DOS SANTOS PATIO  
1/2" = 1'-0"

**Owner:**  
Elan Group  
1475 17TH Ave.  
Denver, CO 80218

**Design:**  
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3201 Osage St, #101  
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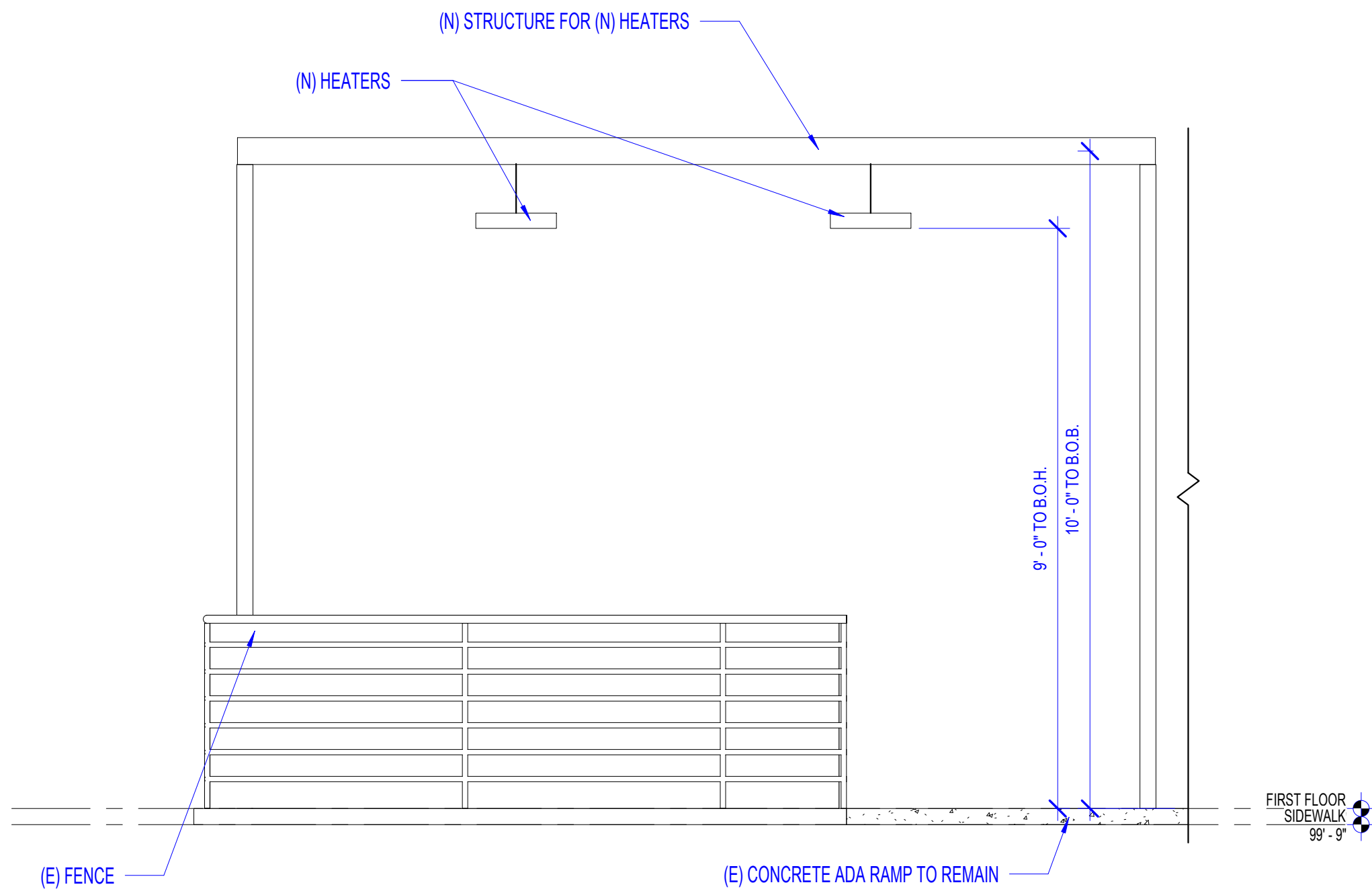
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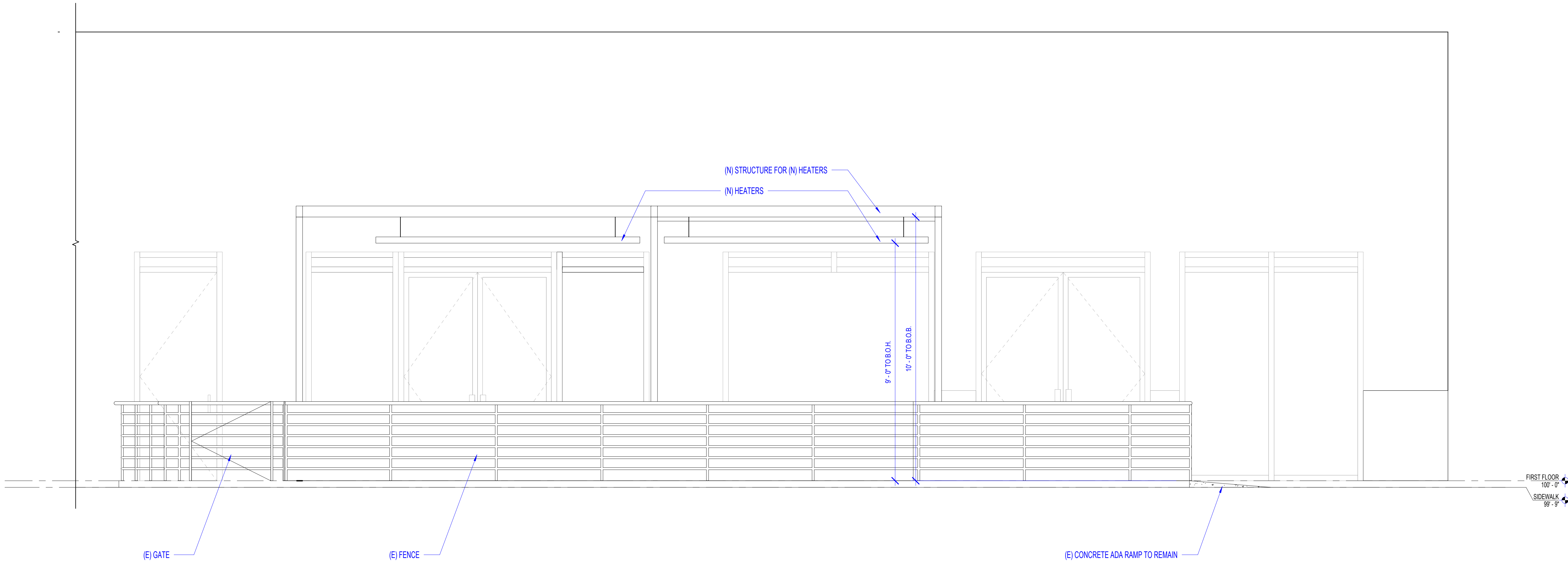
Contents:  
ELEVATIONS

Sheet:

**A1.03**



2 HEATER STRUCTURE ELEVATION EAST  
SCALE: 1/2" = 1'-0"



1 HEATER STRUCTURE ELEVATION SOUTH  
SCALE: 1/2" = 1'-0"





**WHITE PIE**

ENCROACHMENT PERMIT

**01.12.2022**



## GENERAL NOTES

1-ALL WORK PERFORMED, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH APPLICABLE AND LATEST REQUIREMENTS OF THE NATIONAL, STATE AND LOCAL BUILDING CODES, ALL LOCAL AND STATE HANDICAP ACCESS AND USE REGULATIONS, ANY FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, LANDLORD'S RULES AND REGULATIONS, AND GENERAL CONDITIONS OF APPLICABLE OWNER/CONTRACTOR AGREEMENT.

2-BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE OWNER, LANDLORD AND THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING AGENCIES.

3-THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THAT ALL EXISTING CONDITIONS AGREE WITH INFORMATION SHOWN ON THE DRAWINGS. ANY CONFLICTS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF ANY WORK. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON HIS BEHALF FOR ANY ADDITIONAL EXPENSES WHICH ARE INCURRED DUE TO INSPECTION OF EXISTING CONDITIONS.

4-PRIOR TO COMMENCING WORK, ORDERING OF MATERIALS AND SHOP FABRICATION OF ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS INDICATED ON THE DRAWING AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.

5-DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCES, AND TYPICAL DETAIL FOR CONSTRUCTION. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS. FOR CONDITIONS NOT ILLUSTRATED, NOTIFY ARCHITECT FOR CLARIFICATION AND OF SIMILAR DETAIL.

