

2023 LEASE AMENDMENT

THIS 2023 LEASE AMENDMENT (the “*2023 Lease Amendment*”), is made and entered into as of the date stated on the signature page (“*Effective Date*”), by and between the City and County of Denver, a municipal corporation of the State of Colorado (“*City*”), and United Airlines, Inc., a corporation organized and existing under and by virtue of the laws of the State of Delaware, and authorized to do business in the State of Colorado (“*United*” or “*Airline*”):

WITNESSETH:

WHEREAS, the City owns the Denver International Airport (the “*Airport*” or “*DEN*”);

WHEREAS, the City and United entered into an Airport Use and Facilities Lease Agreement dated January 7, 1992, as amended and supplemented by a Stipulated Order dated November 21, 2003, providing for the assumption of the lease as amended, pursuant to Section 365(a) of the Bankruptcy Code, and by the 2005, 2005-2, 2006, 2007, 2009, 2012, 2014, 2015, 2020, 2021, and 2022 Lease Amendments (collectively, the “*Use and Lease Agreement*”) with respect to certain facilities at the Airport; and

WHEREAS, the Parties seek to amend the Use and Lease Agreement as provided in this 2022 Lease Amendment to, among other matters, (a) properly identify all leased space currently leased by United from the City and memorialize United’s lease thereof, (b) authorize Airline to undertake certain Tenant Improvements, as defined below, within the A and B-Concourses at DEN for the purpose of renovating the holdrooms and boarding gate areas; (c) authorize Airline to undertake certain work on Concourse A-West for a new United club and a mezzanine expansion in connection therewith; (d) memorialize United’s lease of certain other space; and (e) rename and reorganize existing Exhibit D.

NOW, THEREFORE, for and in consideration of the premises and other good and valuable consideration, the parties hereto agree as follows:

1.01 UNITED’S DEMISED PREMISES; REORGANIZATION OF EXHIBIT D

- A. Existing **Exhibit D** is hereby deleted in its entirety and replaced and replaced as follows:
1. New “**Exhibit D-Terminal**” identifies United’s Demised Premises located within the Terminal.
 2. New “**Exhibit D-Concourse A**” identifies United’s Demised Premises located within the Terminal.
 3. New “**Exhibit D-Concourse B**” identifies United’s Demised Premises located within the Terminal.

1.02 TENANT IMPROVEMENT PROGRAM – CONCOURSES A AND B

A. Definitions as used in this 2023 Lease Amendment;

1. “*Tenant Improvements*” mean those improvements identified in **Exhibit P**.
2. “*Proprietary Tenant Improvements*” mean those Tenant Improvements identified in **Exhibit P** and which will be installed by Airline to exclusively serve Airline's operations and needs.
3. “*Non-Proprietary Tenant Improvements*” mean those Tenant Improvements which are not Proprietary Tenant Improvements and which are identified in **Exhibit P**.
4. “*Work*” means the design, construction and installation work necessary to install the Tenant Improvements within the areas identified in **Exhibit Q**.

B. Design and Construction of the Tenant Improvements.

1. Notwithstanding anything to the contrary in the Use and Lease Agreement, Airline is hereby authorized to undertake the Work.
2. **Exhibit P** sets forth the currently estimated not-to-exceed cost of all Non-Proprietary Tenant Improvements, including both the hard costs and soft costs of the Non-Proprietary Tenant Improvements.
3. Airline shall maintain detailed records, including all of its contractor and subcontractor invoices, of all costs incurred by Airline in performing the Work involving the Non-Proprietary Tenant Improvements.
4. Airline or its general contractor (“*Contractor*”) shall obtain and maintain, during the Work, the insurance requirements set forth in **Exhibit R**.
5. Airline or its Contractor shall comply with the following MWBE and EDI Plan requirements for the Work:
 - a. This Contract is subject to Article III, Divisions 1 and 3 of Chapter 28, Denver Revised Municipal Code (“*D.R.M.C.*”), designated as §§ 28-31 to 28-40 and 28-51 to 28-90 (the “*MWBE Ordinance*”); and any Rules and Regulations promulgated pursuant thereto. The contract goal (the “*Goal*”) for MWBE participation established for the Work by the Division of Small Business Opportunity (“*DSBO*”) is 25%.
 - b. Under § 28-68, D.R.M.C., Airline, or the Contractor, has an ongoing, affirmative obligation to maintain for the duration of the Work, at a minimum, compliance with the MWBE participation upon which this 2023 Lease Amendment is based, unless the parties agree to a material

modification to the scope of the Work affecting MWBEs performing on the Work through change order, contract amendment, force account, or other modification under § 28-70, D.R.M.C.

- c. Airline or the Contractor shall comply the Equity, Diversity and Inclusion Plan attached as **Exhibit S (“EDI Plan”)** and as it may be modified in the future by DSBO, provided the Airline or the Contractor shall not have any obligation to comply with any such modification until sixty (60) days’ after the date of the Airline’s (and its Contractor’s) receipt of the City’s written notice informing Airline (and its Contractor) of any such modification. Unless a separate Utilization Plan, as defined in the DSBO Rules and Regulations, is required by DSBO, the EDI Plan shall constitute the Utilization Plan required by D.R.M.C. § 28-62.
- d. If directed by DSBO, Airline or Contractor are required to develop and comply with a separate Utilization Plan in accordance with § 28-62(b), D.R.M.C. Along with the Utilization Plan requirements, Airline or Contractor must establish and maintain records and submit regular reports, as directed by DSBO, which will allow the City to assess progress in complying with the Utilization Plan and achieving the MWBE participation goal. The Utilization Plan is subject to modification by DSBO.
- e. If change orders or any other contract modifications are issued with respect to the Work, Airline or Contractor shall have a continuing obligation to promptly inform DSBO in writing of any agreed upon increase or decrease in the scope of the Work, upon any of the bases under § 28-70, D.R.M.C., regardless of whether such increase or decrease in scope of the Work has been reduced to writing at the time of notification of the change by the Airline to Contractor.
- f. If change orders or other amendments or modifications are issued under the contract that include an increase in the scope of the Work, whether by amendment, change order, force account or otherwise, which increases the dollar value of the Work, whether or not such change is within the scope of the Work designated for performance by an MWBE at the time of this 2023 Lease Amendment, such change orders or contract modification shall be promptly submitted to DSBO for notification purposes.
- g. Those amendments, change orders, force accounts or other contract modifications that involve a changed scope of the Work that cannot be performed by existing project subcontractors are subject to the Work Goal. Airline shall satisfy the goal with respect to such changed scope of the Work by soliciting new MWBEs in accordance with § 28-70, D.R.M.C. Airline or Contractor must also satisfy the requirements under

§§ 28-60 and 28-73, D.R.M.C., with regard to changes in scope or participation. Airline or Contractor shall supply to DSBO all required documentation under §§ 28-60, 28-70 and 28-73, D.R.M.C. with respect to the modified dollar value or scope of the Work.

- h. Airline and Contractor are required to comply with § 28-72, D.R.M.C. regarding prompt payment to MWBEs. Payment to MWBE subcontractors shall be made by no later than thirty-five (35) days after receipt of the MWBE subcontractor's invoice.
- i. Termination or substitution of an MWBE subcontractor requires compliance with § 28-73, D.R.M.C.
- j. Failure to comply with these provisions may subject Airline to sanctions set forth in § 28-76 of the MWBE Ordinance.
- k. Should any questions arise regarding specific circumstances, Airline should consult the MWBE Ordinance or may contact the Project's designated DSBO representative at (720) 913-1999.

6. Indemnity.

- a. With respect to the Work, Airline hereby agrees to defend, indemnify, reimburse and hold harmless City, its appointed and elected officials, agents and employees, contractors and sub-contractors for, from and against all liabilities, claims, judgments, suits or demands for damages to persons or property to the extent arising out of, resulting from, or related to the Work by Airline, Contractor or their agents, representatives, subcontractors, or suppliers ("**Work Claims**"). This indemnity shall be interpreted in the broadest possible manner to indemnify the City. Airline agrees this agreement expressly applies to warranties to materials, equipment, workmanship or other items held by the City that are impacted or reduced in coverage or value by Airline's conduct of its Work.
- b. Airline's duty to defend and indemnify City shall arise at the time written notice of the Work Claim is first provided to City regardless of whether suit has been filed and even if Airline is not named as a Defendant.
- c. Airline will defend any and all Work Claims which may be brought or threatened against City and will pay on behalf of City any and all expenses incurred by reason of such Work Claims including, but not limited to, court costs and attorney fees incurred in defending and investigating such Work Claims or seeking to enforce this indemnity obligation. Such payments on behalf of City shall be in addition to any

other legal remedies available to City and shall not be considered City's exclusive remedy.

7. Airline and its contractors and subcontractors shall waive and release any and all claims they may have at any time against the City related to the Work. This provision in no way limits or waives the City's immunities and protections under the Colorado Governmental Immunity Act, C.R.S. § 24-10-101, et seq. Airline or Contractor shall provide a Payment and Performance Bond for the Work in the form set forth in **Exhibit T**.

C. Operation and Maintenance of Tenant Improvements. Airline shall be solely responsible for the operation and maintenance ("**O&M**") of the Tenant Improvements during the term of the Use and Lease Agreement, except with respect to the O&M for the Non-Proprietary Tenant Improvements for which the City has exercised the Option as defined and set forth in Section 1.02.D.f of this 2023 Lease Amendment. Each party's (if applicable) required O&M for the Tenant Improvements shall include all required inspections and maintenance necessary to ensure that the party responsible for the O&M complies with all requirements of any warranties associated with the Tenant Improvements.

D. Ownership of the Tenant Improvements; City Purchase Option.

1. Except as set forth in subsection 2 below of this Section 1.02.D., the Tenant improvements will be owned by Airline until the expiration or early termination of the Use and Lease Agreement.
2. The City hereby has an option (the "**Option**"), without any obligation to do so, to purchase all Non-Proprietary Tenant Improvements from United, as set forth below.
 - a. The City shall have thirty (30) days following the completion of the Tenant Improvements to exercise the Option; provided that, as set forth in clause (i) of this Section 1.02.D.2.a, United may request that the City exercise the Option prior to Completion, as defined below (but, in all cases, after the effective date of this 2023 Lease Amendment). The City shall exercise the Option through written notice to United (the "**Option Notice**"). The Option Notice shall indicate whether the City is going to pay for the Non-Proprietary Tenant Improvements through a lump-sum cash payment or rent credits, as set forth below. The completion of the Tenant Improvements ("**Completion**") will be the date United receives the certificate of occupancy for the Tenant Improvements or, if United seeks and obtains more than one certificate of occupancy for the Tenant Improvements, the date United receives the final certificate of occupancy for the Tenant Improvements.

- i. United shall have the right to request the City to exercise the Option prior to Completion, in one or more “phases,” each of which shall be determined by United’s receipt of a certificate of occupancy for a portion of the Tenant Improvements. It will be exclusively at the City’s sole discretion whether to exercise the Option earlier than after Completion. If the City agrees to exercise the Option in phases, the provisions of this *Sections 1.02.D.* shall apply with respect to each phase for which the City so exercises the Option.
- b. Following United’s receipt of the Option Notice, United shall provide the City with copies of all invoices, including applicable back-up information that may be reasonably necessary to document the final cost of the Non-Proprietary Tenant Improvements (the “*Invoices*”).
 - i. The City shall have fifteen (15) days following receipt from United of the Invoices to review and approve the Invoices or notify United, in writing, if it objects to the Invoices, setting forth in detail the specifics of its objection (the end of such fifteen (15) day review period, the “*Review Closure Date*”).
 - ii. If the City objects to the Invoices, the parties will work in good faith to address and resolve those objections.
 - iii. The Option purchase price (the “*Purchase Price*”) will be an amount equal to United’s cost (without mark-up) for the Non-Proprietary Tenant Improvements (and any additional work that the City and United have mutually agreed in writing that United will perform, which additional work shall be deemed part of the “Work” for the Non-Proprietary Tenant Improvements), as evidenced by the Invoices and (i) taking into account any mutually agreed upon adjustment (based upon objections from the City) to the costs evidenced by the Invoices and (ii) subject to a straight-line depreciation to account for any Non-Proprietary Tenant Improvements that are put into service before Completion.
- c. The City shall pay the Purchase Price in either (a) one cash lump-sum payment paid to United within thirty (30) days of the Review Closure Date, or (b) in the form of rent credits, against rent owned by United to the City under the Use and Lease Agreement, that will begin to apply immediately after the Review Closure Date and continue until the Purchase Price has been paid in full through the rent credits.
- d. If the City exercises the Option, then title to the Non-Proprietary Tenant Improvements shall vest in the City either (a) on the date of full payment to United of the Purchase Price, in the event the City pays the

Purchase Price in one cash lump-sum payment, or (b) on the date the City and United have agreed, in writing, to the Purchase Price in the event City agrees to pay the Purchase Price through rent credits, ((a) or (b), as applicable, the “*Vesting Date*”).

- e. United agrees to transfer to the City any warranties that are transferrable and available to United for the Non-Proprietary Tenant Improvements purchased by the City.
- f. If the City exercises the Option, the City will assume all O&M obligations for the Non-Proprietary Tenant Improvements on the Vesting Date.
- g. If the City does not exercise the Option as set forth above, United shall have the right to remove the Non-Proprietary Tenant Improvements and replace them with improvements and other design elements United deems appropriate, subject to typical City review and approval processes and authorities.

1.03 CONOURSE B CLUBS.

- A. The parties agree that the City hereby leases to United the space identified in **Exhibit D-11 (the “Concourse B Club Expansion Space”)**, which space shall be deemed a part of the Demised Premises and is anticipated to be used by United to complete an expansion of United’s existing clubs on the east and west sides of Concourse B. The Concourse B Club Expansion Space will be exclusive use space leased by United, together with the existing clubs on the east and west sides of Concourse B and United will pay Rates and Charges (pursuant to and as defined in the Use and Lease Agreement) for such Concourse B Club Expansion Space following United’s commencement of operations from such space. United will perform or cause to be performed its own finish work in the Concourse B Club Expansion Space. The Parties recognize and agree that the attached **Exhibit D-11** is at this time a conceptual plan. The Parties further acknowledge and agree that **Exhibit D-11** attached hereto shall be replaced with a revised exhibit to be included within **Exhibit D-Concourse B** that reflects the final “as built” drawings showing the graphic representation of the Concourse B Club Expansion Space. In order to replace the **Exhibit D-11** attached hereto, such revised exhibit must bear the initials of both Parties indicating their agreement.

1.04 CONOURSE B - NEW UNITED SUPPORT SPACE

- A. The City previously leased to United until January 31, 2023, as part of the Demised Premises, the space depicted on **Exhibit D-Concourse B** for use as United office and/or other support space, which space was defined as the “Flight Attendants Space” in the 2021 Lease Amendment and the parties hereby agree that the term of

United's lease of such space shall be deemed extended for the Term of the Use and Lease Agreement.

1.05 CONCOURSE B-EAST SOUTH FINGER FACILITY

- A. Removal of Certain Gates. The Parties hereby confirm that effective December 31, 2022, Gates B81, B83, B85, B87, B89, B91, and B93, which were part of the "South Finger Gates," were, removed from, and are not included within, United's preferentially leased gates at the Airport.

1.06 CONCOURSE A-WEST CLUB MEZZANINE EXPANSION

- A. United currently leases approximately 12,000 square foot of space on Concourse A-West mezzanine level (the "*A-West Expansions Area*") and the City hereby authorizes it to complete the design and construction of a mezzanine expansion (the "*A-West Club Expansion Area*") on the A-Concourse in conjunction with the construction of a new United Club, as set forth in **Exhibit D-12** (such design and construction is referred to herein as, the "*A- West Club Expansion Work*"). The A-West Club Expansion Work shall be designed, constructed and installed at United's sole cost and expense. United will have exclusive use of the A-West Club Expansion Area, and United will have no obligations to pay rent for the A-West Club Expansion Area during the term of the Use and Lease Agreement. In undertaking the A-West Club Expansion Work, United shall comply with the provisions of Section 1.02.B of this 2023 Lease Amendment. The Parties recognize and agree that the attached **Exhibit D-12** is at this time a conceptual plan. The Parties further acknowledge and agree that **Exhibit D-12** attached hereto shall be replaced with a revised exhibit to be included within **Exhibit D-Concourse A** that reflects the final "as built" drawings showing the graphic representation of the A-West Club Expansion Area. In order to replace the **Exhibit D-12** attached hereto, such revised exhibit must bear the initials of both Parties indicating their agreement.

1.07 MISCELLANEOUS.

- A. Except as modified by this 2023 Lease Amendment, all of the terms and conditions of the Use and Lease agreement shall remain in full force and effect.
- B. Capitalized terms used, but not defined, herein shall have the meaning given to such terms in the Use and Lease Agreement
- C. This 2023 Lease Amendment shall not be effective or binding on the City until approved and fully executed by all applicable signatories of the City and County of Denver noted in the signature page to this 2023 Lease Amendment.

[THE REMAINDER OF THIS PAGE IS INTENTIONALLY LEFT BLANK]

Contract Control Number: PLANE-202264055-12 / Legacy XC2X000-12
Contractor Name: United Airlines, Inc.

IN WITNESS WHEREOF, the parties have set their hands and affixed their seals at Denver, Colorado as of:

SEAL

CITY AND COUNTY OF DENVER:

ATTEST:

By:

APPROVED AS TO FORM:

REGISTERED AND COUNTERSIGNED:

Attorney for the City and County of Denver

By:

By:

By:

Contract Control Number:
Contractor Name:

PLANE-202264055-12 / Legacy XC2X000-12
United Airlines, Inc.

DocuSigned by:
Brett Hart
By: 480C0E49AB0C40E...

Name: Brett Hart
(please print)

Title: President
(please print)

ATTEST: [if required]

By: _____

Name: _____
(please print)

Title: _____
(please print)

2023 LEASE AMENDMENT

Exhibit D - Terminal

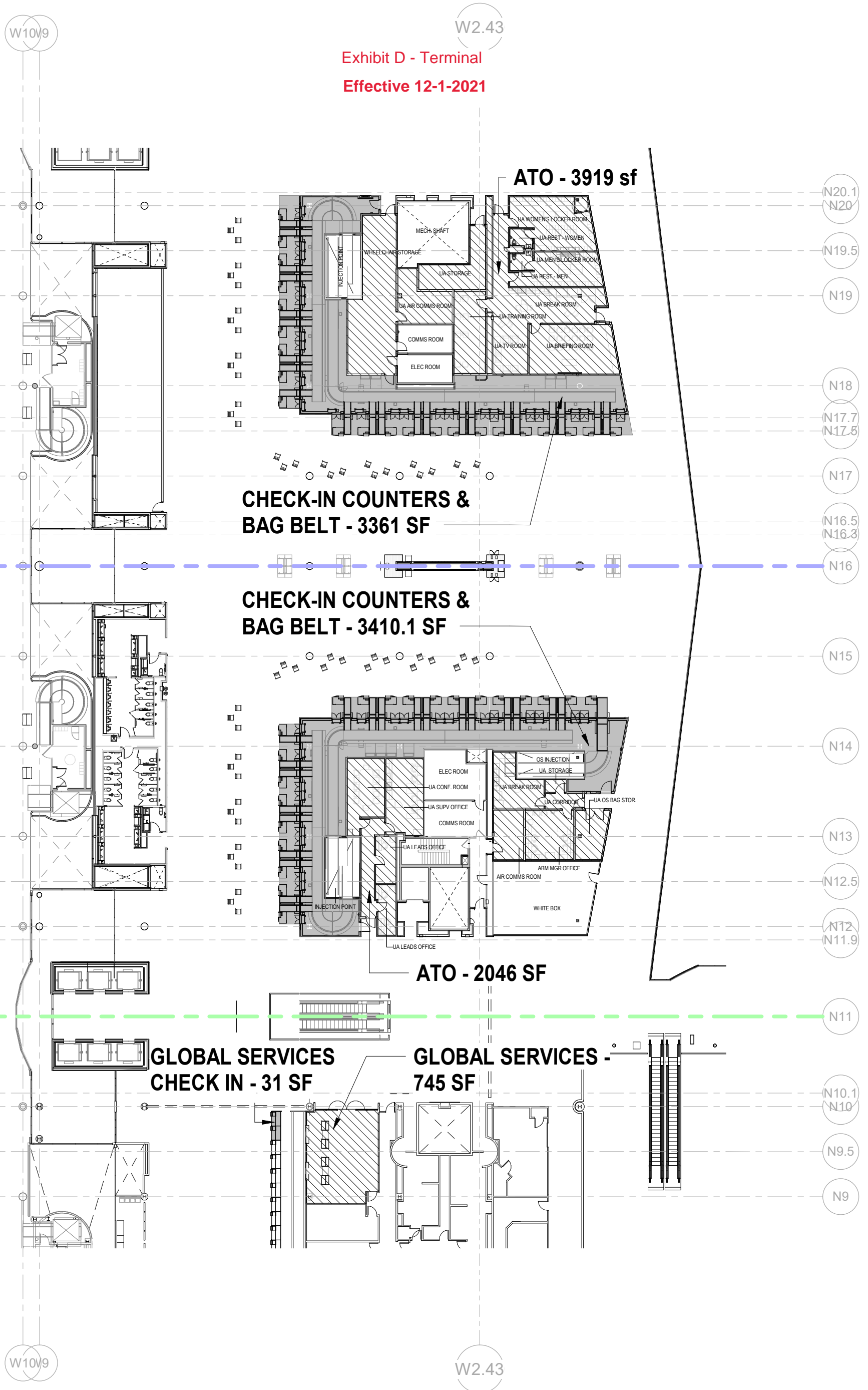


Exhibit D - Terminal
Effective 12-1-2021

DEN Planning and Design

NOTE: THIS EXHIBIT SHOWS DIMENSIONS AND SQUARE FOOTAGE OF LEASED AREA BASED UPON PLANNING DATA AND IS NOT INTENDED TO DEPICT DIMENSIONS FOR CONSTRUCTION DETAILS. IT IS THE RESPONSIBILITY OF THE LEASEE TO FIELD VERIFY EXISTING CONDITIONS. ADDITIONALLY, IT IS THE RESPONSIBILITY OF THE LEASEE AND DESIGNERS OF RECORD TO FOLLOW ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.



DENVER INTERNATIONAL AIRPORT

EXHIBIT
TML L6 UAL LEASE

ID

LXD L6M2W - 101

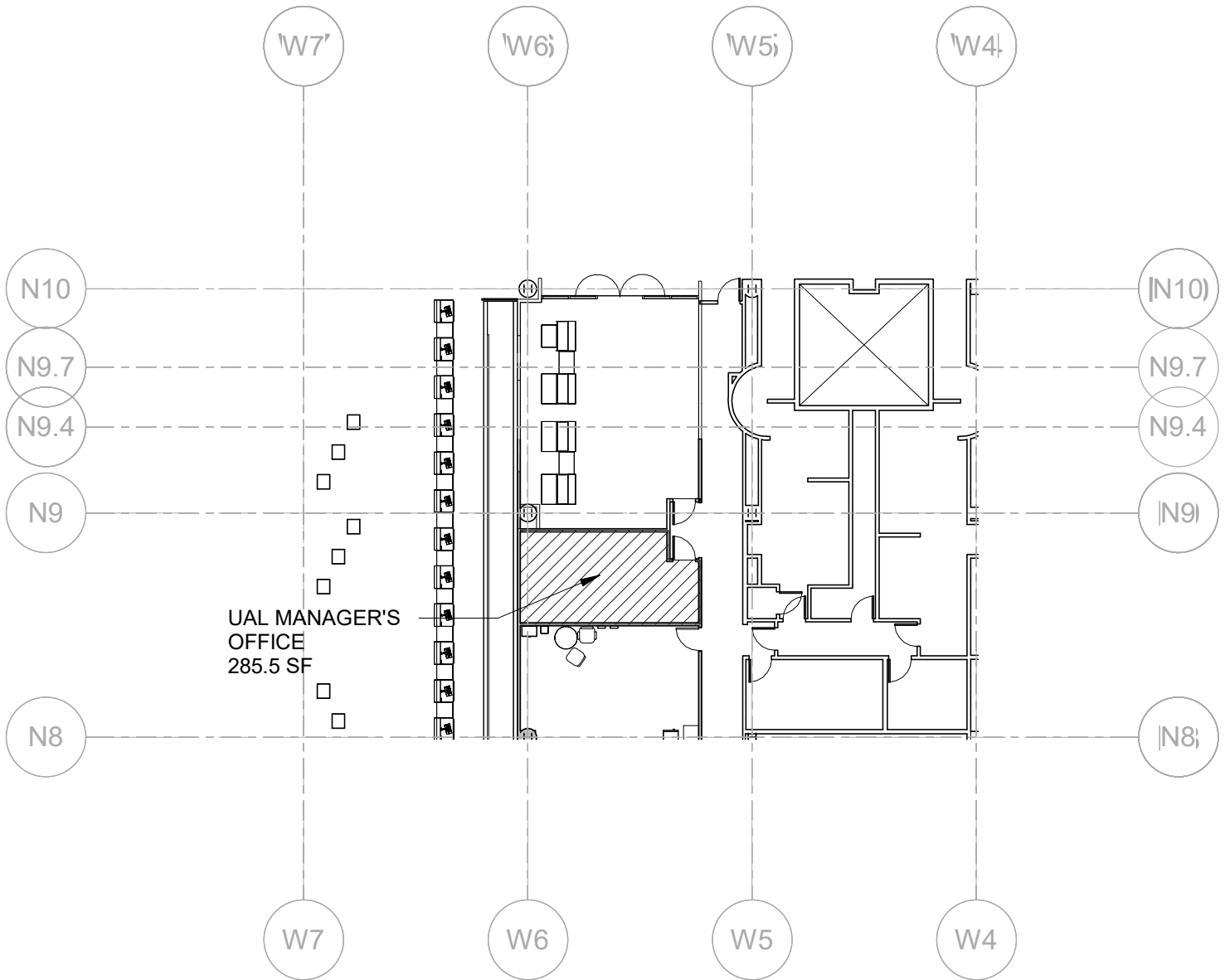
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Exhibit D - Terminal

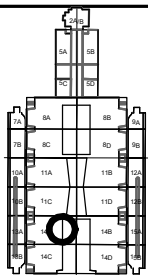
Effective 3-1-2022

This area will be relocated when a permanent space is found.




DEN Planning and Design

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DENVER INTERNATIONAL AIRPORT	
EXHIBIT R16-1-6-W6-N8	
TML L6 UAL MANAGER'S OFFICE LEASE	
LXD L6M3W UAL MANAGER'S OFFICE	DATE: 10/04/22
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W10 W9

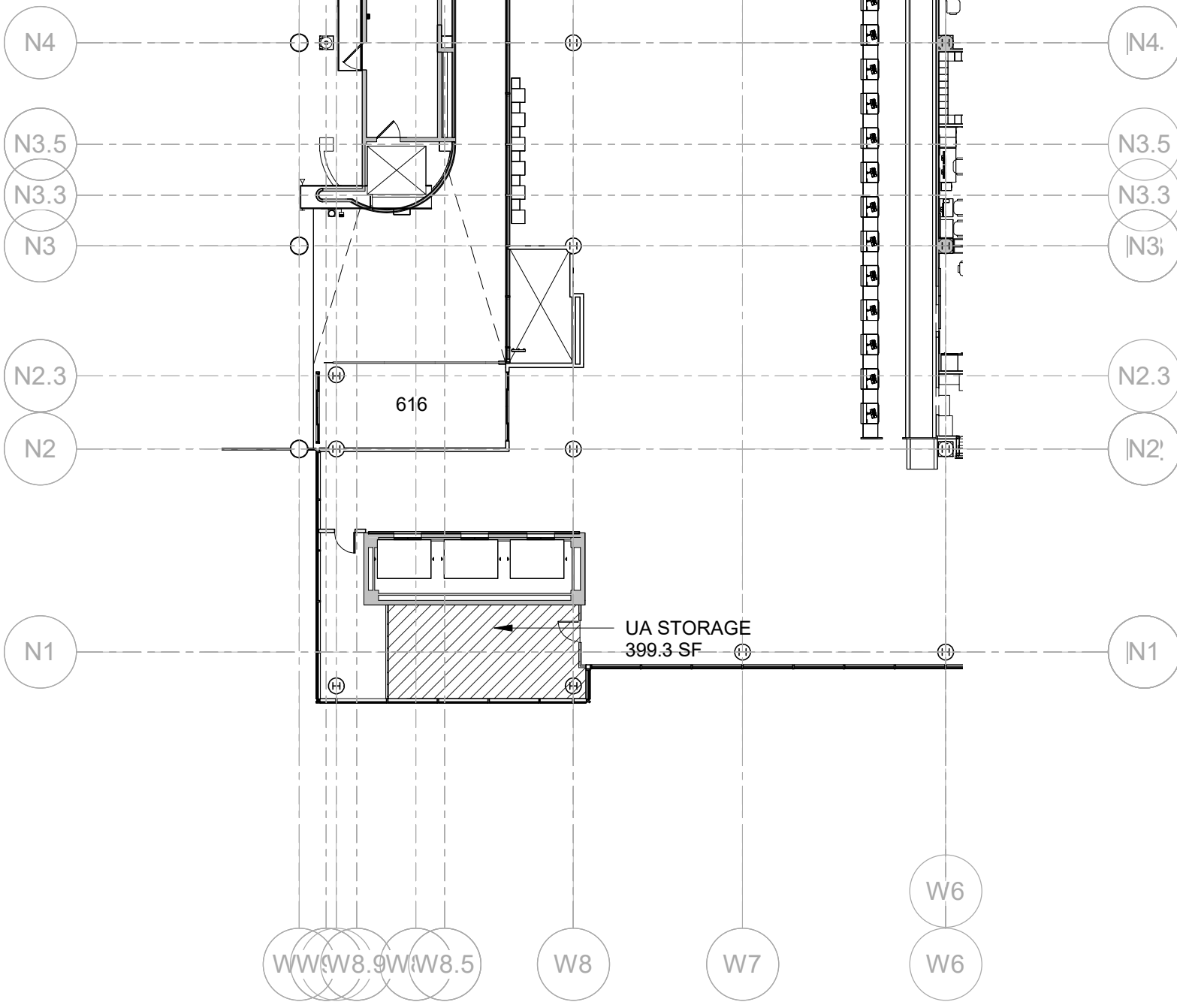
W8

W7

W6

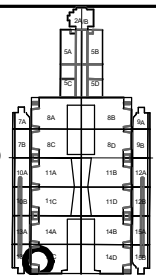
Exhibit D - Terminal

Effective 1/1/2022



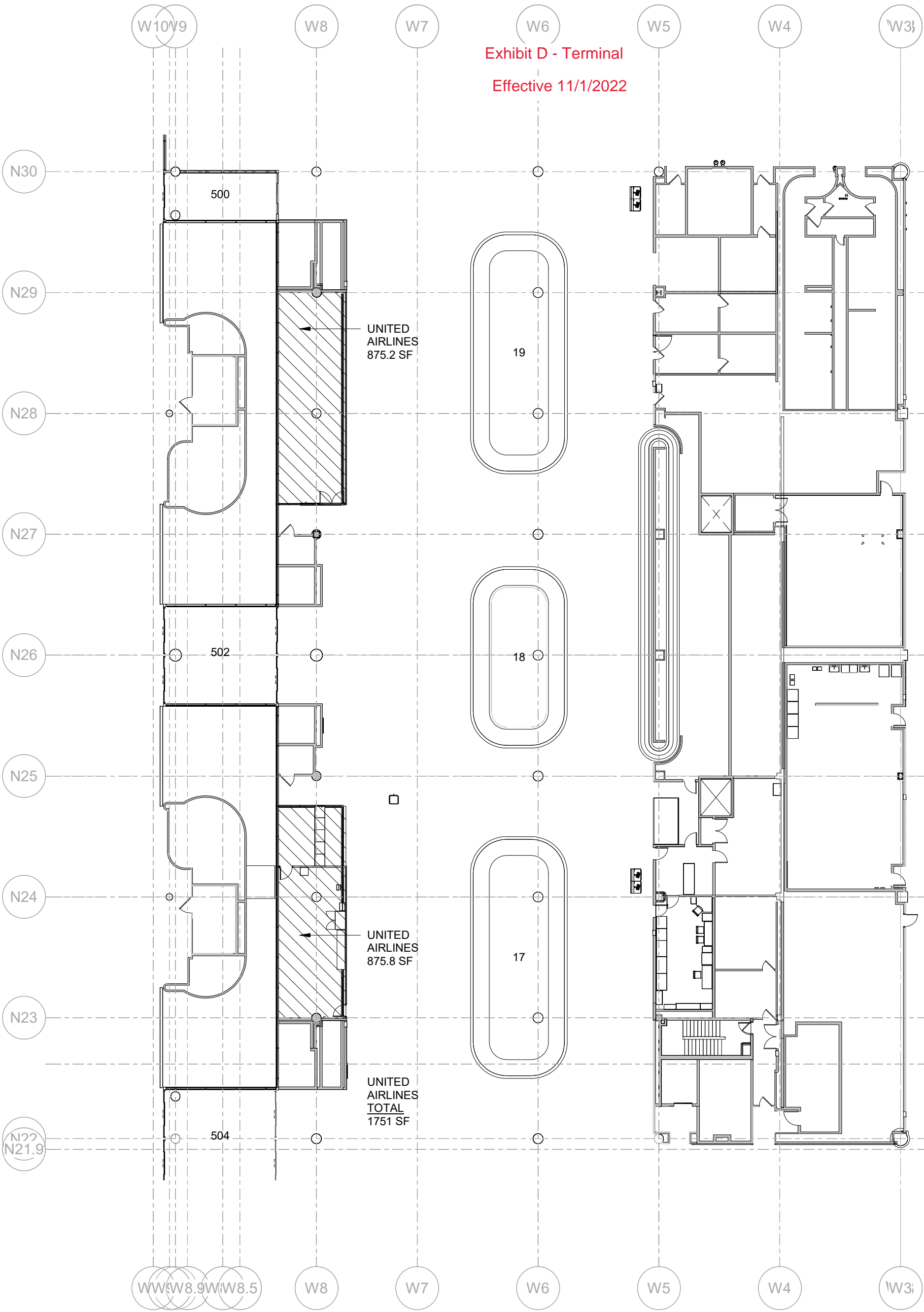

DEN Planning and Design


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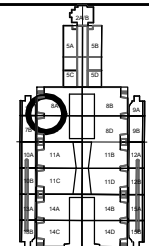
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EXHIBIT	R16-1-6-W10-N1
L6M3W UA STORAGE- LEASE	
LXD L6M3W UAL - 117	DATE: 10/19/22
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Exhibit D - Terminal
Effective 11/1/2022



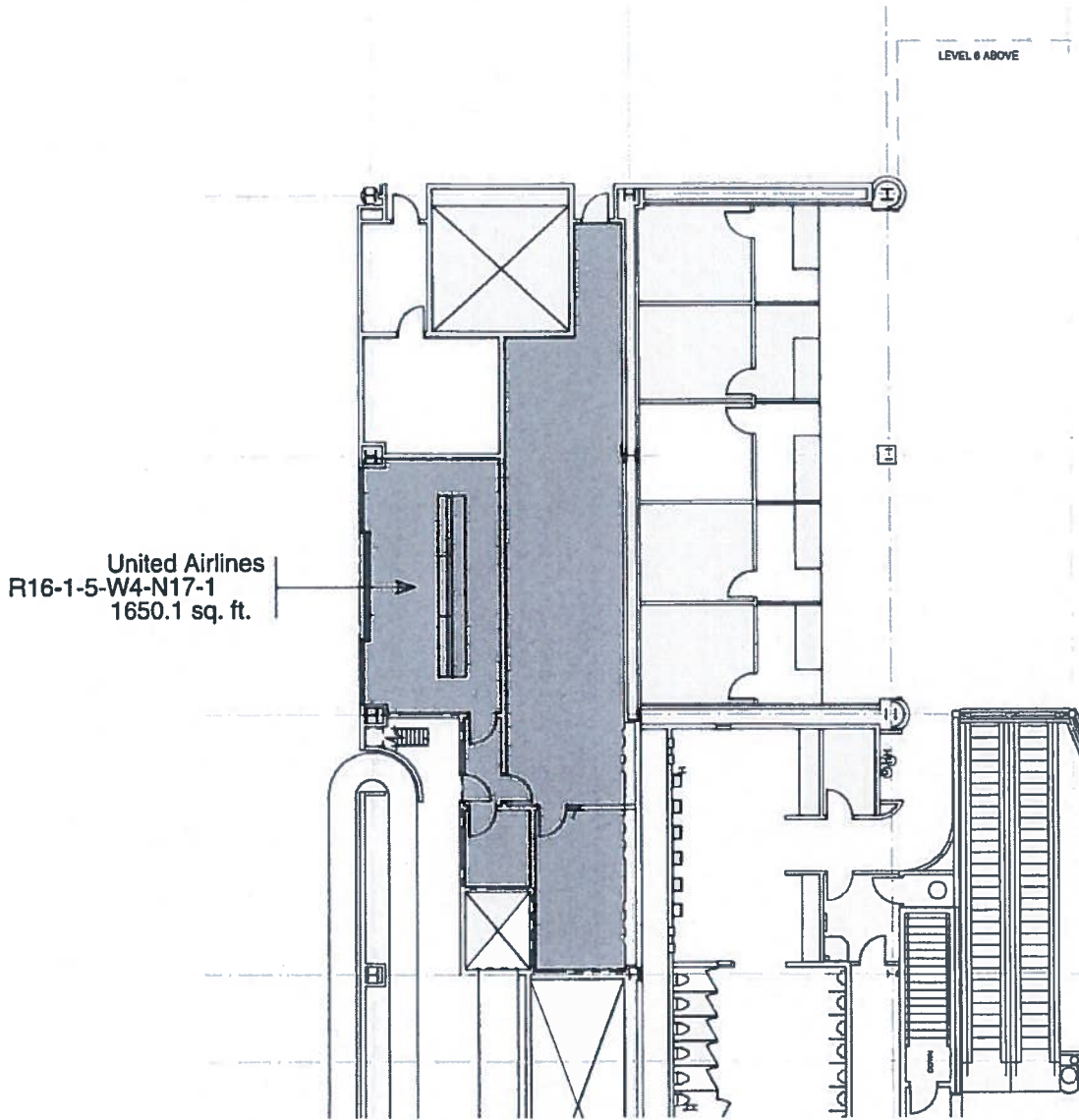

DEN Planning and Design

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DENVER INTERNATIONAL AIRPORT	
EXHIBIT	ID
TML L5 UNITED AIRLINES LEASE	R16-1-5-W8.5-N23
LXD L5M1W - 116	DATE: 08/18/2022
	Scale: 3/64" = 1'-0"

Exhibit D - Terminal



CONC. WALL (BY CITY)
 STUD/GYPSUM WALL (BY CITY)
 GLASS WALL (BY CITY)
 TENANT LEASE LINE
 (H) (C) COLUMNS
 NIC = Not Included
 (In Lease or Sq. Ft. Calc.)

SCALE 1" = 20.00'



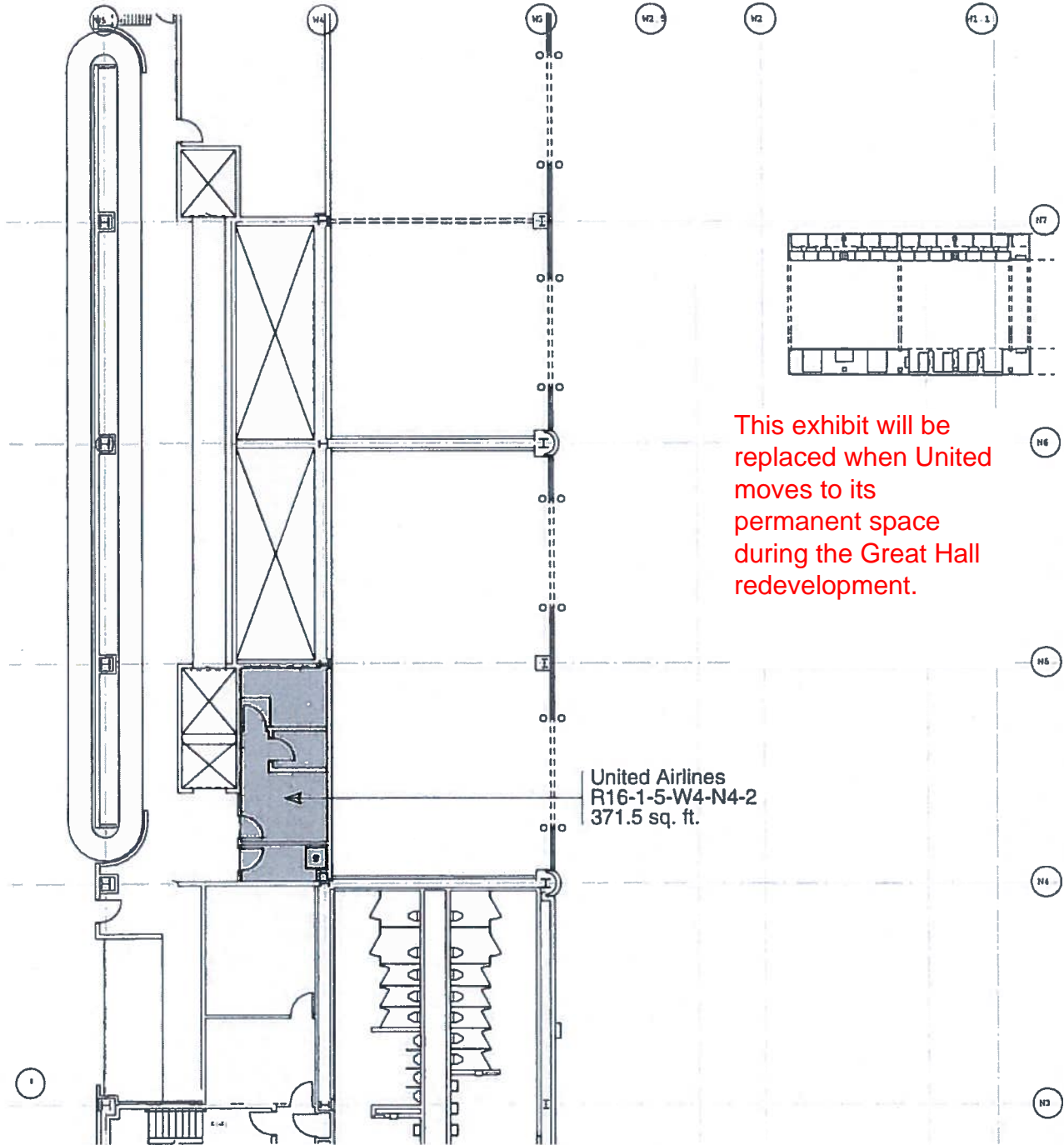
DIRECTOR OF ENGINEERING/AIRPORT

NOTE: This exhibit depicts only square footage of leased area based upon planning data and is not intended to address construction details.

	KEY PLAN TERMINAL AREA		REVISED	DENVER INTERNATIONAL AIRPORT	
				EXHIBIT D Terminal Level 5 United Airlines	
			CC#: ual1	DATE: 3/30/93	

R16-1-5-15-13

Exhibit D - Terminal



This exhibit will be replaced when United moves to its permanent space during the Great Hall redevelopment.

United Airlines
R16-1-5-W4-N4-2
371.5 sq. ft.

- CONC. WALL (BY CITY)
- STUCCO/GYPSUM WALL (BY CITY)
- GLASS WALL (BY CITY)
- TENANT LEASE LINE -----
- (H) (M) COLUMNS
- NIC = Not Included
(In Lease or Sq. Ft. Calc.)



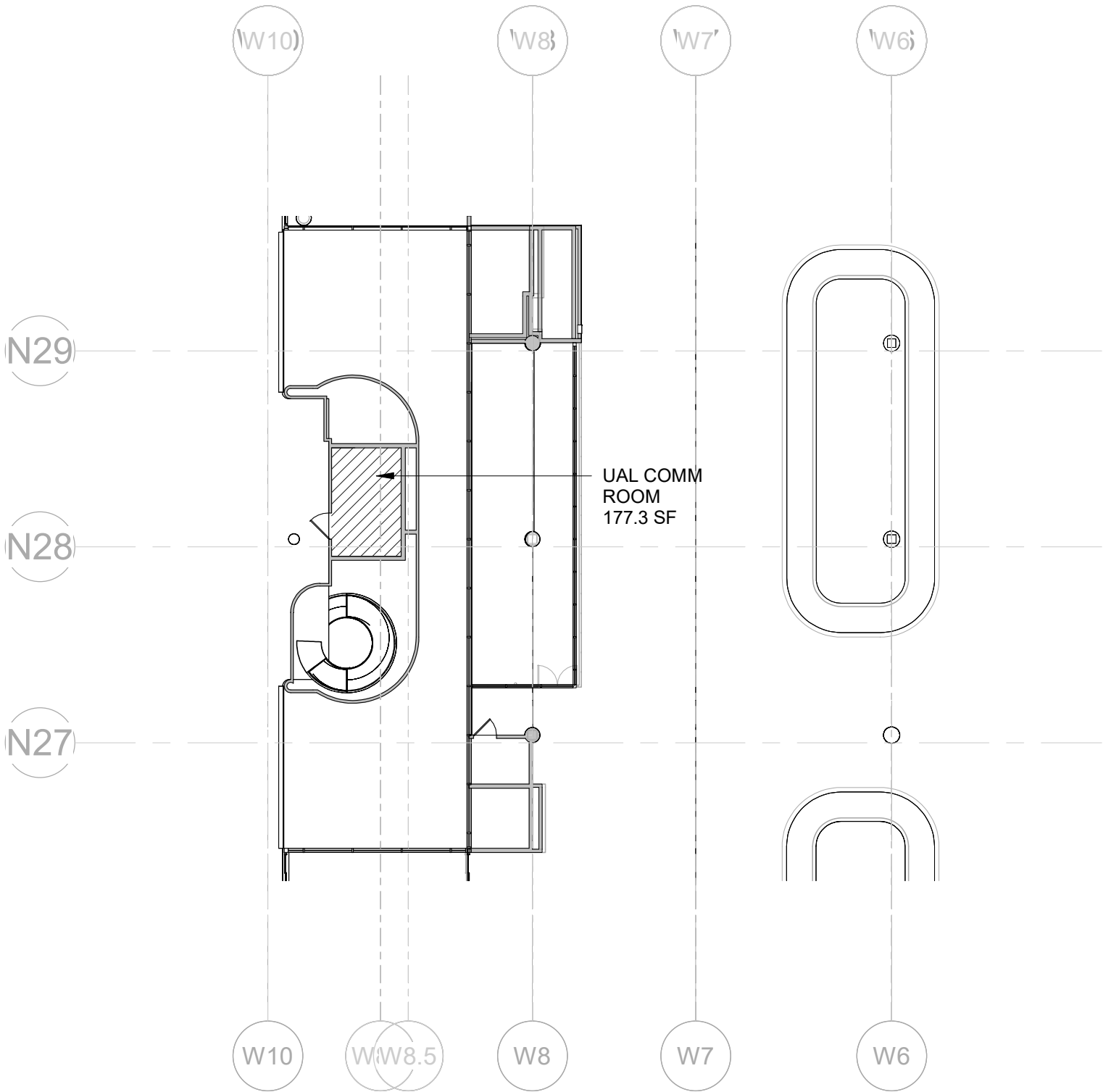
DIRECTOR OF ENGINEERING/AIRPORT

NOTE: This exhibit depicts only square footage of leased area based upon planning data and is not intended to address construction details.

 KEY PLAN TERMINAL AREA			REVISED	DENVER INTERNATIONAL AIRPORT	
			EXHIBIT D Terminal Level 5 United Airlines		
			CC#: ual1	DATE: 11/22/96	

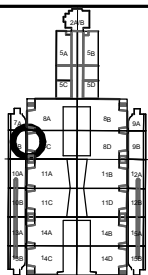
Exhibit D - Terminal

Effective 11-1-2022



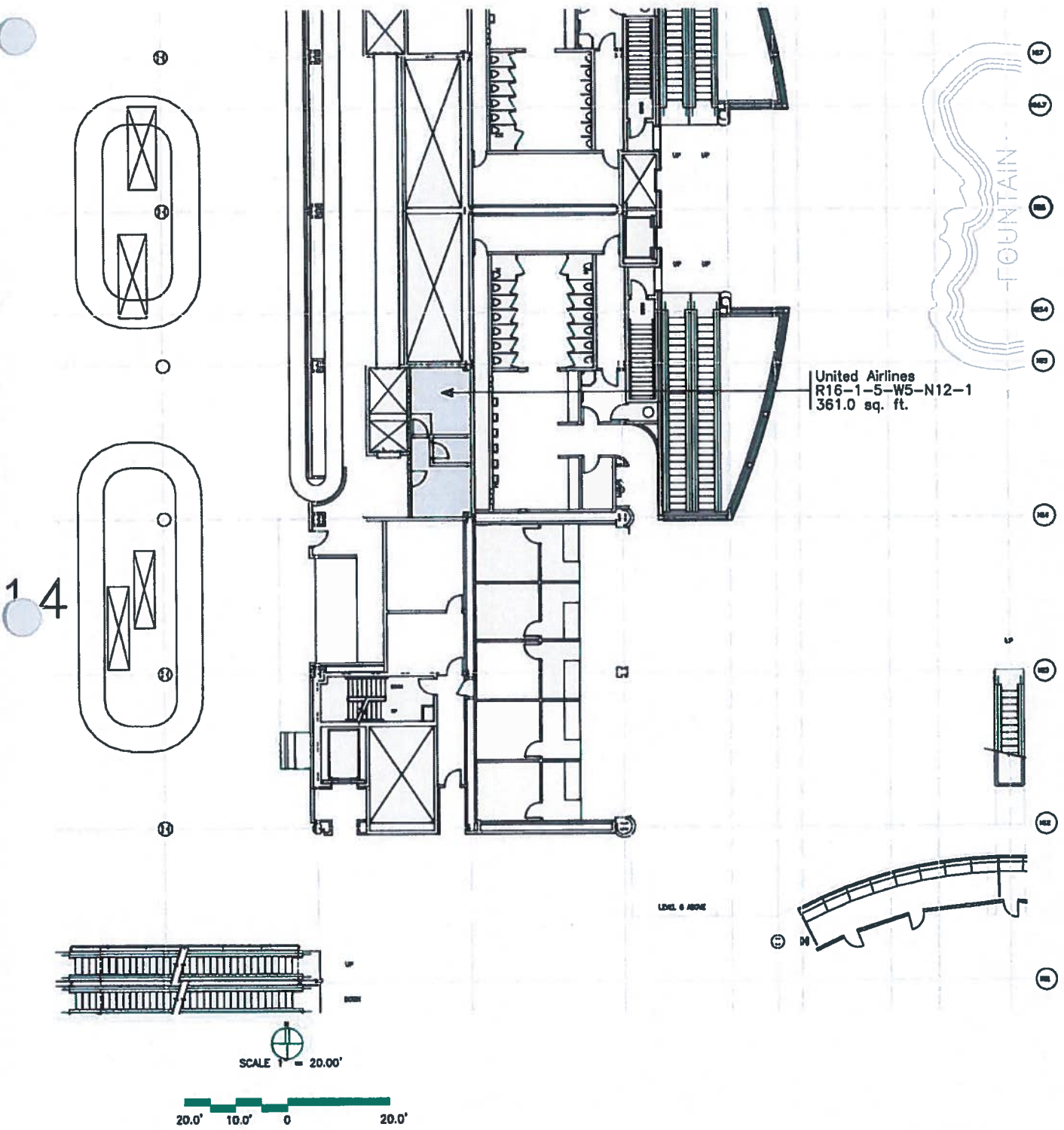

DEN Planning and Design

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DENVER INTERNATIONAL AIRPORT	
EXHIBIT R16-1-5-W10-N28	
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LXD L5M1W UAL COMM ROOM	DATE: 12/12/22
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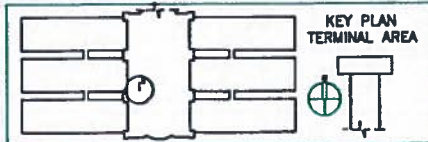
Exhibit D - Terminal



Hana Rocio
MANAGER OF DESIGN

NOTE: This exhibit depicts only square footage of leased area based upon planning data and is not intended to address construction details.

CONC. WALL (SEE CITY)
STRUCTURE WALL (SEE CITY)
GLASS WALL (SEE CITY)
TRANSIT LANDING CASE
④ ⑤ COLLUMS
NIC - Not Included
(In Lease or Sp. Pl. Code)

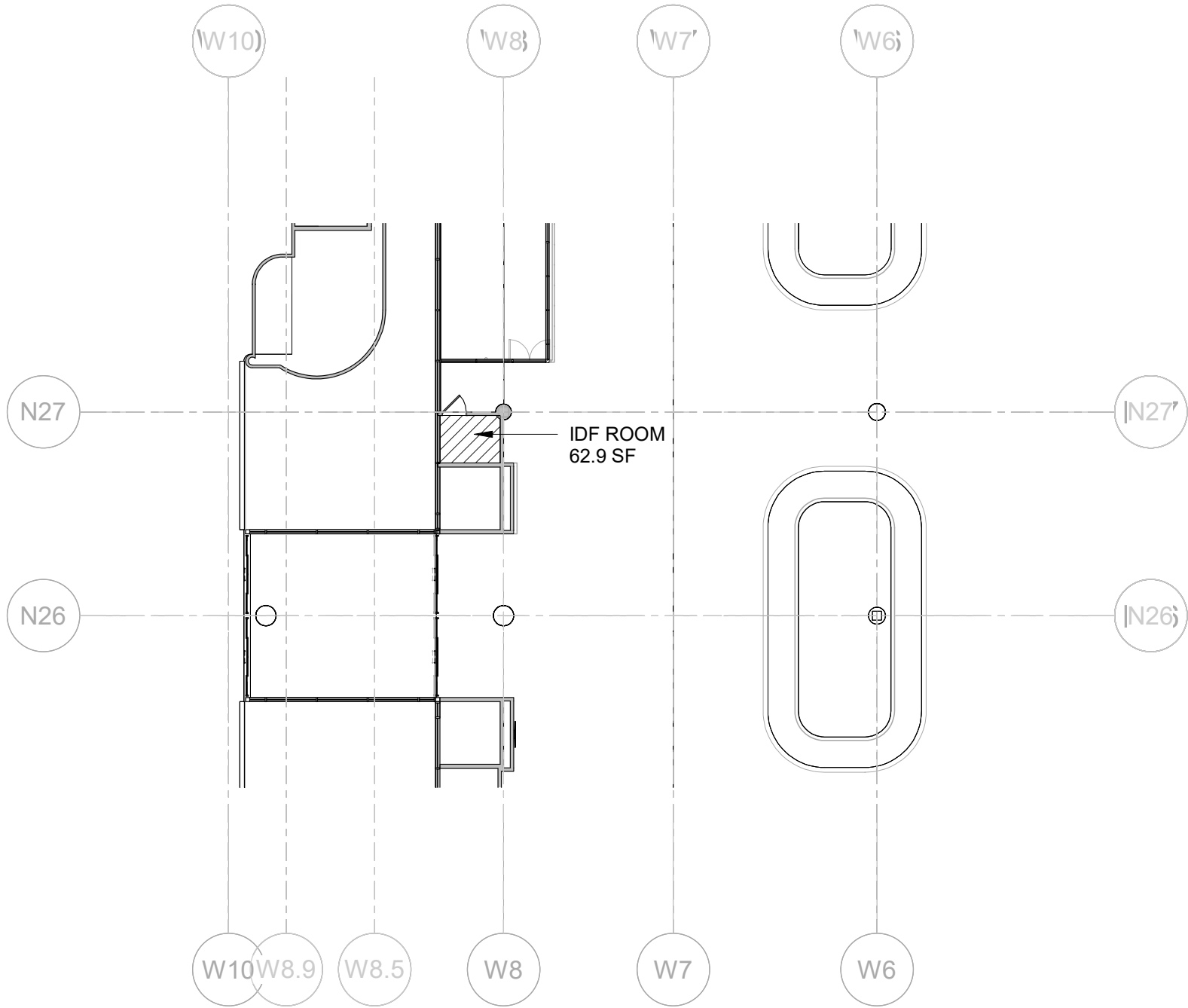


REVISED
8/8/84

DENVER INTERNATIONAL AIRPORT
EXHIBIT D
Terminal Level 5
United Airlines
CC#: uc11 DATE: 8/8/84

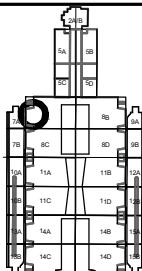
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Effective 11-1-2022




DEN Planning and Design

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DENVER INTERNATIONAL AIRPORT

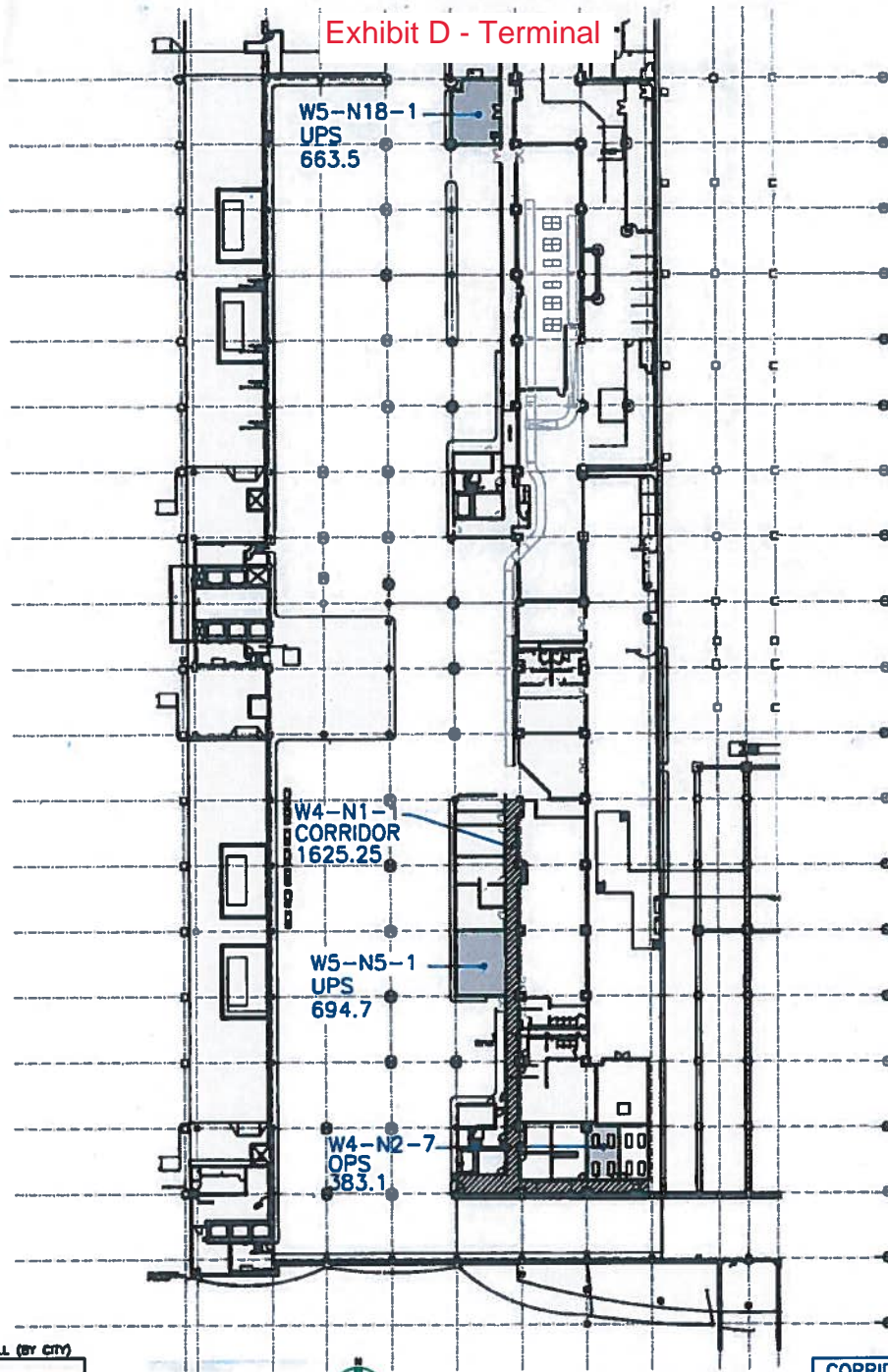
EXHIBIT R16-1-5-W8.5-N26

TML L5 UAL IDF ROOM - LEASE

LXD L5M1W UAL IDF

DATE: 12/12/22

Exhibit D - Terminal



- CONC. WALL (BY CITY)
- STUD/GYPSUM WALL (BY CITY)
- GLASS WALL (BY CITY)
- TENANT LEASE LINE

COLUMNS
 NIC = Not Included
 (In Lease or Sq. Ft. Calc.)



UNITED OPS
 TERMINAL LEVEL 3
 1741.3 S.F.

CORRIDOR
 1625.25 Sq. Ft.
 UA share 11.02%
 or 179.07 Sq. Ft.

NOTE:

This exhibit depicts only approximate dimensions and square footage of leased area based upon planning data and is not intended to show dimensions for construction details.

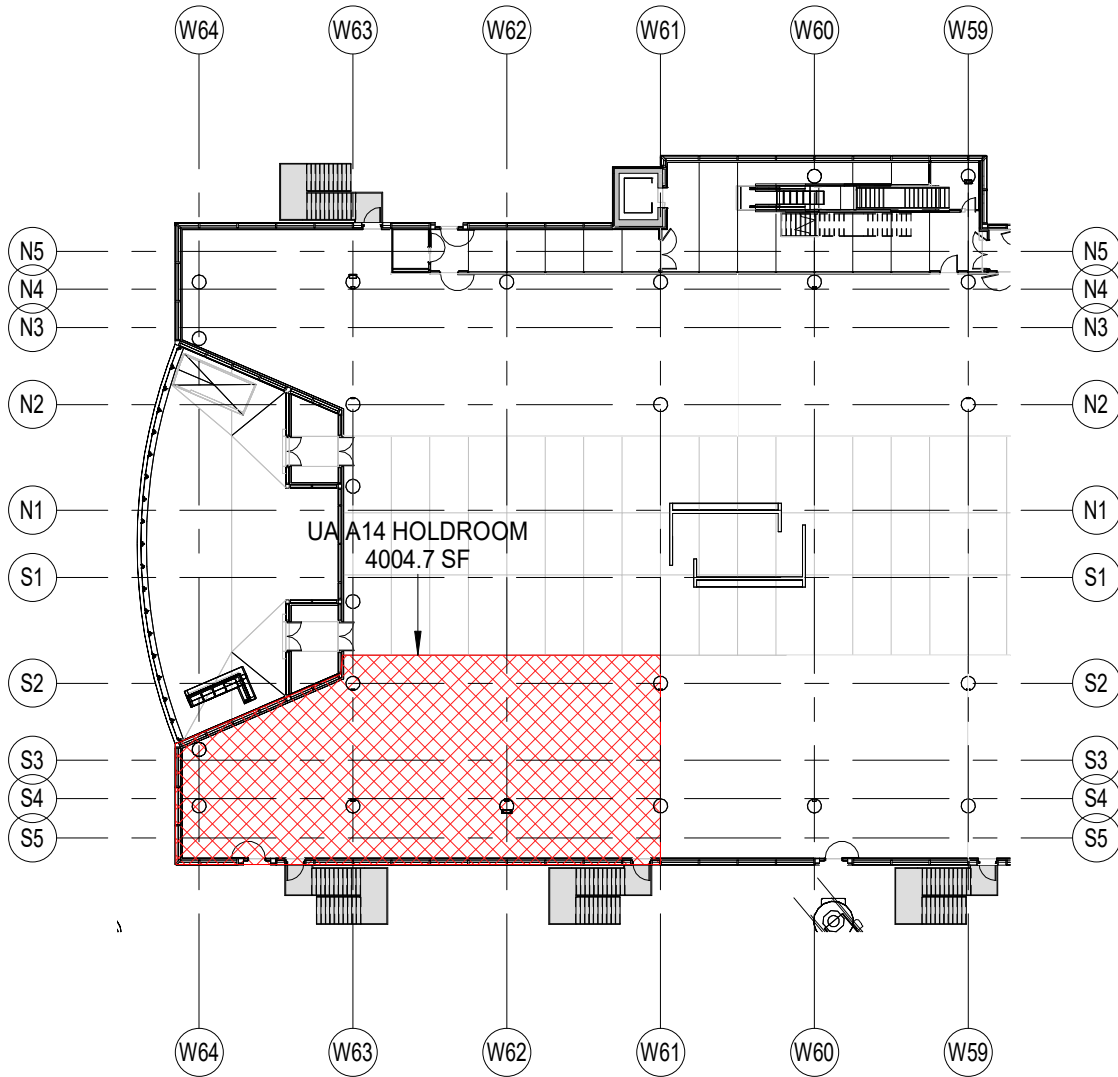
DEN Property Management

<p>KEY PLAN TERMINAL AREA</p>		REVISED	DENVER INTERNATIONAL AIRPORT	
			EXHIBIT D Terminal Level 3 United Airlines	
		CC#: ual	DATE: 11/28/16	

2023 LEASE AMENDMENT
Exhibit D – Concourse A

Exhibit D - Concourse A

Effective 12/1/2022



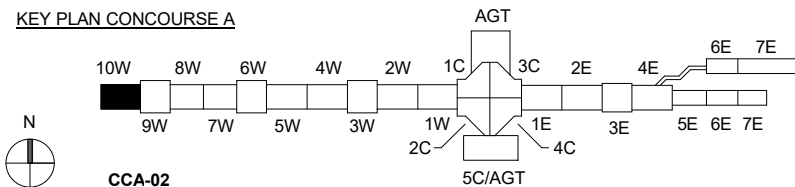
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NOTE: THIS EXHIBIT SHOWS DIMENSIONS AND SQUARE FOOTAGE OF LEASED AREA BASED UPON PLANNING DATA AND IS NOT INTENDED TO DEPICT DIMENSIONS FOR CONSTRUCTION DETAILS. IT IS THE RESPONSIBILITY OF THE LEASEE TO FIELD VERIFY EXISTING CONDITIONS. ADDITIONALLY, IT IS THE RESPONSIBILITY OF THE LEASEE AND DESIGNERS OF RECORD TO FOLLOW ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.



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KEY PLAN CONCOURSE A



CCA-02



DENVER INTERNATIONAL AIRPORT

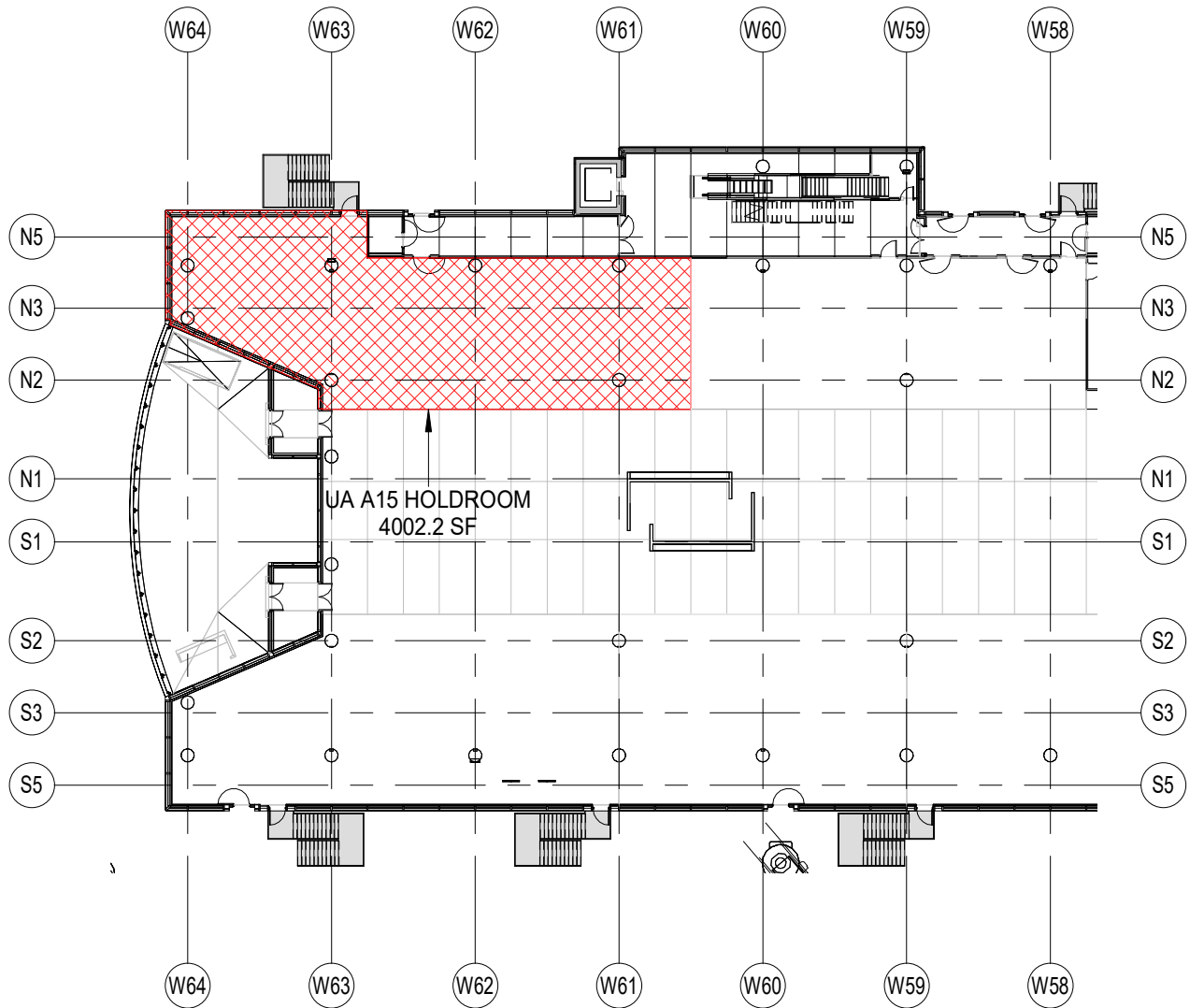
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R17-1-2-W64-S5
UA A14 HOLDROOM

CC#:

DATE: 11/16/22


Exhibit D - Concourse A

Effective 12/1/2022

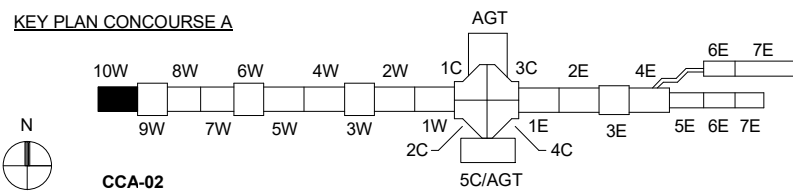


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KEY PLAN CONCOURSE A



DENVER INTERNATIONAL AIRPORT

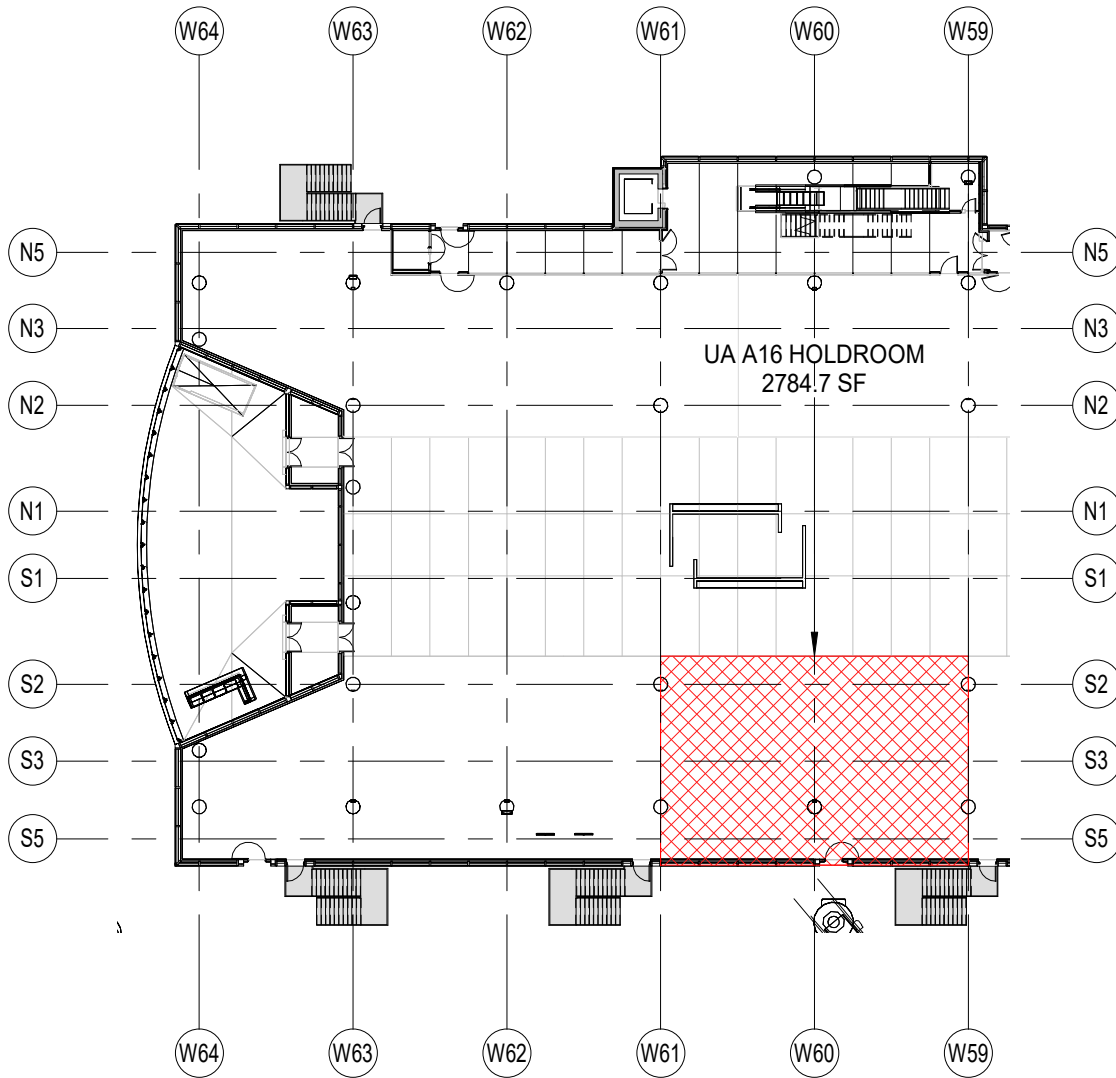
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UA A15 HOLDROOM

CC#:

DATE: 11/16/22

Exhibit D - Concourse A

Effective 12/1/2022



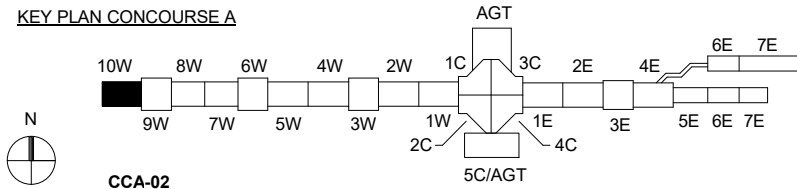
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KEY PLAN CONCOURSE A



CCA-02



DENVER INTERNATIONAL AIRPORT

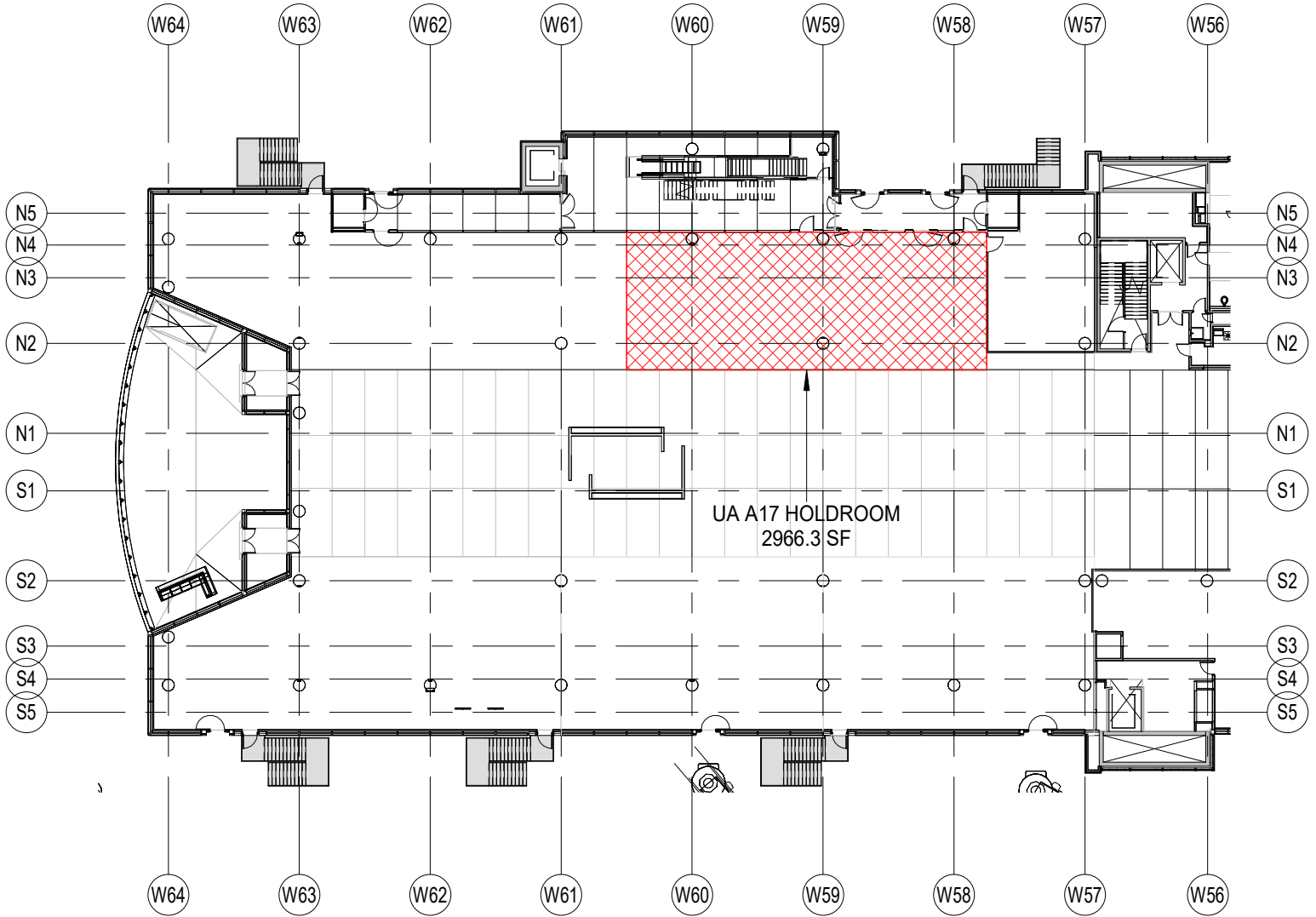
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UA A16 HOLDROOM

CC#:

DATE: 11/16/22

Exhibit D - Concourse A

Effective 12/1/2022

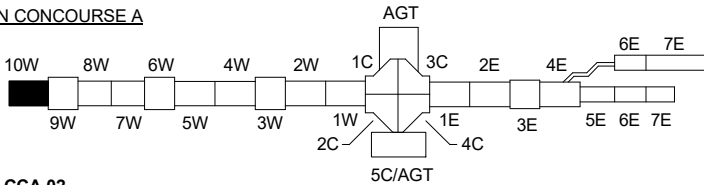


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KEY PLAN CONCOURSE A



CCA-02



DENVER INTERNATIONAL AIRPORT

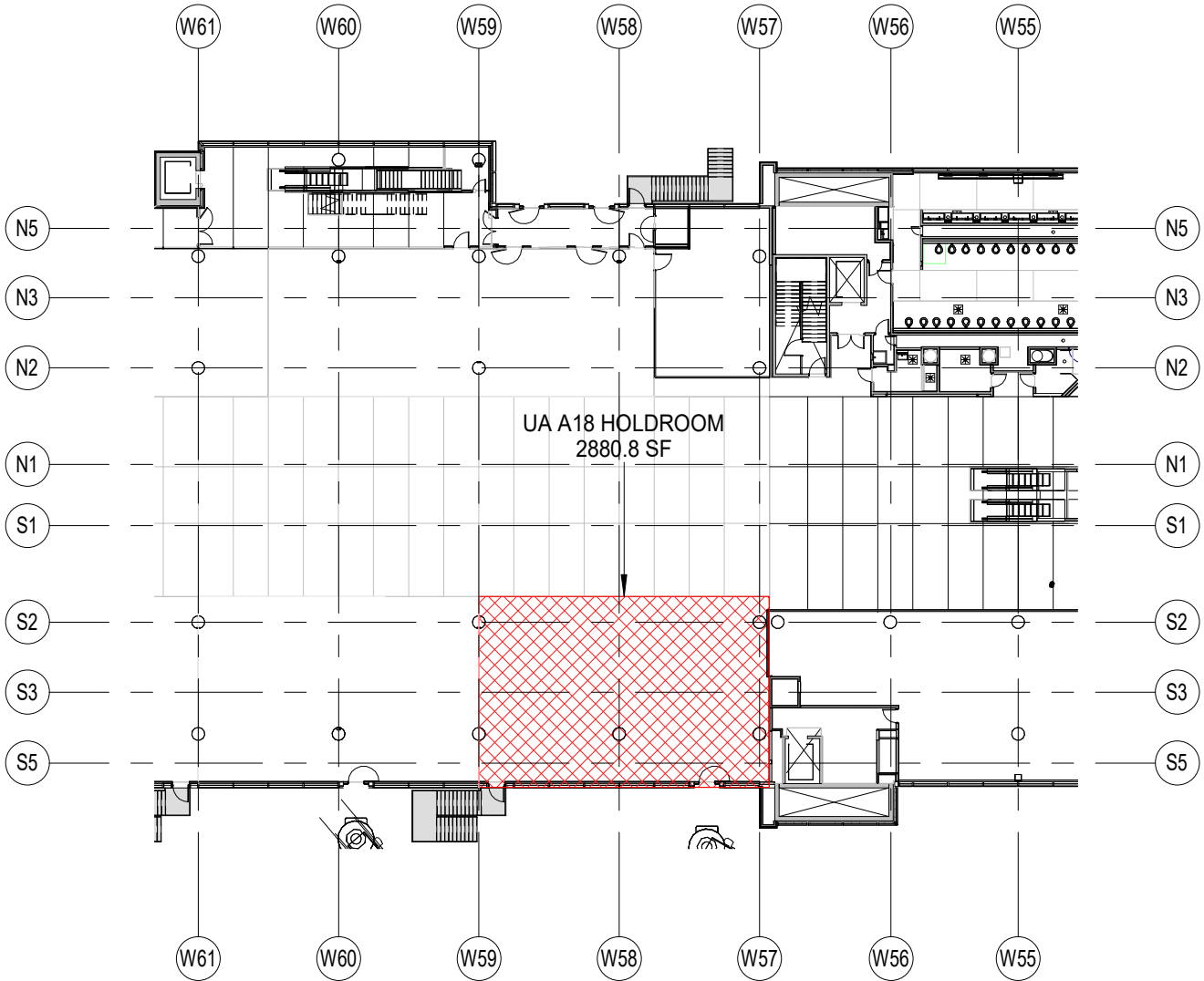
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UA A17 HOLDROOM

CC#:

DATE: 11/17/22

Exhibit D - Concourse A

Effective 12/1/2022

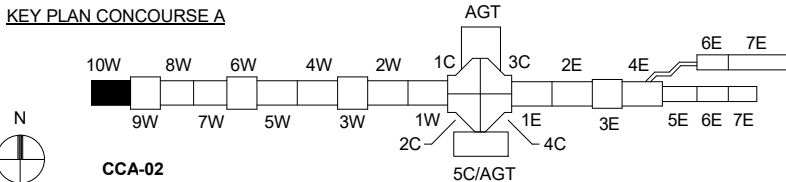


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KEY PLAN CONCOURSE A



DENVER INTERNATIONAL AIRPORT

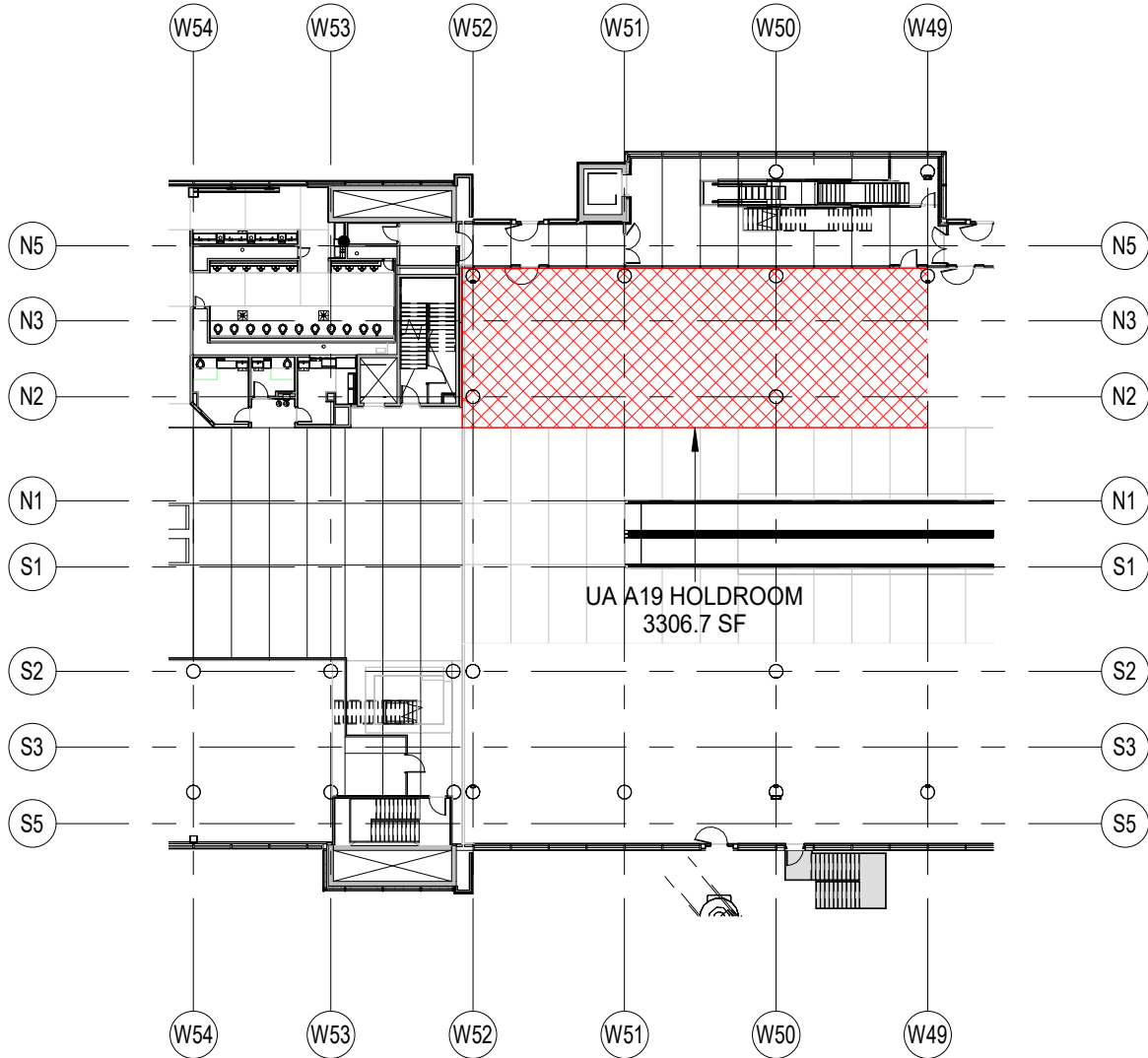
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UA A18 HOLDROOM