6-THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, DEVICES AND SUPERVISION REQUIRED FOR PROPER EXECUTION AND COMPLETION OF THE WORK DESCRIBED ON THE DRAWINGS AND SPECIFIED HEREIN. PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF THE SUBCONTRACTORS, MATERIAL SUPPLIERS AND TRADES PEOPLE WITH ALL CONSTRUCTION DOCUMENTS, FIELD CONDITIONS AND EXISTING DIMENSIONS, AND SHALL CONFIRM THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CLARIFICATIONS FROM THE ARCHITECT.

7-THE WORK IN THIS PROJECT SHALL CONFORM TO ALL APPLICABLE CODES, STANDARDS, REGULATIONS, ETC., REQUIRED, ISSUED, OR OTHERWISE ENFORCED BY ANY AND ALL AUTHORITIES HAVING JURISDICTION. REFER TO CODE INFORMATION ON THIS SHEET FOR APPLICABLE CODES AND JURISDICTIONS.

8-THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY KNOWLEDGE OF POSSIBLE CONFLICTS OR DISCREPANCIES BETWEEN REQUIREMENTS OF THESE CONSTRUCTION DOCUMENTS AND APPLICABLE CODES, STANDARDS AND REGULATIONS, ETC.

9-THE SCOPE OF WORK INCLUDES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS REQUIRED TO COMPLY WITH THE INTENT OF THE DESIGN SHALL BE PERFORMED TO PROVIDE A COMPLETE AND FINISHED PRODUCT, INCLUDING WORK WHICH MAY NOT BE SPECIFICALLY INCLUDED ON THE CONTRACT DOCUMENTS, AND SHALL BE INCLUDED IN ALL BIDS. CONTRACTOR TO INSPECT AT TIME OF DELIVERY ALL FIXTURES PROVIDED BY OWNER TO INSURE PROPER QUANTITY, THAT ITEMS ARE DEFECT FREE, AND MATCH INVOICE. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION, WHICH MAY INCLUDE BLOCKING, SHIMMING, ETC. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL ITEMS SUPPLIED BY OWNER'S VENDORS AND TO VERIFY THAT ALL MATERIALS RECEIVED ARE IN ACCORDANCE WITH THE SPECIFICATION HEREIN. ANY DAMAGES ITEMS OR DISCREPANCIES BETWEEN MATERIALS SPECIFIED AND MATERIALS SHIPPED SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PROMPTLY.

10-THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS, MATERIALS AND FINISHES WITHIN THE PROPOSED CONSTRUCTION AREA AND ALL ADJOINING PROPERTY AFFECTED BY CONTRACTORS' OPERATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. ANY EXISTING MATERIALS AND FINISHES WHICH ARE DAMAGED, SHALL BE REPLACED AS NECESSARY WITH NEW MATCHING MATERIAL AT THE CONTRACTOR'S OWN COST AND EXPENSE.

11-THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK THAT MAY BE INDICATED ON THE DRAWING, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PATCHING SHALL MATCH ADJACENT SYSTEMS, MATERIALS AND FINISHES UNLESS OTHERWISE NOTED.

12-CONTRACTOR SHALL EMPLOY ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY TASKS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK. ALL WORK SHALL BE PERFORMED BY DULY LICENSED TRADESMEN AND AS REQUIRED BY STATE AND LOCAL GOVERNMENTS FOR EACH APPLICABLE TRADE, (PLUMBING, ELECTRICAL, ETC.) WHO SHALL ARRANGE FOR AND OBTAIN REQUIRED INSPECTIONS AND SIGNS OFFS.

13-THESE DRAWINGS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTOR, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS.

14-CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK OF ALL TRADES AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS, AND SHALL VERIFY THAT ANY WORK RELATING TO THEM WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.

15-CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL AND CEILING MOUNTED FIXTURES, FINISHES, EQUIPMENT, BATH ACCESSORIES, ETC.

16-CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTION AND/OR RECOMMENDATIONS.

17-CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP THE ADJOINING PREMISES, INCLUDING STREET AND OTHER AREAS ASSIGNED TO OR USED BY THE CONTRACTOR, FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY CONTRACTORS' AND SUBCONTRACTOR'S EMPLOYEES.

18-CONTRACTOR SHALL ASSIST WITH DELIVERY AND STORAGE OF OWNER SUPPLIED ITEMS, AND DISPOSE OF ANY RESULTING TRASH.

19-CONTRACTOR SHALL VERIFY WITH OWNER AND IMPLEMENT ALL LANDLORD CONSTRUCTION AND DESIGN CRITERIA, SHOWN ON THIS SET OF DRAWINGS OR ACKNOWLEDGED IN WRITING.

20-CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL TRADES PRIOR TO INSTALLATION, AND SAMPLES OF ALL MATERIAL AND COLOR FINISHES FOR ARCHITECTS APPROVAL. CONTRACTOR SHALL PROVIDE TIMELY AND COMPLETE DATA ON ANY DEVIATION/SUBSTITUTION FROM CONTRACT DOCUMENTS.

21-CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH, PROFESSIONAL CLEANING OF THE ENTIRE FACILITY PRIOR TO OWNER TAKEOVER DATE. ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING MUST BE WIPED CLEAN AND FREE OF DUST: WALLS, EXPOSED STRUCTURAL MEMBERS, STAIRS AND RAILINGS, CABINETRY, LIGHTING FIXTURES/LAMPS, DUCT WORK, SPRINKLER PIPES, STOREFRONT SYSTEMS, INTERIOR/ EXTERIOR GLAZING, ETC. ALL FLOORS MUST BE MOPPED CLEAN.

22-CONTRACTOR TO PROVIDE THREE (3) COPIES OF AS BUILT INFORMATION, OPERATION AND MAINTENANCE MANUALS, INCLUDING ALL PRODUCT GUARANTEES AND WARRANTIES.

23-CONTRACTOR IS RESPONSIBLE FOR A CERTIFICATE OF OCCUPANCY PRIOR TO FINAL RETAINAGE INVOICE, ANY AND ALL TRADE TESTING AND SIGNOFFS, AND SHALL VERIFY THAT THEY HAVE BEEN SECURED AS ISSUED BY REQUIRED LOCAL AUTHORITIES PRIOR TO OWNER OCCUPANCY.

24-CONTRACTOR TO PROVIDE ARCHITECT WITH SAMPLES OF ALL FINISHES, TEXTURES, AND COLORS (10) BUSINESS DAYS PRIOR TO INSTALLATION.

25-CERTAIN PROFESSIONAL SERVICES MAY BE PERFORMED BY INDEPENDENT CONSULTANTS UNDER SEPARATE AGREEMENTS WITH THE OWNER. THE ARCHITECT WILL NOT BE PROFESSIONALLY LIABLE OR RESPONSIBLE FOR WORK OF INDEPENDENT CONSULTANTS, WHERE INFORMATION OR DOCUMENTS HAVE BEEN PROVIDED BY INDEPENDENT CONSULTANTS, THE CONTRACTOR SHALL DIRECT ALL INQUIRIES AND SUBMITTALS TO SUCH CONSULTANTS WITH COPIES TO THE ARCHITECT FOR INFORMATION ONLY.

26-CERTAIN ITEMS SHOWN OR SPECIFIED IN THE CONTRACT DOCUMENTS MAY BE FURNISHED BY THE OWNER, AT THEIR DISCRETION, FOR INSTALLATION BY THE CONTRACTOR. OR THE OWNER MAY CHOOSE TO FURNISH AND INSTALL CERTAIN ITEMS THEMSELVES.

27-EXISTING STRUCTURES: THESE CONTRACT DOCUMENTS HAVE BEEN PREPARED FROM OWNER FURNISHED INFORMATION AND SITE OBSERVATION. DURING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER EXISTING CONDITIONS WHICH ARE NOT NOW KNOWN OR ARE AT VARIANCE WITH PROJECT DOCUMENTATION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL CONDITIONS NOT PER THE CONTRACT DOCUMENTS. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO: SIZES OR DIMENSIONS OTHER THAN THOSE SHOWN; DAMAGE OR DETERIORATION TO MATERIALS AND COMPONENTS; CONDITIONS OF INSTABILITY OR LACK OF SUPPORT.

28-DO NOT SCALE DRAWINGS

29-THESE DRAWINGS, INCLUDING SPECIFICATIONS, DO NOT PURPORT TO FURNISH ALL INFORMATION REQUIRED FOR A COMPLETE INSTALLATION. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF THE PROJECT.

30-ALL CONTRACTORS AND SUB CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING THAT THEIR WORK IS DONE IN ACCORDANCE WITH THE GOVERNING LAWS AND CODES.

## SYMBOL LEGEND

	EARTH / COMPACT FILL		CENTER LINE
	CONCRETE		DOOR NUMBER
	GYPSUM BOARD		WINDOW NUMBER
	PLASTER / SAND		CONTROL POINT
	CMU BLOCK		BUILDING SECTION REFERENCE DRAWING NUMBER
	PLYWOOD		WALL SECTION REFERENCE DRAWING NUMBER
	WOOD		DETAIL SECTION REFERENCE DRAWING NUMBER
	BATT INSULATION		DETAIL OR ENLARGED DRAWING REFERENCE DRAWING NUMBER
	RIGID INSULATION		EXTERIOR ELEVATION REFERENCE DRAWING NUMBER
	STEEL		DETAIL DRAWING REFERENCE DRAWING NUMBER
	ROUGH WOOD		ROOM NAME ROOM NUMBER AREA
	WOOD BLOCKING		INTERIOR ELEVATION REFERENCE DRAWING NUMBER
			EQUIPMENT TAG: LETTER = GROUP FUNCTION NUMBER = ITEM NUMBER
			PLUMBING TAG: LETTER = PLUMBING TAG NUMBER = ITEM NUMBER
			REVISION MARKER: TRIANGLE CONTAINS REVISION DOCUMENT NUMBER, REVISION DOCUMENT IS NUMBERED IN TITLEBLOCK AT RIGHT. CLOUD INDICATES AREA OF REVISION.

## ABBREVIATIONS

&	AND	IN.	INCHES
@	AT	INSTAL.	INSTALLATION
#	NUMBER	INSUL.	INSULATION
C	COPYRIGHT	JAN.	JANITOR
A/C	AIR CONDITIONING	LAM.	LAMINATE
ADD.	ADDENDUM	LAV.	LAVATORY
ADJ.	ADJUSTABLE	MAX.	MAXIMUM
ALT.	ALTERNATE	MECH.	MECHANICAL
A.F.F.	ABOVE FINISHED FLOOR	MIN.	MINIMUM
ALUM.	ALUMINUM	MTL.	METAL
APPROX.	APPROXIMATE	(N)	NEW
BLDG.	BUILDING	NAT.	NATURAL
B.O.	BOTTOM OF	N.I.C.	NOT IN CONTRACT
BTWN.	BETWEEN	N.T.S.	NOT TO SCALE
B.U.R.	BUILT UP ROOF	O.C.	ON CENTER
CAB.	CABINET	PART.	PARTITION
CEM.	CEMENT	P-LAM	PLASTIC LAMINATE
CER.	CERAMIC	PLYWD.	PLYWOOD
C.I.P.	CAST IN PLACE	RE.	REFER(ED)
CLG.	CEILING	REINF.	REINFORCING
CLR.	CLEARANCE	REQD	REQUIRED
C.J.	CONTROL JOINT	RM.	ROOM
C.L.S.	CLOSET	R.O.	ROUGH OPENING
COL.	COLUMN	SCHED.	SCHEDULE
CONC.	CONCRETE	S.F.	SQUARE FEET
CONT.	CONTINUOUS OR CONTINUE	SHT.	SHEET
D	DEPTH	SPEC.	SPECIFICATION(S)
DTL.	DETAIL	SQ.	SQUARE
D.F.	DRINKING FOUNTAIN	STN.	STAINLESS STEEL
DR	DOOR	STL.	STEEL
D.S.	DOWN SPOUT	STRUCT.	STRUCTURAL
DWR.	DRAWER	T&G	TONGUE AND GROOVE
(E)	EXISTING	T.B.D.	TO BE DETERMINED
E.J.	EXPANSION JOINT	T.B.S.	TO BE SELECTED
EL.	ELEVATION	TEL.	TELEPHONE
ELEC.	ELECTRIC(AL)	T.O.	TO OF
EQ.	EQUAL	TYP.	TYPICAL
EXT.	EXTERIOR	VERT.	VERTICAL
FIN.	FINISH	VNR.	VENEER
F.F.	FINISH FLOOR	V.I.F.	VERIFY IN FIELD
FT.	FOOT/FEET	WT.	WIDTH
GA.	GAUGE	W	WITH
G.C.	GENERAL CONTRACTOR	W.C.	WATER CLOSET
GL.	GLASS	W.I.C.	WALK IN CLOSET
GWB	GYPSUM WALL BOARD	WD.	WOOD
HDR.	HEADER	WH.	WATER HEATER
HDR.	HORIZONTAL	WIN.	WINDOW
H.P.	HIGH POINT	VCT	VINYL COMPOSITE TILE
HT.	HEIGHT		
HVAC	HEATING/VENTILATION/AIR CONDITIONING		

## PROJECT DESCRIPTION

PROJECT NAME & ADDRESS:	<b>WHITE PIE</b> 1702 Humboldt St. Denver, CO 80218
PARCEL INFORMATION SCHEDULE NUMBER:	02354-14-014-000
LEGAL DESCRIPTION	L 20 TO 22 INC BLK 13 PARK AVENUE ADD
PROJECT DESCRIPTION:	EXTERIOR PATIO - ADD GAS FIRED PATIO HEATERS AND SUPPORTS
BUILDING STORIES:	1
TYPE OF CONSTRUCTION:	V-B
SQUARE FOOTAGE:	<b>WHITE PIE</b> GROUND LEVEL: 2448 SF PATIO: 333 SF TOTAL AREA: 2781 SF
	<b>AREA OF WORK:</b> PATIO: 333 SF TOTAL AREA: 333 SF
PATIO OCCUPANCY	A-2
PATIO OCCUPANCY LOAD	UNCONCENTRATED: 15 NET WHITE PIE AREA: 333 OCCUPANTS: 22
EXITS REQUIRED	1
EXITS PROVIDED	1
PERMITTING AUTHORITY:	CITY AND COUNTY OF DENVER BUILDING DEPARTMENT
FIRE JURISDICTION:	DENVER
ZONING:	URBAN CENTER - MIXED USE - 5 STORIES MAX HEIGHT (CMX-5)
ADOPTED BUILDING CODES:	2018 ICC

## PROJECT DIRECTORY

OWNER:	ELAN GROUP 1475 17TH AVE DENVER, CO 80218
	CONTACT: JASON WALLENTA JWALLENTA@GMAIL.COM
ARCHITECT:	ARC DEN STUDIO 3201 OSAGE STREET #101 DENVER, CO 80211 [P] 720 688 9028
	HANS OSHEIM hosheim@arcdenstudio.com
STRUCTURAL ENGINEER:	Mozier-Renn Structural Service, Inc. 8573 E. Napa Place Denver, CO 80237 303.870.9039
MECHANICAL ENGINEER:	RJA, LLC 3295 Blake St, #104 Denver, CO 80205 720.598.0774

## INDEX OF DRAWINGS

DRAWING LIST				
DRAWING #	TITLE	ISSUE DATES	REVISION DATE	CURRENT REVISION DESCRIPTION
T100	COVER SHEET WHITE PIE	01/12/2022		
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T102	SITE PLAN	01/12/2022		
A101	FLOOR PLAN WHITE PIE	01/12/2022		
A103	ELEVATIONS	01/12/2022		
S100	STRUCTURAL PLAN	01/12/2022		
S101	STRUCTURAL SECTION AND NOTES	01/12/2022		