CC#:

DATE: 11/16/22

Exhibit D - Concourse A

Effective 12/1/2022

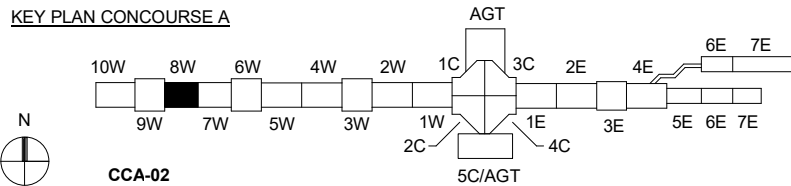


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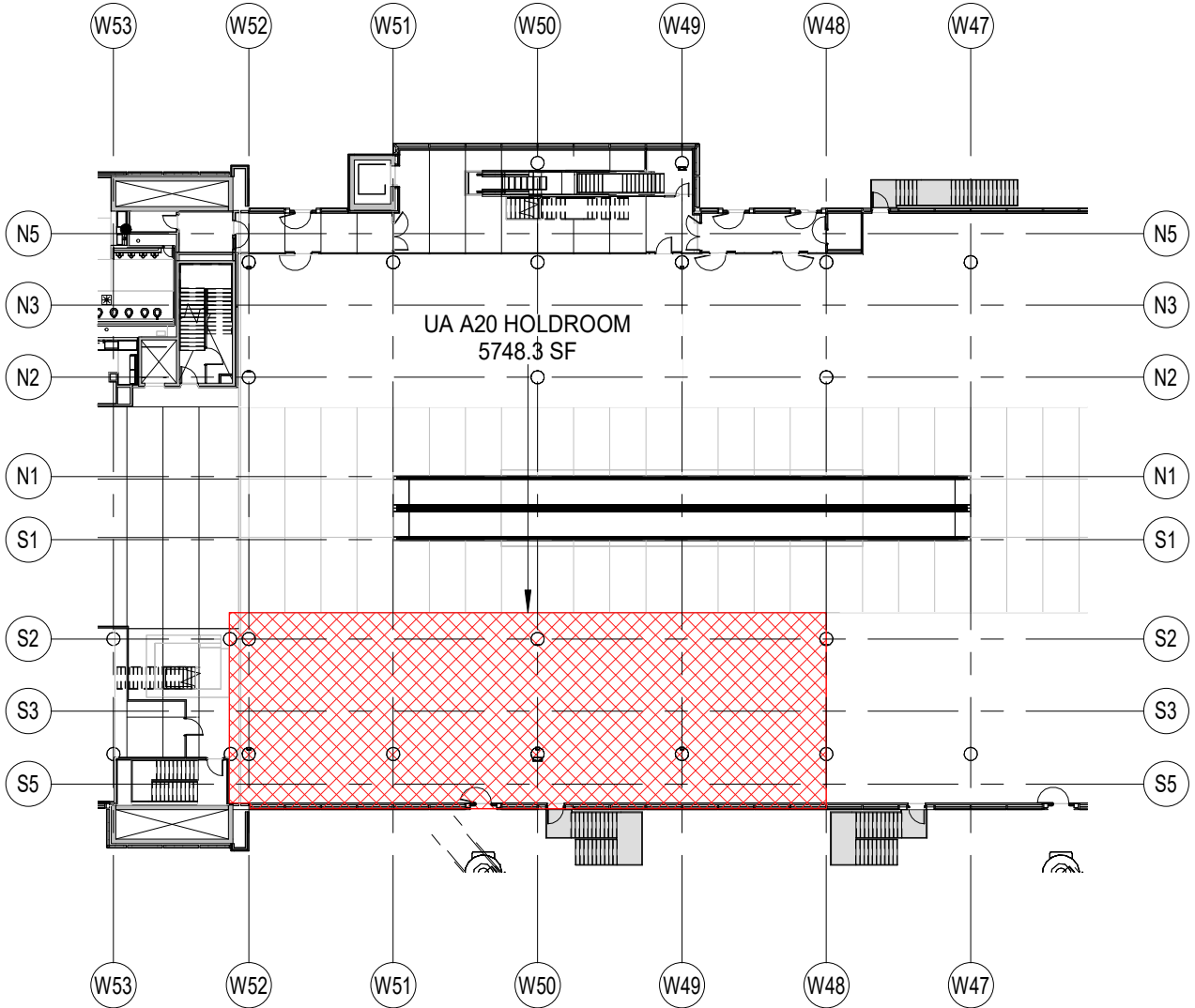
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UA A19 HOLDROOM

CC#:

DATE: 11/18/22

Exhibit D - Concourse A

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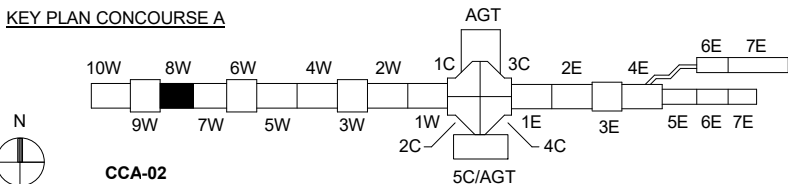
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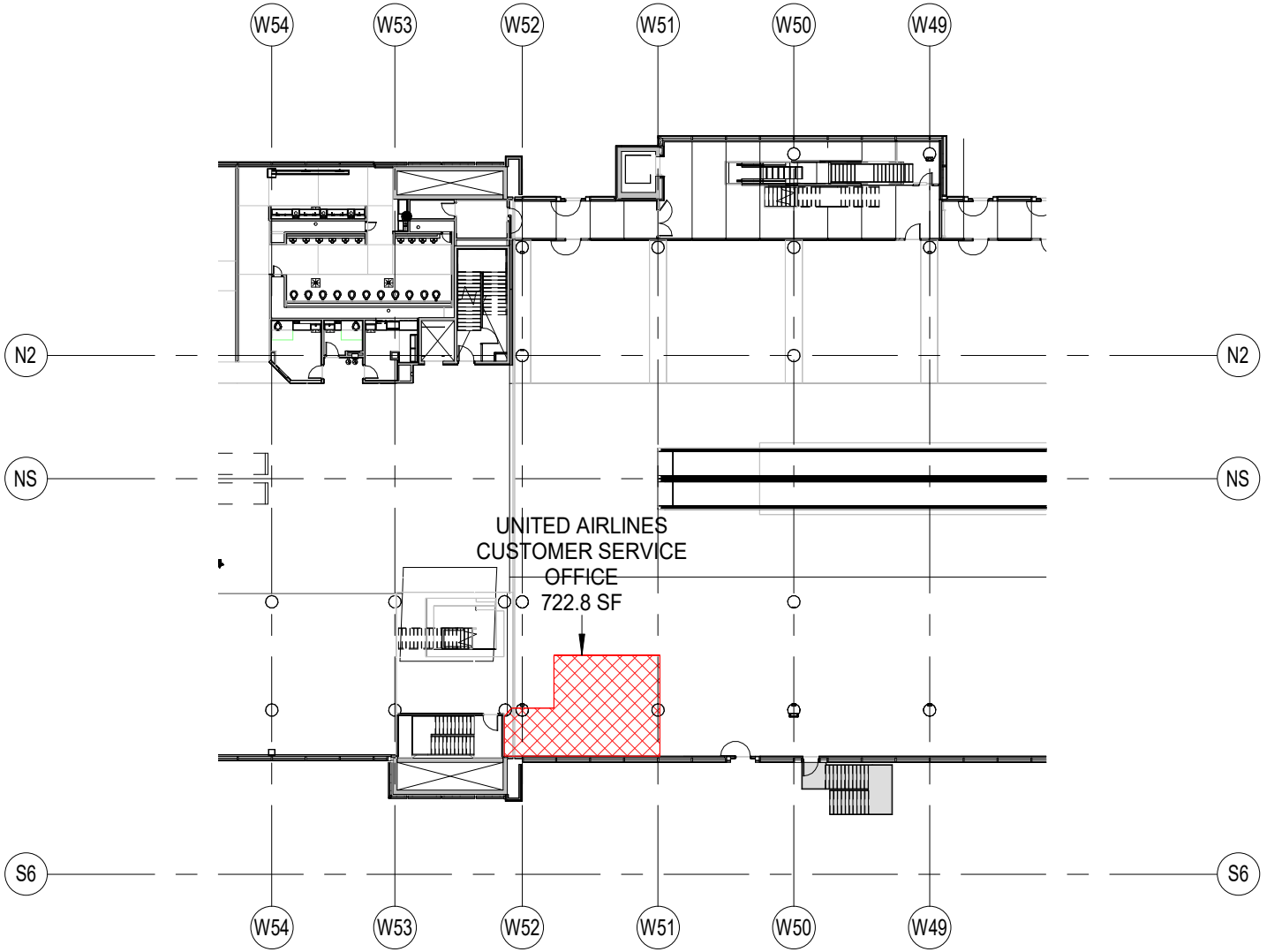
EXHIBIT
R17-1-2-W53-S5
UA A20 HOLDROOM

CC#:

DATE: 11/16/22

Exhibit D - Concourse A

No extra charge. This is located within the A 20 holdroom



UNITED AIRLINES
CUSTOMER SERVICE
OFFICE
722.8 SF

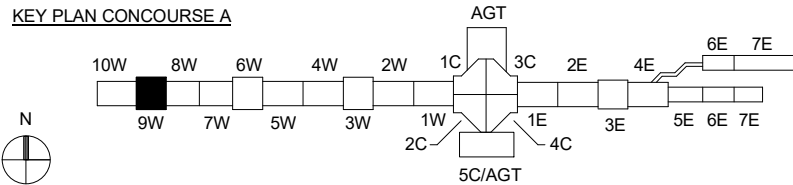
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KEY PLAN CONCOURSE A



DENVER INTERNATIONAL AIRPORT

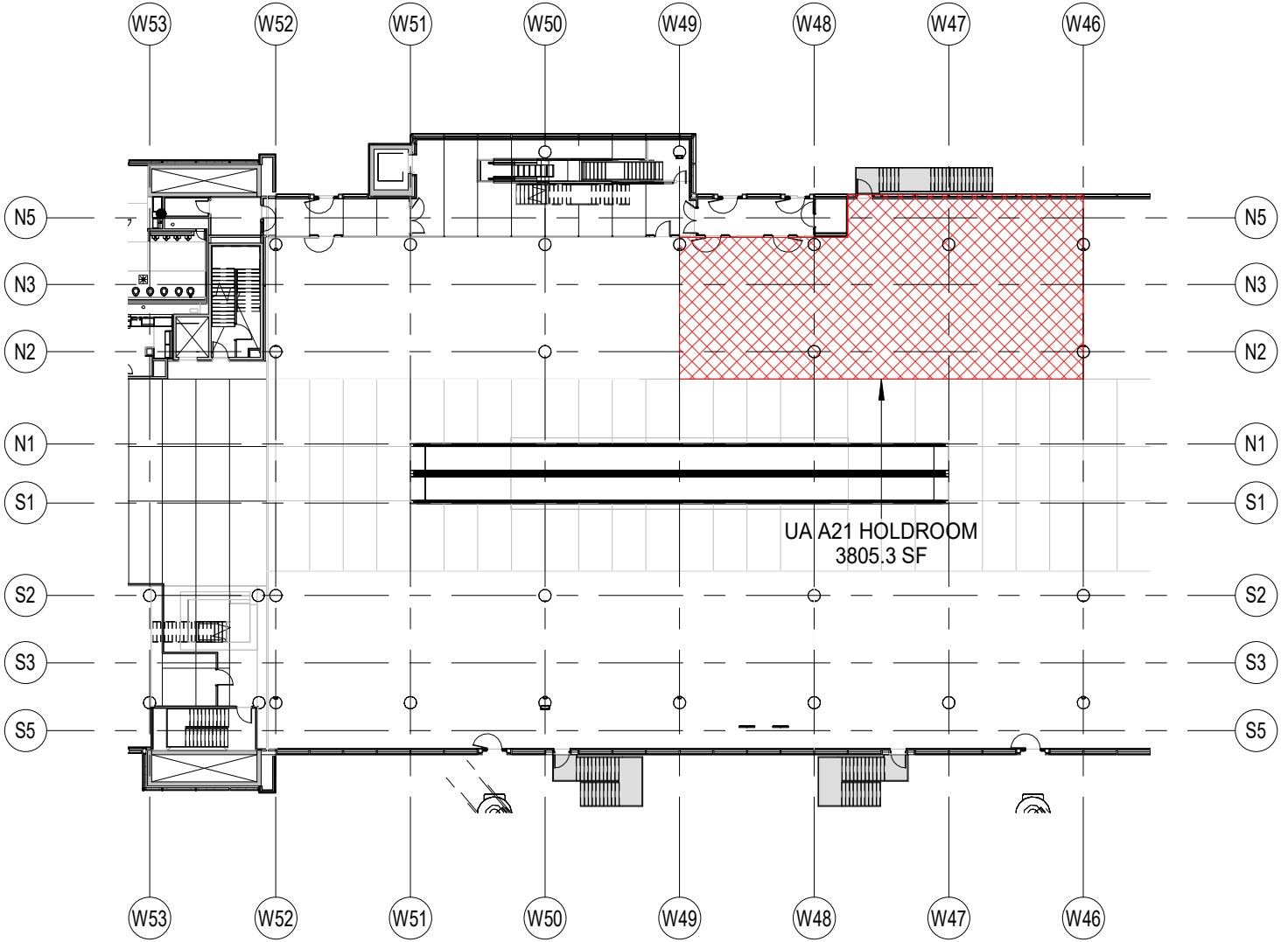
EXHIBIT
R17-1-2-W52-S6
UNITED AIRLINES CUSTOMER SERVICE
OFFICE 9W

CC#: CCA

DATE: 10/13/2022

Exhibit D - Concourse A

Effective 12/1/2022

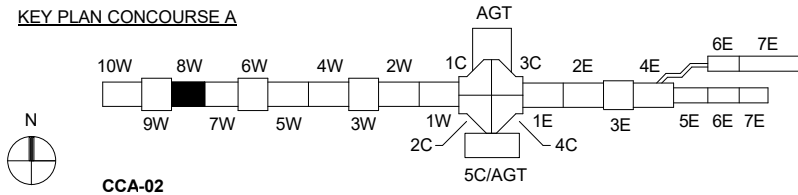


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KEY PLAN CONCOUSE A



DENVER INTERNATIONAL AIRPORT

EXHIBIT

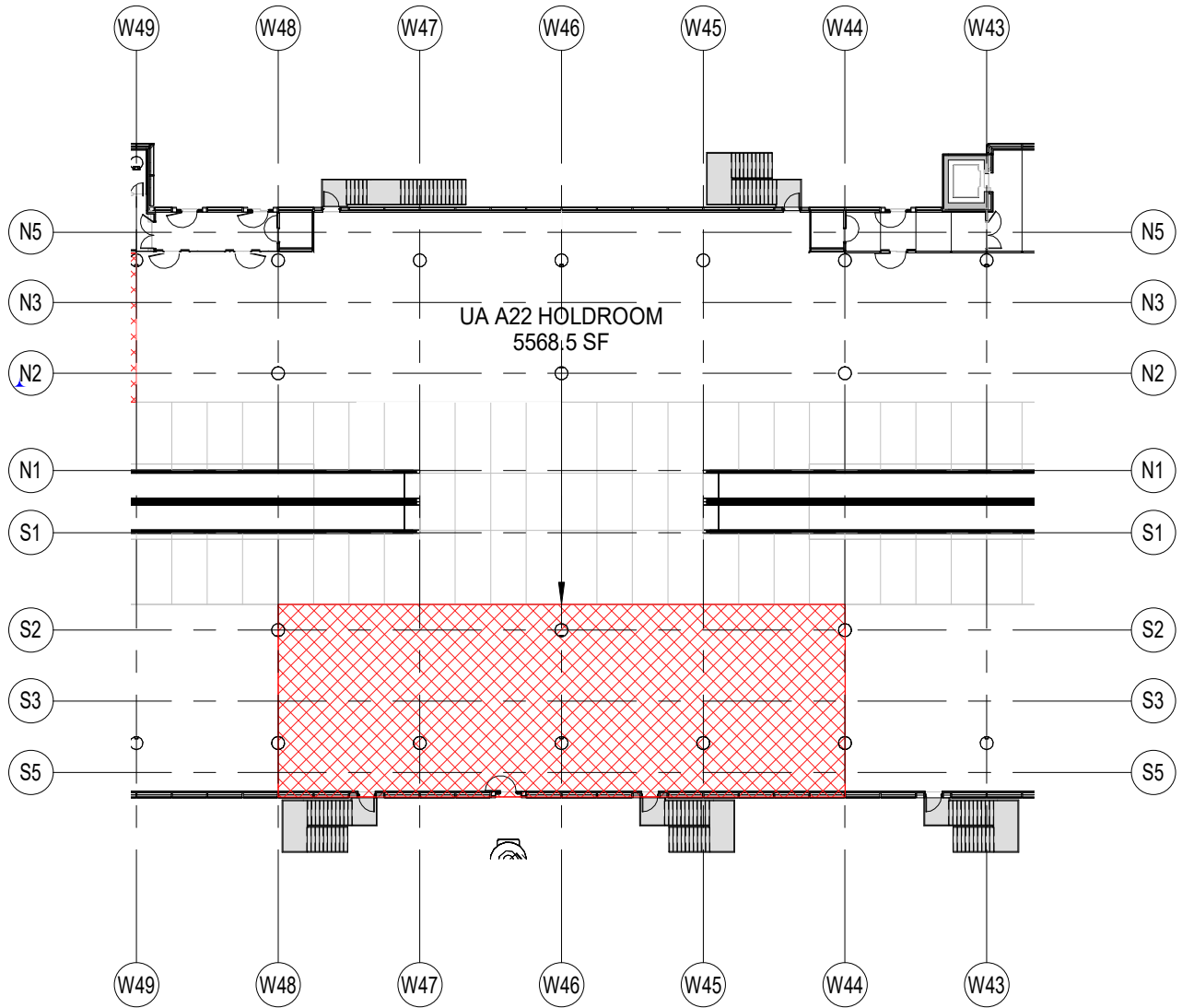
UA A21 HOLDROOM

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DATE: 11/18/22

Exhibit D - Concourse A

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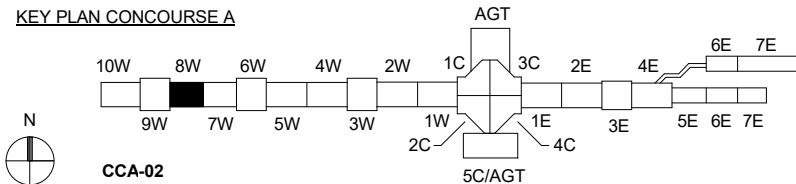
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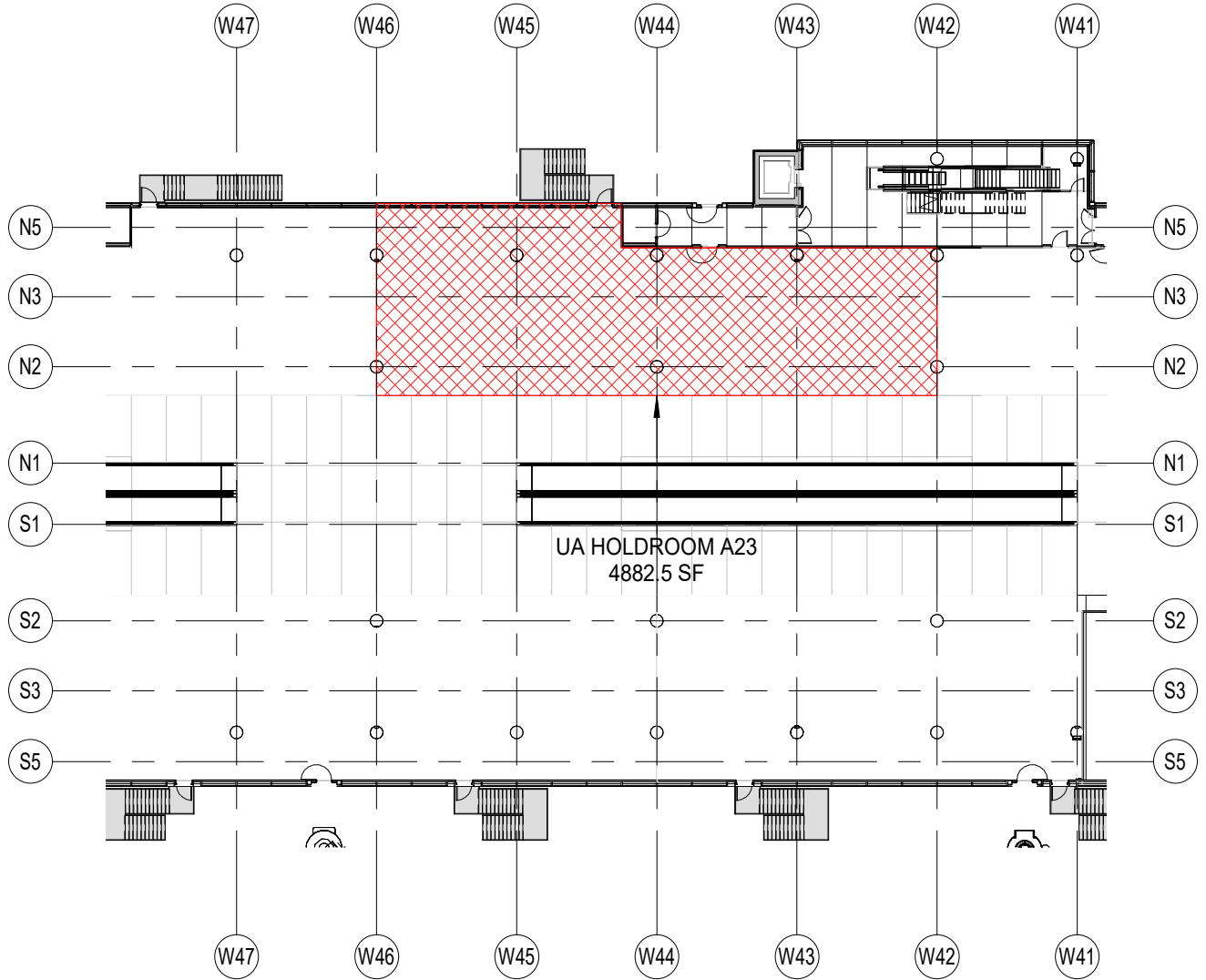
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CC#:

DATE: 11/16/22

Exhibit D - Concourse A

Effective 12/1/2022

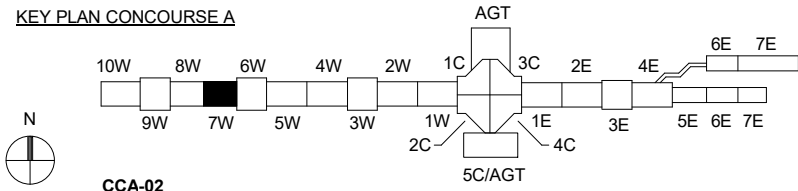


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CCA-02



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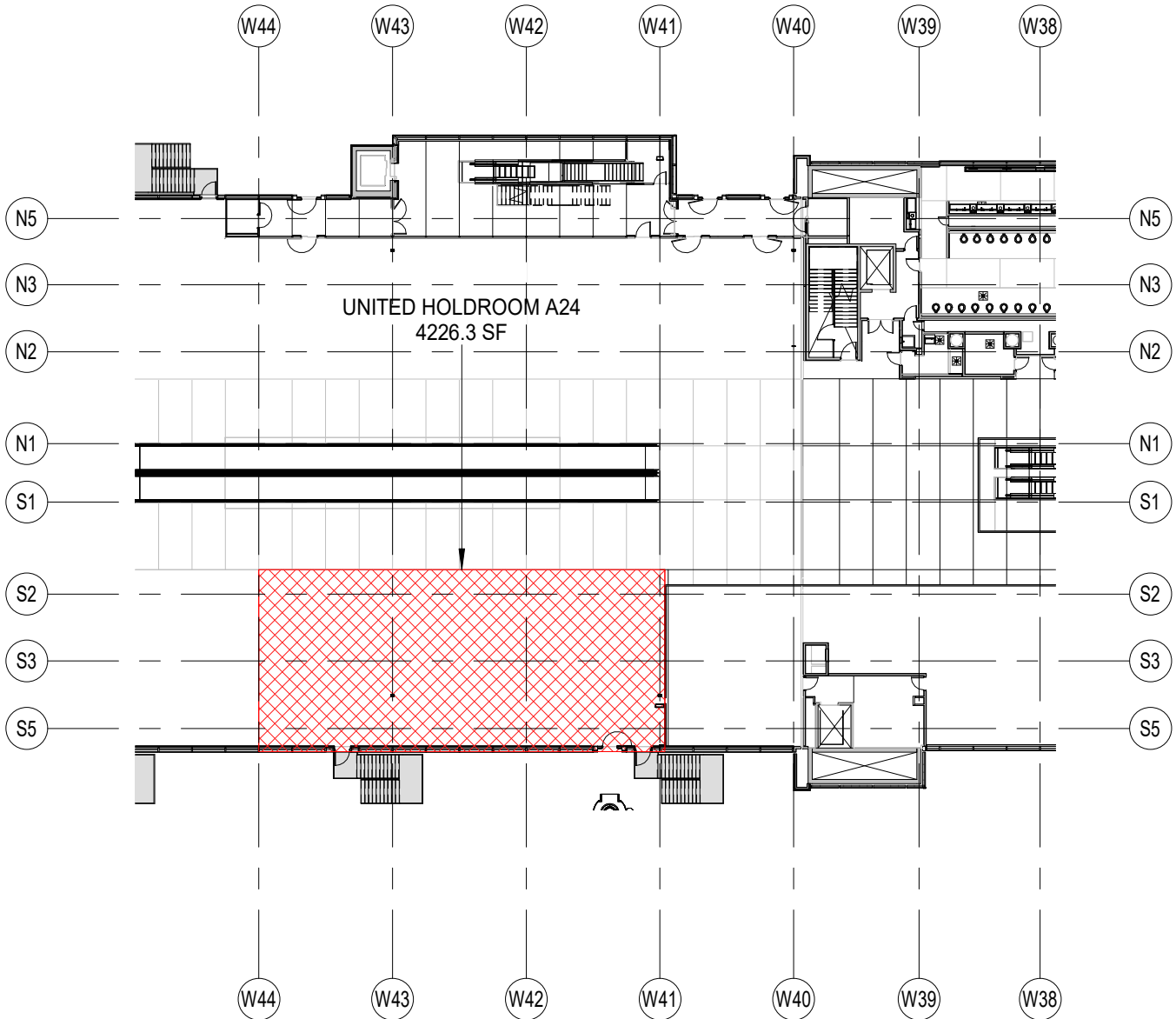
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CC#:

DATE: 11/18/22

Exhibit D - Concourse A

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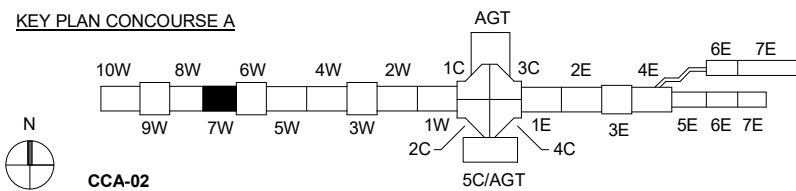


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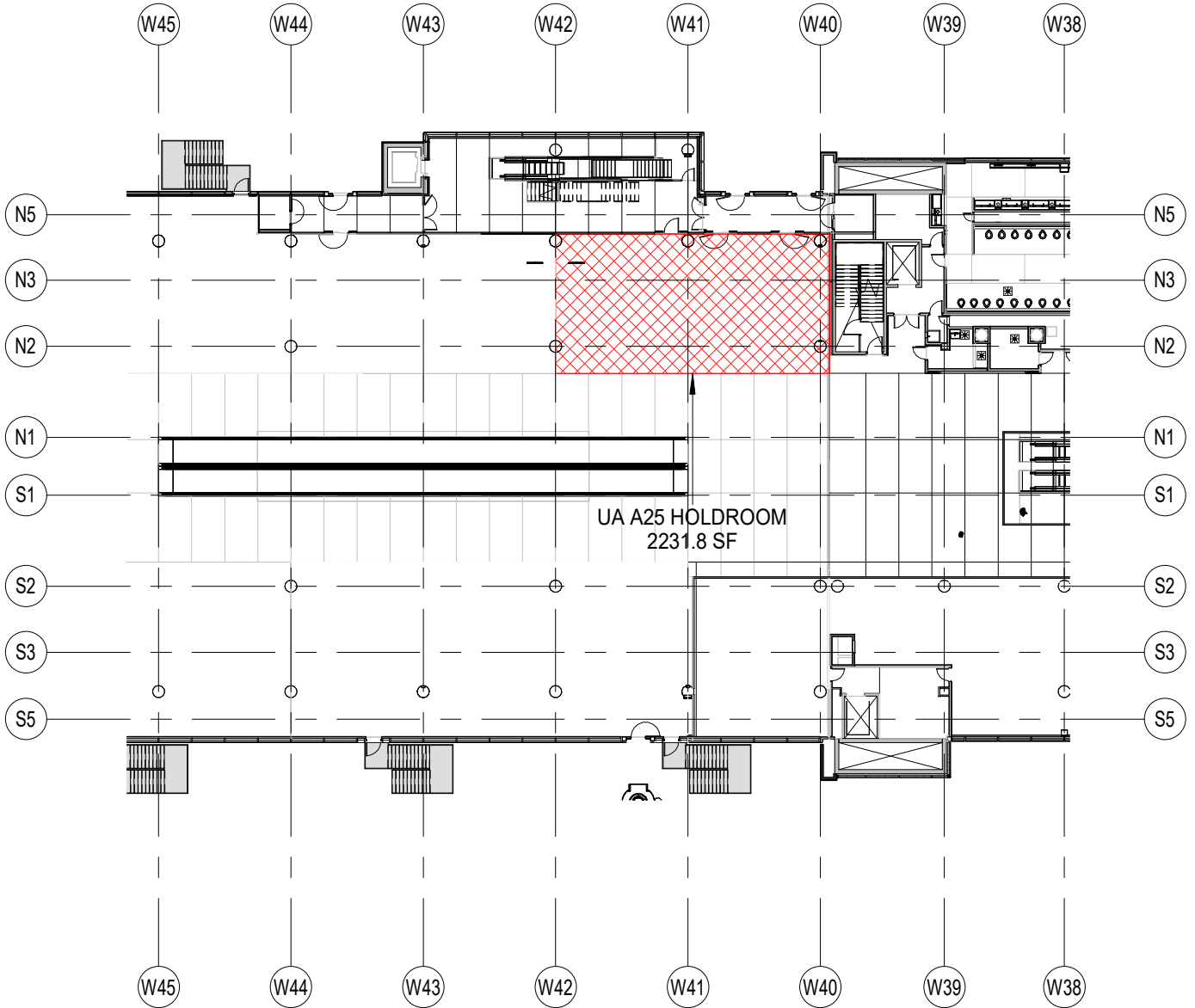
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CC#:

DATE: 02/27/2023

Exhibit D - Concourse A

Effective 12/1/2022

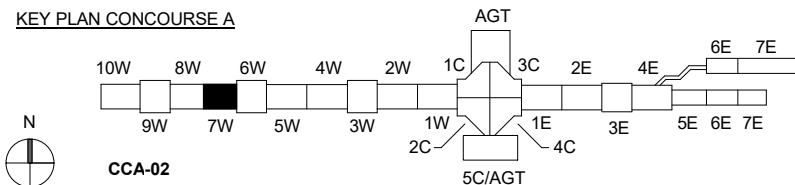


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DENVER INTERNATIONAL AIRPORT

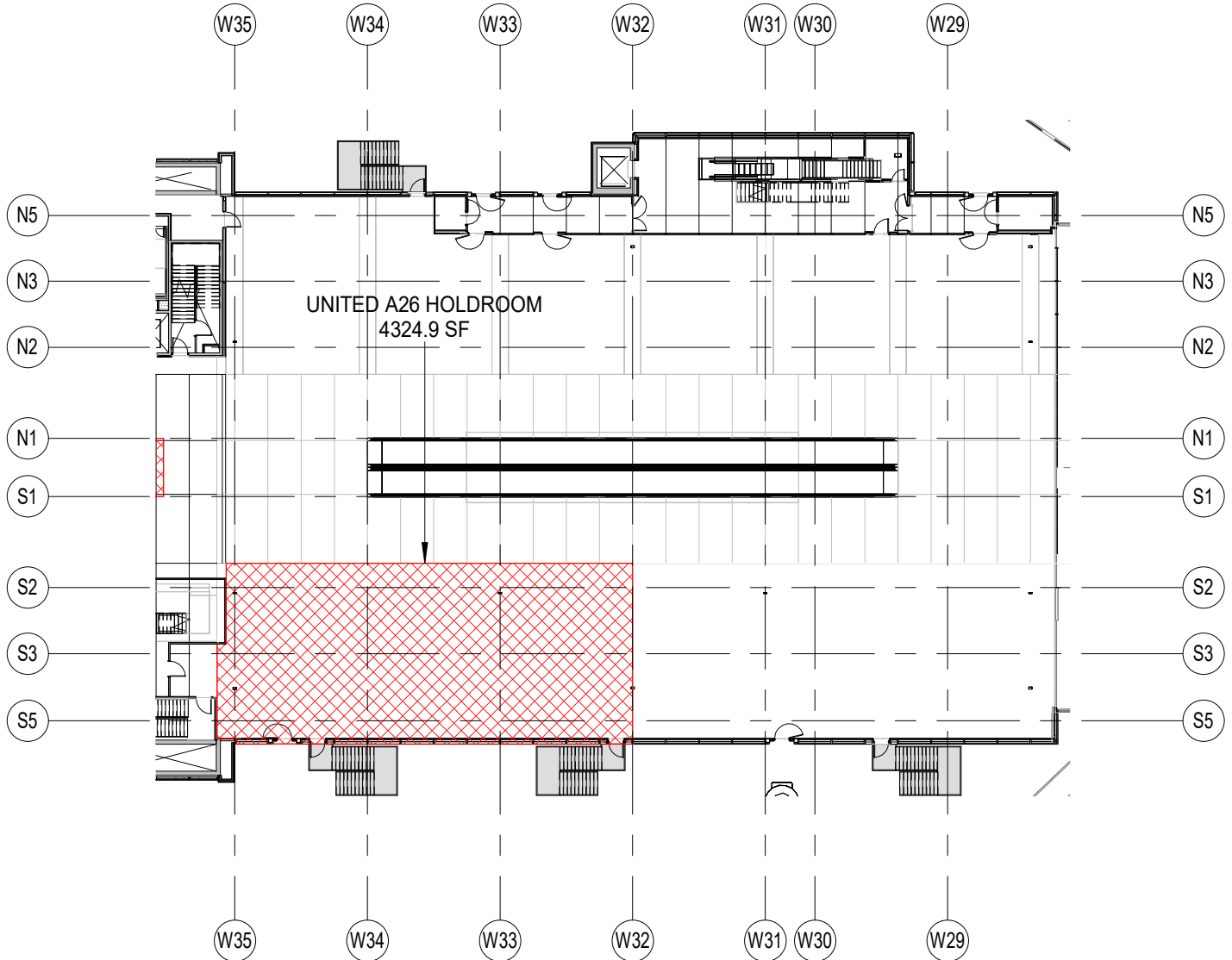
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DATE: 11/18/22


Exhibit D - Concourse A

Effective on October 1,
2023 or when gate is
made available to United.