## VICINITY MAP



## LOCATION MAP



**Owner:**  
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**WHITE PIE**  
1702 HUMBOLDT STREET, DENVER,  
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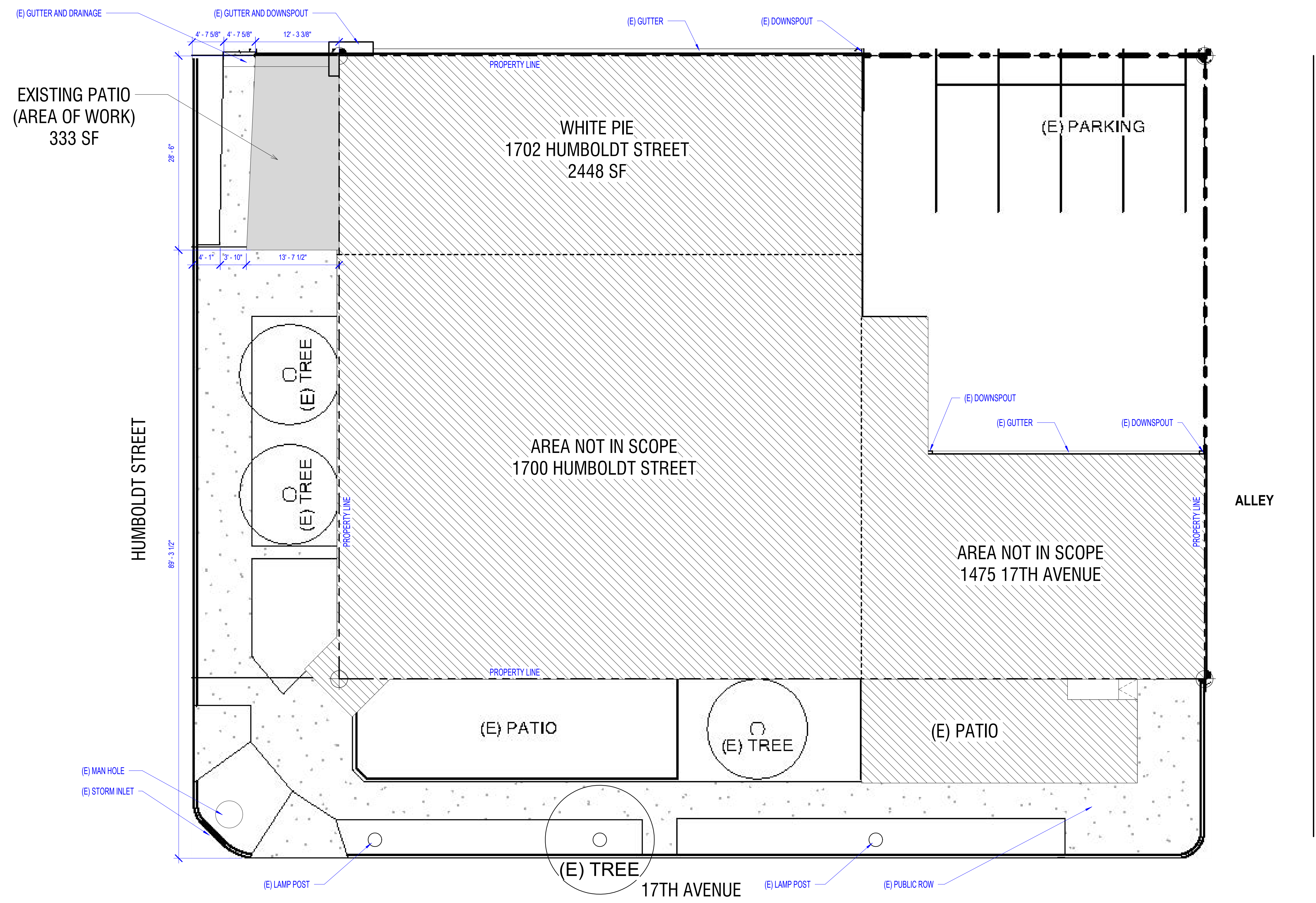
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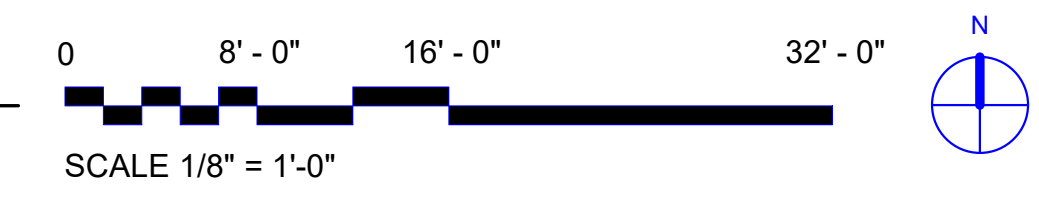
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**T101**





1 SITE PLAN  
SCALE: 1/8" = 1'-0"



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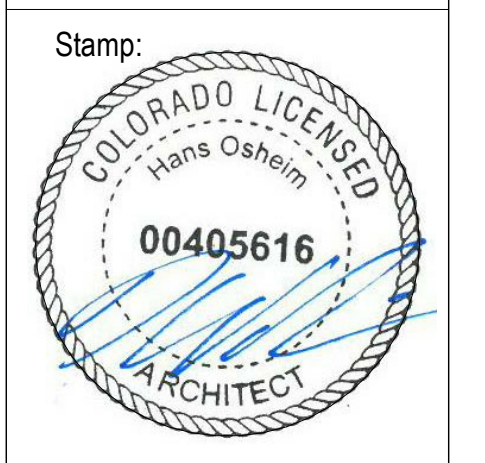
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**T102**

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Elan Group  
1475 17TH Ave.  
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**Design:**  
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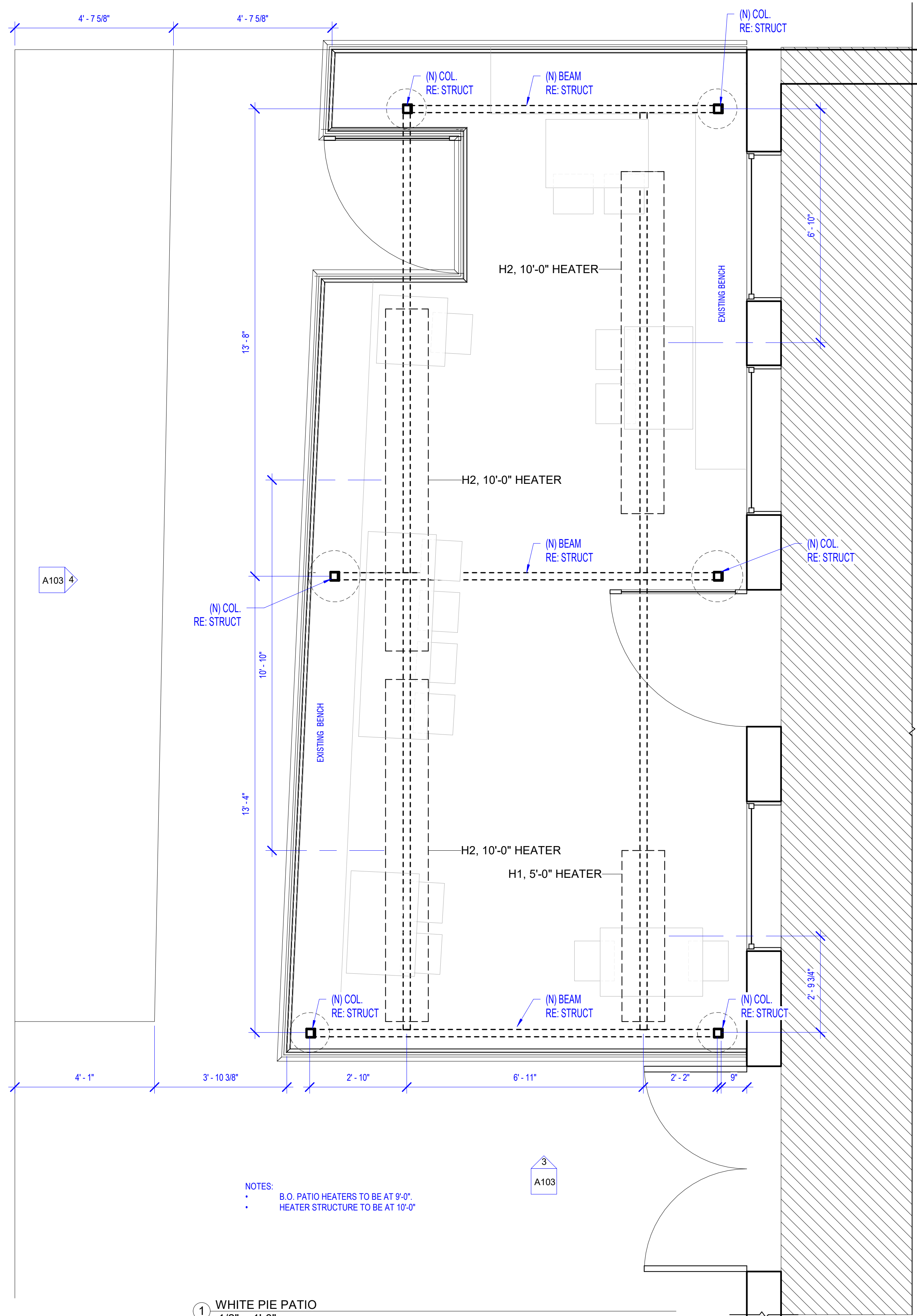
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Contents:  
FLOOR PLAN WHITE PIE

Sheet:

**A101**

HUMBOLDT STREET



① WHITE PIE PATIO  
1/2" = 1'-0"



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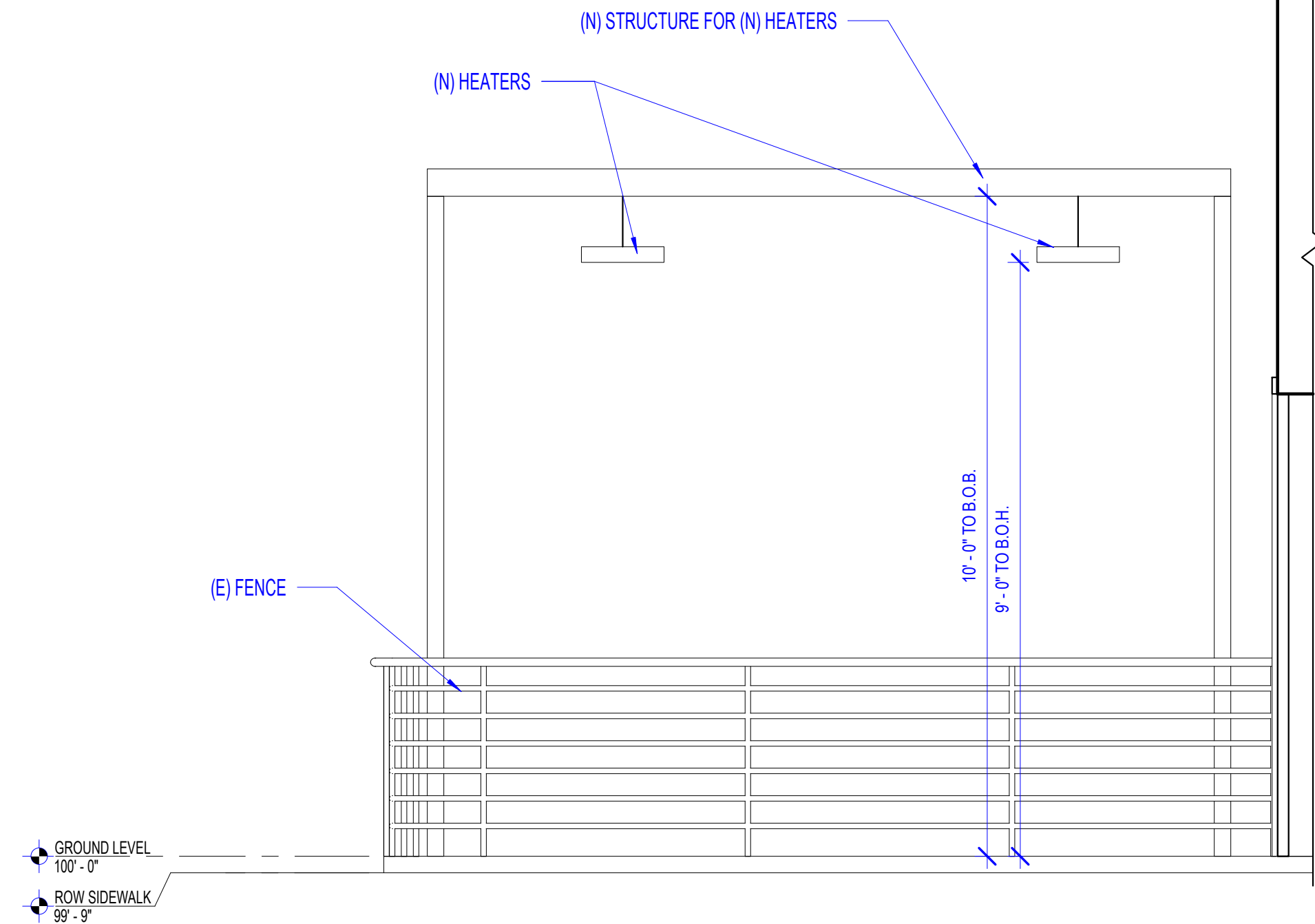
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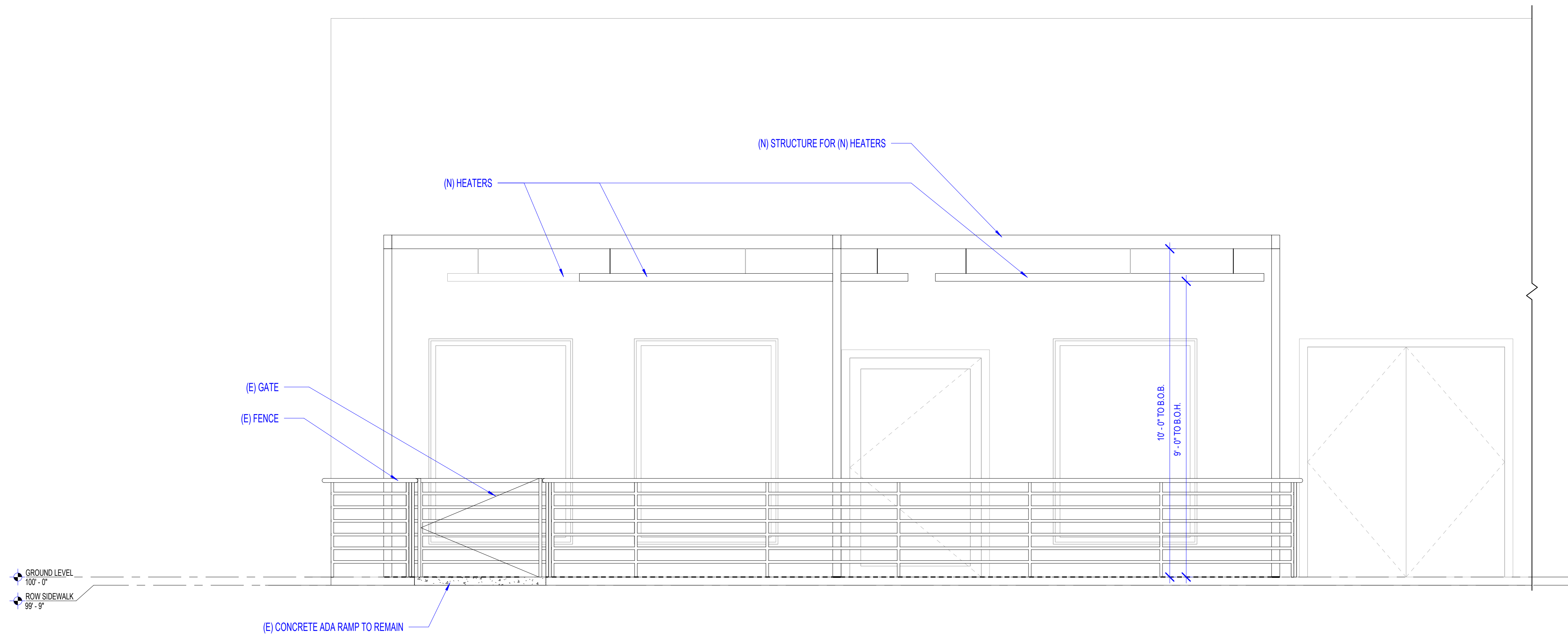
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ELEVATIONS

Sheet:

**A103**



**3 HEATER STRUCTURE ELEVATION SOUTH**  
SCALE: 1/2" = 1'-0"



**4 HEATER STRUCTURE ELEVATION WEST**  
SCALE: 1/2" = 1'-0"

EXHIBIT A  
LAND DESCRIPTION  
SHEET 1 OF 2

2022-ENCROACHMENT-0000018-002

A PARCEL OF LAND BEING A PORTION OF RIGHT OF WAY OF HUMBOLDT STREET BETWEEN 17TH AVENUE AND 18TH AVENUE LOCATED WITHIN THE SOUTHWEST QUARTER SECTION 35, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BASIS OF BEARINGS: A 20.5 FOOT RANGE LINE IN HUMBOLDT STREET BETWEEN 17TH AVENUE AND 18TH AVENUE IS ASSUMED TO BEAR NORTH 00°01'35" EAST, A DISTANCE OF 582.37 FEET BETWEEN A 2.5" ALUMINUM CAP STAMPED "LS 9489" IN A RANGE BOX FOUND AT THE INTERSECTION OF 17TH AVENUE AND HUMBOLDT STREET AND A 2" ALUMINUM CAP STAMPED "PLS 34579" IN A RANGE BOX FOUND AT THE INTERSECTION OF 18TH AVENUE AND HUMBOLDT STREET.