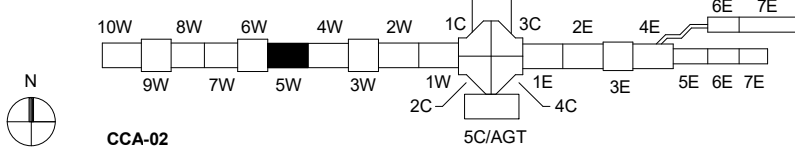


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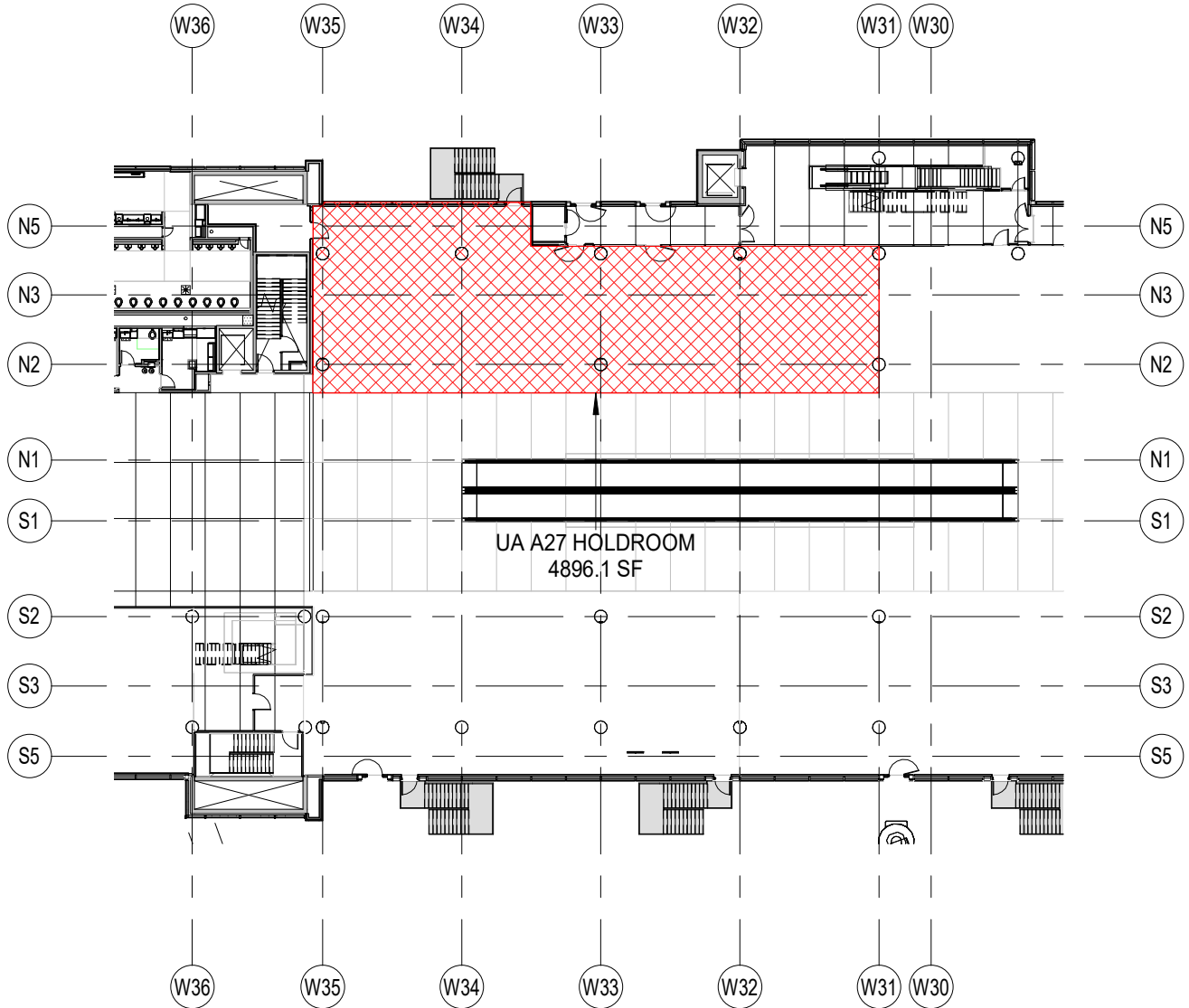
EXHIBIT
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UA A26 HOLDROOM

CC#:

DATE: 02/27/2023

Exhibit D - Concourse A

Effective July 2023 or
when gate is made
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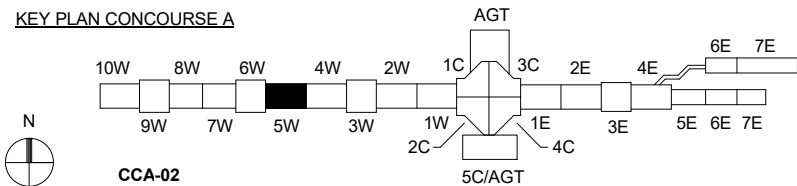


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DEN Planning and Design

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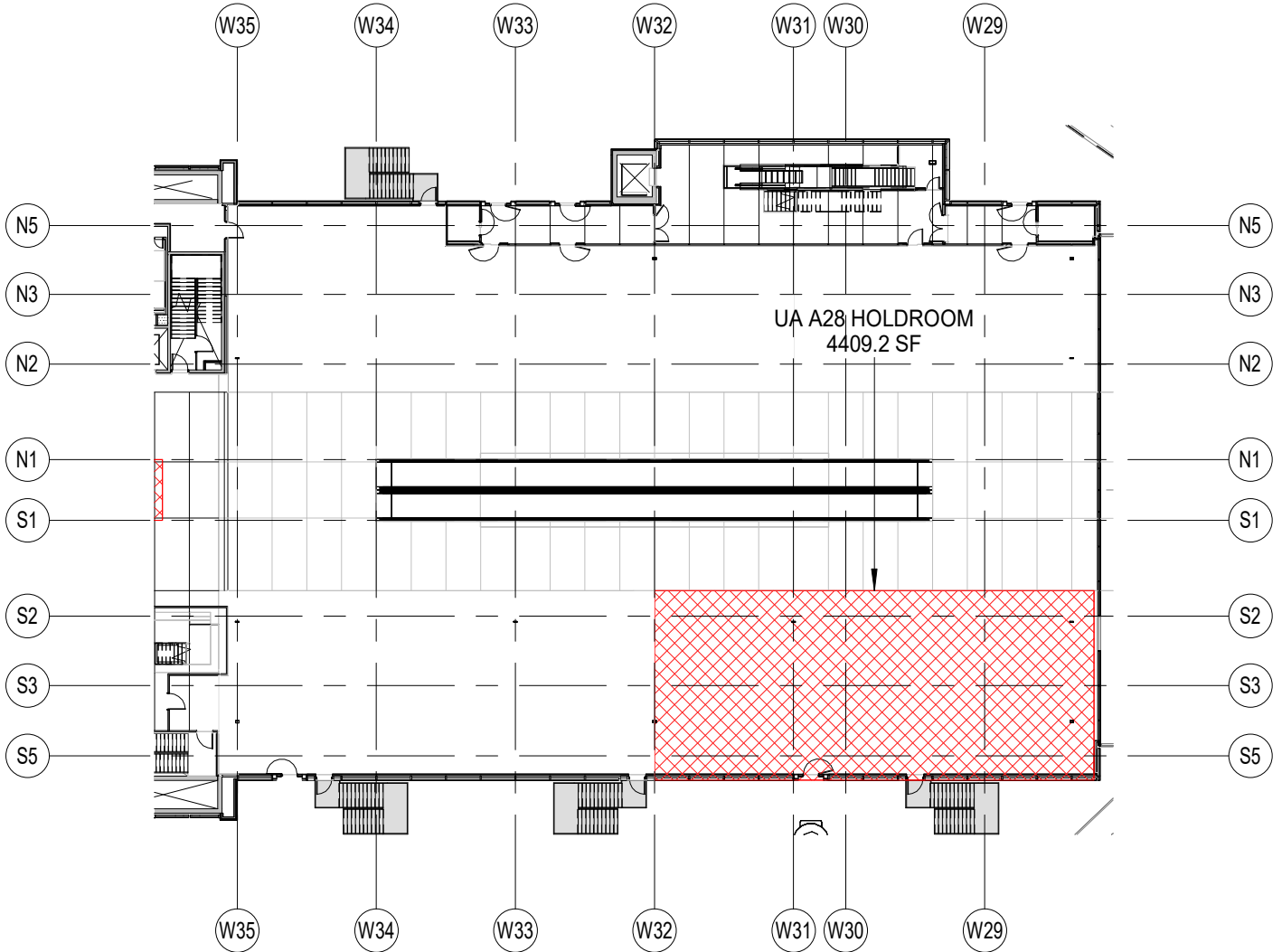
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Exhibit D - Concourse A

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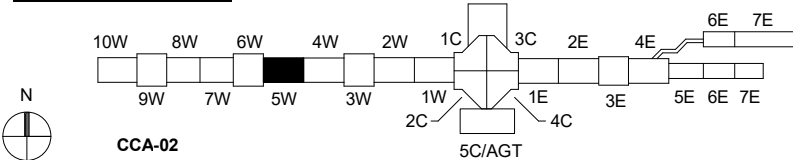


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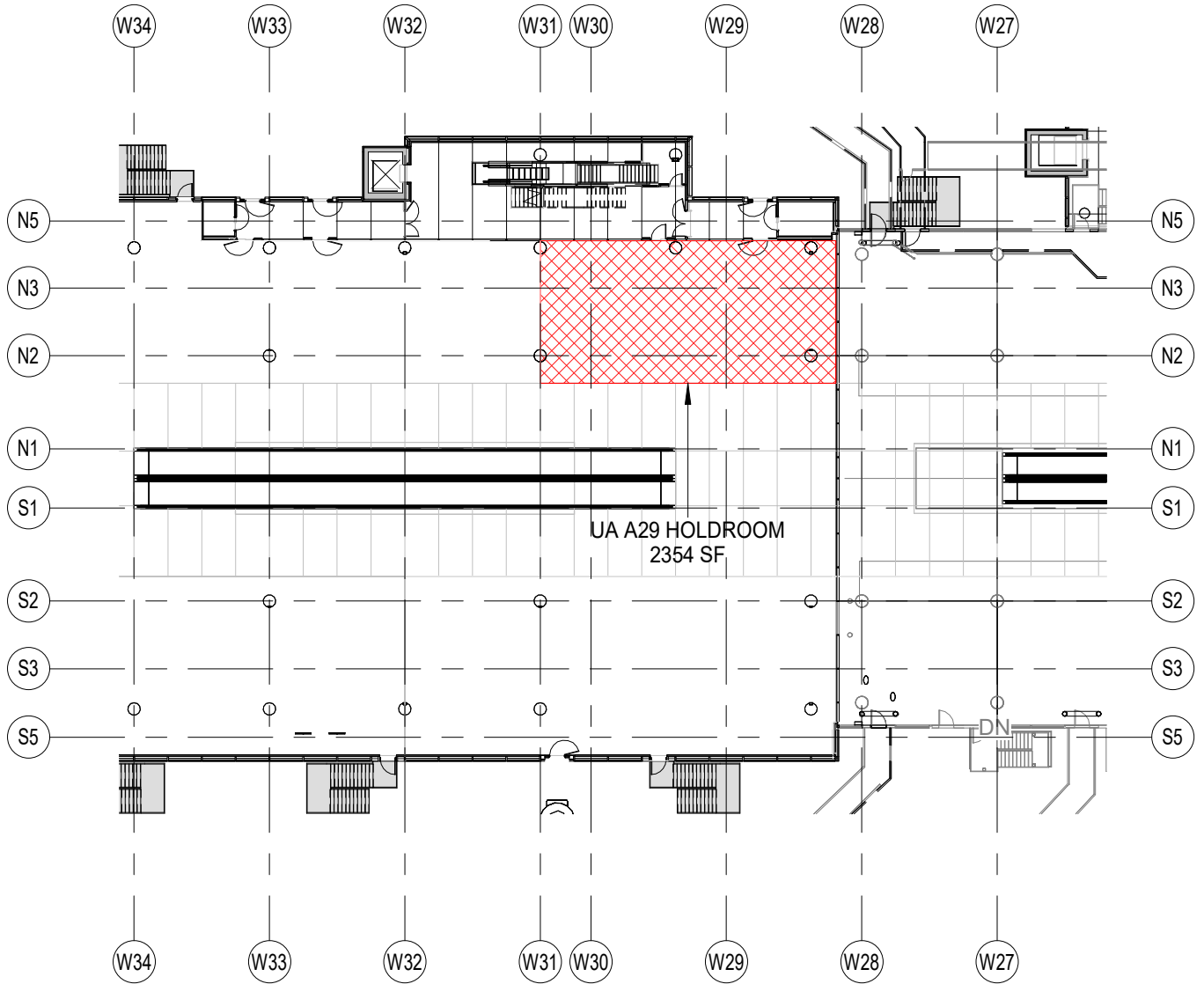
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CC#:

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Exhibit D - Concourse A

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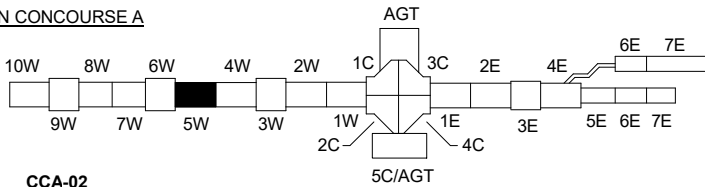


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CCA-02



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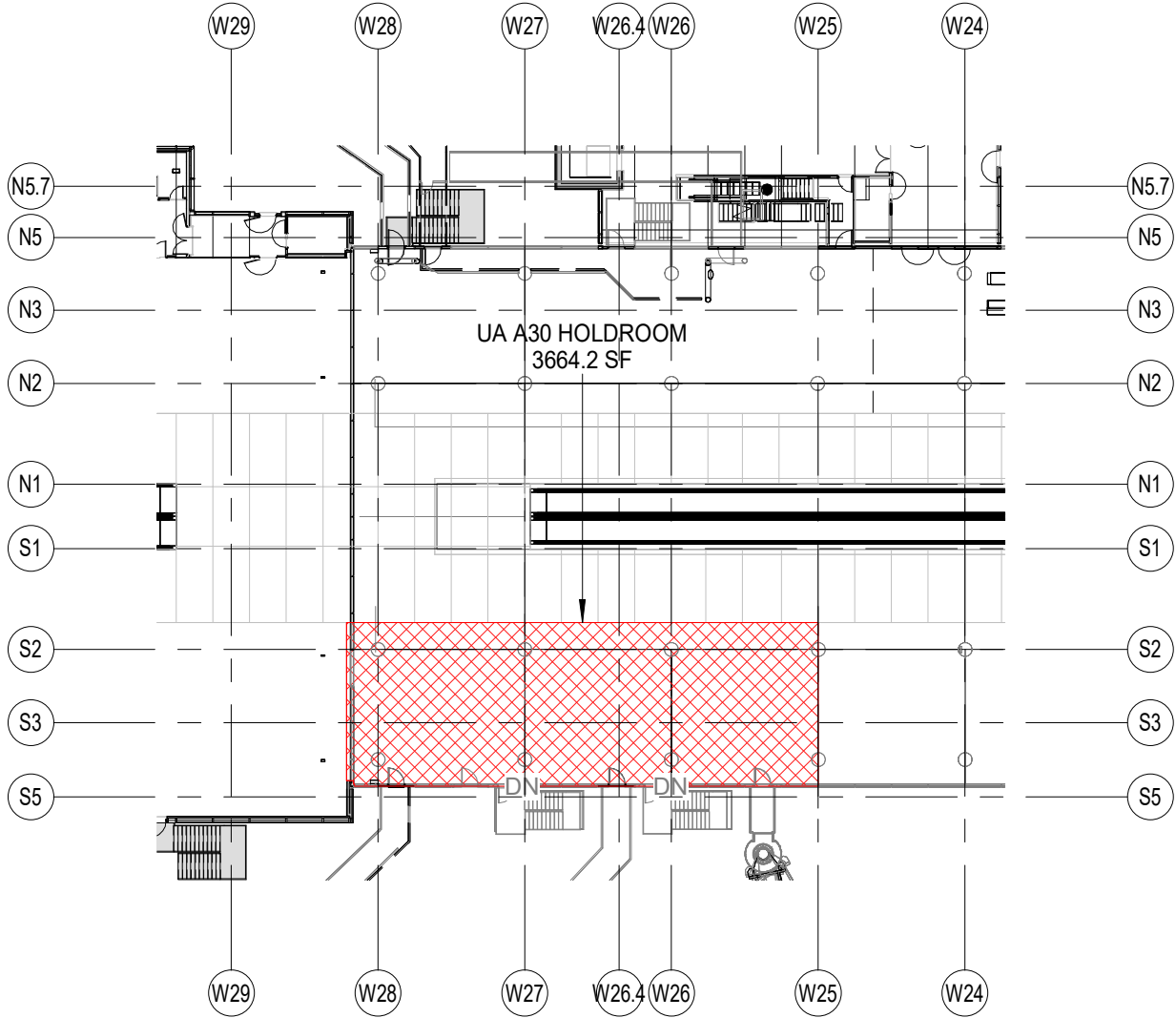
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CC#:

DATE: 11/17/22


Exhibit D - Concourse A

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2023 or when gate is
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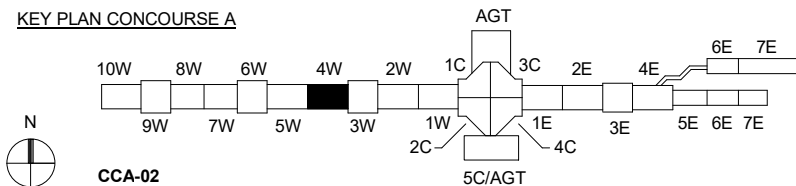


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DENVER INTERNATIONAL AIRPORT

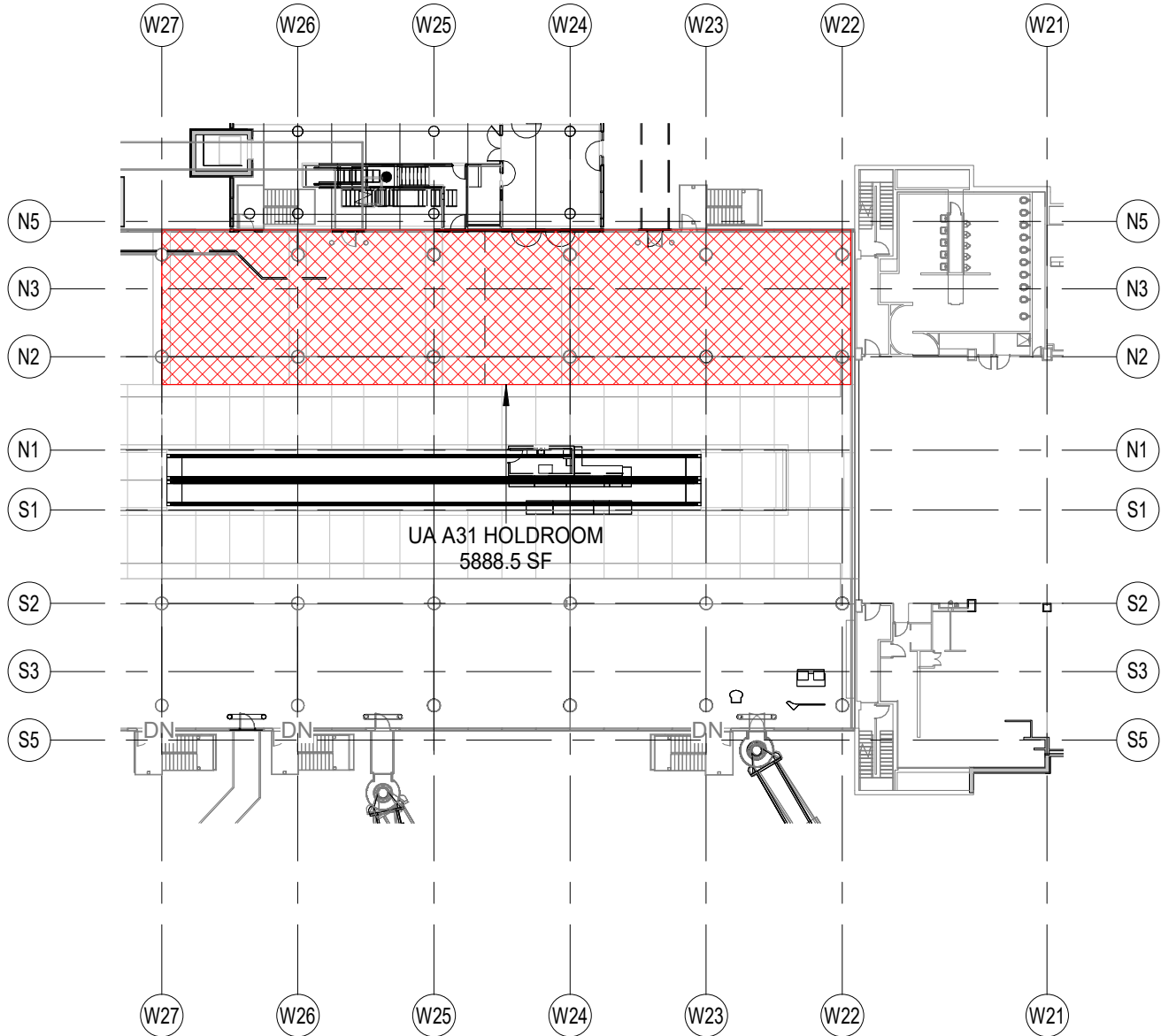
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CC#: CCA

DATE: 02/27/2023

Exhibit D - Concourse A

Effective October 2023 or
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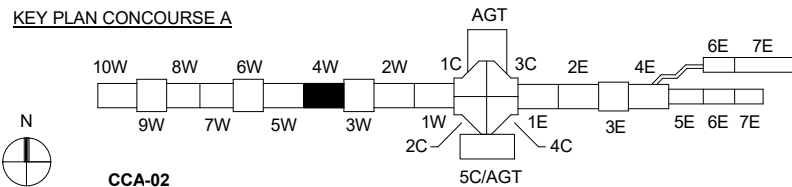


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DEN Planning and Design

KEY PLAN CONCOURSE A



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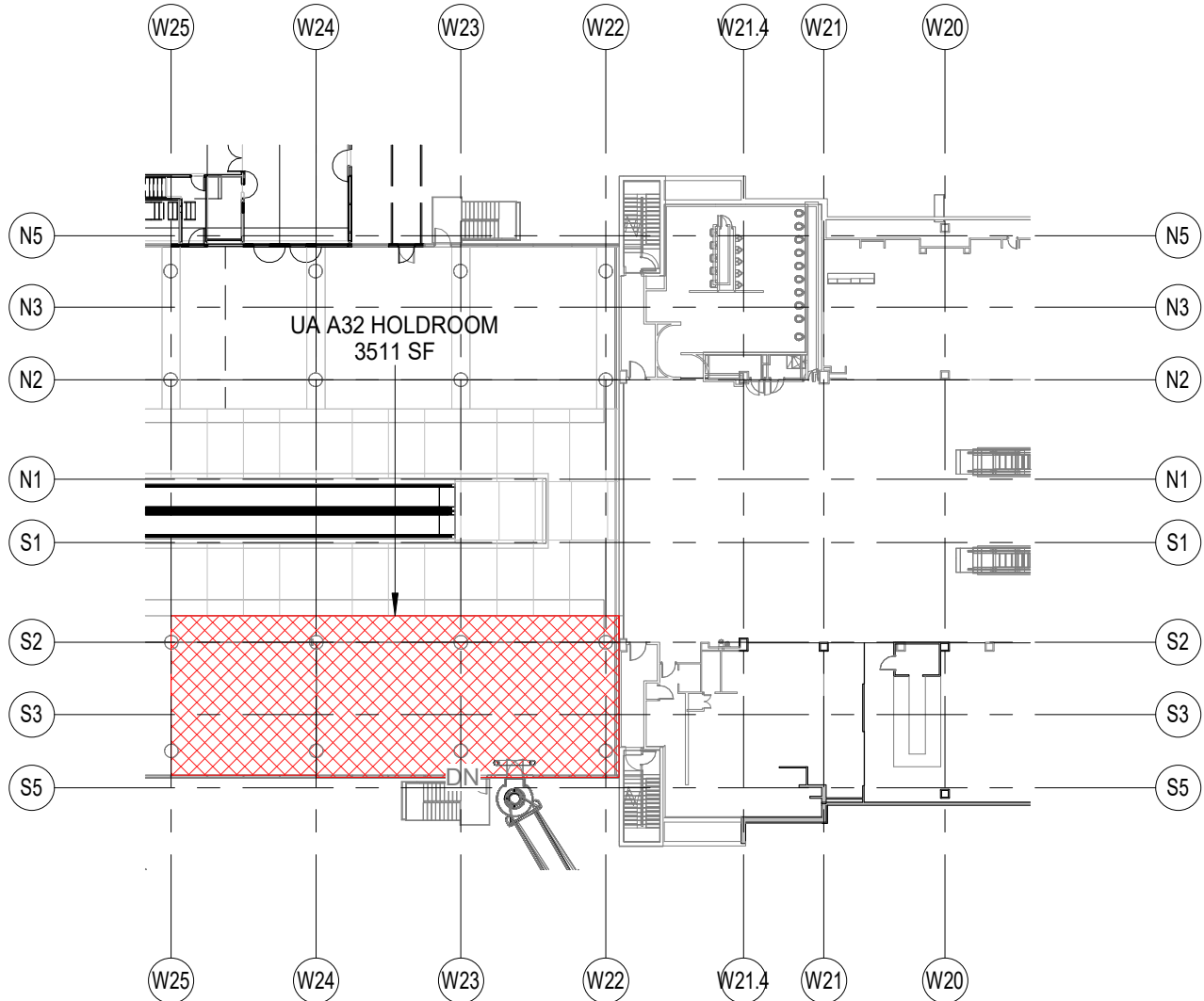
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UA A31 HOLDROOM

CC#:

DATE: 11/18/22


Exhibit D - Concourse A

Effective on May 1, 2024
or when gate is made
available to United.

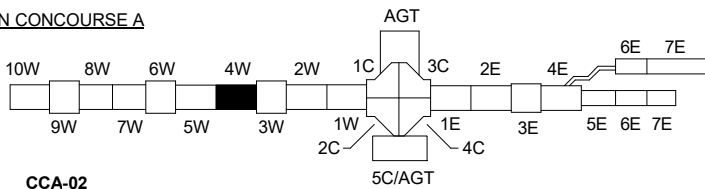


SCALE: 1" = 40'-0"

NOTE: THIS EXHIBIT SHOWS DIMENSIONS AND SQUARE FOOTAGE OF LEASED AREA BASED UPON PLANNING DATA AND IS NOT INTENDED TO DEPICT DIMENSIONS FOR CONSTRUCTION DETAILS. IT IS THE RESPONSIBILITY OF THE LEASEE TO FIELD VERIFY EXISTING CONDITIONS. ADDITIONALLY, IT IS THE RESPONSIBILITY OF THE LEASEE AND DESIGNERS OF RECORD TO FOLLOW ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.


DEN Planning and Design

KEY PLAN CONCOURSE A



CCA-02



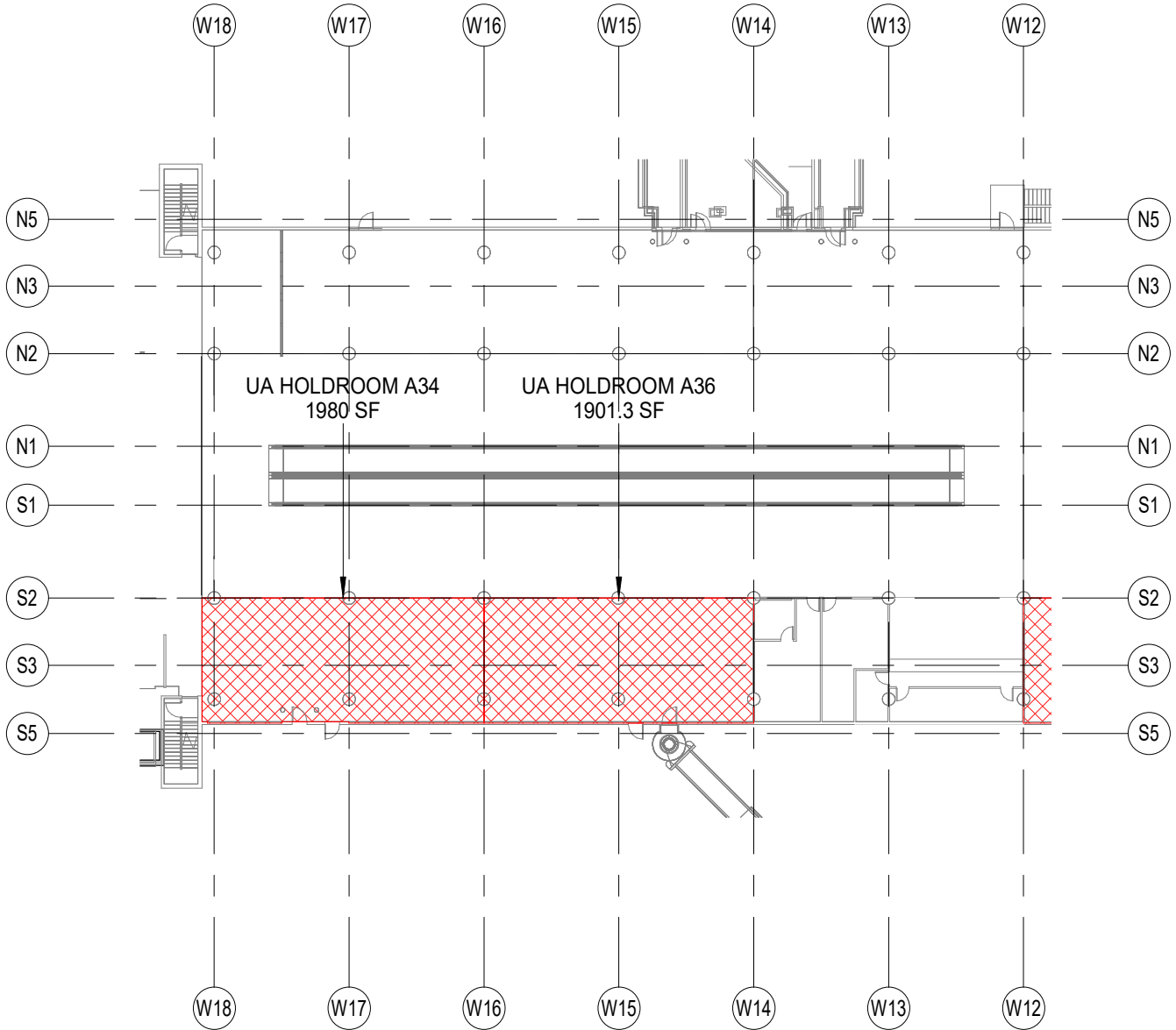
DENVER INTERNATIONAL AIRPORT

EXHIBIT
R17-1-2-W24-S5
UA A32 HOLDROOM

CC#: CCA

DATE: 02/27/2023

Effective on May 1, 2024
or when gate is made
available to United.

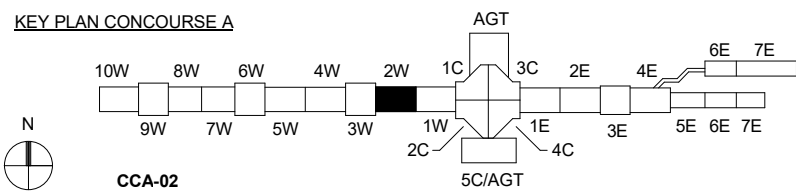


SCALE: 1" = 40'-0"

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DEN Planning and Design

KEY PLAN CONCOURSE A



CCA-02



DENVER INTERNATIONAL AIRPORT

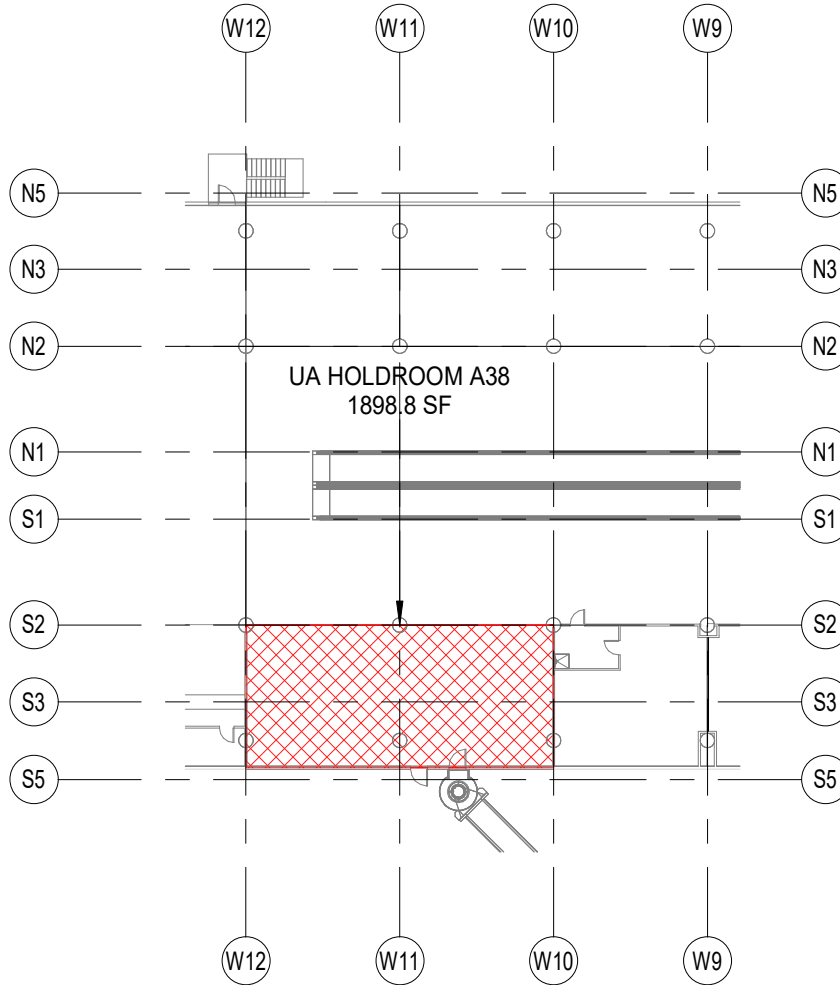
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R18-1-2-W16-S5
UA HOLDROOMS A34, A36

CC#: CCA

DATE: 02/17/23

Exhibit D - Concourse A

Effective on May 1, 2024
or when gate is made
available to United.

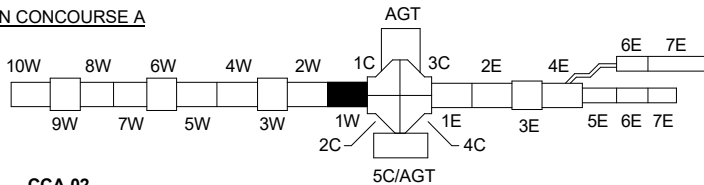


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DEN Planning and Design

KEY PLAN CONCOURSE A



DENVER INTERNATIONAL AIRPORT

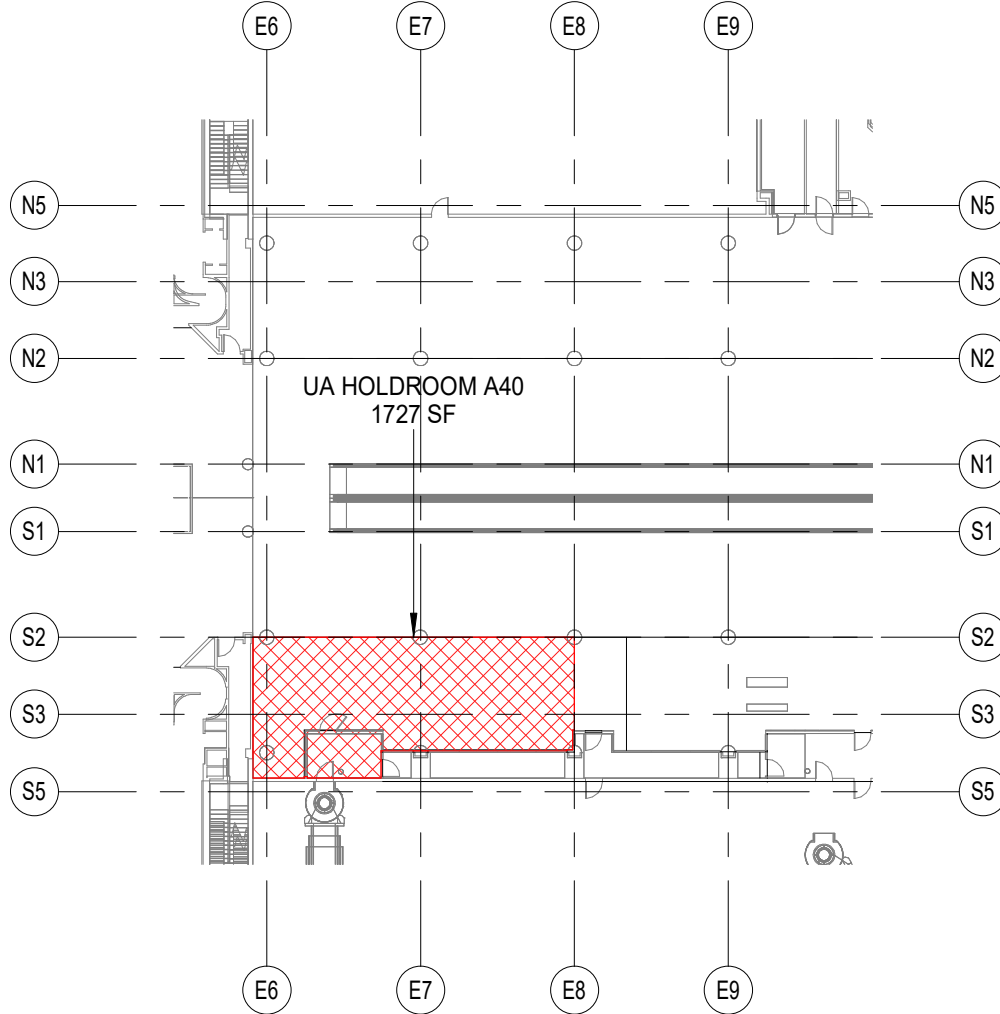
EXHIBIT
R17-1-2-W12-S5
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CC#: CCA

DATE: 02/17/23

Exhibit D - Concourse A

Effective on May 1, 2024
or when gate is made
available to United.

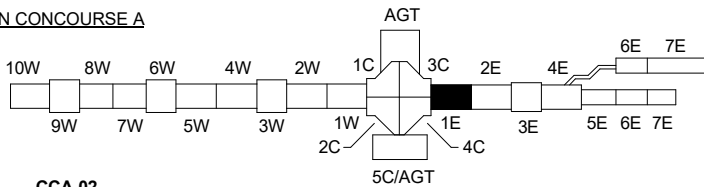


SCALE: 1" = 40'-0"

NOTE: THIS EXHIBIT SHOWS DIMENSIONS AND SQUARE FOOTAGE OF LEASED AREA BASED UPON PLANNING DATA AND IS NOT INTENDED TO DEPICT DIMENSIONS FOR CONSTRUCTION DETAILS. IT IS THE RESPONSIBILITY OF THE LEASEE TO FIELD VERIFY EXISTING CONDITIONS. ADDITIONALLY, IT IS THE RESPONSIBILITY OF THE LEASEE AND DESIGNERS OF RECORD TO FOLLOW ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.

DEN Planning and Design

KEY PLAN CONCOURSE A



CCA-02



DENVER INTERNATIONAL AIRPORT

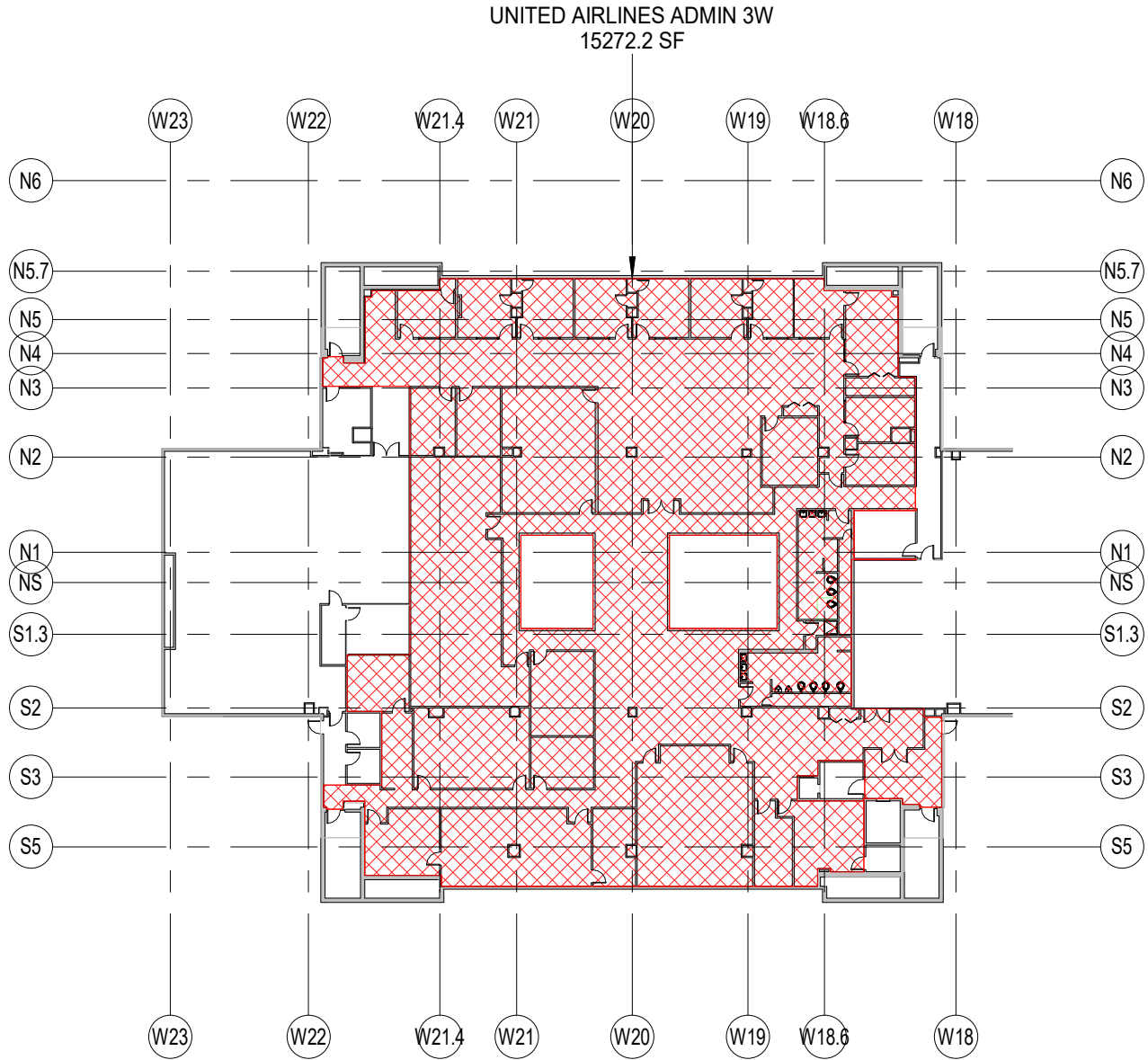
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UA HOLDROOM A40

CC#: CCA

DATE: 02/17/23

Exhibit D - Concourse A

Effective April 1, 2023

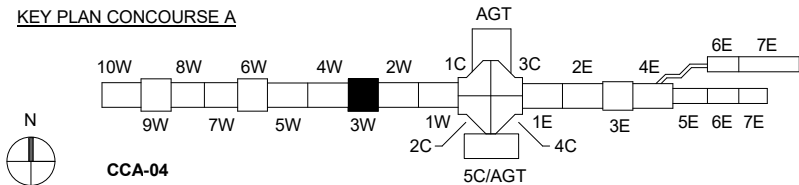


SCALE: 1" = 40'-0"

NOTE: THIS EXHIBIT SHOWS DIMENSIONS AND SQUARE FOOTAGE OF LEASED AREA BASED UPON PLANNING DATA AND IS NOT INTENDED TO DEPICT DIMENSIONS FOR CONSTRUCTION DETAILS. IT IS THE RESPONSIBILITY OF THE LEASEE TO FIELD VERIFY EXISTING CONDITIONS. ADDITIONALLY, IT IS THE RESPONSIBILITY OF THE LEASEE AND DESIGNERS OF RECORD TO FOLLOW ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.


DEN Planning and Design

KEY PLAN CONCOURSE A



DENVER INTERNATIONAL AIRPORT

EXHIBIT **D**
R17-2-4-W21-S1-1
UNITED AIRLINES ADMIN 3W

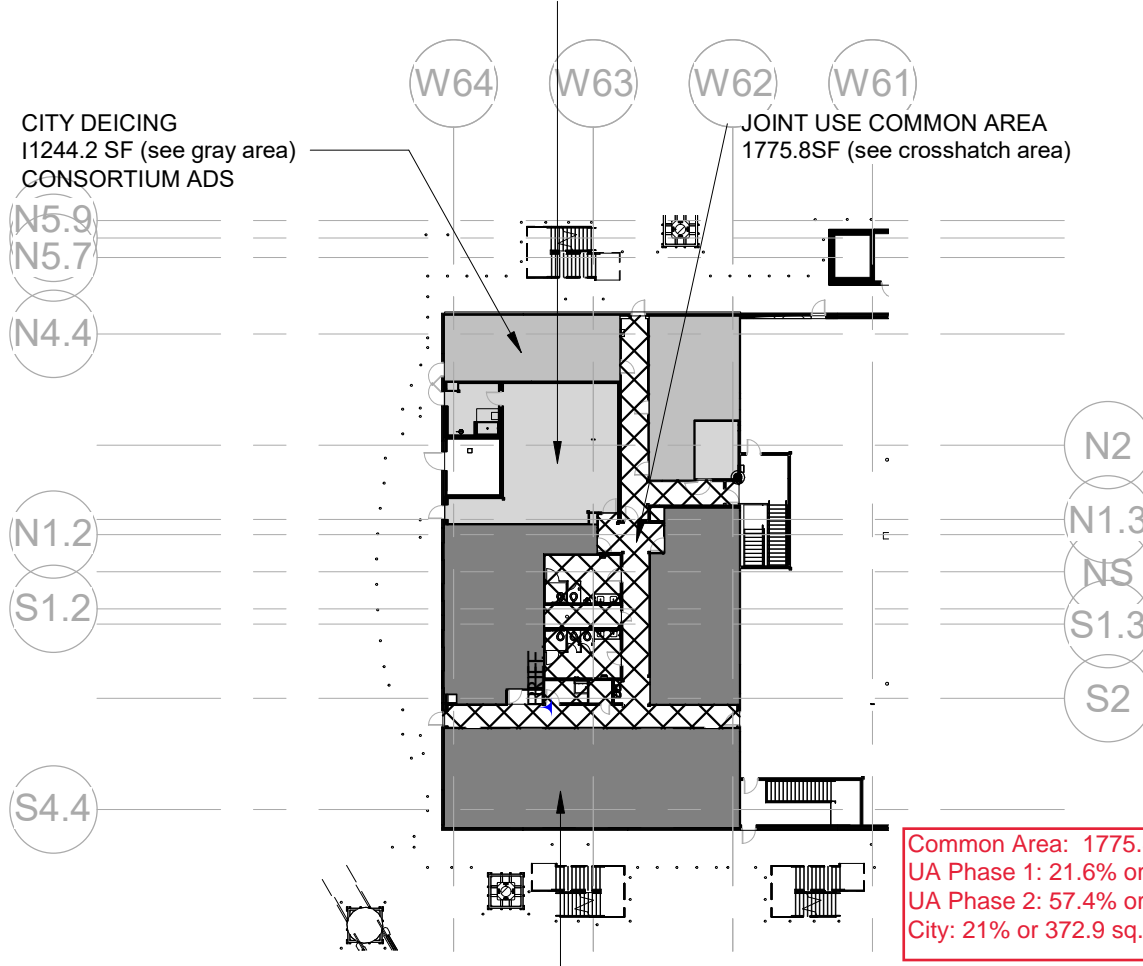
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DATE: 02/22/2023

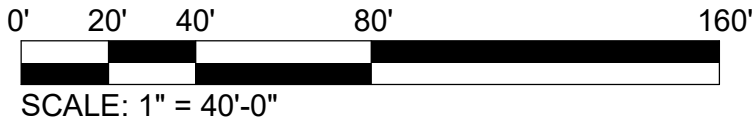
Exhibit D - Concourse A

Effective 11/1/2021

UNITED AIRLINES A WEST DEICING FACILITY - AIRLINE ADS
 PHASE 1 1280.3 SF (see blue area)



UNITED AIRLINES A WEST DEICING FACILITY - AIRLINE ADS
 PHASE 2 3393.9 SF (see dark gray area)



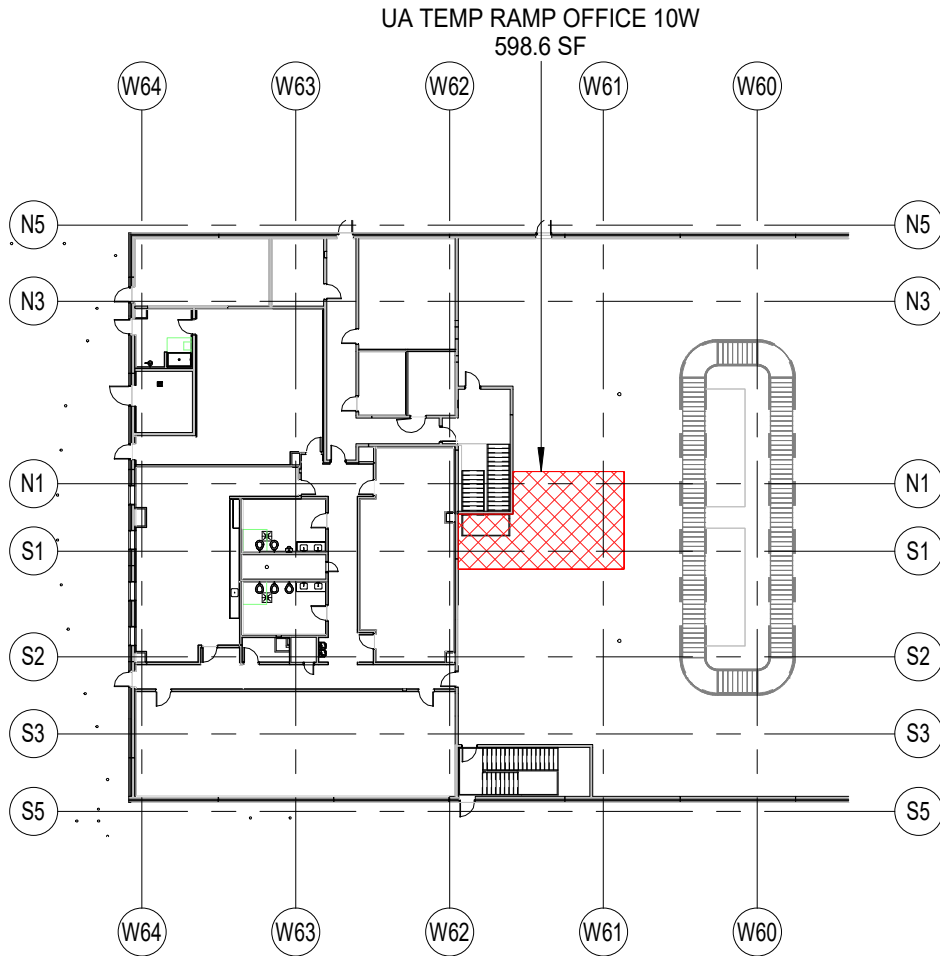
NOTE: THIS EXHIBIT SHOWS DIMENSIONS AND SQUARE FOOTAGE OF LEASED AREA BASED UPON PLANNING DATA AND IS NOT INTENDED TO DEPICT DIMENSIONS FOR CONSTRUCTION DETAILS. IT IS THE RESPONSIBILITY OF THE LEASEE TO FIELD VERIFY EXISTING CONDITIONS. ADDITIONALLY, IT IS THE RESPONSIBILITY OF THE LEASEE AND DESIGNERS OF RECORD TO FOLLOW ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.

DEN Planning and Design

<p>KEY PLAN CONCOURSE A</p> <p>CCA-01</p>	<div style="text-align: center;"> </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2">DENVER INTERNATIONAL AIRPORT</td> </tr> <tr> <td colspan="2">EXHIBIT D</td> </tr> <tr> <td colspan="2">R17-1-1-N4-W63-1</td> </tr> <tr> <td colspan="2">UNITED AIRLINES DEICING INFRASTRUCTURE</td> </tr> <tr> <td>CC#:</td> <td>DATE: 09/09/21</td> </tr> </table>	DENVER INTERNATIONAL AIRPORT		EXHIBIT D		R17-1-1-N4-W63-1		UNITED AIRLINES DEICING INFRASTRUCTURE		CC#:	DATE: 09/09/21
DENVER INTERNATIONAL AIRPORT											
EXHIBIT D											
R17-1-1-N4-W63-1											
UNITED AIRLINES DEICING INFRASTRUCTURE											
CC#:	DATE: 09/09/21										


Exhibit D - Concourse A

Effective May 1, 2023

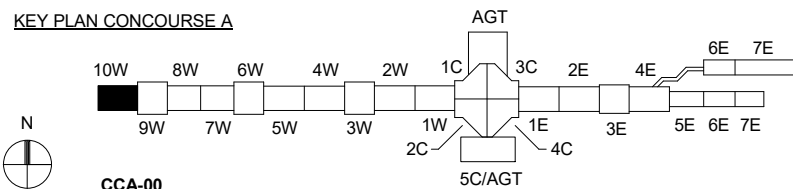


SCALE: 1" = 40'-0"

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DEN Planning and Design

KEY PLAN CONCOURSE A



DENVER INTERNATIONAL AIRPORT

EXHIBIT

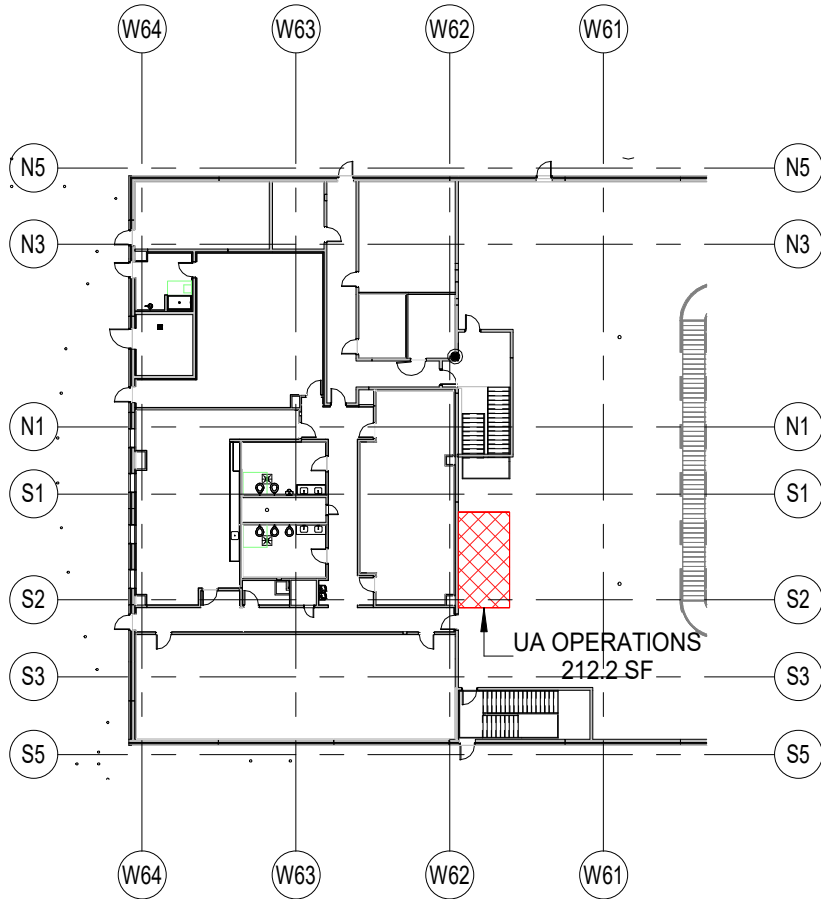
UA TEMP RAMP OFFICE 10W

CC#: CCA

DATE: 03/21/23


Exhibit D - Concourse A

Effective May 1, 2023

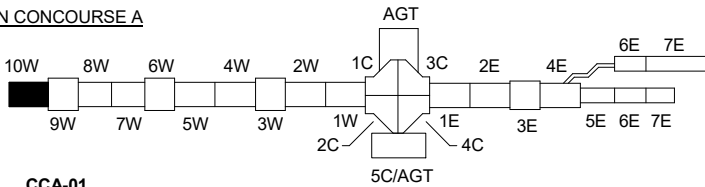


SCALE: 1" = 40'-0"

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DEN Planning and Design

KEY PLAN CONCOURSE A



CCA-01



DENVER INTERNATIONAL AIRPORT

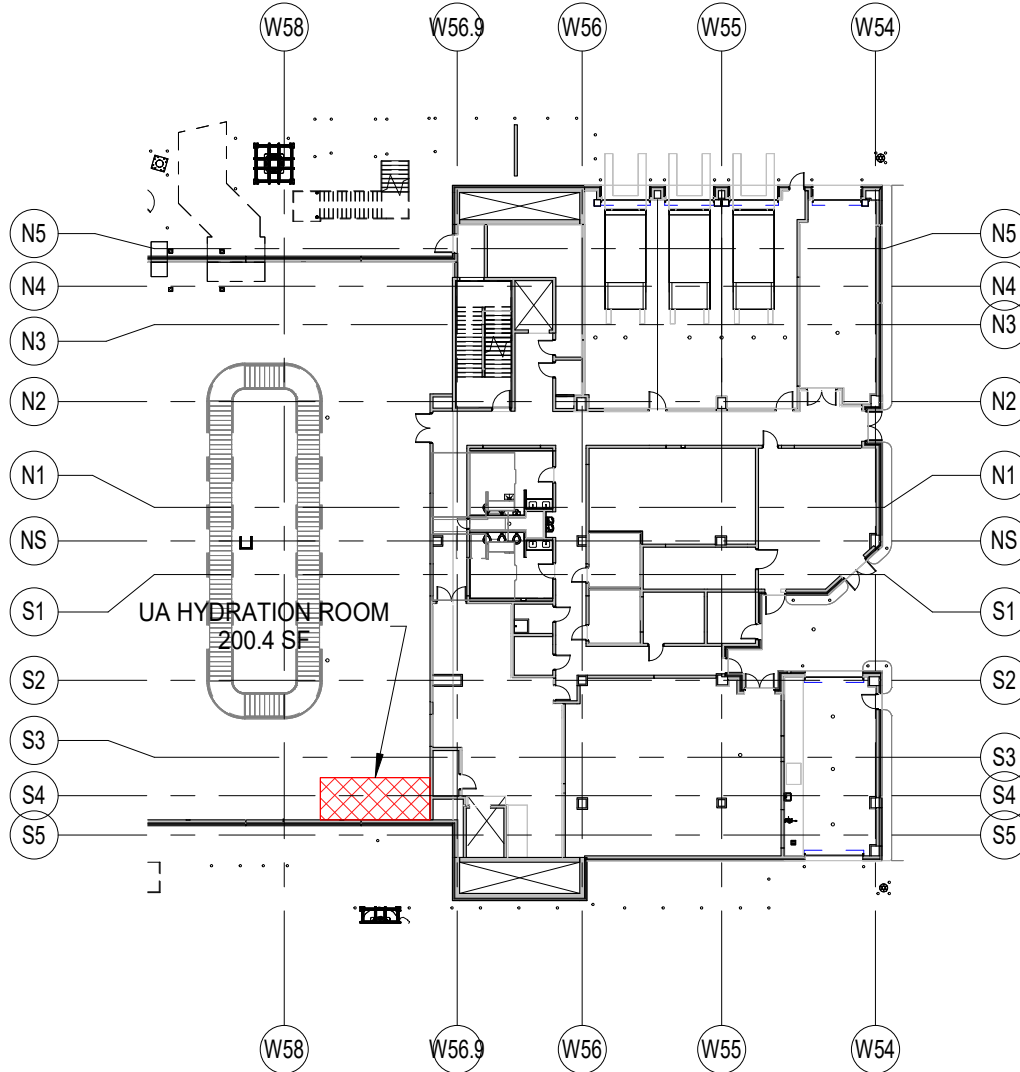
EXHIBIT
R17-1-1-W64-S2
UNITED AIRLINES OPERATIONS

CC#: CCA

DATE: 03/03/23


Exhibit D - Concourse A

Effective July 1, 2023 or when construction is complete.

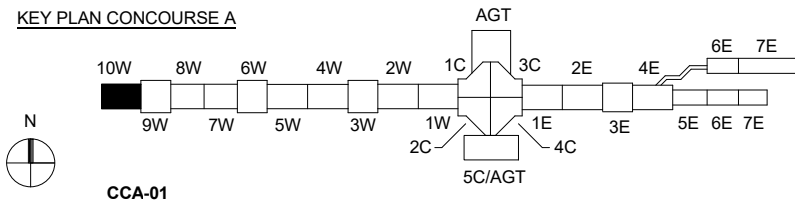


SCALE: 1" = 40'-0"

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DEN Planning and Design

KEY PLAN CONCOURSE A



CCA-01

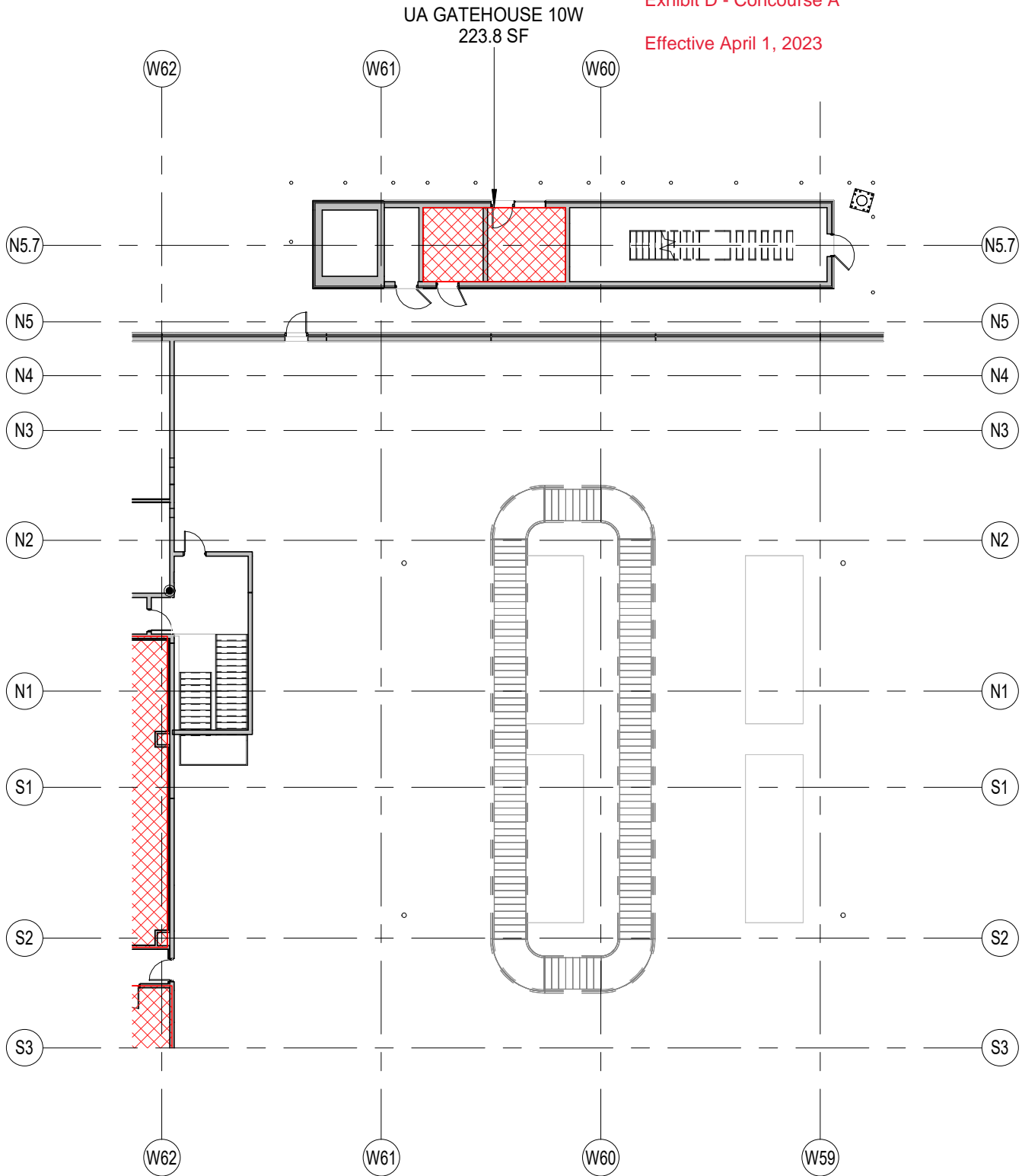


DENVER INTERNATIONAL AIRPORT

EXHIBIT
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CC#: CCA

DATE: 05/10/23

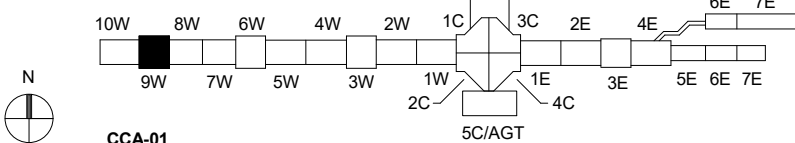


SCALE: 3/64" = 1'-0"

NOTE: THIS EXHIBIT SHOWS DIMENSIONS AND SQUARE FOOTAGE OF LEASED AREA BASED UPON PLANNING DATA AND IS NOT INTENDED TO DEPICT DIMENSIONS FOR CONSTRUCTION DETAILS. IT IS THE RESPONSIBILITY OF THE LEASEE TO FIELD VERIFY EXISTING CONDITIONS. ADDITIONALLY, IT IS THE RESPONSIBILITY OF THE LEASEE AND DESIGNERS OF RECORD TO FOLLOW ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.

 DEN Planning and Design

KEY PLAN CONCOURSE A



CCA-01



DENVER INTERNATIONAL AIRPORT

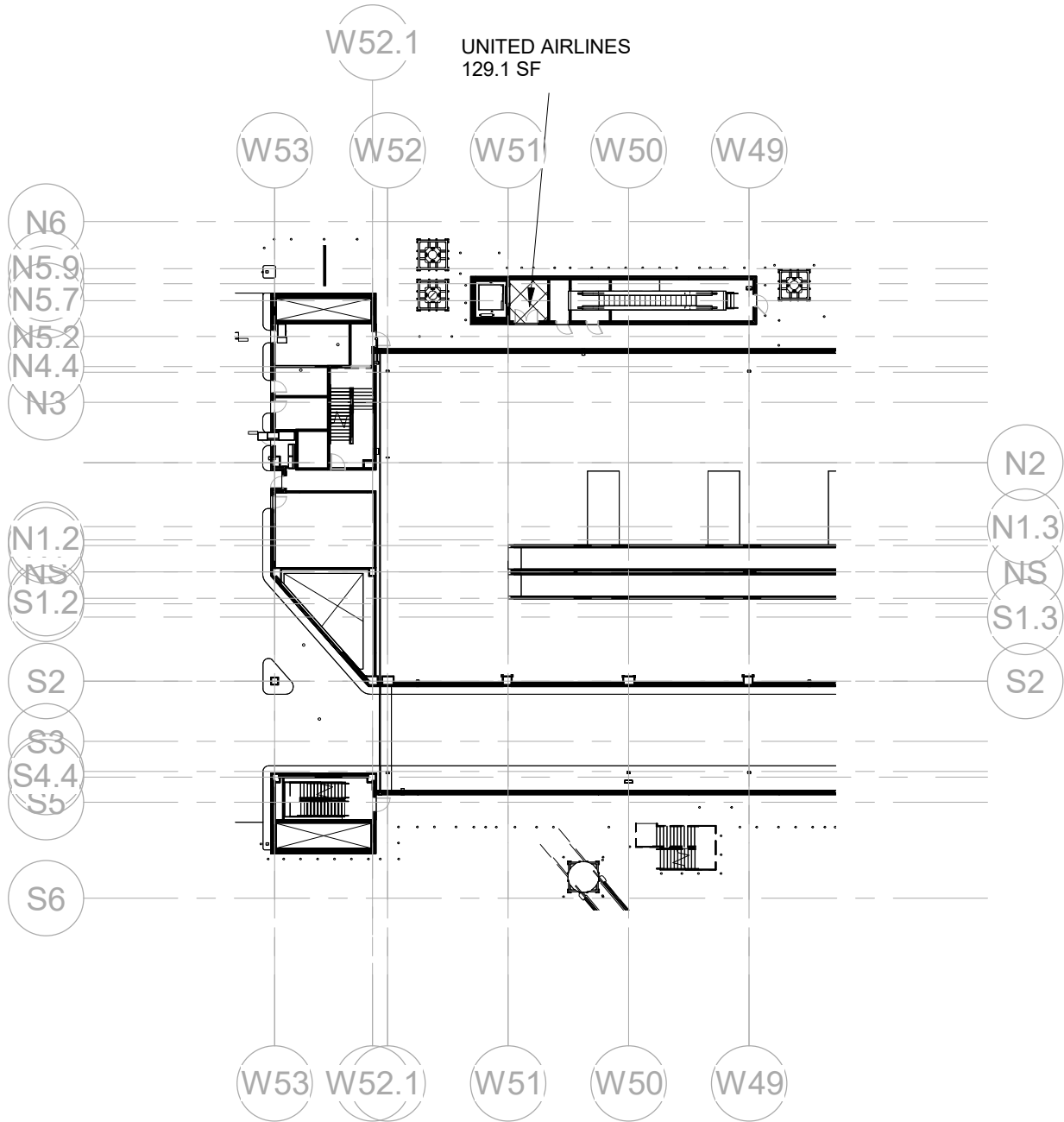
EXHIBIT
R17-1-2-W61-N5
UA GATEHOUSE 10W

CC#: CCA

DATE: 02/24/23

Exhibit D - Concourse A

Effective April 1, 2023



0' 20' 40' 80' 160'

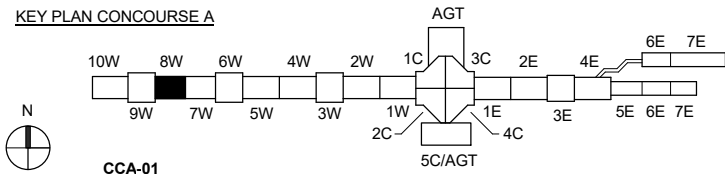


SCALE: 1" = 40'-0"

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DEN Planning and Design

KEY PLAN CONCOURSE A



CCA-01



DENVER INTERNATIONAL AIRPORT

EXHIBIT D
R18-1-1-W50-N6-1
UNITED AIRLINES GATE HOUSE CCA WEST

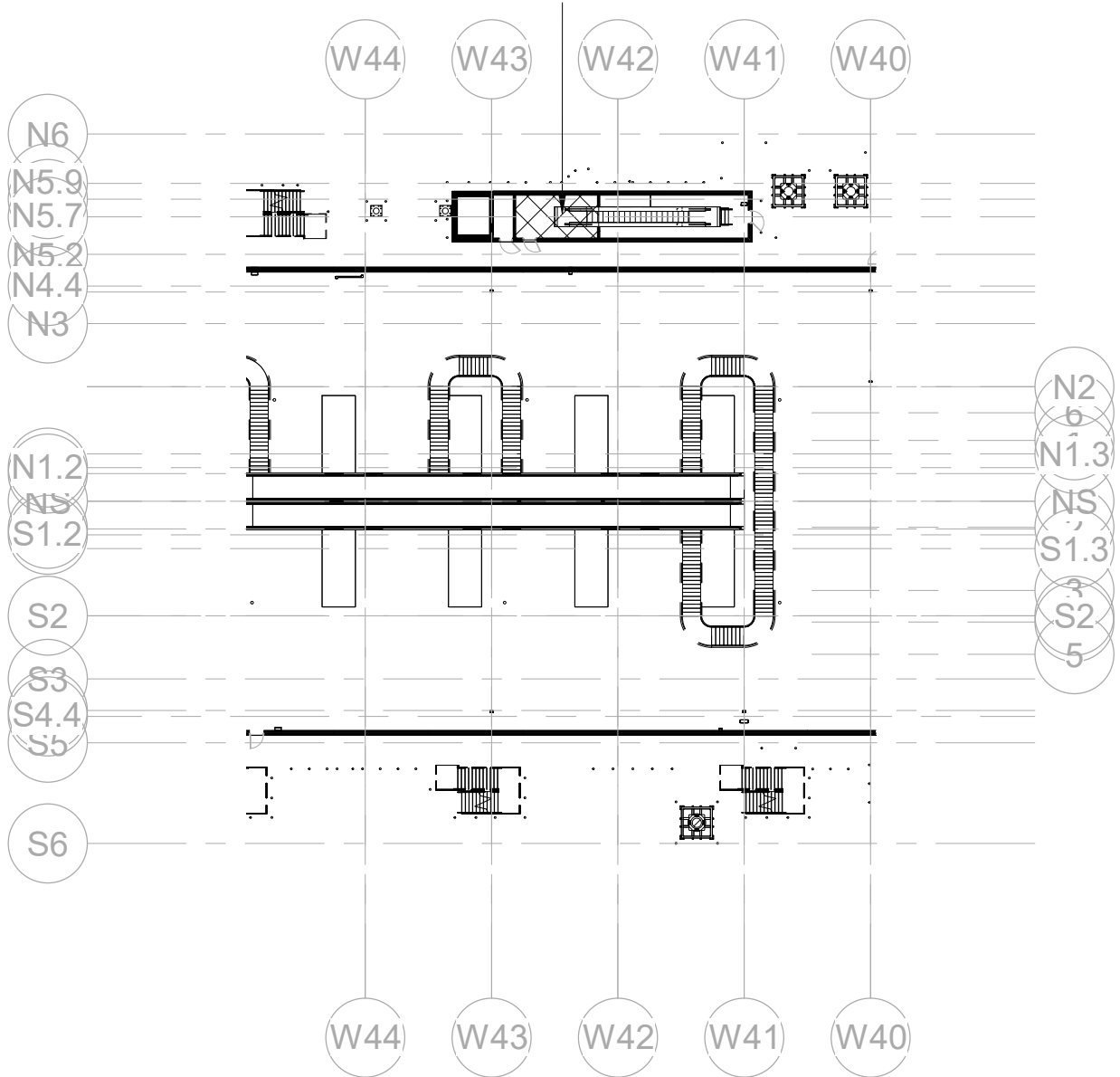
CC#:

DATE: 03/21/22

Exhibit D - Concourse A

Effective April 1, 2023

UNITED AIRLINES GATE HOUSE 7W
252.2 SF



0' 20' 40' 80' 160'



SCALE: 1" = 40'-0"

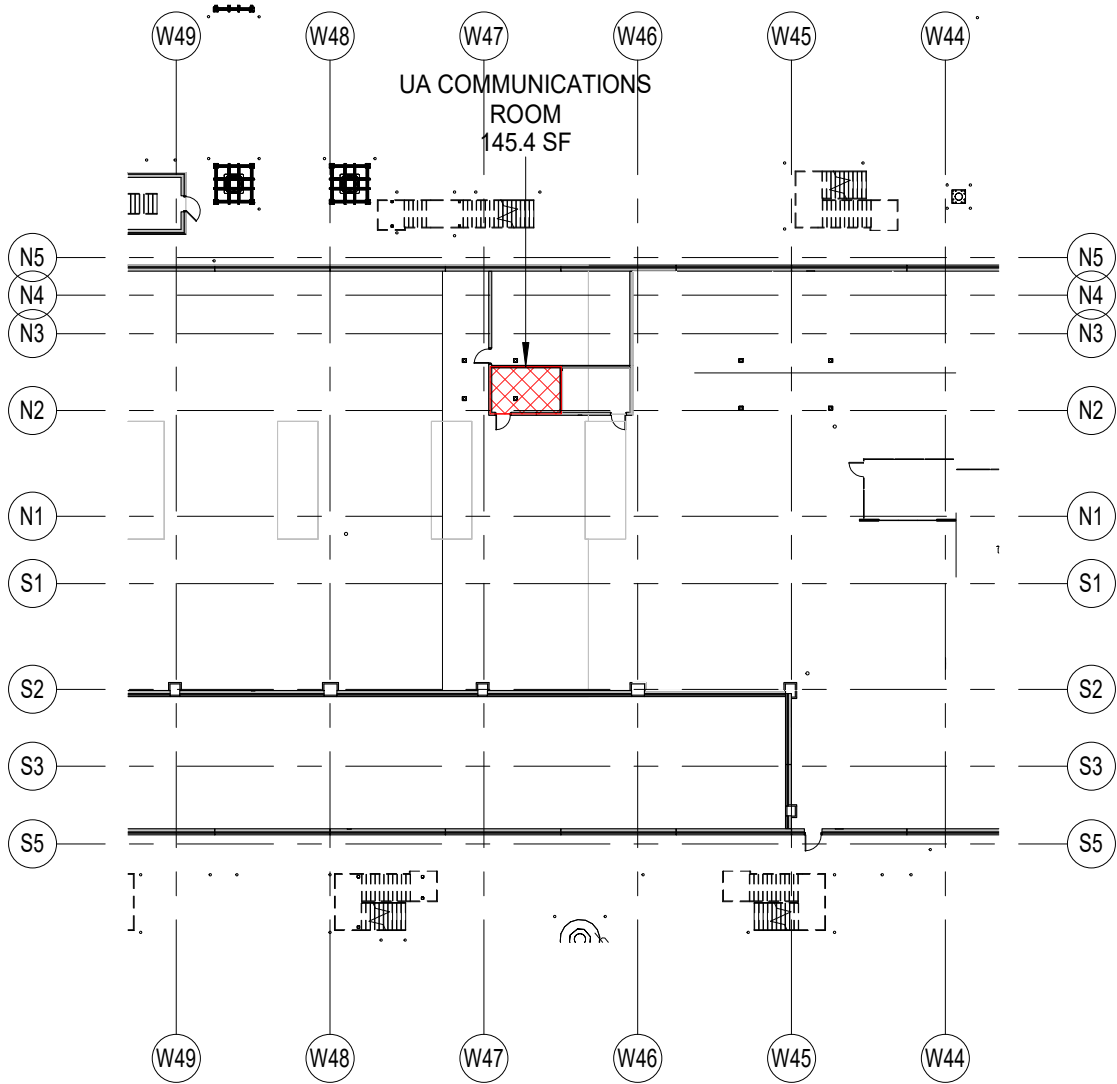
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DEN Planning and Design

<p>KEY PLAN CONCOURSE A</p> <p>CCA-01</p>		<p>DENVER INTERNATIONAL AIRPORT</p> <p>EXHIBIT D R18-1-1-W42-N6-1 UNITED AIRLINES GATE HOUSE 7W</p> <p>CC#: _____ DATE: 03/21/22</p>
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Exhibit D - Concourse A

Effective December 1, 2022

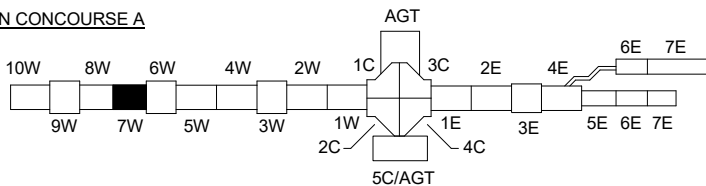


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DEN Planning and Design

KEY PLAN CONCOURSE A



CCA-01



DENVER INTERNATIONAL AIRPORT

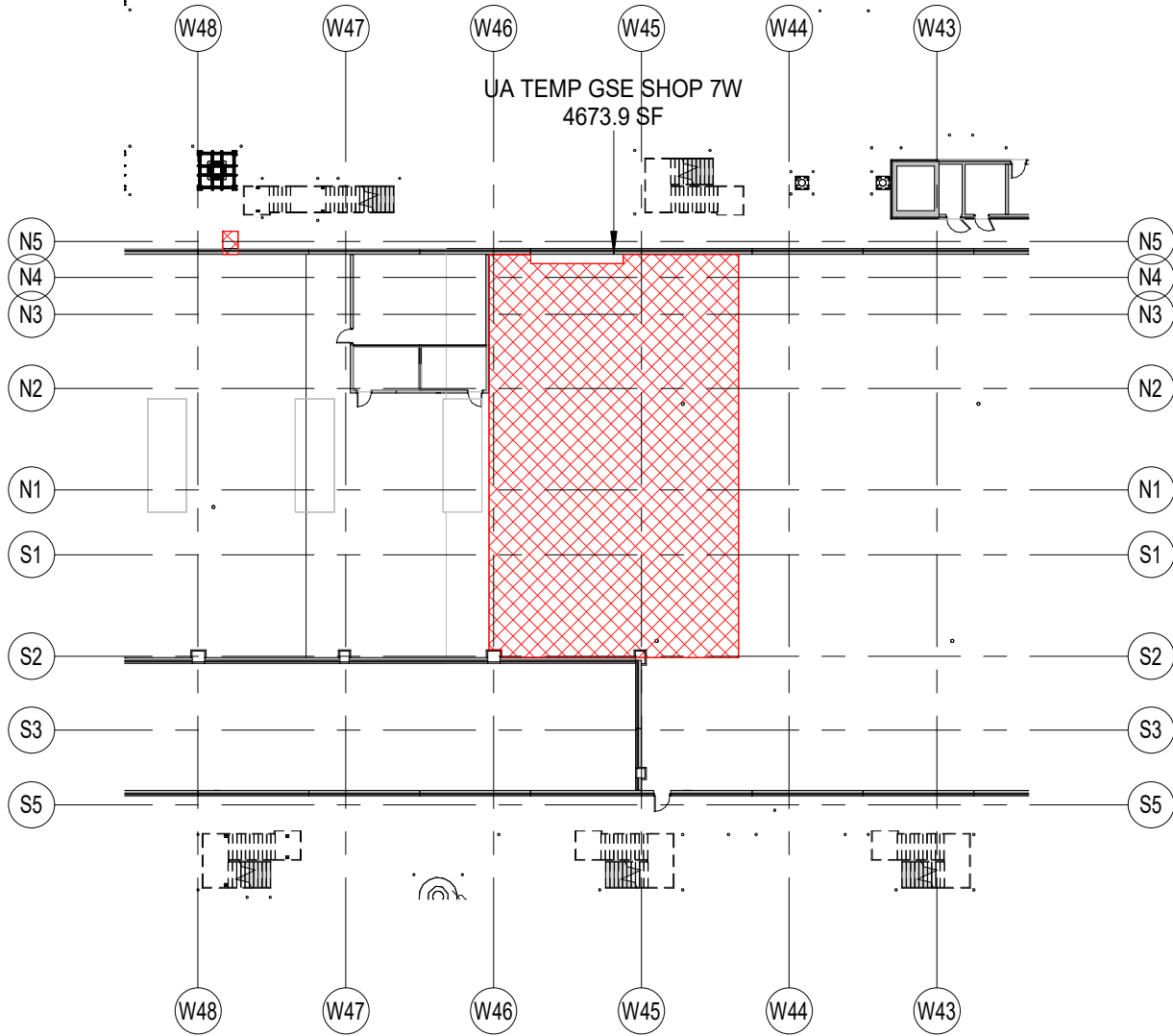
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CC#: CCA

DATE: 05/19/23

Exhibit D - Concourse A

Effective May 1, 2023

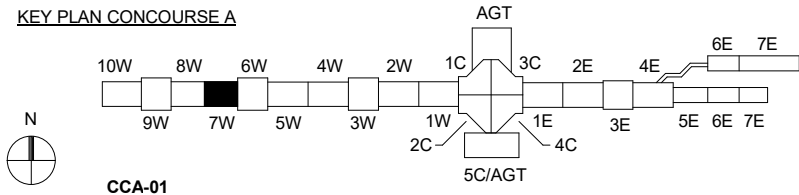


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DEN Planning and Design

KEY PLAN CONCOURSE A

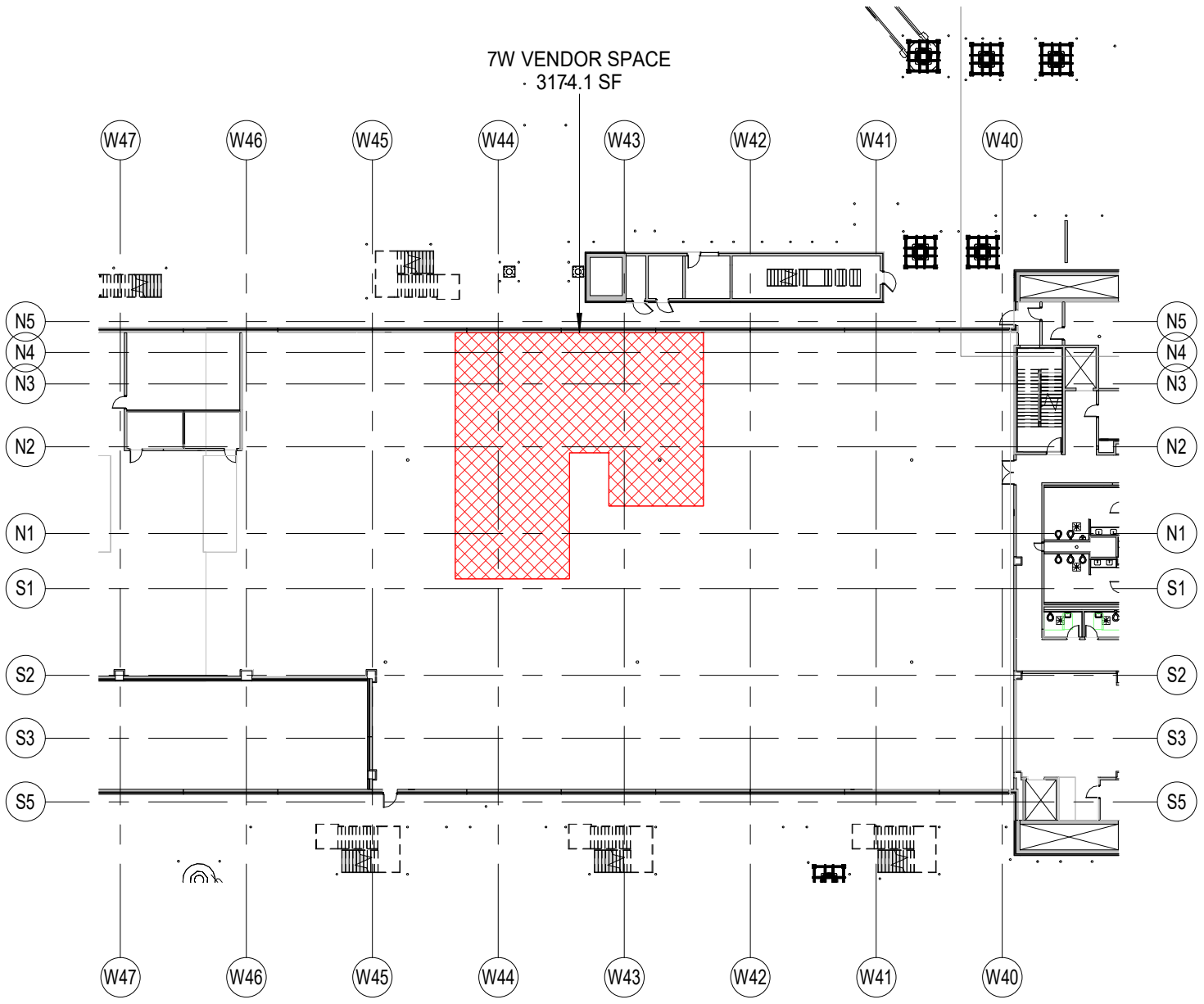


DENVER INTERNATIONAL AIRPORT

EXHIBIT
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UA TEMP GSE SHOP 7W

CC#: CCA

DATE: 04/17/23

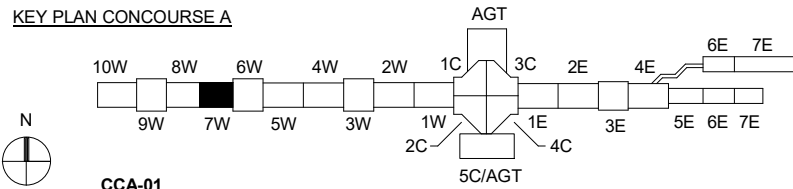


SCALE: 1" = 40'-0"

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 DEN Planning and Design

KEY PLAN CONCOURSE A



DENVER INTERNATIONAL AIRPORT

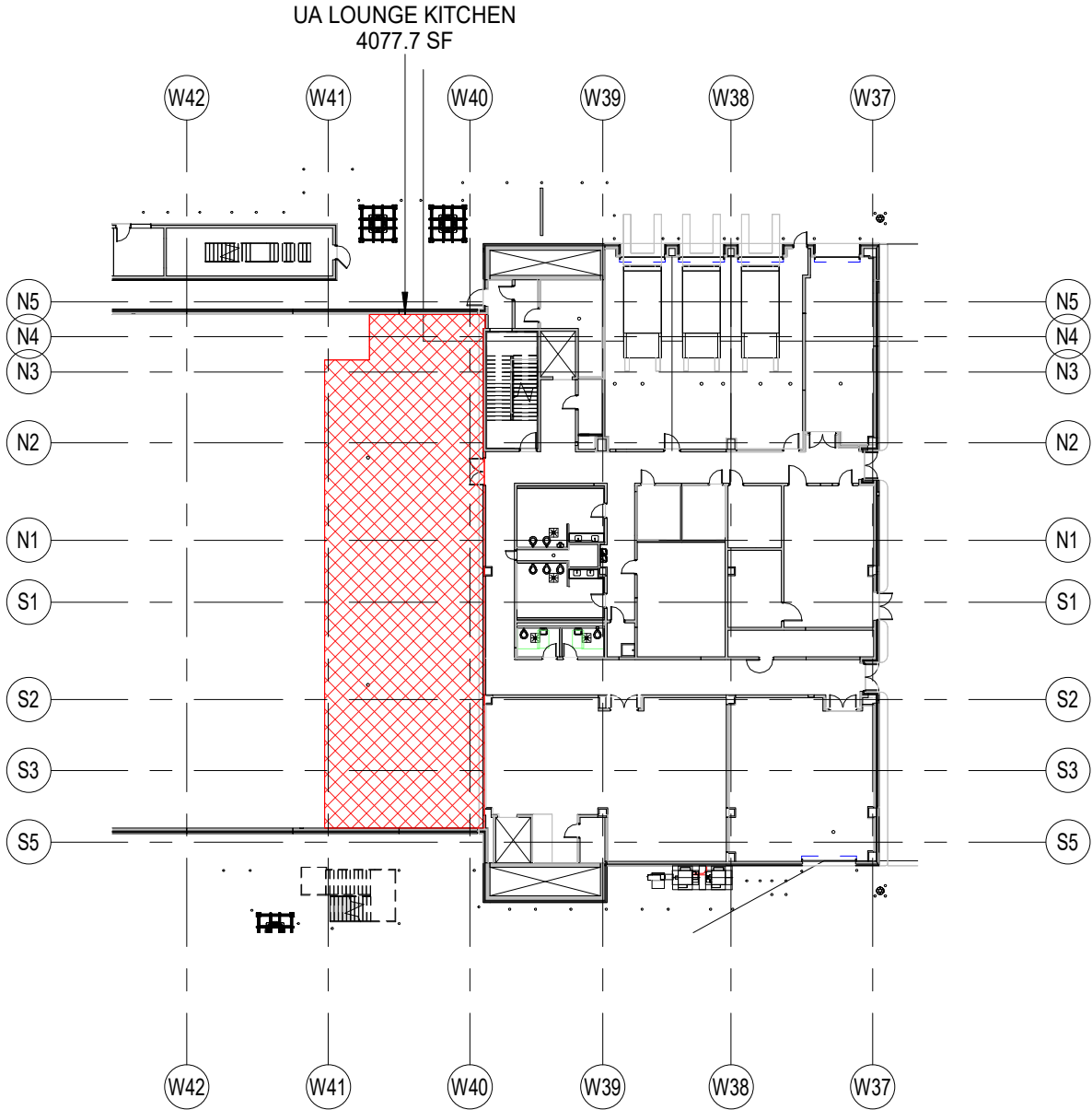
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R17-1-2-W45-S1
7W VENDOR SPACE