COMMENCING AT SAID RANGE POINT AT THE INTERSECTION OF 17TH AVENUE AND HUMBOLDT STREET, A FOUND 2.5" ALUMINUM CAP STAMPED LS 9489;

THENCE NORTH 65°43'11" EAST A DISTANCE OF 65.29 FEET TO A POINT BEING THE SOUTHWEST CORNER OF LOT 20, BLOCK 13, PARK AVENUE ADDITION TO DENVER;

THENCE ALONG THE WEST LINE OF SAID LOT 20, BLOCK 13, NORTH 00°01'35" EAST A DISTANCE OF 60.54 FEET TO A POINT ON THE WEST LINE OF LOT 21, BLOCK 13, BEING THE POINT OF BEGINNING;

THENCE DEPARTING SAID WEST LINE OF LOT 21, BLOCK 13, NORTH 89°39'47" WEST A DISTANCE OF 13.23 FEET;

THENCE NORTH 00°48'43" EAST A DISTANCE OF 29.64 FEET;

THENCE SOUTH 89°24'41" EAST A DISTANCE OF 12.82 FEET TO A POINT BEING THE NORTHWEST CORNER OF LOT 22, BLOCK 13;

THENCE ALONG SAID WEST LINE OF LOT 22, BLOCK 13, SOUTH 00°01'35" WEST A DISTANCE OF 29.58 FEET TO THE POINT OF BEGINNING.

CONTAINING ±386 SQUARE FEET OR ±0.0088 ACRES



Richard B. Gabriel, P.L.S.

Colorado License #37929

For and on behalf of Power Surveying Company, Inc.  
303-702-1617



6911 BROADWAY,  
DENVER, CO 80221

PH. 303-702-1617  
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WWW.POWERSURVEYING.COM

SHEET 1 OF 2  
DRAWING BY: LMR  
FILE NO. 22-053 EASEMENT LEGALS.DWG

DATE: 4/26/2022  
DATE: 6/28/2021  
DATE: 7/07/2021  
DATE: 9/07/2022



RANGE POINT FOUND  
2" ALUMINUM CAP  
IN RANGE BOX  
LS 34579

E 18TH AVE

# EXHIBIT A ILLUSTRATION SHEET 2 OF 2

HUMBOLDT STREET  
80.0' R.O.W.

20.5' RANGELINE  
N 00°01'35" E 582.37'  
(BASIS OF BEARING)

S89°24'41"E  
12.82'

LOT 23

NORTHWEST  
CORNER LOT 22

N00°48'43"E 29.64'

LOT 22

BLOCK 13 PARK  
AVENUE ADDITION  
TO DENVER

S00°01'35"W 29.58'

N89°39'47"W  
13.23'

POINT OF  
BEGINNING

LOT 21

59.50'  
PL-RL

LOT 20

RANGE POINT  
FOUND 2.5" ALUMINUM CAP LS  
9489  
IN RANGE BOX  
POINT OF  
COMMENCEMENT

N00°01'35"E  
60.54'

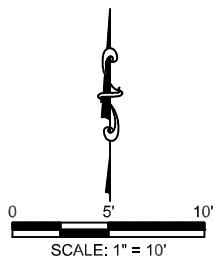
SOUTHWEST  
CORNER LOT 20

N65°43'11"E  
65.29'

E 17TH AVE

## BASIS OF BEARINGS

BASIS OF BEARINGS: A 20.5 FOOT RANGE LINE IN HUMBOLDT STREET BETWEEN 17TH AVENUE AND 18TH AVENUE IS ASSUMED TO BEAR NORTH 00°01'35" EAST, A DISTANCE OF 582.37 FEET BETWEEN A 2.5" ALUMINUM CAP STAMPED "LS 9489" IN A RANGE BOX FOUND AT THE INTERSECTION OF 17TH AVENUE AND HUMBOLDT STREET AND A 2" ALUMINUM CAP STAMPED "PLS 34579" IN A RANGE BOX FOUND AT THE INTERSECTION OF 18TH AVENUE AND HUMBOLDT STREET.



## LEGEND

- ⊙ FOUND SURVEY MONUMENT AS NOTED
- RANGE LINE
- EASEMENT LINE
- LOT OR BLOCK LINE
- PL PROPERTY LINE
- RL RANGE LINE



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SHEET 2 OF 2  
DRAWING BY: LMR  
FILE NO. 22-053 EASEMENT LEGALS.DWG

DATE: 4/26/2022  
DATE: 6/28/2021  
DATE: 7/07/2021  
DATE: 9/07/2022

EXHIBIT A  
LAND DESCRIPTION  
SHEET 1 OF 2

2022-ENCROACHMENT-0000018-001

A PARCEL OF LAND BEING A PORTION OF RIGHT-OF-WAY OF E. 17TH AVENUE BETWEEN HUMBOLDT STREET AND FRANKLIN STREET LOCATED WITHIN THE SOUTHWEST QUARTER SECTION 35, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BASIS OF BEARINGS: A 20.5 FOOT RANGE LINE IN HUMBOLDT STREET BETWEEN 17TH AVENUE AND 18TH AVENUE IS ASSUMED TO BEAR NORTH 00°01'35" EAST, A DISTANCE OF 582.37 FEET BETWEEN A 2.5" ALUMINUM CAP STAMPED "LS 9489" IN A RANGE BOX FOUND AT THE INTERSECTION OF 17TH AVENUE AND HUMBOLDT STREET AND A 2" ALUMINUM CAP STAMPED "PLS 34579" IN A RANGE BOX FOUND AT THE INTERSECTION OF 18TH AVENUE AND HUMBOLDT STREET.

COMMENCING AT SAID RANGE POINT AT THE INTERSECTION OF E. 17TH AVENUE AND HUMBOLDT STREET;

THENCE NORTH 65°43'11" EAST A DISTANCE OF 65.29 FEET TO A POINT BEING THE SOUTHWEST CORNER OF LOT 20, BLOCK 13, PARK AVENUE ADDITION TO DENVER;

THENCE ALONG THE SOUTH LINE OF SAID LOT 20, BLOCK 13, SOUTH 89°51'06" EAST A DISTANCE OF 74.98 FEET TO A POINT ON SAID SOUTH LINE OF LOT 20, BLOCK 13, BEING THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTH LINE OF LOT 20, BLOCK 13, SOUTH 89°51'06" EAST A DISTANCE OF 44.97 FEET TO A POINT ON SAID SOUTH LINE OF LOT 20, BLOCK 13;

THENCE DEPARTING SAID SOUTH LINE OF LOT 20, BLOCK 13, SOUTH 00°08'54" WEST A DISTANCE OF 5.70 FEET;

THENCE SOUTH 89°59'12" WEST A DISTANCE OF 3.68 FEET;

THENCE SOUTH 00°01'02" EAST A DISTANCE OF 10.34 FEET;

THENCE SOUTH 89°59'16" WEST A DISTANCE OF 39.06 FEET;

THENCE NORTH 07°50'31" WEST A DISTANCE OF 16.32 FEET TO A POINT ON SAID SOUTH LINE OF LOT 20, BLOCK 13, AND THE POINT OF BEGINNING;

CONTAINING  $\pm 668$  SQUARE FEET OR  $\pm 0.015$  ACRES



Richard B. Gabriel, P.L.S.