CC#: CCA

DATE: 05/02/23

Exhibit D - Concourse A

Effective on Completion
of Construction

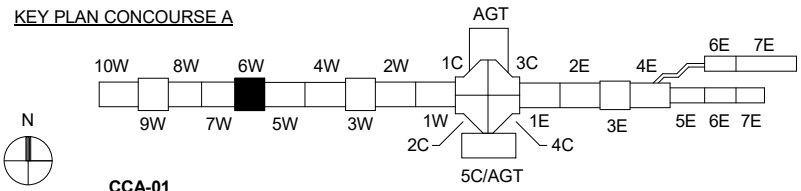


SCALE: 1" = 40'-0"

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KEY PLAN CONCOUSE A



CCA-01



DENVER INTERNATIONAL AIRPORT

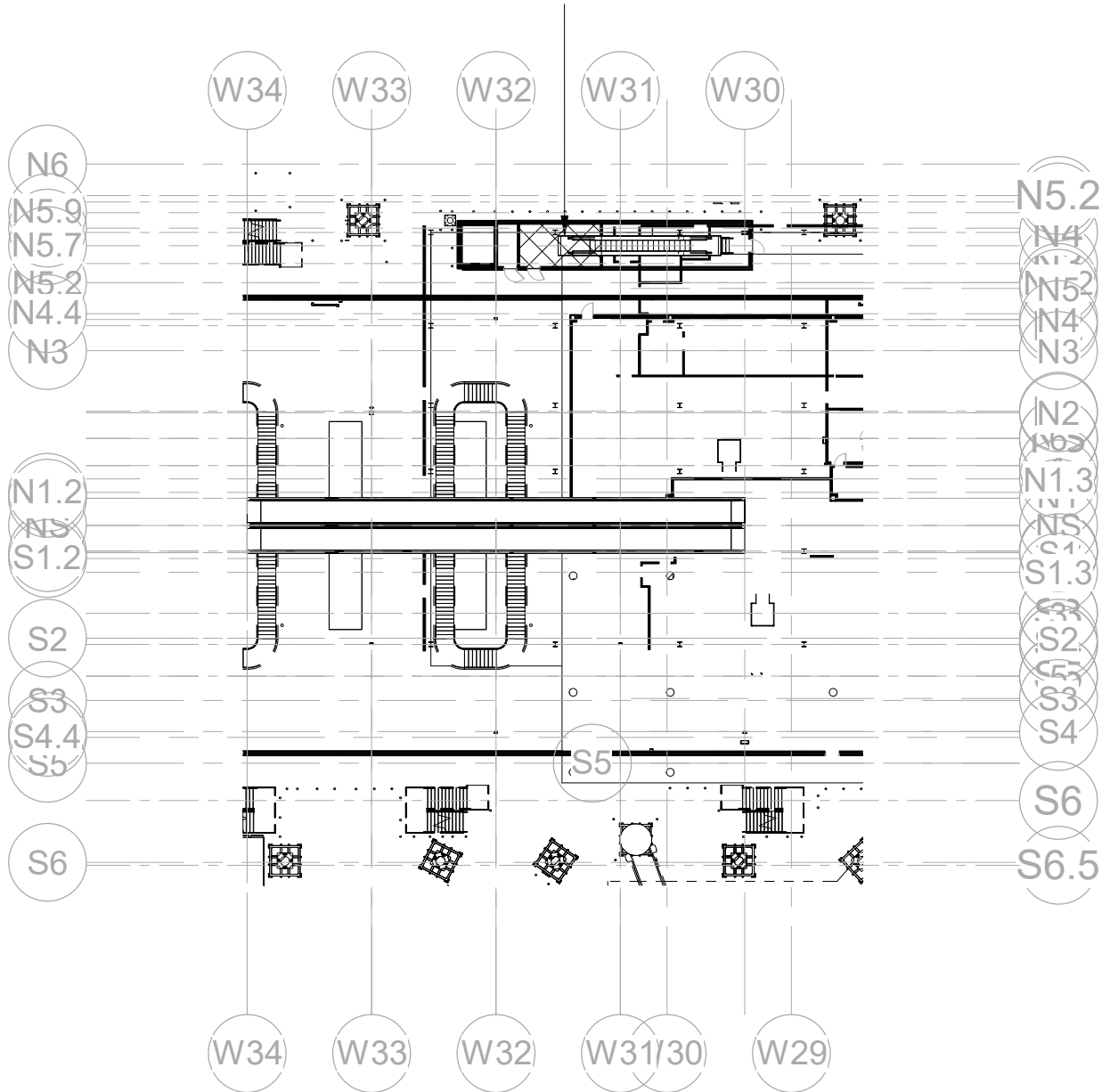
EXHIBIT
R17-1-1-W41-S5
UA LOUNGE KITCHEN

CC#: CCA

DATE: 03/07/23

Effective July 2023 or when CEP work is completed

UNITED AIRLINES GATE HOUSE 5W
252.2 SF



0' 20' 40' 80' 160'

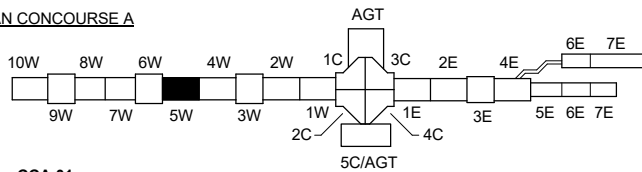


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DEN Planning and Design

KEY PLAN CONCOURSE A



CCA-01



DENVER INTERNATIONAL AIRPORT

EXHIBIT D
R18-1-1-W31-N5-1
UNITED AIRLINES GATE HOUSE 5W

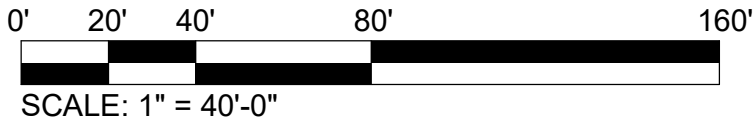
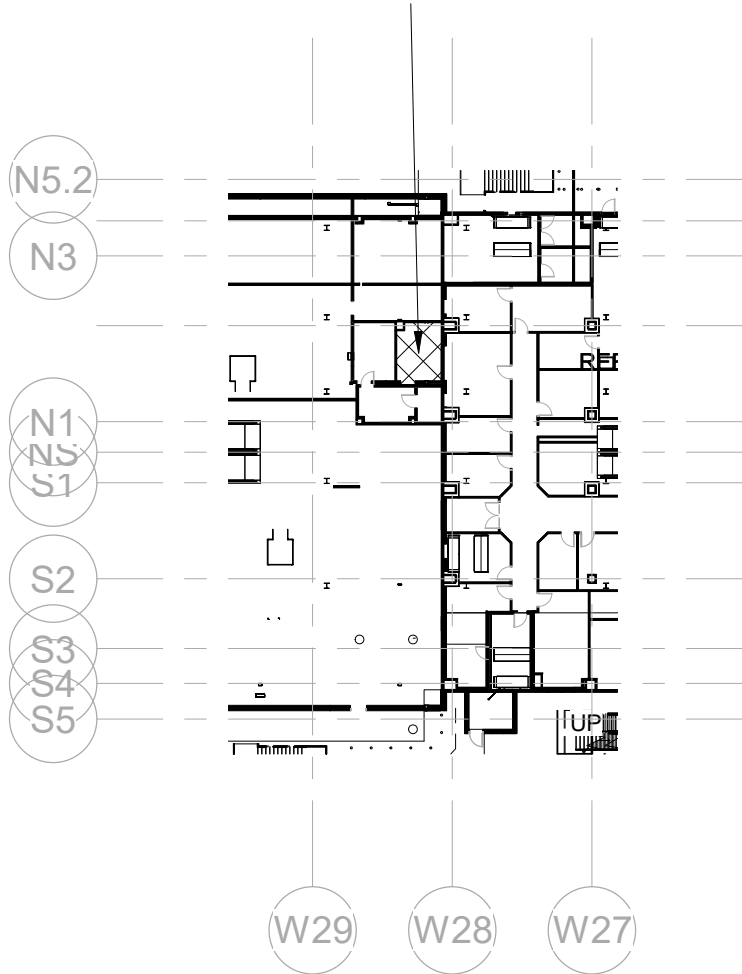
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DATE: 03/21/22

Exhibit D - Concourse A

Effective December 1, 2022

UNITED AIRLINES TECHNOLOGY COMMUNICATIONS
144.5 SF

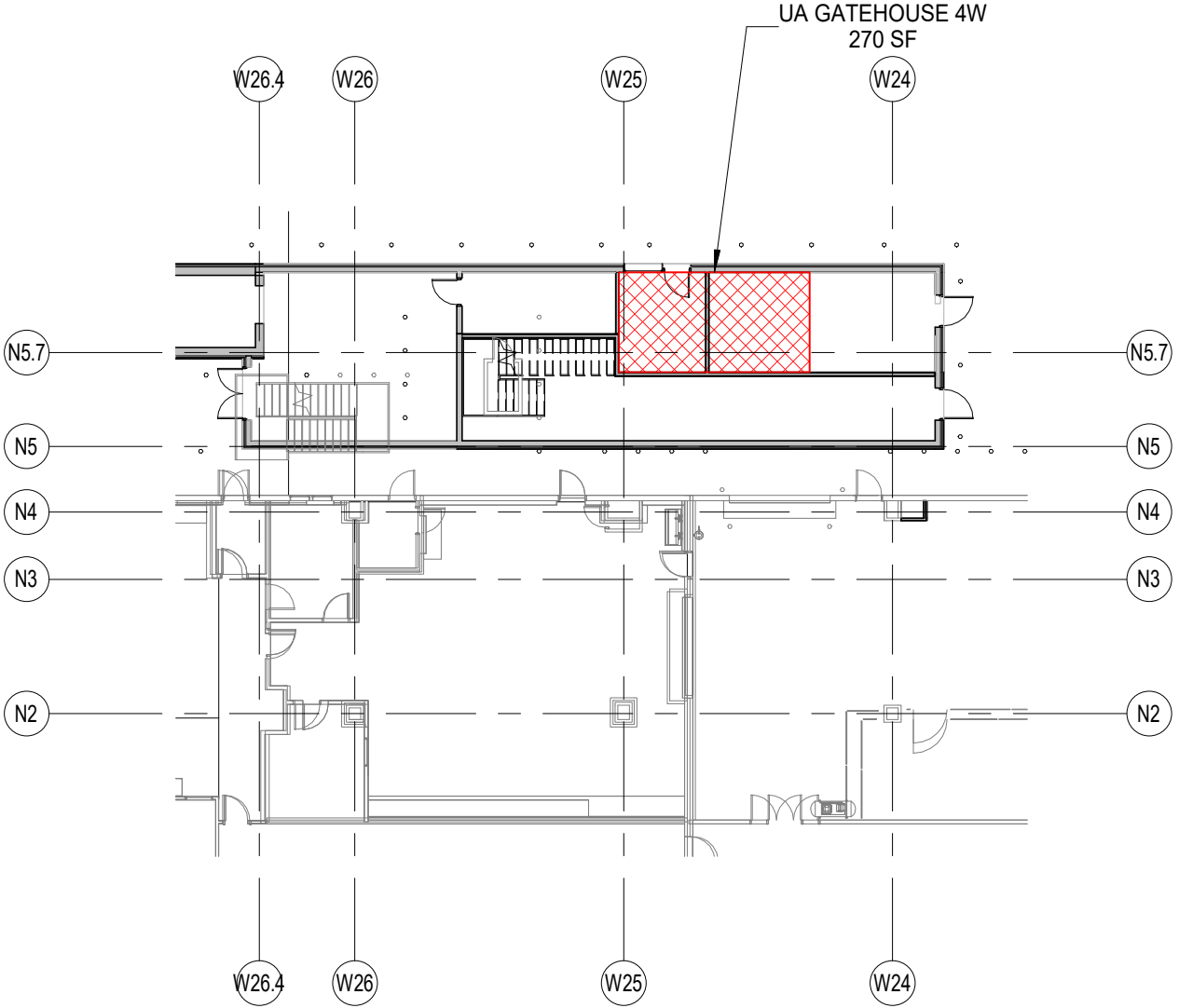


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DEN Planning and Design


<p>KEY PLAN CONCOURSE A</p>		<p>DENVER INTERNATIONAL AIRPORT</p> <p>EXHIBIT D</p> <p>R17-1-1-W28-N2-1</p> <p>UNITED AIRLINES TECHNOLOGY COMMUNICATIONS</p> <hr/> <p>CC#: _____ DATE: 06/22/22</p>
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Effective July 2023 or
when CEP work is
completed



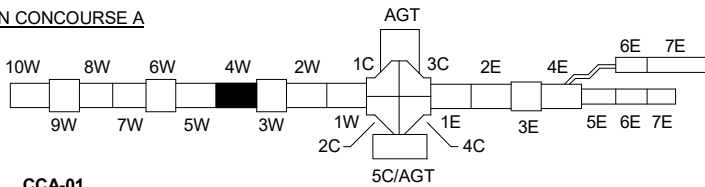
SCALE: 3/64" = 1'-0"

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DEN Planning and Design

KEY PLAN CONCOURSE A



CCA-01



DENVER INTERNATIONAL AIRPORT

EXHIBIT
R17-1-2-W25-N5
UA GATEHOUSE 4W

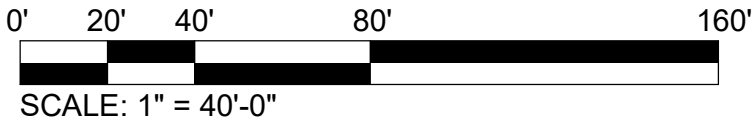
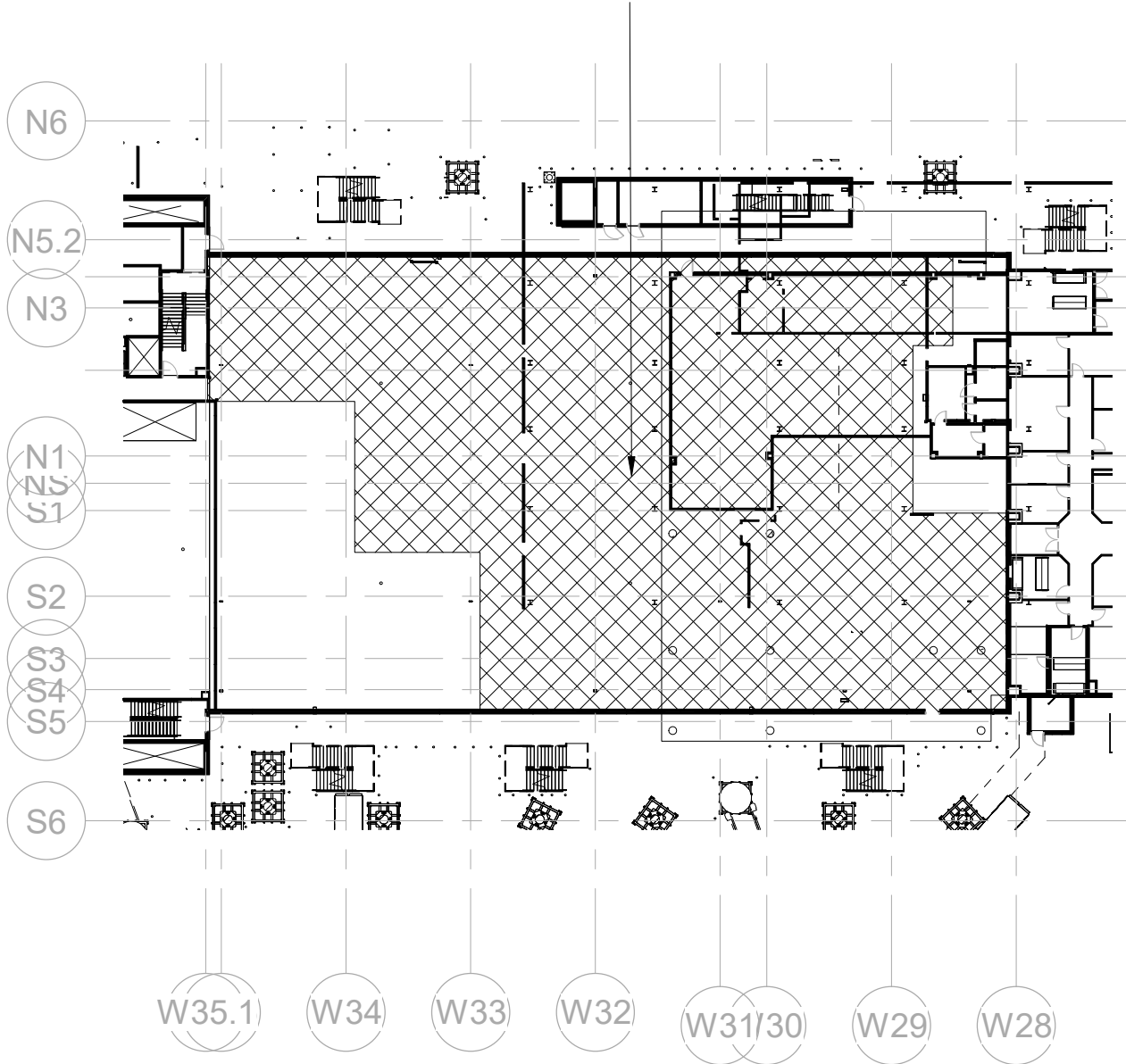
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DATE: 03/01/23

Exhibit D - Concourse A

Effective April 1, 2023 or
when construction is
complete.

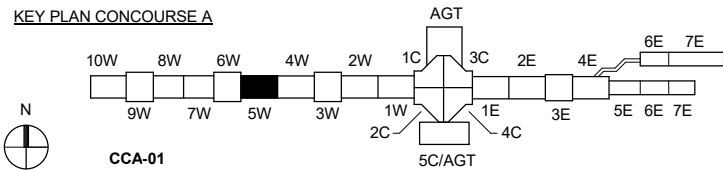
UNITED AIRLINES STORES AND MAINTENANCE
18362.0 SF



NOTE: THIS EXHIBIT SHOWS DIMENSIONS AND SQUARE FOOTAGE OF LEASED AREA BASED UPON PLANNING DATA AND IS NOT INTENDED TO DEPICT DIMENSIONS FOR CONSTRUCTION DETAILS. IT IS THE RESPONSIBILITY OF THE LEASEE TO FIELD VERIFY EXISTING CONDITIONS. ADDITIONALLY, IT IS THE RESPONSIBILITY OF THE LEASEE AND DESIGNERS OF RECORD TO FOLLOW ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.

DEN Planning and Design

KEY PLAN CONCOURSE A



CCA-01



DENVER INTERNATIONAL AIRPORT

EXHIBIT D
R17-1-1-W32-NS-1
UNITED AIRLINES STORES AND
MAINTENANCE

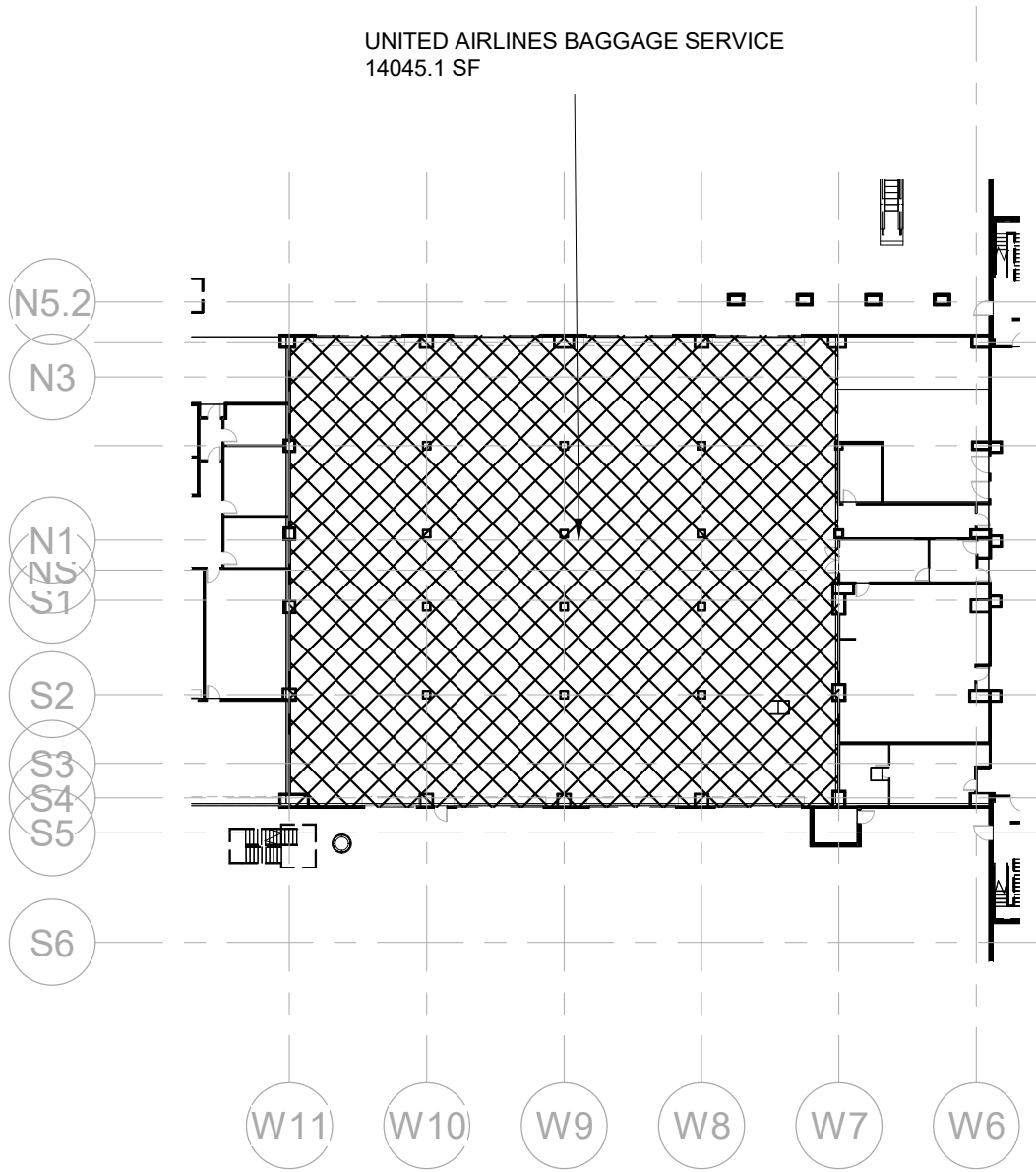
CC#:

DATE: 06/22/22

Exhibit D - Concourse A

Effective 12/1/2022

UNITED AIRLINES BAGGAGE SERVICE
14045.1 SF



0' 20' 40' 80' 160'



SCALE: 1" = 40'-0"

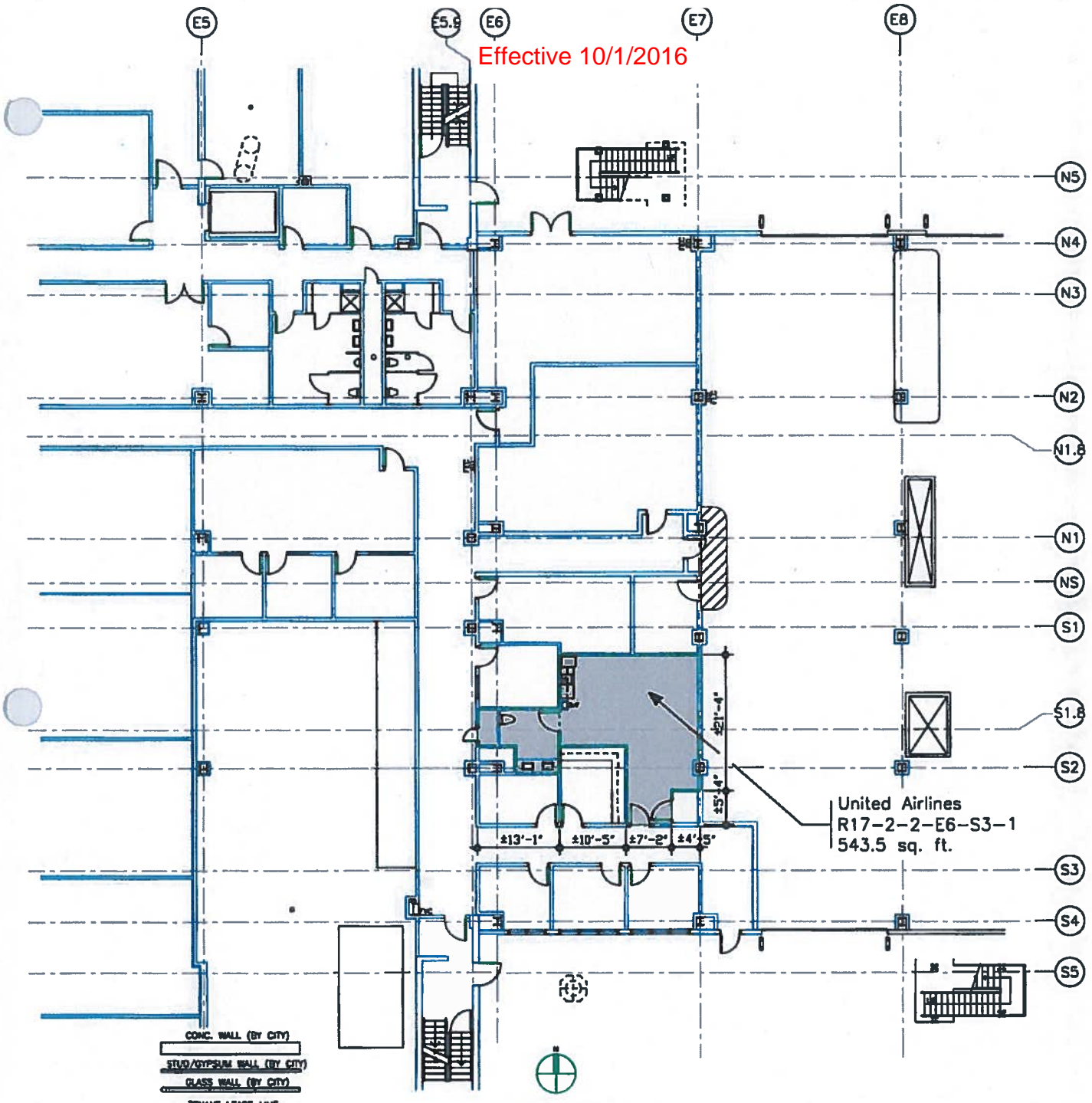
NOTE: THIS EXHIBIT SHOWS DIMENSIONS AND SQUARE FOOTAGE OF LEASED AREA BASED UPON PLANNING DATA AND IS NOT INTENDED TO DEPICT DIMENSIONS FOR CONSTRUCTION DETAILS. IT IS THE RESPONSIBILITY OF THE LEASEE TO FIELD VERIFY EXISTING CONDITIONS. ADDITIONALLY, IT IS THE RESPONSIBILITY OF THE LEASEE AND DESIGNERS OF RECORD TO FOLLOW ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.

DEN Planning and Design

<p>KEY PLAN CONCOURSE A</p> <p>CCA-01</p>		<p>DENVER INTERNATIONAL AIRPORT</p> <p>EXHIBIT D</p> <p>R17-1-1-W9-NS-1</p> <p>UNITED AIRLINES BAGGAGE SERVICE</p> <hr/> <p>CC#: _____ DATE: 01/28/22</p>
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EXHIBIT D - Concourse A

Effective 10/1/2016



- CONC. WALL (BY CITY)
- STUD/STYPUM WALL (BY CITY)
- GLASS WALL (BY CITY)
- TENANT LEASE LINE
- (H) (S) COLUMNS

SCALE 1" = 20.00'



NOTE: NIC = Not Included (In Lease or Sq. Ft. Calc.)
 This exhibit depicts only approximate dimensions and square footage of leased area based upon planning data and is not intended to show dimensions for construction details.

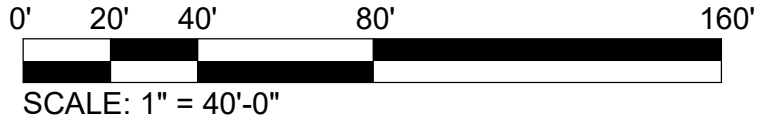
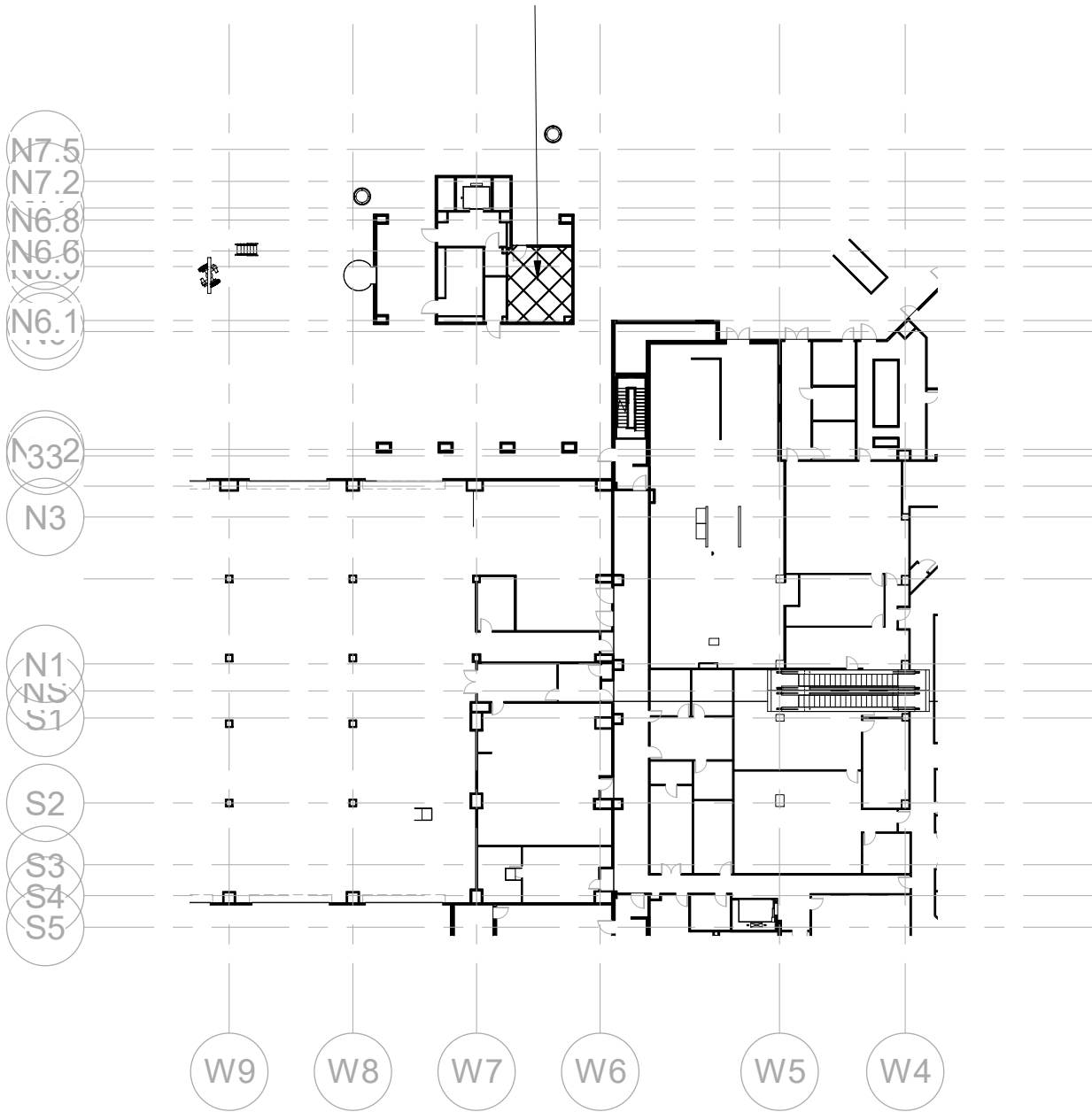
DEN Property Management

<p>KEY PLAN CONCOURSE A</p>		REVISED	DENVER INTERNATIONAL AIRPORT	
			EXHIBIT D Concourse A Apron Level United Airlines	
		CC#: ual	DATE: 07/22/16	

R17-2-2-15-67

Effective 1/1/2021

UNITED AIRLINES READY ROOM A39
340.2 SF



NOTE: THIS EXHIBIT SHOWS DIMENSIONS AND SQUARE FOOTAGE OF LEASED AREA BASED UPON PLANNING DATA AND IS NOT INTENDED TO DEPICT DIMENSIONS FOR CONSTRUCTION DETAILS. IT IS THE RESPONSIBILITY OF THE LEASEE TO FIELD VERIFY EXISTING CONDITIONS. ADDITIONALLY, IT IS THE RESPONSIBILITY OF THE LEASEE AND DESIGNERS OF RECORD TO FOLLOW ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.

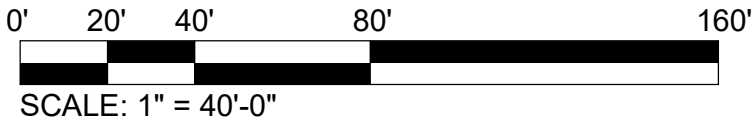
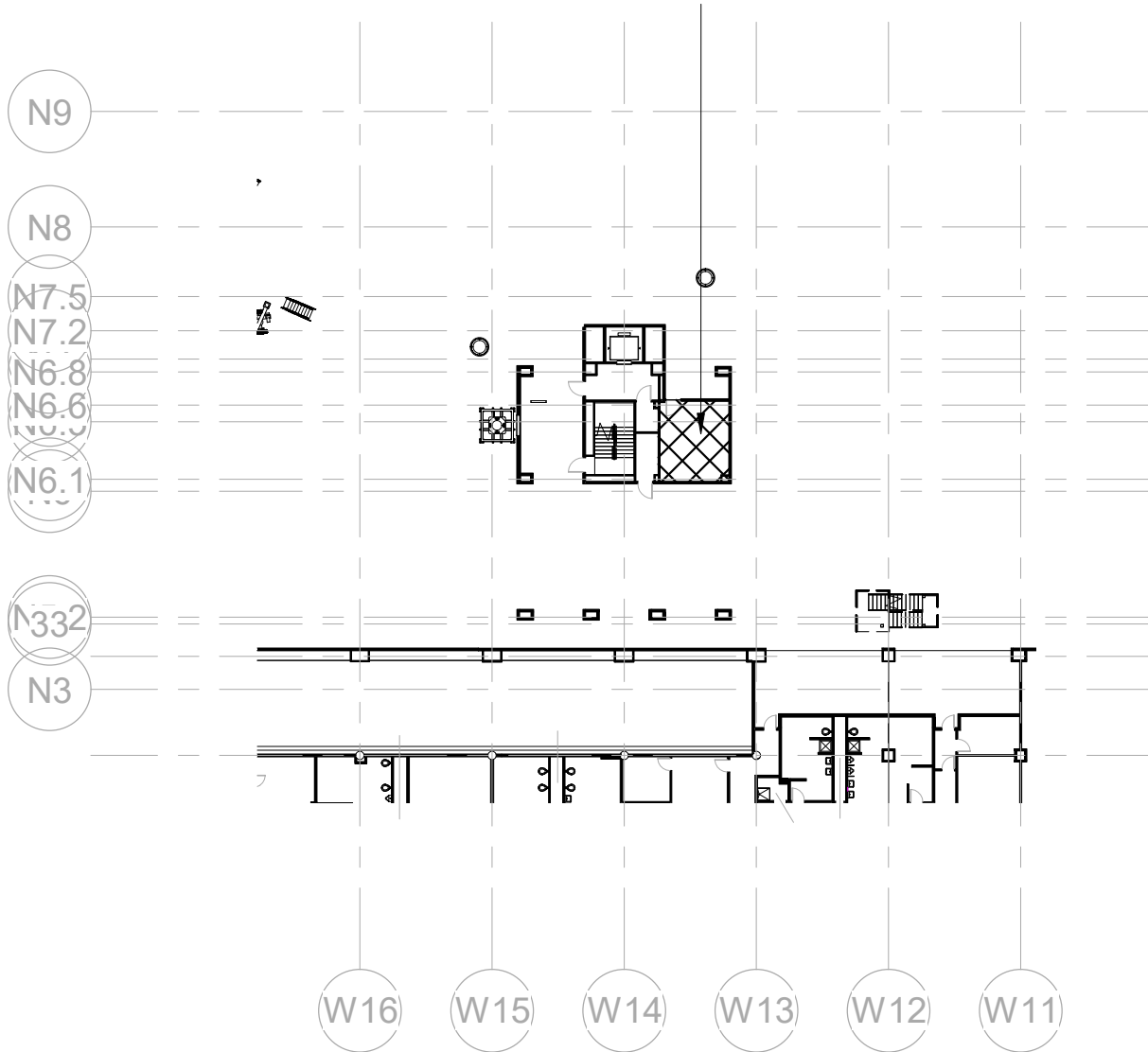
DEN Planning and Design

<p>KEY PLAN CONCOURSE A</p> <p>CCA-01</p>		<p>DENVER INTERNATIONAL AIRPORT</p> <p>EXHIBIT D R17-1-1-W6-N6-1 UNITED AIRLINES READY ROOM A39</p> <p>CC#:</p> <p>DATE: 11/20/20</p>
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Exhibit D - Concourse A

Effective 1/1/2021

UNITED AIRLINES RAMP OPERATIONS - A35
348.0 SF



NOTE: THIS EXHIBIT SHOWS DIMENSIONS AND SQUARE FOOTAGE OF LEASED AREA BASED UPON PLANNING DATA AND IS NOT INTENDED TO DEPICT DIMENSIONS FOR CONSTRUCTION DETAILS. IT IS THE RESPONSIBILITY OF THE LESSEE TO FIELD VERIFY EXISTING CONDITIONS. ADDITIONALLY, IT IS THE RESPONSIBILITY OF THE LESSEE AND DESIGNERS OF RECORD TO FOLLOW ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.

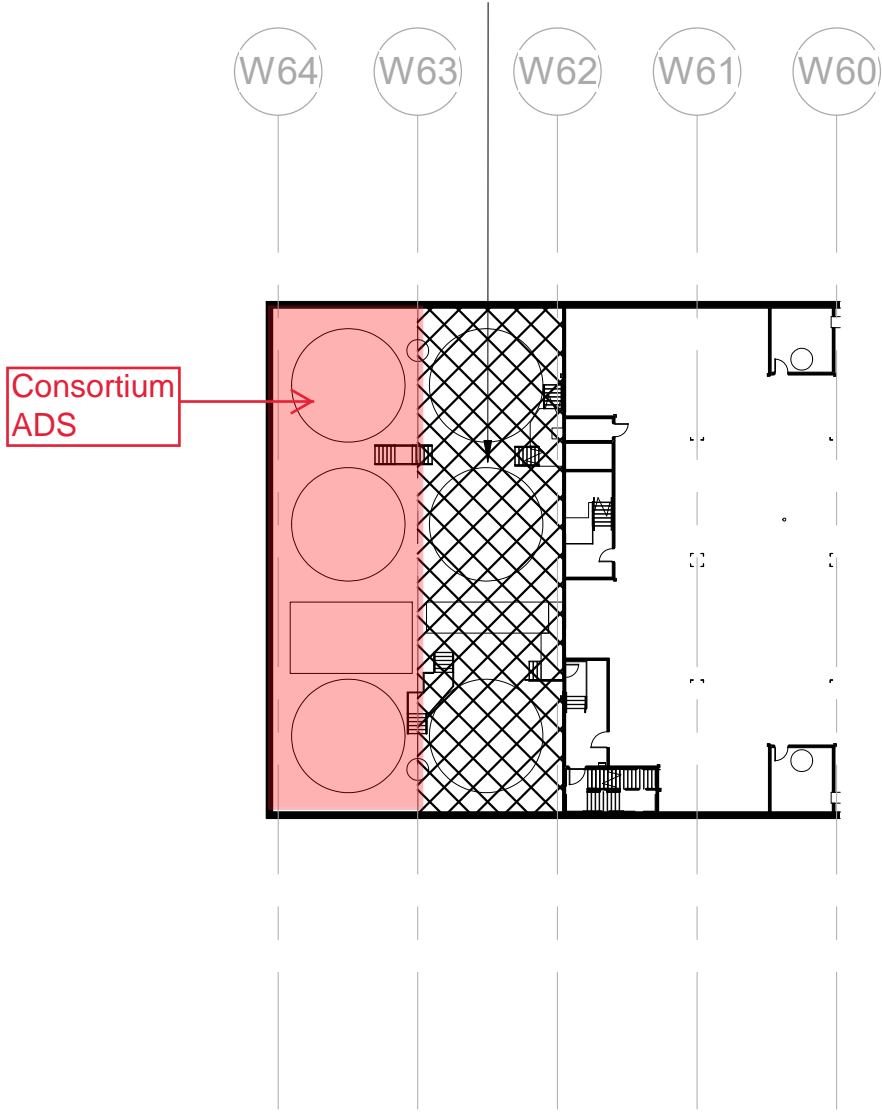
DEN Planning and Design

<p>KEY PLAN CONCOURSE A</p> <p>CCA-01</p>		<p>DENVER INTERNATIONAL AIRPORT</p> <p>EXHIBIT D</p> <p>R17-1-1-W13-N6.5-1</p> <p>UNITED AIRLINES RAMP OPERATIONS - A35</p> <p>CC#:</p> <p>DATE: 11/16/20</p>
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Exhibit D - Concourse A

Effective 11/1/2021

UNITED AIRLINES DEICING TANKS - AIRLINE ADS
3927.4 SF



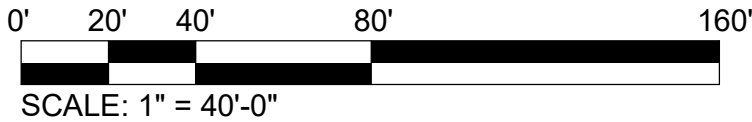
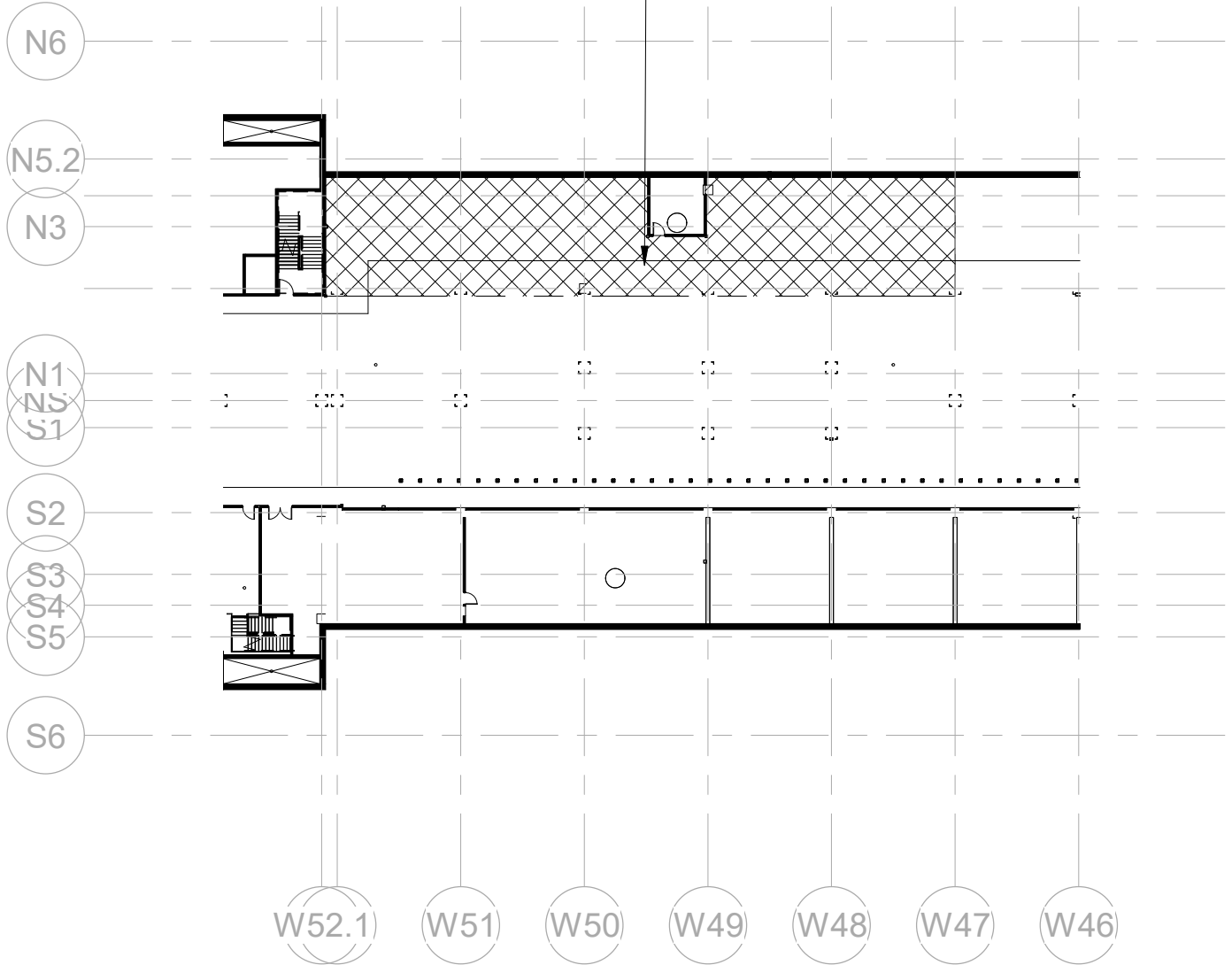
NOTE: THIS EXHIBIT SHOWS DIMENSIONS AND SQUARE FOOTAGE OF LEASED AREA BASED UPON PLANNING DATA AND IS NOT INTENDED TO DEPICT DIMENSIONS FOR CONSTRUCTION DETAILS. IT IS THE RESPONSIBILITY OF THE LEASEE TO FIELD VERIFY EXISTING CONDITIONS. ADDITIONALLY, IT IS THE RESPONSIBILITY OF THE LEASEE AND DESIGNERS OF RECORD TO FOLLOW ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.

DEN Planning and Design

<p>KEY PLAN CONCOURSE A</p>			<p>DENVER INTERNATIONAL AIRPORT</p>	
<p>CCA-01</p>			<p>EXHIBIT R18-1-1-W63-NS-1</p>	<p>R17-2-1-W63-N5-1</p>
		<p>CC#:</p>	<p>DATE: 09/09/21</p>	

Effective June 1, 2023 or when construction is complete

UNITED AIRLINES LOCKER ROOMS
4792.2 SF

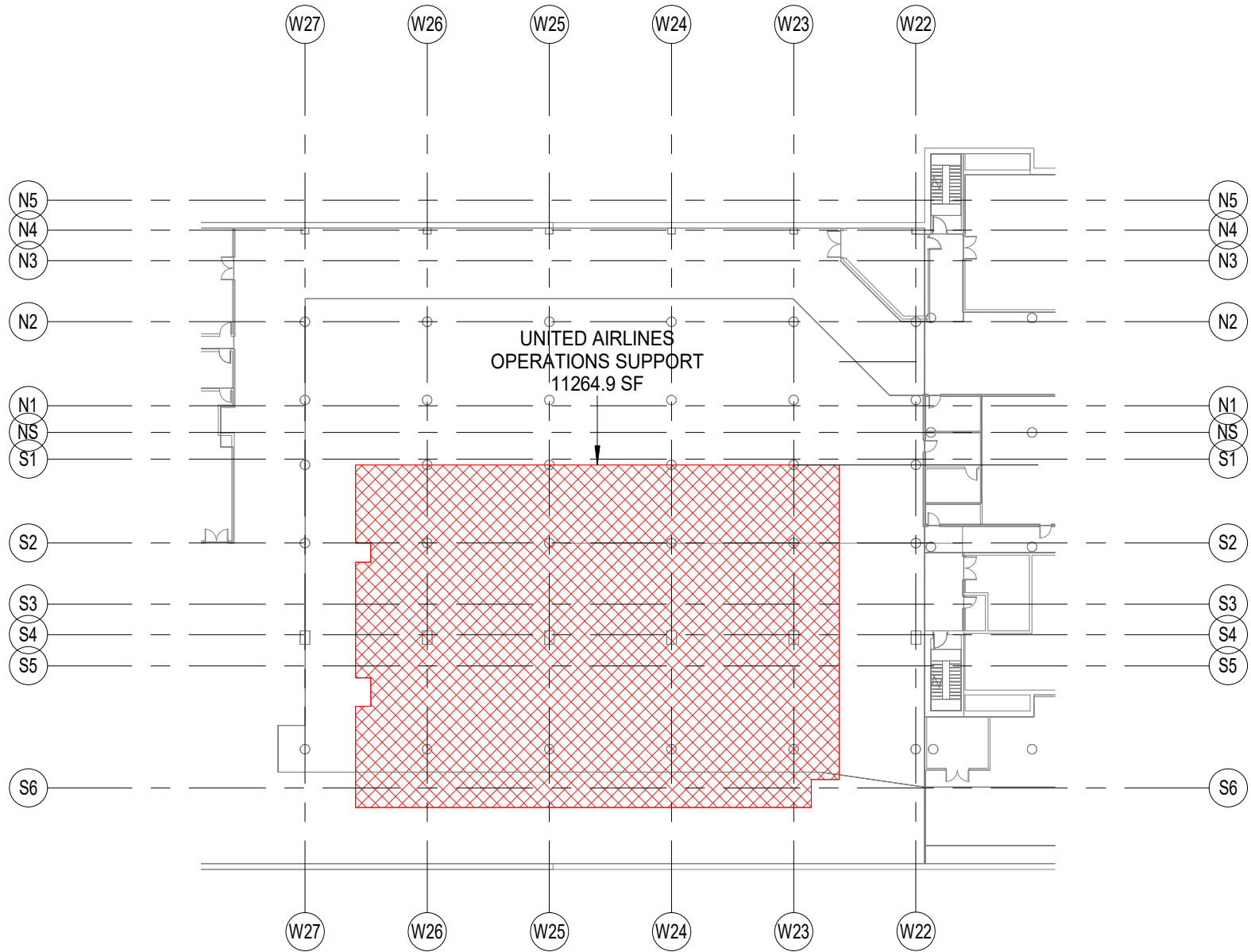


NOTE: THIS EXHIBIT SHOWS DIMENSIONS AND SQUARE FOOTAGE OF LEASED AREA BASED UPON PLANNING DATA AND IS NOT INTENDED TO DEPICT DIMENSIONS FOR CONSTRUCTION DETAILS. IT IS THE RESPONSIBILITY OF THE LEASEE TO FIELD VERIFY EXISTING CONDITIONS. ADDITIONALLY, IT IS THE RESPONSIBILITY OF THE LEASEE AND DESIGNERS OF RECORD TO FOLLOW ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.

DEN Planning and Design

<p>KEY PLAN CONCOURSE A</p> <p>CCA-00</p>		<p>DENVER INTERNATIONAL AIRPORT</p> <p>EXHIBIT D</p> <p>R17-1-0-W49-N3-1</p> <p>UNITED AIRLINES LOCKER ROOMS 8W</p> <hr/> <p>CC#: _____ DATE: 06/23/22</p>
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Effective June 1, 2023 or
when construction is complete



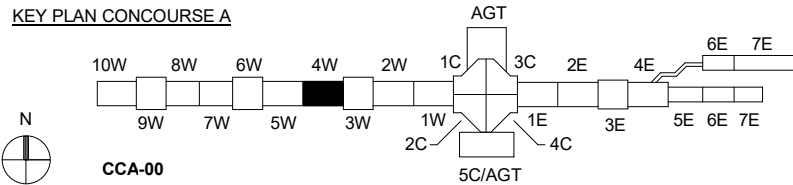
SCALE: 1" = 40'-0"

NOTE: THIS EXHIBIT SHOWS DIMENSIONS AND SQUARE FOOTAGE OF LEASED AREA BASED UPON PLANNING DATA AND IS NOT INTENDED TO DEPICT DIMENSIONS FOR CONSTRUCTION DETAILS. IT IS THE RESPONSIBILITY OF THE LEASEE TO FIELD VERIFY EXISTING CONDITIONS. ADDITIONALLY, IT IS THE RESPONSIBILITY OF THE LEASEE AND DESIGNERS OF RECORD TO FOLLOW ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.



DEN Planning and Design

KEY PLAN CONCOURSE A



DENVER INTERNATIONAL AIRPORT

EXHIBIT D
R17-1-0-W27-S6
UNITED AIRLINES OPERATIONS SUPPORT

CC#:

DATE: 10/12/22

EXHIBIT D
CONCOURSE B

United Airlines, Inc.
2023 Lease Amendment

PLANE-202264055-12 / XC 2X000-12

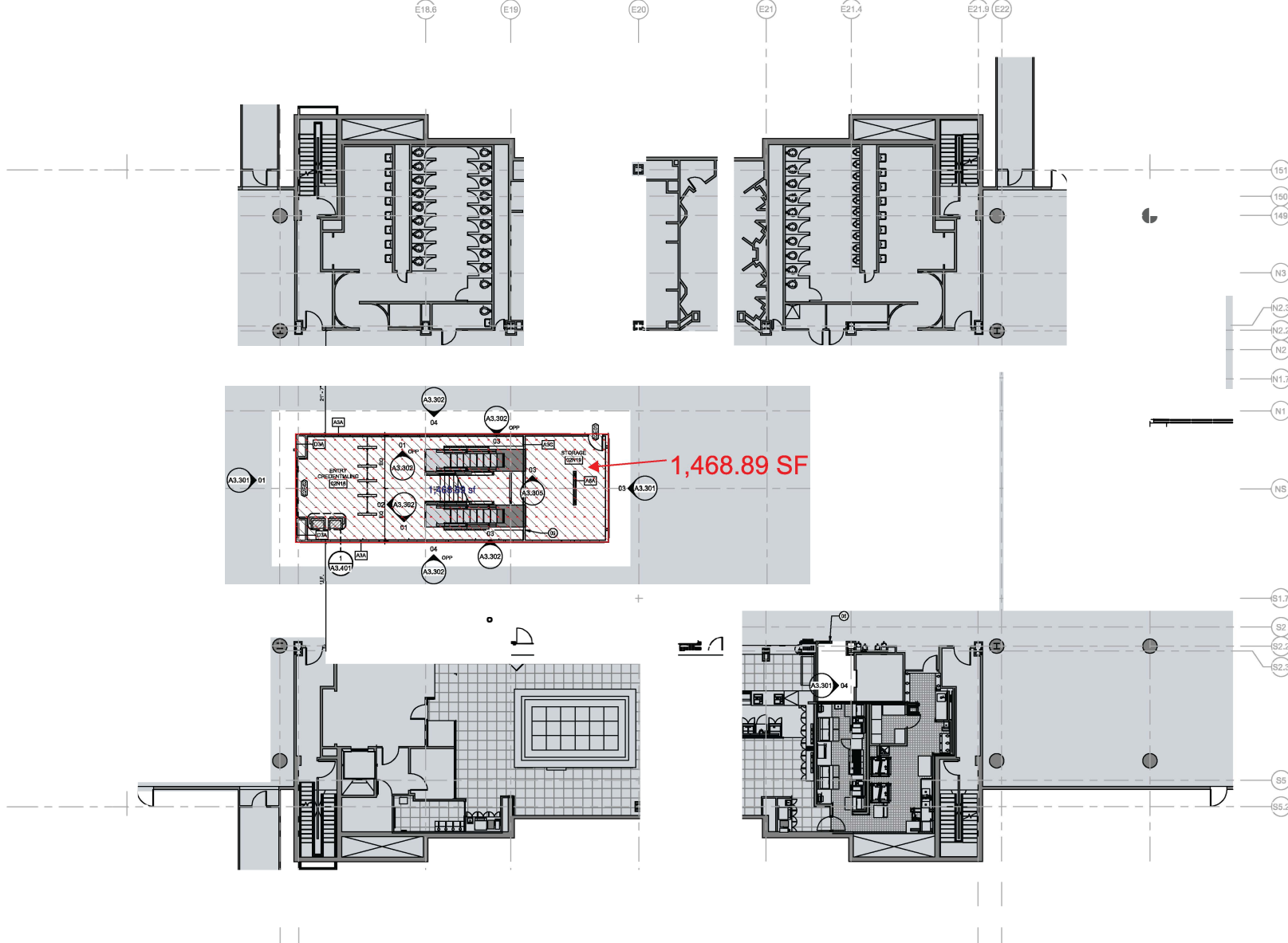
Incorporated by reference as found in File #20230096
at the Denver Office of the Clerk and Recorder

2023 LEASE AMENDMENT

Exhibit D-11

United Airlines East Club Entrance

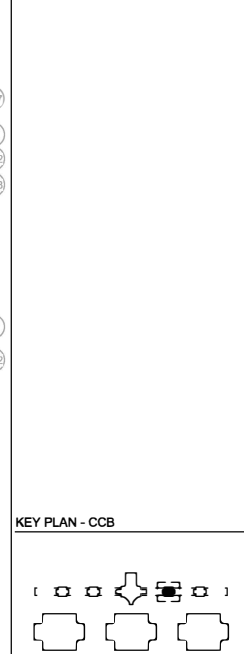
This exhibit will replace the current club entrance exhibit in Exhibit D - Concourse B.



- GENERAL SHEET NOTES**
- A. REFER TO SERIES SHEETS FOR GENERAL NOTES REGARDING SYMBOLS, ABBREVIATIONS & DETAIL AND MOUNTING HEIGHTS.
 - B. PROVIDE FIRE RESISTANT BLOCK AND REBAR AT ALL LOCATIONS INCLUDING, BUT NOT LIMITED TO, GRAB BARS, OVER HEAD MOUNTED FIRE EXTINGUISHERS, TOILET CONCEALED, WALL MOUNTED EQUIPMENT, ETC.
 - C. VERIFY ARCHITECT'S OF ANY OBSTRUCTIONS OR CONFLICTS IN THE LOCATION(S) OF CONSTRUCTION ELEMENTS.
 - D. ALL PARTITIONS TO BE TYPE "A1" UNO.
 - E. SHADED AREA NOT IN SCOPE.
 - F. ALL COLUMN ENCLAVES TO BE BUILT TIGHT TO EXISTING BUILDING COLUMNS AND BUILDING SYSTEMS, I.O.A.
 - G. ALL DIMENSIONS TO BE VERIFICATION THE C. ALL PARTITIONS ARE DIMENSIONED FROM FINISHERFACE TO FINISHED FACE UNO.
 - H. PATCH EXISTING PERIMETER WALLS AS REQUIRED TO CORSEVE.
 - I. UNDER CUP OF DOORS TO BE CLEAN FLOOR FINISH BY 1/4" UNO.
 - J. ALL FLOOR LOCATIONS TO BE FULLY RECESSED UNO. DRIVERS IN RECESSED PARTITION THROUGHS WITH SCHEDULED FIRE EXTINGUISHER CABINETS. REFER TO DETAIL 08A6.109.
 - K. PATCH AND FINISH UP ALL FINE THROUGHS OR PENETRATIONS IN FLUKE AND WALLS TO MATCH EXISTING RATING, INCLUDING REPAIRING CRACKS AND OTHER DEFECTS. LOCATIONS AS RESULT OF REMOVED OR ABANDONED DEVICES.
 - L. PATCH AND REPAIR SURFACES DAMAGED AS A RESULT OF WORK PERFORMED ON THIS PROJECT. PATCH A REPAIR EXISTING SURFACES AS NEEDED TO RECREATE NEW FINISH.
 - M. PROVIDE WATERPROOFING MEMBRANE AND WATER RESISTANT DIV. ED AT ALL MEET AREAS TO COMPLY WITH AIRPORT REQUIREMENTS.
 - N. PROVIDE 1/2" THICK FIRE RETARDANT TREATED PLYWOOD PANELS FOR ALL SECURITY AND DEVICE PANELS AS REQUIRED AT BEVER HOOKS. REFER TO DETAIL 08A6.109 FOR LOCATION AND SIZE.
 - O. 0.1 TO 0.2 LEVEL EXISTING SLAB WITH HYDRAULIC CEMENT BASE UNDERLAYMENT UNDER ALL FLOOR MATERIALS. FLOOR IS NOT TO EXCEED 1/8" IN 10' AND 1/16" IN 2'. ALL FLOORING TRANSITIONS.
 - P. ALL W/ ALL RECEIVING WALL COVERING TO BE SHIM COATED TO A LEVEL FINISH. PROVIDE LEVEL FINISH ON ALL OTHER CIP SUR BOARD PARTITIONS.
 - Q. ALL WALLS WITH PLUMBING. COORDINATE REQUIRED STUD SIZE WITH PLUMBING REQUIREMENTS.

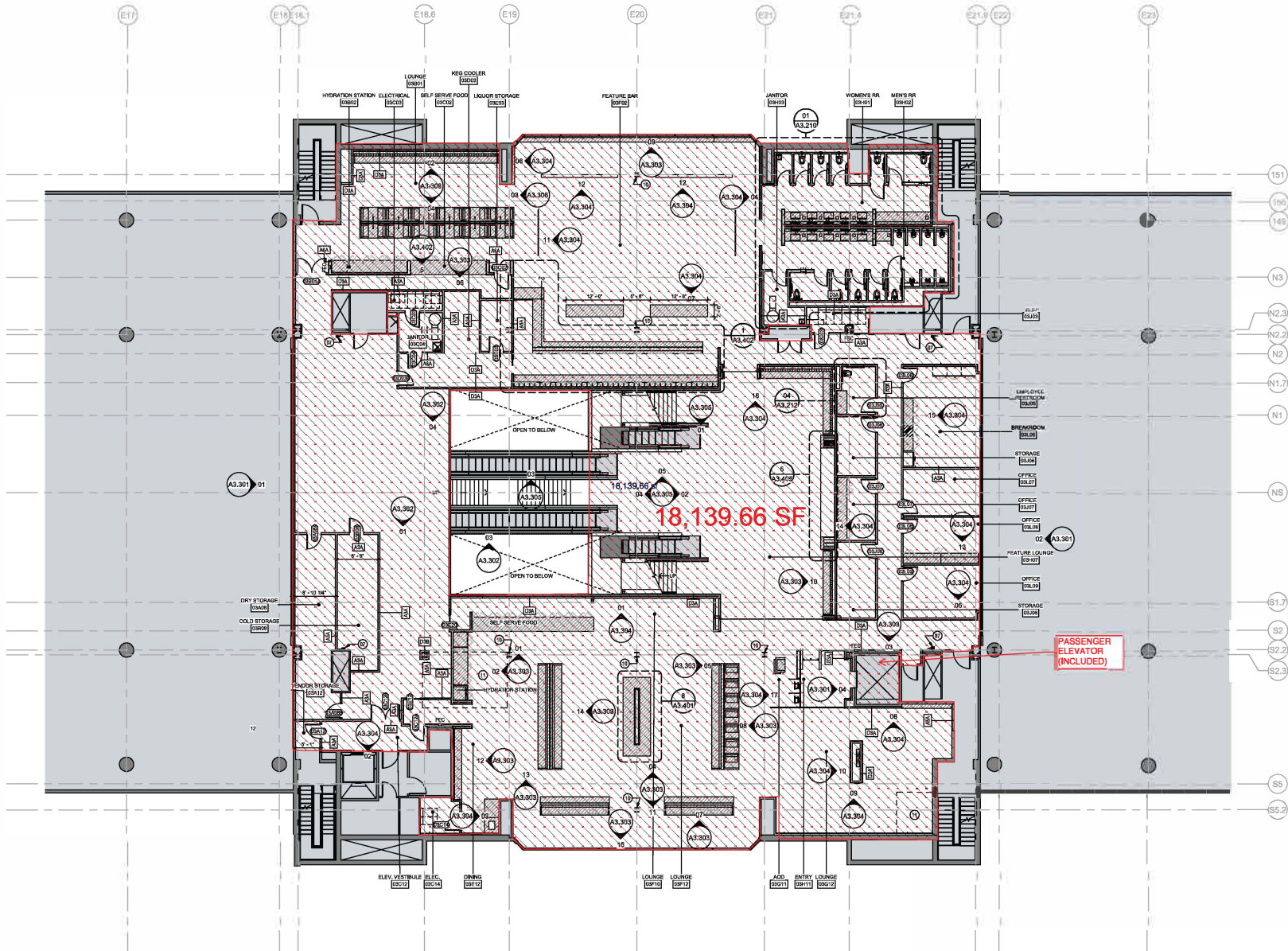
- SHEET KEYNOTES**
- 01 EXISTING GLASS AND METAL PARTITION TO REMAIN TO BE CLEANED AND REFINISH.
 - 02 PARTITION TO EXTEND TO UNDERCUP OF STAIRS/SCALATOR.

KEY PLAN - CCB



United Airlines East Club Level 3

This area will be added to Exhibit D - Concourse B



- GENERAL SHEET NOTES**
- A. REFER TO SERIES SHEETS FOR GENERAL NOTES GRAPHIC SYMBOLS, ABBREVIATIONS & DETAIL AND MOUNTING HEIGHTS.
 - B. PROVIDE FIRE RESISTANT BLOWUP AS NOTED AT ALL LOCATIONS INCLUDING BUT NOT LIMITED TO GRAB BARS, OVERSAC MOUNTING SHELVES, EGRESS, TOILET ROOM ACCESSORIES, WALL MOUNTED EQUIPMENT, ETC.
 - C. NOTIFY ARCHITECT OF ANY OVERSPANNING OR CONFLICTS IN THE LOCATION(S) OF CONSTRUCTION ELEMENTS.
 - D. ALL PARTITIONS TO BE 1 1/2" x 4" U.W.I.
 - E. SHADED AREA NOT IN SCOPE.
 - F. ALL COLUMN ENCL. COULDS TO BE BUILT TIGHT TO EXISTING BUILDING COLUMNS AND BUILDING SYSTEMS, U.O.A.
 - G. ALL DIMENSIONS TO BE SHOWN IN FIELD. ALL PARTITIONS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE UNLESS NOTED OTHERWISE.
 - H. PATCH EXISTING PERIMETER WALLS AS REQUIRED TO RECEIVE NEW FINISH.
 - I. UNDERLIE ALL DOORS TO CLEAN FLOORING BY 1/4" UNLESS NOTED OTHERWISE.
 - J. ALL ELEC. LOCATIONS LOCATION TO BE FINISH RECESSED UNLESS NOTED OTHERWISE. PROVIDE ALL ELEC. PANELS WITH SCHEDULED FIRE EXTINGUISHING CABINETS. REFER TO DETAIL 08A06.100.
 - K. PATCH AND REPAIR ALL FINE TRIMMINGS ON PERFORATED FLOOR AND WALLS TO MATCH EXISTING FINISHES, INCLUDING EXISTING CONDITIONS AS WELL AS TRIMMING CREATED AS A RESULT OF REMOVED OR ABANDONED DEVICES.
 - L. PATCH AND REPAIR SURFACES DAMAGED AS A RESULT OF WORK PERFORMED ON THE PROJECT. PATCH & REPAIR EXISTING SURFACES AS REQUIRED TO COMPLY WITH APPOINTMENT REQUIREMENTS.
 - M. PROVIDE WATERPROOFING MEMBRANE AND WATER RESISTANT DIV. SLAB AT ALL WET AREAS TO COMPLY WITH APPOINTMENT REQUIREMENTS.
 - N. PROVIDE 3/4" THICK FINE GRANULAR TREATED PLYWOOD PANELS FOR ALL SECURITY AND DEVICE PANELS AS REQUIRED AT BEHAVIOR ROOM. REFER TO DETAIL DRAWINGS FOR LOCATION AND DETAIL.
 - O. G.C. TO LEVEL EXISTING SLAB WITH NORMAL G.C. CEMENT BASE. PROVIDE A MINIMUM 1/4" FLOOR MATS AT ALL FLOOR TRANSITIONS TO BE FLUSH.
 - P. ALL WALLS RECEIVING WALL COVERING TO BE BIRM COATED TO A LEVEL 3 FINISH. PROVIDE LEVEL 4 FINISH ON ALL OTHER STIPULUM BOARD PARTITIONS.
 - Q. ALL WALLS WITH PLUMBING. COORDINATE REQUIRED STUD SIZE WITH PLUMBING REQUIREMENTS.



CONSTRUCTION PACKAGE

- SHEET KEYNOTES**
- 01 EXISTING FINISH
 - 02 EXISTING FINISH
 - 03 EXISTING FINISH
 - 04 EXISTING FINISH
 - 05 EXISTING FINISH
 - 06 EXISTING FINISH
 - 07 EXISTING FINISH
 - 08 EXISTING FINISH
 - 09 EXISTING FINISH
 - 10 EXISTING FINISH
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 - 100 EXISTING FINISH

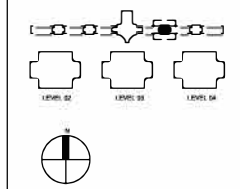
UAL B-EAST LOUNGE PACKAGE

8900 Pena Blvd.
Denver, CO 80249
Gensler

1235 17th Street
Suite 100
Denver, CO 80202
United States

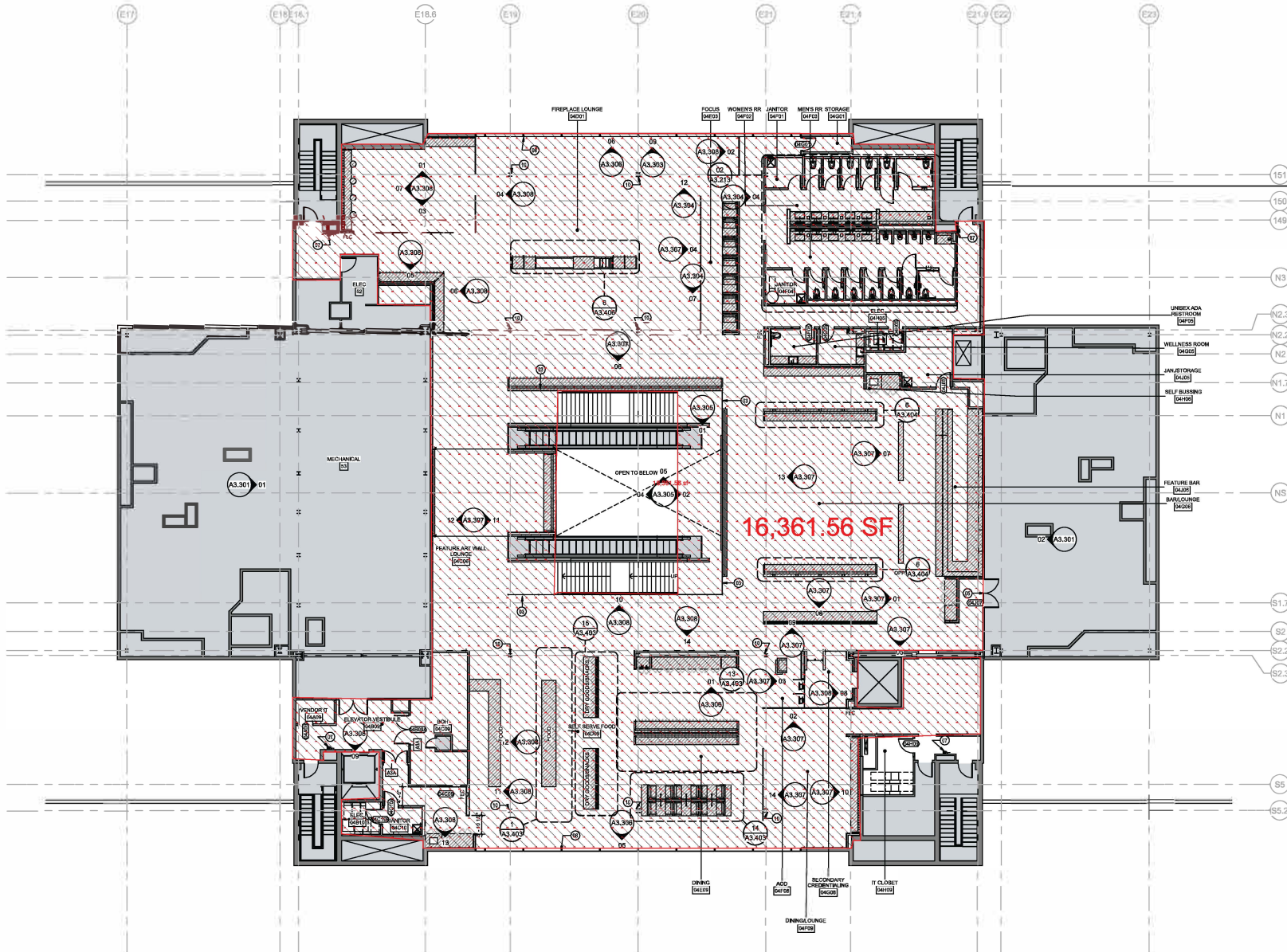
NO.	REVISION	DATE	BY

KEY PLAN - CCB



United Airlines East Club Level 4

This area is part of Exhibit D - Concourse B. United will reconstruct this area.



GENERAL SHEET NOTES

- A. REFER TO THESE SHEETS FOR GENERAL NOTES REGARDING SYMBOLS, ABBREVIATIONS & DETAIL MOUNTING HEIGHTS.
- B. PROVIDE FIRE RESISTANT BLOWUP AS REQUIRED. ALL LOCATIONS SHALL BE LIMITED TO GRAIN BARS OVERHEAD MOUNTING. SEE THESE NOTES, TOILET ROOM ACCESSORIES, WALL MOUNTED EQUIPMENT, ETC.
- C. NOTIFY ARCHITECT OF ANY OBSTRUCTIONS OR CONFLICTS IN THE LOCATION(S) OF CONSTRUCTION ELEMENTS.
- D. ALL PARTITIONS TO BE TYPE "A" UNO.
- E. SHARED AREA NOT IN SCOPE.
- F. ALL COLUMN ENCLAVES TO BE BUILT TO FIT TO EXISTING BUILDING COLUMN AND BUILDING SYSTEMS, U.O.A.
- G. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. ALL PARTITIONS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE UNLESS NOTED OTHERWISE.
- H. MATCH EXISTING PERIMETER WALLS AND REQUIRED TO EXIST UNDER CUT OF DECKS TO CLEAR FLOOR FINISH BY 1/4" UNO.
- I. ALL F.E.C. LOCATIONS LOCATION TO BE FULLY REFINISHED U.O.A. DIMENSIONS REFER TO PARTITION THICKNESS WITH SCHEDULED FIRE EXTINGUISHER CABINETS. REFER TO DETAIL 08A66.109
- J. PATCH AND REPAIR ALL HOSE TRAILERS OR PERFORATED FLOOR AND WALLS TO MATCH EXISTING PATINS, INCLUDING EXISTING CONDITIONS AS WELL AS THOSE CREATED AS A RESULT OF REMOVED OR ABANDONED DEVICES
- K. PATCH AND REPAIR SURFACES DAMAGED AS A RESULT OF WORK PERFORMED ON THIS PROJECT. PATCH & REPAIR EXISTING SURFACES REQUIRED TO CORRECTLY FINISH.
- L. PROVIDE WATERPROOFING MEMBRANE AND WATER RESISTANT DIV. SLAB ALL MET AREAS TO CORRECTLY WITH AIRPORT REQUIREMENTS.
- M. PROVIDE 3/4" THICK FIRE RETARDANT TREATED PLYWOOD PANELS FOR ALL SECURITY AND DEVICE PANELS AS REQUIRED AT BLOWER ROOM. REFER TO DRAWING 04020 FOR LOCATION AND SIZE.
- N. ALL LEVEL EXISTING SLAB WITH NORMAL CEMENT BASE UNDERLAYMENT UNLESS FLOOR MATERIALS FLOOR IS LIFT NOT TO EXCEED 1" IN 12' AND 1/2" IN 7'. ALL FLOORING TRANSITIONS TO BE FLUSH.
- O. ALL WALL RECEIVING WALL COVERING TO BE SHIM COATED TO A LEVEL FINISH. PROVIDE LEVEL 4 FINISH ON ALL OTHER SYSTEM BOARD PARTITIONS.
- P. ALL WALLS WITH PLUMBING, COORDINATE REQUIRED STUD SIZE WITH PLUMBING REQUIREMENTS.

CITY & COUNTY OF DENVER
DENVER INTERNATIONAL AIRPORT

GOVERNMENT OF COLORADO

- SHEET KEYNOTES**
- 03 FULL HEIGHT METAL CLAD PARTITION
 - 05 USE TO CORRECT MINOR DOOR RECOGNITION IN ACCEPTABLE EXISTING FINISH
 - 06 ADD VERTICAL ALUMINUM CORNER TO EACH MULLION. FINISH TO MATCH EXISTING. EACH VERTICAL MEMBER TO RECEIVE POWER MIDDLE.
 - 10 COLUMNS TO RECEIVE INTUMESCENT PAINT FINISH TO MATCH EXISTING PATINS.

UAL B-EAST LOUNGE PACKAGE

8900 Pena Blvd.
 Denver, CO 80249
Gensler

1225 17th Street | TEL 303.955.8665
 Suite 1500 | Fax 303.856.8423
 Denver, CO 80202
 United States

REVISED RECORDS
 NO. BY: P/MS/MSM DATE: 08/21/07
 JEN/MSM/MSM

SCALE: 1/8" = 1'-0"

DATE: 08/21/07

DRAWN BY: REM/MSM

CHECKED BY: GENS/MSM

DATE: 08/21/07

CONTRACT NO. 07-0003

VOLUME NO. 01

SHEET TITLE: **BE LEVEL 04 CONSTRUCTION PLAN - LOUNGE**
 SHEET NO. **A3.104**

KEY PLAN - CCB

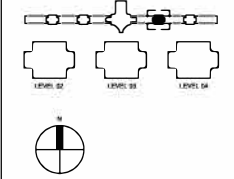
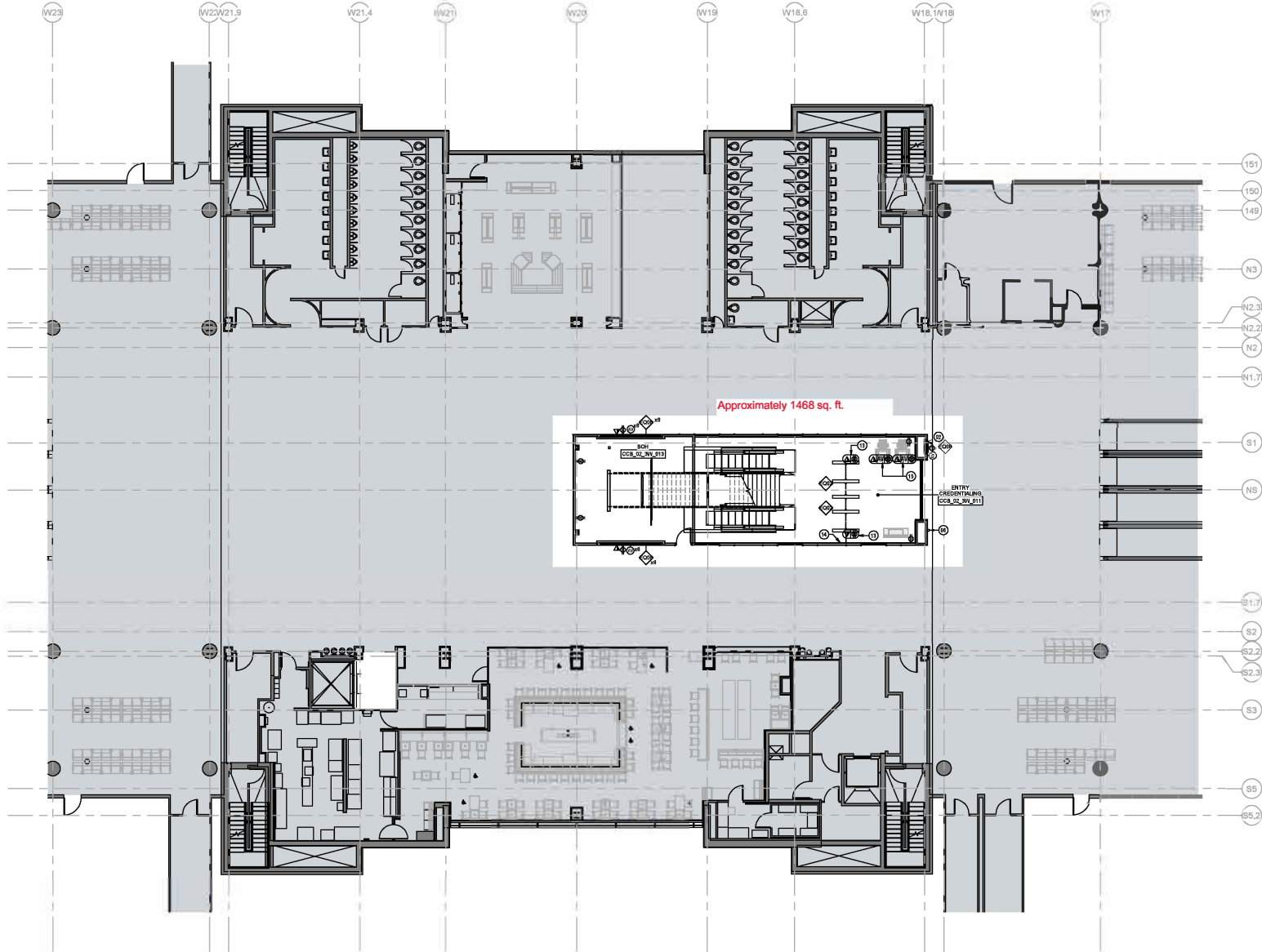


Exhibit D-11

United Airlines West Club Entrance

This exhibit will replace the current club entrance exhibit in Exhibit D - Concourse B



- GENERAL SHEET NOTES**
- A. REFER TO SERIES SHEETS FOR ELECTRICAL OUTLET MOUNTING HEIGHTS.
 - B. REFER TO SERIES SHEETS FOR GRADING SYMBOLS AND GENERAL NOTES.
 - C. REFER TO EQUIPMENT SCHEDULE ON SHEET A4.10 AND HOOD SERVICE DRAWINGS FOR EQUIPMENT SPECIFICATIONS, PROVIDE POWER AND GAS TO ALL SERVICES SHOWN ON THE ARCHITECTURAL AND ENGINEERING DRAWINGS.
 - D. VERIFY WITH ARCHITECTURAL LOCATION SERVICES PRIOR TO INSTALLATION.
 - E. WHERE FLOOR OUTLETS OCCUR, VERIFY ALL LOCATIONS WITH FURNITURE VENDOR AND ARCHITECT.
 - F. ALL FURNITURE SHOWN BY OTHERS IS NON-COMMITTEE.
 - G. CONTRACTOR TO PROVIDE CONDUIT STUDS UP AT ALL AV LOCATIONS. COORDINATE CONDUIT SIZE AND SPACING LOCATION WITH AV VENDOR.
 - H. ALL ADJACENT RECEPTACLES AND OUTLETS TO BE AT 1/2" IN CENTER, GANGED TOGETHER AND LEVEL WITH COVER PLATES AND INDICATE TYPE SWITCH OR PLATE SIZE.
 - I. ALL LEGGERS OUTLET PENETRATIONS ON COMMON WALLS SHALL BE STRESSED AND SEPARATED BY A METAL STUD. DESIGN INSTALL BACK-TO-BACK. ALL OPENINGS SHALL BE WRAPPED WITH SOUND INSULATION AND SEALED WITH ACOUSTICAL SEALANT.
 - J. VERIFY ALL MANUFACTURER REQUIREMENTS FOR POWER AND NOTIFY ARCHITECT OF DISCREPANCIES.
 - K. WHERE OUTLETS OCCUR ON COLUMNS, CENTER ON FACE OF COLUMN.
 - L. TYP. COVER PLATE & DEVICE FINISH: BRIGHT WHITE AT WHITE WALLS, GREY AT TALL WALLS, BLACK AT TALL WALLS, FIRE STOP SHALL HAVE WHITE COVER PLATE.
 - M. THEMOTIFTS SHALL BE LOCATED CENTERED OVER LIGHT SWITCH LOAD.
 - N. ALL OUTLETS ABOVE MILL WORK ARE TO BE INSTALLED HORIZONTALLY.
 - O. ALL OUTLETS IN WET AREAS TO BE GFCI TYPE.
 - P. O.C. TO COORDINATE INSTALLATION OF ALL EQUIPMENT BY OTHERS. U.O.A.
 - Q. FURNITURE VENDOR TO MARK LAYOUT OF FURNITURE. CONTRACTOR TO COORDINATE.
 - R. ELECTRICAL ENGINEER'S POWER PLAN SHALL BE FOR POWER AND CIRCUITING REQUIREMENTS ONLY. OUTLETS SHALL BE LOCATED AS PER ARCHITECT'S DRAWINGS. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
 - S. COORDINATE SECURITY POWER REQUIREMENTS WITH SECURITY DESIGNER AND ARCHITECT. PROVIDE JUNCTION BOX OR UNDERCOUNTER CONNECTOR AS REQUIRED.
 - T. REMOVE ANY BLANK FACE PLATES OR UNUSED DEVICES IN EXISTING WALLS, PATCH WALL AND FINISH TO MATCH ADJACENT.



DESIGNER OF RECORD

UAL B - WEST LOUNGE PACKAGE

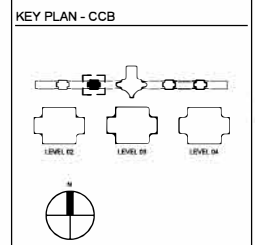
- SHEET KEYNOTES**
- 02 COORDINATE HEIGHT OF POWER, DATA AND GAS WITH TECHNOLOGY DRAWINGS AND MACHINE GRADES. REFER TO ELEVATION FOR ADDITIONAL INFORMATION.
 - 09 PROVIDE POWER AS NEEDED FOR BACKLIT SIGNAGE. REFER TO ELEVATION FOR LOCATION AND HEIGHT AVE.
 - 13 COORDINATE EXACT FLOOR CORE DIMENSIONS AND OVERLAP AREA WITH CORE TEAM AND REQUIREMENTS.
 - 14 FURNITURE CONTROL PANELS TO BE LOCATED INSIDE OF ADJACENT EQUIPMENT CABINETS TO MATCH ADJACENT PARTITION.
 - 15 COORDINATE CROWN MOLD, POWER AND DATA LOCATIONS WITH MILLWORK LEGS.

8900 Pena Blvd.
Denver, CO 80249
Gensler

1225 17th Street Suite 550 Tel: 303.630.8900
Denver, CO 80202 Fax: 303.634.8232

ISSUE RECORD	NO.	BY	REVISIONS	DATE	DESCRIPTION

SCALE: 1/8" = 1'-0"
DATE: 08/02/2022
DRAWN BY: GENSLER
CHECKED BY: GENSLER
TAX APP'D:



DESIGN CONTRACT NO.
OWNER CONTRACT NO.
VOLUME NO. 01
SHEET TITLE: BW LEVEL 02 PC PLAN - LOUNGE
SHEET NO. A3.112

Exhibit D-11

United Airlines West Club Level 3

This area will be added to Exhibit D - Concourse B

- GENERAL SHEET NOTES**
- A. REFER TO SERIES SHEETS FOR ELECTRICAL OUTLET MOUNTING HEIGHTS/LOCATIONS.
 - B. REFER TO SERIES SHEETS FOR GRAPHIC SYMBOLS AND GENERAL NOTES.
 - C. REFER TO EQUIPMENT SCHEDULE ON SHEET 03_3W_000 AND HOOD SERVICE DRAWINGS FOR EQUIPMENT SPECIFICATIONS, PROVIDE NOTES AND DIMENSIONS TO ALL EQUIPMENT AS SHOWN ON THE ARCHITECTURAL AND ENGINEERING DRAWINGS.
 - D. VERIFY WITH ARCHITECTURAL LOCATION OF SERVICES PRIOR TO INSTALLATION.
 - E. WHERE FLOOR OUTLETS OCCUR, VERIFY ALLOCATIONS WITH FURNITURE VENDOR AND ARCHITECT.
 - F. ALL FURNITURE SHOWN BY OWNER IS ONLY.
 - G. CONTRACTOR TO PROVIDE CONDUIT STRUT/PAT ALL AV LIGHTS, COORDINATE WITH THEE AND SERIAL LOCATION WITH AV VENDOR.
 - H. ALL ADJACENT RECEPTACLES AND OUTLETS TO BE AT IT ON CENTER, GANGED TOGETHER AND LEVEL/ALIGN. PROVIDE MATCHING COVER PLATES AND DESIGNER TYPE SAME COLOR PLATES UP.
 - I. ALL ELEGANT OUTLET PENETRATIONS ON COMMON WALLS SHALL BE PROTECTED AND SEPARATED BY A METALLIC STRIP, DESIGN INSTALL BACK-TO-BACK. ALL OPENINGS SHALL BE WRAPPED WITH SOUND INSULATION AND SEALED TIGHT WITH ADDITIONAL SEALANT.
 - J. VERIFY ALL MANUFACTURER REQUIREMENTS FOR POWER AND NOTIFY ARCHITECT OR ENGINEER OF ANY CONFLICTS.
 - K. WHERE OUTLETS OCCUR ON COLUMNS, CENTER ON FACE OF COLUMN.
 - L. WHERE OUTLETS OCCUR ON WALLS, CENTER ON FACE OF WALL.
 - M. TYP. COVER PLATE & DEVICE FINISH: BRIGHT WHITE AT WHITE WALLS, GREAT TON WALLS, BLACK AT TALL WALLS, FIRE STOPRE SHALL HAVE WHITE COVER PLATE.
 - N. THERMOSTATS SHALL BE LOCATED: CENTERED OVER LIGHT SWITCH U.O.A.
 - O. ALL OUTLETS ABOVE WILL WORK ARE TO BE INSTALLED HORIZONTAL TALLY.
 - P. ALL OUTLETS IN WET AREAS TO BE OFFTYPE.
 - Q. T.O. TO COORDINATE INSTALLATION OF ALL EQUIPMENT BY OTHERS, U.O.A.
 - R. FURNITURE VENDOR TO MARK LAYOUT OF FURNITURE, CONTRACTOR TO COORDINATE.
 - S. ELECTRICAL ENGINEER'S POWER PLANS ARE FOR POWER AND CIRCUITING REQUIREMENTS ONLY. OUTLETS SHALL BE LOCATED AS PER ARCHITECT'S DRAWINGS. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
 - T. COORDINATE SECURITY POWER REQUIREMENTS WITH SECURITY U.O.A. (SECURITY). PROVIDE JUNCTION BOX OR U.O.A.
 - V. REMOVE ANY BLANK FACE PLATES OR UNUSED DEVICES IN EXISTING WALLS, PATCH WALL AND FINISH TO MATCH ADJACENT.



DESIGNER OF RECORD

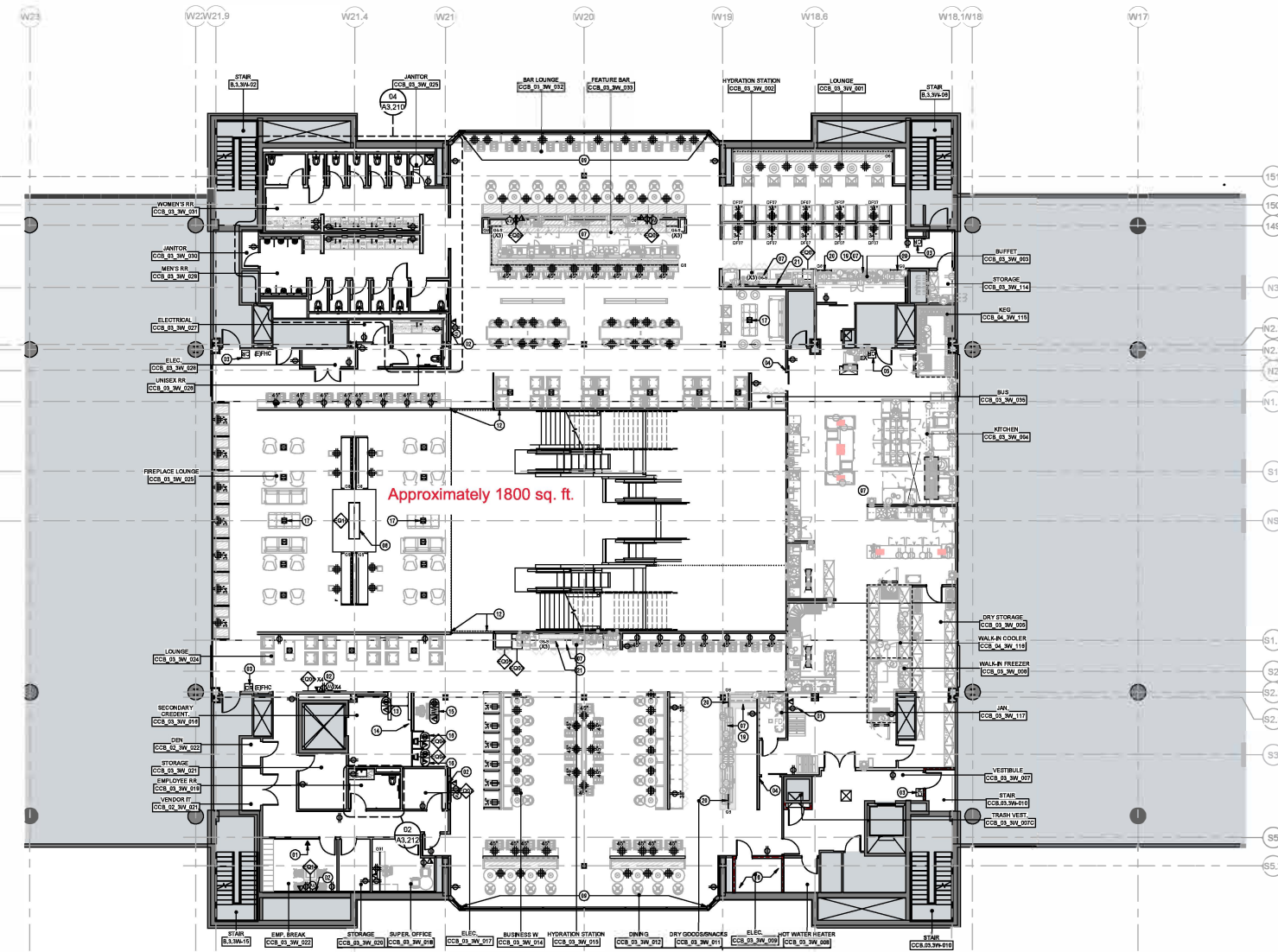
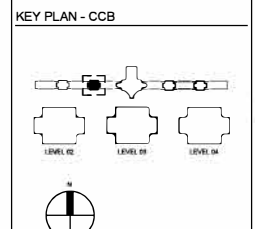
UAL B - WEST LOUNGE PACKAGE

- SHEET KEYNOTES**
- 01 DATA OUTLET FOR WALL MOUNTED PHONE.
 - 02 COORDINATE HEIGHT OF POWER, DATA/AV WITH TECHNOLOGY DRAWINGS AND MOUNTING BRACKETS. REFER TO ELEVATION FOR ADDITIONAL INFORMATION.
 - 03 CORD READER PROVIDED BY DEN, RE: TECHNOLOGY.
 - 04 PROVIDE LOCATION FOR BUSH FOR OPERATION OF AUTO LOCKER ON BOTH SIDES OF WALL.
 - 05 REMOVE EXISTING DEN CORD READER TO NEW FINISH FACE, RE: TECHNOLOGY.
 - 07 REFER TO FOOD SERVICE DRAWINGS FOR POWER REQUIREMENTS.
 - 08 PROVIDE POWER FOR WATER WARMER BRIDGE.
 - 09 ADD POWER FOR AUTOMATIC WINDOW ROLLER SHADE.
 - 10 PROVIDE POWER FOR BRACKETS, WIRE CURTAIN CONTROLS, PANEL LOCATION, EQUIPMENT COVER TO BE FACTORY FINISHED TO MATCH ADJACENT PARTITION.
 - 11 COORDINATE EXACT FLOOR CORE DIMENSIONS AND POWER DATA CONNECTION WITH CORE TEMPLATE AND REQUIREMENTS.
 - 12 TYPICAL CONTROL PANELS TO BE LOCATED IN ADJACENT EQUIPMENT COVER TO BE FACTORY FINISHED TO MATCH ADJACENT PARTITION.
 - 13 COORDINATE CONDUIT/STUB UP, POWER DATA/AV LOCATIONS WITH MILLWORKERS.
 - 14 COORDINATE EXACT FLOOR CORE DIMENSIONS AND POWER DATA CONNECTION WITH A&E.
 - 15 COORDINATE FLOOR CORE LOCATION WITH PAINTERS LOCATION TYPICAL AT ALL FLOOR CORE LOCATIONS.
 - 16 REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR POWER REQUIREMENTS AND LAYOUT IN ROOM.
 - 17 CLUTCH/CLIP BEING TO BE LOCATED UNDER LIGHTS AT ALL LOCATIONS. REFER TO FOOD SERVICE DRAWINGS FOR LOCATIONS WITH INTERSPACING MARKINGS.
 - 18 LIGHT FIXTURE CONCEALED IN MILLWORK NICHES.
 - 19 LIGHT FIXTURE CONCEALED UNDER EACH SELF AT NOTED LOCATIONS.

8900 Pena Blvd.
Denver, CO 80249
GenSLER

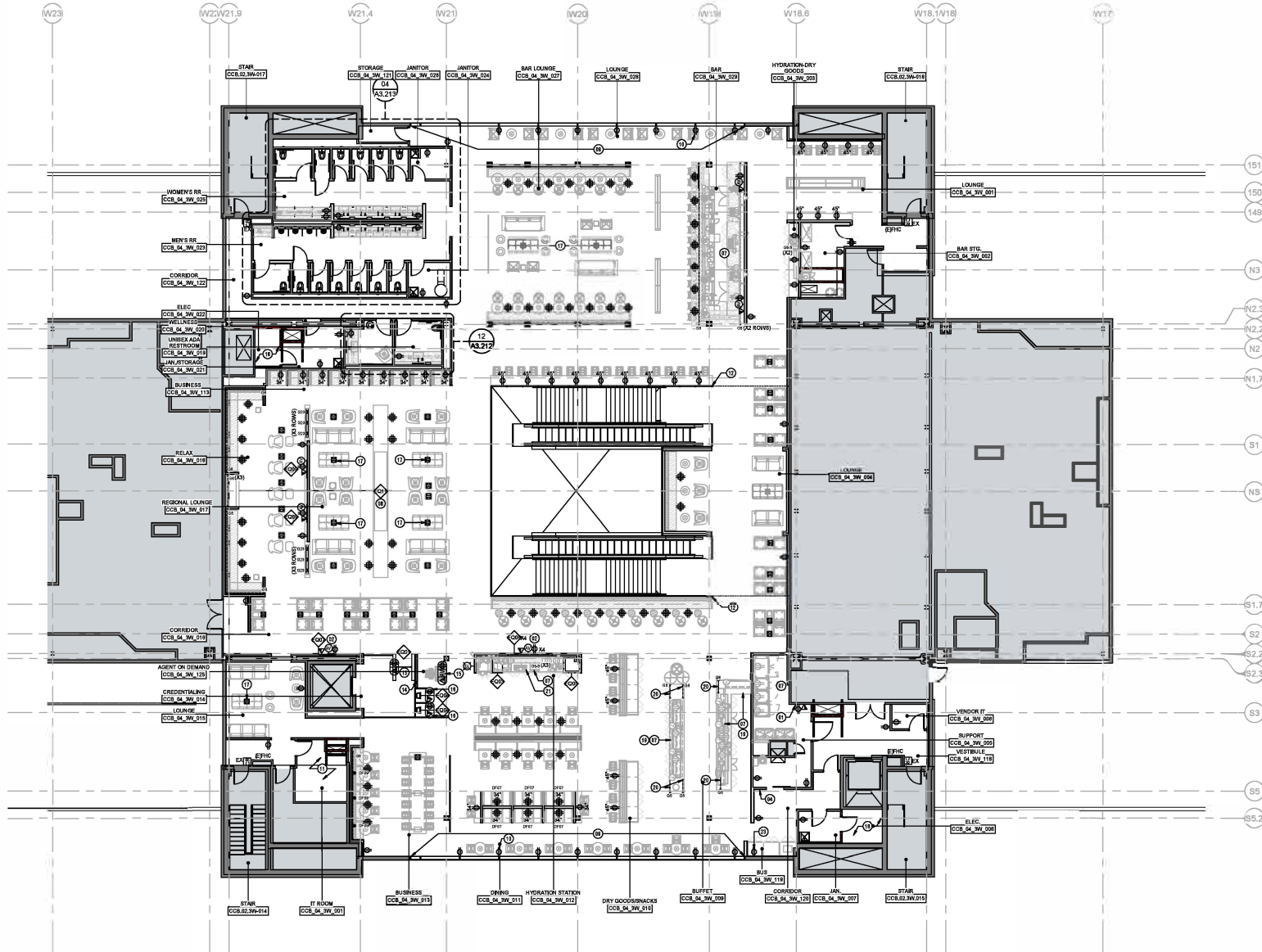
1225 17th Street	Tel: 303.955.8900
Suite 550	Fax: 303.955.8902
Denver, CO 80202	
United States	

SCALE:	1/8" = 1'-0"
DATE:	08/02/2012
DRAWN BY:	GENSLER
CHECKED BY:	GENSLER
DATE:	08/02/2012
DESIGN CONTRACT NO.:	03
OWNER CONTRACT NO.:	03
VOLUME NO.:	03
SHEET TITLE:	BW LEVEL 03 PC PLAN - LOUNGE
SHEET NO.:	A3.113



United Airlines West Club Level 4

This area is part of Exhibit D - Concourse B.
United will reconstruct this area.



- GENERAL SHEET NOTES**
- A. REFER TO SERIES SHEETS FOR ELECTRICAL OUTLET MOUNTING HEIGHT LOCATION.
 - B. REFER TO SERIES SHEETS FOR GRAPHIC SYMBOLS AND GENERAL NOTES.
 - C. REFER TO EQUIPMENT SCHEDULE ON SHEET 04-10-1000 FOR SERVICE DRAWINGS FOR EQUIPMENT SPECIFICATIONS, PROVIDE POWER AND WATER CONNECTIONS TO EQUIPMENT AS SHOWN ON THE ARCHITECTURAL AND ENGINEERING DRAWINGS.
 - D. VERIFY WITH ARCHITECT FINAL LOCATION OF DEVICES PRIOR TO INSTALLATION.
 - E. WHERE FLOOR OUTLETS OCCUR, VERIFY ALLOCATION WITH FURNITURE VENDOR AND ARCHITECT.
 - F. ALL FURNITURE SHOW UP BEFORE DEMONSTRATION ONLY.
 - G. CONTRACTOR TO PROVIDE CONDUIT STUB UP AT ALL AV LOCATIONS, COORDINATE WITH ELECTRICAL CONTRACTOR LOCATION WITH AV VENDOR.
 - H. ALL ELEMENTS OUTLET PENETRATIONS FOR COMMON WALLS SHALL BE DETERMINED AND SEPARATED BY A VERTICAL STUD, BESET INSTALL BACK-TO-BACK, ALL OPENINGS SHALL BE WRAPPED WITH SOUND INSULATION AND SEALED TO PREVENT ACOUSTICAL SEALANT.
 - I. VERIFY ALL MANUFACTURER REQUIREMENTS FOR POWER AND NOTIFY ARCHITECT OF DISCREPANCIES.
 - J. WHERE OUTLETS OCCUR ON COLUMNS, CENTER ON FACE OF COLUMN.
 - K. TYP. COVER PLATE & DEVICE FINISH: BRIGHT WHITE AT WHITE WALLS, GREY AT WALLS, BLACK AT TILES, WHITE AT FLOOR SHALL HAVE WHITE COVER PLATE.
 - L. TERMINALS SHALL BE LOCATED CENTERED OVER LIGHT SWITCH U.O.A.
 - M. ALL OUTLETS ABOVE MILLWORK ARE TO BE INSTALLED HORIZONTAL TALL.
 - N. ALL OUTLET WET AREA STOPS TO BE OFF TYPE.
 - O. C.C. TO COORDINATE INSTALLATION OF ALL EQUIPMENT BY OTHERS, U.O.A.
 - P. FURNITURE VENDOR TO MAKE LAYOUT OF FURNITURE, CONTRACTOR TO COORDINATE.
 - Q. ELECTRICAL ENGINEER'S POWER PLANS ARE FOR POWER AND CIRCUITING REQUIREMENTS ONLY. OUTLETS SHALL BE LOCATED AS PER ARCHITECT'S DRAWINGS. REFER TO INTERIOR ELEVATIONS FOR CIRCULATION AND FINISHES. PROVIDE JUNCTION BOX OR U.O.A.
 - R. COORDINATE SECURITY POWER REQUIREMENTS WITH SECURITY ENGINEER AND ARCHITECT. PROVIDE JUNCTION BOX OR U.O.A.
 - S. REMOVE ANY BLANK FACE PLATES ON UNUSED DEVICES IN EXISTING WALLS, PATCH WALL AND FINISH TO MATCH ADJACENT.

- SHEET KEYNOTES**
01. DATA OUTLET FOR WALL MOUNTED PHONE.
 02. COORDINATE HEIGHT OF POWER DATA AND AV WITH TECHNOLOGY DRAWINGS AND MOUNTING BRACKETS REFER TO ELEVATION FOR ADDITIONAL INFORMATION.
 04. PROVIDE ELONGATED FLUORESCENT LIGHTING FOR OPERATION OF AUTOSLIDERS ON BOTH SIDES OF WALL.
 07. REFER TO FOOD SERVICE DRAWINGS FOR POWER REQUIREMENTS.
 08. PROVIDE POWER FOR WATER WIPER HEADS.
 09. ADD POWER FOR AUTOMATIC WINDOW ROLLER SHUTTER.
 10. POWER TO BE WITH VERTICAL ALUMINUM EXTRUSION.
 11. REFER TO TELECOMMUNICATIONS DRAWINGS FOR POWER REQUIREMENTS IN ROOM.
 12. PROVIDE POWER FOR MAKE CLIMATE SENSE CLIMATE CONTROL PANELS, LOCATION, EQUIPMENT COVER TO BE FACTORY FINISHED TO MATCH HAZARD PARTITION.
 13. COORDINATE EXACT FLOOR CORE DIMENSION AND POWER DATA CONNECTION WITH GATE TEMPLATE AND REQUIREMENTS.
 14. TURNOUT CONTROL PANELS TO BE COORDINATED WITH ADJACENT EQUIPMENT COVER TO BE FACTORY FINISHED TO MATCH ADJACENT PARTITION.
 15. COORDINATE CONDUIT STUB UP, POWER DATA LOCATIONS WITH MILLWORKS.
 16. COORDINATE EXACT FLOOR CORE DIMENSION AND POWER DATA CONNECTION WITH GATE SIGNED.
 17. GO TO COORDINATE EXACT FLOOR CORE LOCATION WITH FURNITURE LOCATION TYPICAL AT ALL FLOOR CORE LOCATIONS.
 18. REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR POWER REQUIREMENTS AND LAYOUT IN ROOM.
 19. CUSTOMER SERVICE ISLANDS TO HAVE CONCEALED LIGHTING AT ALL LOCATIONS, REFER TO FOOD SERVICE DRAWINGS FOR LOCATIONS WITH INTEGRATED LEADING ELEMENTS.
 20. LIGHT FIXTURE CONCEALED IN MILLWORK FINISH.
 21. LIGHT FIXTURE CONCEALED UNDER EACH BENCH AT NOTED LOCATIONS.
 22. PROVIDE POWER TO COUNTER LOCATION TO BE COORDINATED IN FIELD.

KEY PLAN - CCB

SCALE: 1/8" = 1'-0"

DATE: 08/02/2022

DRAWN BY: GENSLER

CHECKED BY: GENSLER

DESIGNED BY: GENSLER

DESIGN CONTRACT NO. 14-2020-001-0000

ESTIM. CONTRACT NO. 14-2020-001-0000

VOLUME NO. 01

SHEET TITLE: BW LEVEL 04 PC PLAN - LOUNGE

SHEET NO. A3.114

EXHIBIT D-12
A-WEST CLUB EXPANSION WORK

United Airlines, Inc.
2023 Lease Amendment

Contract No.
PLANE-202264055-12 / XC 2X000-12

Incorporated by Reference as found in File #20230097
at the Denver Office of the Clerk and Recorder

2023 LEASE AMENDMENT

Exhibit P

Gate Total 55										Gate Total 5									
B GOTF REFRESH										A REFRESH + (A30, A32, A34, A36, A38)									
Trade Description	Proprietary	Non-Proprietary	Total	% of Total Proprietary	% of Total Non-Proprietary	Notes why changed	Proprietary Per Gate	Non-Proprietary Per Gate	% of Amount Increase	Proprietary Per Gate	Non-Proprietary Per Gate	Trade Description	Proprietary	Non-Proprietary	Total	% of Total Proprietary	% of Total Non-Proprietary		
Construction Costs										Construction Costs									
Demolition	\$ 225,000.00	\$ 700,708.60	\$ 925,708.60	24%	76%	Proprietary Equip/GPR needs	\$ 4,090.91	\$ 12,740.16	130%	\$ 5,318.18	\$ 16,562.20	Demolition	\$ 26,590.91	\$ 82,811.02	\$ 109,401.93	24%	76%		
Millwork	\$ 1,918,889.00	\$ -	\$ 1,918,889.00	100%	0%		\$ 34,888.89	\$ -	150%	\$ 52,333.34	\$ -	Millwork	\$ 261,666.68	\$ -	\$ 261,666.68	100%	0%		
Fireproofing	\$ -	\$ -	\$ -				\$ -	\$ -	100%	\$ -	\$ -	Fireproofing	\$ -	\$ -	\$ -	0%	0%		
Glass & Glazing	\$ -	\$ -	\$ -				\$ -	\$ -	100%	\$ -	\$ -	Glass & Glazing	\$ -	\$ -	\$ -	0%	0%		
RO Carpentry / Drywall	\$ 50,000.00	\$ 131,119.00	\$ 181,119.00	28%	72%	Proprietary vs Non-Proprietary areas work take place	\$ 909.09	\$ 2,383.98	130%	\$ 1,181.82	\$ 3,099.18	RO Carpentry / Drywall	\$ 5,909.09	\$ 15,495.88	\$ 21,404.97	28%	72%		
Acoustical Ceilings	\$ -	\$ -	\$ -				\$ -	\$ -	130%	\$ -	\$ -	Acoustical Ceilings	\$ -	\$ -	\$ -	0%	0%		
Carpet / Resilient	\$ -	\$ 3,063,518.00	\$ 3,063,518.00	0%	100%	Proprietary vs Non-Proprietary areas work take place	\$ -	\$ 55,700.33	130%	\$ -	\$ 72,410.43	Carpet / Resilient	\$ -	\$ 362,052.13	\$ 362,052.13	0%	100%		
Painting / Wallcovering	\$ -	\$ -	\$ -				\$ -	\$ -	100%	\$ -	\$ -	Painting / Wallcovering	\$ -	\$ -	\$ -	0%	0%		
Audio Visual	\$ 5,010.00	\$ -	\$ 5,010.00	100%	0%		\$ 91.09	\$ -	300%	\$ 273.27	\$ -	Audio Visual	\$ 1,366.36	\$ -	\$ 1,366.36	100%	0%		
Furniture	\$ -	\$ 14,327,267.00	\$ 14,327,267.00	0%	100%		\$ -	\$ 260,495.76	150%	\$ -	\$ 390,743.65	Furniture	\$ -	\$ 1,953,718.23	\$ 1,953,718.23	0%	100%		
Fire Protection	\$ -	\$ -	\$ -				\$ -	\$ -	100%	\$ -	\$ -	Fire Protection	\$ -	\$ -	\$ -	0%	0%		
Plumbing	\$ -	\$ -	\$ -				\$ -	\$ -	100%	\$ -	\$ -	Plumbing	\$ -	\$ -	\$ -	0%	0%		
HVAC	\$ -	\$ -	\$ -				\$ -	\$ -	100%	\$ -	\$ -	HVAC	\$ -	\$ -	\$ -	0%	0%		
Electrical	\$ 1,621,645.80	\$ 3,783,840.20	\$ 5,405,486.00	30%	70%		\$ 29,484.47	\$ 68,797.09	150%	\$ 44,226.70	\$ 103,195.64	Electrical	\$ 221,133.52	\$ 515,978.21	\$ 737,111.73	30%	70%		
Communications	\$ -	\$ -	\$ -				\$ -	\$ -	100%	\$ -	\$ -	Communications	\$ -	\$ -	\$ -	0%	0%		
Security	\$ 25,386.00	\$ -	\$ 25,386.00	100%	0%		\$ 461.56	\$ -	150%	\$ 692.35	\$ -	Security	\$ 3,461.73	\$ -	\$ 3,461.73	100%	0%		
SUBTOTAL	\$ 3,845,930.80	\$ 22,006,452.80	\$ 25,852,383.60	15%	85%		\$ 69,926.01	\$ 400,117.32	133%	\$ 104,025.66	\$ 586,011.09	SUBTOTAL	\$ 520,128.29	\$ 2,930,055.46	\$ 3,450,183.75	15%	85%		
GC Soft Costs										GC Soft Costs									
General Requiements	\$ 20,389.44	\$ 116,668.56	\$ 137,058.00	15%	85%		\$ 370.72	\$ 2,121.25	110%	\$ 407.79	\$ 2,333.37	General Requiements	\$ 2,038.94	\$ 11,666.86	\$ 13,705.80	15%	85%		
Subcontractor Default Ins	\$ -	\$ -	\$ -				\$ -	\$ -	100%	\$ -	\$ -	Subcontractor Default Ins	\$ -	\$ -	\$ -	0%	0%		
General Conditions	\$ 211,277.44	\$ 1,208,931.56	\$ 1,420,209.00	15%	85%		\$ 3,841.41	\$ 21,980.57	150%	\$ 5,762.11	\$ 32,970.86	General Conditions	\$ 28,810.56	\$ 164,854.30	\$ 193,664.86	15%	85%		
Permit Allowance	\$ 24,557.39	\$ 140,517.61	\$ 165,075.00	15%	85%		\$ 446.50	\$ 2,554.87	130%	\$ 580.45	\$ 3,321.33	Permit Allowance	\$ 2,902.24	\$ 16,606.63	\$ 19,508.86	15%	85%		
Insurance	\$ 119,051.90	\$ 681,216.10	\$ 800,268.00	15%	85%		\$ 2,164.58	\$ 12,385.75	110%	\$ 2,381.04	\$ 13,624.32	Insurance	\$ 11,905.19	\$ 68,121.61	\$ 80,026.80	15%	85%		
Fee	\$ 99,423.00	\$ 568,899.90	\$ 668,322.90	15%	85%		\$ 1,807.69	\$ 10,343.63	100%	\$ 1,807.69	\$ 10,343.63	Fee	\$ 9,038.45	\$ 51,718.17	\$ 60,756.63	15%	85%		
Contractor Contingency	\$ 10,383.80	\$ 59,416.00	\$ 69,799.80	15%	85%		\$ 188.80	\$ 1,080.29	100%	\$ 188.80	\$ 1,080.29	Contractor Contingency	\$ 943.98	\$ 5,401.45	\$ 6,345.44	15%	85%		
SUBTOTAL	\$ 485,083.07	\$ 2,775,649.93	\$ 3,260,733.00	15%	85%		\$ 8,819.69	\$ 50,466.36	114%	\$ 11,127.87	\$ 63,673.80	SUBTOTAL	\$ 55,639.37	\$ 318,369.02	\$ 374,008.39	15%	85%		
Design Management & Management Soft Costs										Design Management & Management Soft Costs									
A/E - CA Services	\$ 240,000.00	\$ 1,360,000.00	\$ 1,600,000.00	15%	85%		\$ 4,363.64	\$ 24,727.27	200%	\$ 8,727.27	\$ 49,454.55	A/E - CA Services	\$ 43,636.36	\$ 247,272.73	\$ 290,909.09	15%	85%		
Additional Construction	\$ 448,032.51	\$ 2,538,850.89	\$ 2,986,883.40	15%	85%	This needs more explanation	\$ 8,146.05	\$ 46,160.93	100%	\$ 8,146.05	\$ 46,160.93	Additional Construction	\$ 40,730.23	\$ 230,804.63	\$ 271,534.85	15%	85%		
Construction Management	\$ 120,000.00	\$ 380,000.00	\$ 500,000.00	24%	76%	Based on percentages above	\$ 2,181.82	\$ 6,909.09	300%	\$ 6,545.45	\$ 20,727.27	Construction Management	\$ 32,727.27	\$ 103,636.36	\$ 136,363.64	24%	76%		
Project Contingency	\$ 1,152,000.00	\$ 3,648,000.00	\$ 4,800,000.00	24%	76%	Based on percentages above	\$ 20,945.45	\$ 66,327.27	127%	\$ 26,517.64	\$ 83,972.52	Project Contingency	\$ 132,588.18	\$ 419,862.58	\$ 552,450.76	24%	76%		
Owner Equipment	\$ 600,000.00	\$ -	\$ 600,000.00	100%	0%	All Proprietary Scope	\$ 10,909.09	\$ -	150%	\$ 16,363.64	\$ -	Owner Equipment	\$ 81,818.18	\$ -	\$ 81,818.18	100%	0%		
Owner Millwork	\$ 1,600,000.00	\$ -	\$ 1,600,000.00	100%	0%	All Proprietary Scope	\$ 29,090.91	\$ -	150%	\$ 43,636.36	\$ -	Owner Millwork	\$ 218,181.82	\$ -	\$ 218,181.82	100%	0%		
Didgital Technology	\$ 2,640,340.52	\$ -	\$ 2,640,340.52	100%	0%	All Proprietary Scope	\$ 48,006.19	\$ -	150%	\$ 72,009.29	\$ -	Didgital Technology	\$ 360,046.43	\$ -	\$ 360,046.43	100%	0%		
SUBTOTAL	\$ 6,800,373.03	\$ 7,926,850.89	\$ 14,727,223.92	46%	54%		\$ 123,643.15	\$ 144,124.56	168%	\$ 181,945.70	\$ 200,315.26	SUBTOTAL	\$ 909,728.48	\$ 1,001,576.30	\$ 1,911,304.78	48%	52%		
Design Costs (Not Included on GOTF Refresh)										Design Costs (Not Included on GOTF Refresh)									
Design	Not Included	Not Included	Not Included	Not Included	Not Included	Not Included	Not Included	Not Included	100%	\$ 130,000.00	\$ 150,000.00	Design	\$ 650,000.00	\$ 750,000.00	\$ 1,400,000.00	46%	54%		
SUBTOTAL	Not Included	Not Included	Not Included	Not Included	Not Included	Not Included	Not Included	Not Included	100%	\$ 130,000.00	\$ 150,000.00	Design	\$ 650,000.00	\$ 750,000.00	\$ 1,400,000.00	46%	54%		
B GOTF REFRESH										A REFRESH + (A30, A32, A34, A36, A38)									
Construction Costs + GC Soft Costs + Design Management & Management Soft Costs										Construction Costs + GC Soft Costs + Design Management & Management Soft Costs									
\$ 11,131,386.90										\$ 2,135,496.14									
\$ 32,708,953.62										\$ 5,000,000.78									
\$ 43,840,340.52										\$ 7,135,496.92									
25%										30%									
75% Non-Proprietary/PMT Proposed Spli										70%									
\$ 202,388.85										\$ 1,000,000.16									
\$ 594,708.25										\$ 427,099.23									
\$ 1,000,000.16										\$ 1,000,000.16									

Exhibit P-2

The below is the estimated costs to construction the Gate of The Future on Concourse B Refresh

Trade Description	Proprietary	Non-Proprietary	Total	% of Total Proprietary	% of Total Non-Proprietary	Notes
Demolition	\$225,000.00	\$700,708.60	\$925,708.60	24%	76%	Proprietary Equip/GPR needs
Millwork	\$1,918,889.00		\$1,918,889.00	100%	0%	
Fireproofing						
Glass & Glazing						
Rough Carpentry / Drywall	\$50,000.00	\$131,119.00	\$181,119.00	28%	72%	Proprietary vs Non-Proprietary areas work take place
Acoustical Ceiling Tile						
Carpet / Resilient		\$3,063,518.00	\$3,063,518.00	0%	100%	Proprietary vs Non-Proprietary areas work take place
Painting / Wallcovering						
Audio Visual	\$5,010.00		\$5,010.00	100%	0%	
Furniture		\$14,327,267.00	\$14,327,267.00	0%	100%	
Fire Protection						
Plumbing						
HVAC						
Electrical	\$1,621,645.80	\$3,783,840.20	\$5,405,486.00	30%	70%	
Communications						
Security	\$25,386.00		\$25,386.00	100%	0%	
SUBTOTAL	\$3,845,930.80	\$22,006,452.80	\$25,852,383.60	15%	85%	
General Requirements	\$20,389.44	\$116,668.56	\$137,058.00	15%	85%	Based on percentages above
Subcontractor Default Insurance						
General Conditions	\$211,277.44	\$1,208,931.56	\$1,420,209.00	15%	85%	Based on percentages above
Permit Allowance	\$24,557.39	\$140,517.61	\$165,075.00	15%	85%	Based on percentages above
Insurance	\$119,051.90	\$681,216.10	\$800,268.00	15%	85%	Based on percentages above
Fee	\$99,423.10	\$568,899.90	\$668,323.00	15%	85%	Based on percentages above
Contractor Contingency	\$10,383.80	\$59,416.20	\$69,800.00	15%	85%	Based on percentages above
SUBTOTAL	\$485,083.07	\$2,775,649.93	\$3,260,733.00	15%	85%	
TOTAL	\$4,331,013.87	\$24,782,102.73	\$29,113,116.60	15%	85%	
Additional Costs	Proprietary	Non-Proprietary	Total	% of Total Proprietary	% of Total Non-Proprietary	Notes
A/E - CA Services	\$240,000.00	\$1,360,000.00	\$1,600,000.00	15%	85%	
Additional Construction	\$448,032.51	\$2,538,850.89	\$2,986,883.40	15%	85%	South Finger Construction
Construction Management	\$120,000.00	\$380,000.00	\$500,000.00	24%	76%	Based on percentages above
Project Contingency	\$1,152,000.00	\$3,648,000.00	\$4,800,000.00	24%	76%	Based on percentages above
Owner Equipment	\$600,000.00		\$600,000.00	100%	0%	Proprietary Scope
Owner Millwork	\$1,600,000.00		\$1,600,000.00	100%	0%	Proprietary Scope
Digital Technology	\$2,640,340.52		\$2,640,340.52	100%	0%	Proprietary Scope
SUBTOTAL	\$6,800,373.03	\$7,926,850.89	\$14,727,223.92	46%	54%	
PROJECT TOTAL	\$11,131,386.90	\$32,708,953.62	\$43,840,340.52	25%	75%	Proposed Split

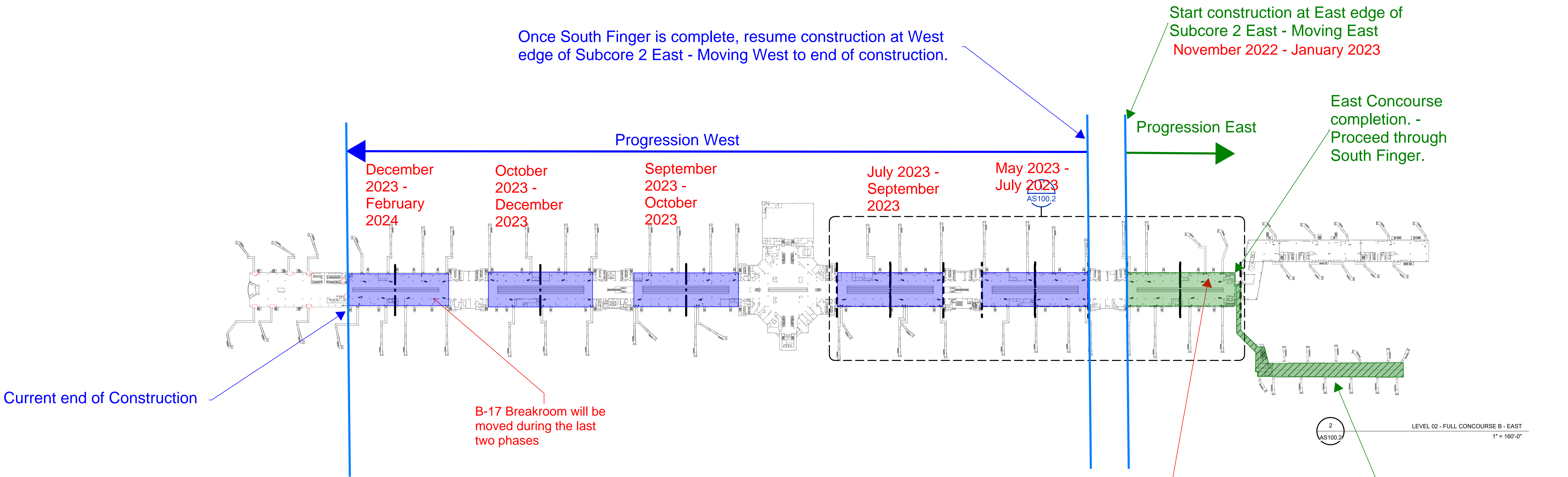
Exhibit P-3

The below is the estimated costs to construction the Gate of The Future on Concourse A (Refresh +) for gates A30, A32, A34, A36, A38

Trade Description	Proprietary	Non-Proprietary	Total	% of Total Proprietary	% of Total Non-Proprietary	Notes
Demolition	\$26,590.91	\$82,811.02	\$109,401.93	24%	76%	Proprietary Equip/GPR needs
Millwork	\$261,666.68		\$261,666.68	100%	0%	
Fireproofing						
Glass & Glazing						
Rough Carpentry / Drywall	\$5,909.09	\$15,495.88	\$21,404.97	28%	72%	Proprietary vs Non-Proprietary areas work take place
Acoustical Ceiling Tile						
Carpet / Resilient		\$362,052.13	\$362,052.13	0%	100%	Proprietary vs Non-Proprietary areas work take place
Painting / Wallcovering						
Audio Visual	\$1,366.36		\$1,366.36	100%	0%	
Furniture		\$1,953,718.23	\$1,953,718.23	0%	100%	
Fire Protection						
Plumbing						
HVAC						
Electrical	\$221,133.52	\$515,978.21	\$737,111.73	30%	70%	
Communications						
Security	\$3,461.73		\$3,461.73	100%	0%	
SUBTOTAL	\$520,128.29	\$2,930,055.47	\$3,450,183.76	15%	85%	
General Requirements	\$2,038.94	\$11,666.86	\$13,705.80	15%	85%	Based on percentages above
Subcontractor Default Insurance						
General Conditions	\$28,810.56	\$164,854.30	\$193,664.86	15%	85%	Based on percentages above
Permit Allowance	\$2,902.24	\$16,606.63	\$19,508.87	15%	85%	Based on percentages above
Insurance	\$11,905.19	\$68,121.61	\$80,026.80	15%	85%	Based on percentages above
Fee	\$9,038.45	\$51,718.17	\$60,756.62	15%	85%	Based on percentages above
Contractor Contingency	\$943.98	\$5,401.45	\$6,345.43	15%	85%	Based on percentages above
SUBTOTAL	\$55,639.36	\$318,369.02	\$374,008.38	15%	85%	
TOTAL	\$575,767.65	\$3,248,424.49	\$3,824,192.14	15%	85%	
Additional Costs	Proprietary	Non-Proprietary	Total	% of Total Proprietary	% of Total Non-Proprietary	Notes
A/E - CA Services	\$43,636.36	\$247,272.73	\$290,909.09	15%	85%	
Additional Construction	\$40,730.23	\$230,804.63	\$271,534.86	15%	85%	
Construction Management	\$32,727.27	\$103,636.36	\$136,363.63	24%	76%	Based on percentages above
Project Contingency	\$132,588.18	