Colorado License #37929

For and on behalf of Power Surveying Company, Inc.  
303-702-1617



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DENVER, CO 80221

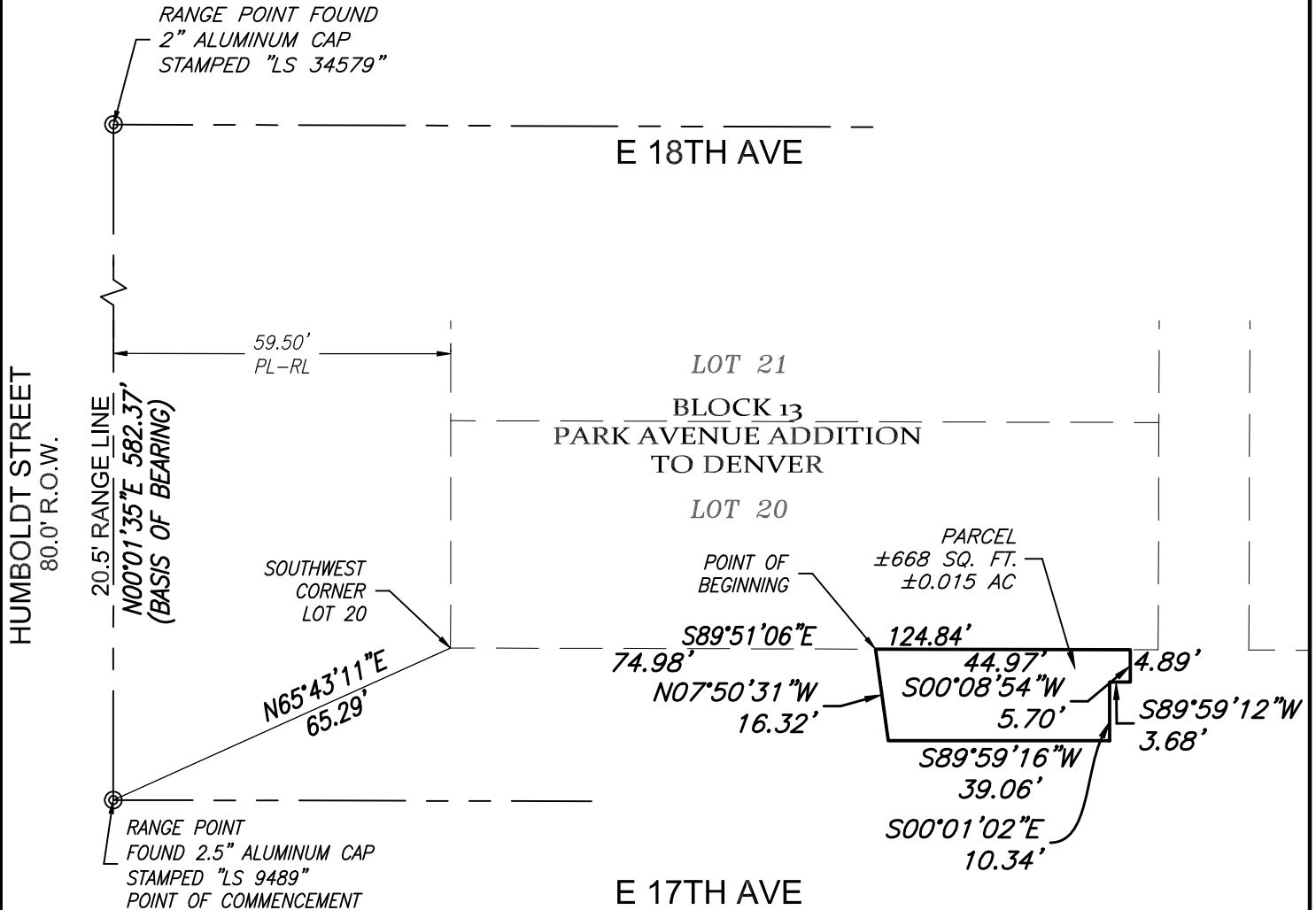
PH. 303-702-1617  
FAX. 303-702-1488  
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SHEET 1 OF 2  
DRAWING BY: LMR  
FILE NO. 22-053 EASEMENT LEGALS.DWG

DATE: 4/26/2022  
DATE: 5/11/2022  
DATE: 6/07/2022



EXHIBIT A  
ILLUSTRATION  
SHEET 2 OF 2



**BASIS OF BEARINGS**

*BASIS OF BEARINGS: A 20.5 FOOT RANGE LINE IN HUMBOLDT STREET BETWEEN 17TH AVENUE AND 18TH AVENUE IS ASSUMED TO BEAR NORTH 00°01'35" EAST, A DISTANCE OF 582.37 FEET BETWEEN A 2.5" ALUMINUM CAP STAMPED "LS 9489" IN A RANGE BOX FOUND AT THE INTERSECTION OF 17TH AVENUE AND HUMBOLDT STREET AND A 2" ALUMINUM CAP STAMPED "LS 34579" IN A RANGE BOX FOUND AT THE INTERSECTION OF 18TH AVENUE AND HUMBOLDT STREET.*

**LEGEND**

	FOUND SURVEY MONUMENT AS NOTED
	RANGE LINE
	EASEMENT LINE
	LOT OR BLOCK LINE
	PROPERTY LINE
	RANGE LINE



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SHEET 2 OF 2  
DRAWING BY: LMR  
FILE NO. 22-053 EASEMENT LEGALS.DWG

DATE: 4/26/2022  
DATE: 5/11/2022  
DATE: 6/07/2022

## Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

**Master ID:** 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000018 **Review Phase:**  
**Location:** **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: DS Transportation Review

Review Status: Approved

Reviewers Name: Matt Farmen  
Reviewers Email: [matt.farmen@denvergov.org](mailto:matt.farmen@denvergov.org)

Status Date: 02/16/2022  
Status: Approved  
Comments:

Reviewing Agency: DS Project Coordinator Review

Review Status: Approved w/Conditions

Reviewers Name: Tiffany Holcomb  
Reviewers Email: [Tiffany.Holcomb@denvergov.org](mailto:Tiffany.Holcomb@denvergov.org)

Status Date: 10/31/2022  
Status: Approved w/Conditions  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios  
Reviewing Agency/Company: Development Services / Project Coordination  
Reviewers Name: Tiffany Holcomb  
Reviewers Phone: 720-865-3018  
Reviewers Email: [Tiffany.Holcomb@denvergov.org](mailto:Tiffany.Holcomb@denvergov.org)  
Approval Status: Approved with conditions

**Comments:**

- For Dos Santos at 1475 17th Avenue:

o the different documents show different square footages for the existing and proposed patio areas. Drawings need to be consistent.

o All drawings should show the zone lot line boundary. All of the proposed work appears to be in the public ROW and will be reviewed as a DOTI encroachment. If any work is to occur on the zone lot, then a separate zoning permit will also be needed.

- For 1702 N. Humboldt:

o All drawings should show the zone lot line boundary. All of the proposed work appears to be in the public ROW and will be reviewed as a DOTI encroachment. If any work is to occur on the zone lot, then a separate zoning permit will also be needed.

Status Date: 03/08/2022

Status: Approved w/Conditions

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios  
Reviewing Agency/Company: Development Services / Project Coordination  
Reviewers Name: Tiffany Holcomb  
Reviewers Phone: 720-865-3018  
Reviewers Email: [Tiffany.Holcomb@denvergov.org](mailto:Tiffany.Holcomb@denvergov.org)  
Approval Status: Approved with conditions

**Comments:**

The application is unclear as to if two separate areas of patio heater/overhead structures are proposed. Two separate applications

# Comment Report

## Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

**Master ID:** 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000018 **Review Phase:**  
**Location:** **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

are provided (one for 17th Avenue ROW in front of Dos Santos and one along Humboldt), but only one set of plans (for 17th Avenue) were found. Additionally, the plan for 17th Avenue indicates that the existing encroaching patio will be expanding in area. The applications should be updated to clearly note that an expansion in patio area is included as part of the Tier III request.

**Status Date:** 03/05/2022  
**Status:** Approved - No Response  
**Comments:**

**Reviewing Agency:** Survey Review **Review Status:** Approved

**Reviewers Name:** Robert Castaneda  
**Reviewers Email:** Robert.Castaneda@denvergov.org

**Status Date:** 10/19/2022  
**Status:** Approved  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios  
Reviewing Agency/Company: DOTI ROWS Survey  
Reviewers Name: Robert Castaneda  
Reviewers Phone: 7208791937  
Reviewers Email: robert.castaneda@denvergov.org  
Approval Status: Approved

**Comments:**

**Status Date:** 03/02/2022  
**Status:** Denied  
**Comments:** Survey Comments in Comments

**Reviewing Agency:** DES Wastewater Review **Review Status:** Approved w/Conditions

**Reviewers Name:** Philip Kim  
**Reviewers Email:** Philip.Kim@denvergov.org

**Status Date:** 05/04/2022  
**Status:** Approved w/Conditions  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios  
Reviewing Agency/Company: 0001000001802754  
Reviewers Name: philip kim  
Reviewers Phone: 7203081053  
Reviewers Email: philip.kim@denvergov.org  
Approval Status: Approved with conditions

**Comments:**

Owners also should be aware of the street flooding at both sites and during a major storm event the patio space in ROW will experience flooding.

Structures will not be permitted to be enclosed due to the surrounding street flooding.

**Status Date:** 02/22/2022

2022-ENCROACHMENT-0000018



# Comment Report

## Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

**Master ID:** 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000018 **Review Phase:**  
**Location:** **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

**Status:** Denied  
**Comments:** Encroachment requests will need to be processed separately.

Both businesses are in high risk flood areas, with flood depths exceeding 12" in the Public ROW. It is unclear if the proposed encroachment will enclose the existing patio space. Please submit architectural drawings of the proposed space. Structural columns and beams runs the risk of the tenant enclosing the space in the future and altering the drainage patterns in these areas thus the encroachment is denied.

**Reviewing Agency:** City Council Referral **Review Status:** Approved - No Response

**Status Date:** 03/05/2022  
**Status:** Approved - No Response  
**Comments:**

**Reviewing Agency:** ERA Transportation Review **Review Status:** Approved

**Status Date:** 09/26/2022  
**Status:** Approved  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios  
Reviewing Agency/Company: DOTI ROWS ER Transportation  
Reviewers Name: Paul Weller  
Reviewers Phone: 720-913-0514  
Reviewers Email: Paul.Weller@Denvergov.org  
Approval Status: Approved

**Comments:**  
The attached site plan has been revised to address our comments. The attached plans were submitted as requested and are acceptable

Attachment: MechPlans - 1475 E 17th Ave - 2021-11-02.pdf

Attachment: MechPlans - 1702 Humboldt St - 2021-11-02.pdf

Attachment: 22\_0926-Dos Santos Patio\_Site Plan.pdf

**Status Date:** 03/08/2022  
**Status:** Denied  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios  
Reviewing Agency/Company: DOTI ROWS ER Transportation  
Reviewers Name: Paul Weller  
Reviewers Phone: 720-913-0514  
Reviewers Email: Paul.Weller@Denvergov.org  
Approval Status: Denied

**Comments:**  
Please identify type of heater (electric, natural gas or propane). Show size and location of service lines to heaters

**REDLINES uploaded to E-review webpage**

# Comment Report

## Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

**Master ID:** 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000018 **Review Phase:**  
**Location:** **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status Date: 03/08/2022  
Status: Approved  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios  
Reviewing Agency/Company: RTD  
Reviewers Name: C. Scott Woodruff  
Reviewers Phone: 303-299-2943  
Reviewers Email: clayton.woodruff@rtd-denver.com  
Approval Status: Approved

Comments:

Status Date: 03/05/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Comcast Referral

Review Status: Approved

Status Date: 03/08/2022  
Status: Approved  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios  
Reviewing Agency/Company: Comcast  
Reviewers Name: Jason Hanneman  
Reviewers Phone: 7204130104  
Reviewers Email: jason\_hanneman@cable.comcast.com  
Approval Status: Approved

Comments:  
No Conflicts

Status Date: 03/05/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Metro Wastewater Referral

Review Status: Approved

Status Date: 03/08/2022  
Status: Approved  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios  
Reviewing Agency/Company: Metro Water Recovery  
Reviewers Name: Myles Howard  
Reviewers Phone: 7207033627  
Reviewers Email: MHoward@metrowaterrecovery.com  
Approval Status: Approved

Comments:

Status Date: 03/05/2022  
Status: Approved - No Response  
Comments:

# Comment Report

## Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

**Master ID:** 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000018 **Review Phase:**  
**Location:** **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: Street Maintenance Referral Review Status: Approved - No Response

Status Date: 03/05/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Office of Emergency Management Referral Review Status: Approved - No Response

Status Date: 03/05/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Building Department Review Review Status: Approved

Reviewers Name: Keith Peetz  
Reviewers Email: keith.peatz@denvergov.org  
Status Date: 03/03/2022  
Status: Approved  
Comments: Plans for the heaters and patio structure have been submitted for CPD (building department) review under 2021-Log-0014301.

Reviewing Agency: Division of Real Estate Referral Review Status: Approved

Status Date: 02/17/2022  
Status: Approved  
Comments: From a Real Estate perspective, it's good business practice for the addresses to be confirmed. This request is being approved as the errors on the application can easily be identified as a single parcel, though they have different addresses, and the errors do not prevent identifying the intended encroachment location(s). That said, the following errors were noted:

The application for White Pie lists the Encroachment Owner/Adjacent Property Owner address as 1700 Humboldt Street. That address is also listed in the Encroachment Information section, further down on the page.

1. The address on file with the Colorado Secretary of State for The Elan Group LLC is 1475 E. 17th Ave. This should be the address shown for the Encroachment Owner/Adjacent Property Owner on the application.
2. In the Encroachment Information section, the address is shown as 1700 Humboldt Street.
  - 1700 Humboldt Street is the address for the Humboldt Kitchen and Bar
  - The address for White Pie is 1702 Humboldt Street

The application for Dos Santos shows the address as 1475 17th Street for the Encroachment Owner/Adjacent Property Owner and shows 1700 Humboldt Street as the adjacent property address in in the Encroachment Information section.

1. The address on file with the Colorado Secretary of State for The Elan Group LLC is 1475 E. 17th Ave (not 1475 17th Street). This should be the address shown for the Encroachment Owner/Adjacent Property Owner on the application.
  - Certainly a simple omission and typo, but 1475 17th Street is an actual address, located about two miles away.
2. In the Encroachment Information section, the address is shown as 1700 Humboldt Street
  - 1700 Humboldt street is the address for the Humboldt Kitchen and Bar
  - The address for Dos Santos is 1475 E. 17th Avenue

# Comment Report

## Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

**Master ID:** 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000018 **Review Phase:**  
**Location:** **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: Denver Fire Department Review

Review Status: Approved

Reviewers Name: Richard Tenorio  
Reviewers Email: richard.tenorio@denvergov.org

Status Date: 03/08/2022  
Status: Approved  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios  
Reviewing Agency/Company: DFD / Fire Prevention Division  
Reviewers Name: Rich Tenorio  
Reviewers Phone: 7206333222  
Reviewers Email: richard.tenorio@denvergov.org  
Approval Status: Approved

Comments:  
Denver Fire Dept. Approved - RT

Status Date: 03/02/2022  
Status: Approved  
Comments: Denver Fire Dept. Approved - RT

Reviewing Agency: Denver Water Referral

Review Status: Approved

Status Date: 03/08/2022  
Status: Approved  
Comments: RS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios  
Reviewing Agency/Company: Denver Water  
Reviewers Name: Kela Naso  
Reviewers Phone: 13036286302  
Reviewers Email: kela.naso@denverwater.org  
Approval Status: Approved

Comments:

Status Date: 03/05/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Parks and Recreation Review

Review Status: Approved

Reviewers Name: Emily McKee  
Reviewers Email: Emily.McKee@denvergov.org

Status Date: 02/15/2022  
Status: Approved  
Comments:

Reviewing Agency: Policy and Planning Referral

Review Status: Approved - No Response

Status Date: 03/05/2022  
Status: Approved - No Response

2022-ENCROACHMENT-0000018



# Comment Report

## Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

**Master ID:** 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000018 **Review Phase:**  
**Location:** **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Comments:

Reviewing Agency: Denver Office of Disability Rights Referral Review Status: Approved

Status Date: 03/08/2022  
Status: Approved  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios  
Reviewing Agency/Company: DODR  
Reviewers Name: Juan Pasillas  
Reviewers Phone: 720-913-3309  
Reviewers Email: [juan.pasillas@denvergov.org](mailto:juan.pasillas@denvergov.org)  
Approval Status: Approved

Comments:

\*Approved.

\*Final construction, specifically the 80" min. head clearance (2010 ADA §307.2), shall continue to adhere with all applicable accessibility requirements of this review.

Status Date: 03/05/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Construction Engineering Review Review Status: Approved

Reviewers Name: Joe Saejiw  
Reviewers Email: [joe.saejiw@denvergov.org](mailto:joe.saejiw@denvergov.org)

Status Date: 02/25/2022  
Status: Approved  
Comments:

Reviewing Agency: TES Sign and Stripe Review Review Status: Approved - No Response

Reviewers Name: Brittany Price  
Reviewers Email: [Brittany.Price@denvergov.org](mailto:Brittany.Price@denvergov.org)

Status Date: 03/05/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: City Forester Review Review Status: Approved - No Response

Reviewers Name: Nick Evers  
Reviewers Email: [Nick.Evers@denvergov.org](mailto:Nick.Evers@denvergov.org)

Status Date: 03/05/2022  
Status: Approved - No Response  
Comments:

# Comment Report

## Tier III 1702 Humboldt and 1475 17th - Heaters and Patios

10/31/2022

**Master ID:** 2022-PROJMSTR-0000094 **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000018 **Review Phase:**  
**Location:** **Review End Date:** 03/07/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: Landmark Review Review Status: Approved - No Response

Reviewers Name: Becca Dierschow  
Reviewers Email: becca.dierschow@denvergov.org

Status Date: 03/05/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: CDOT Referral Review Status: Approved

Status Date: 03/08/2022  
Status: Approved  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000018 - Tier III 1702 Humboldt and 1475 17th - Heaters and Patios  
Reviewing Agency/Company: CDOT Region 1 survey/ROW  
Reviewers Name: dane courville  
Reviewers Phone: 7206720231  
Reviewers Email: dane.courville@state.co.us  
Approval Status: Approved

Comments:  
Not CDOT on system location, does not affect CDOT ROW. (approved/accepted)

Status Date: 03/05/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: ERA Review Review Status: Approved - No Response

Reviewers Name: Shari Bills  
Reviewers Email: Shari.Bills@denvergov.org

Status Date: 03/05/2022  
Status: Approved - No Response  
Comments: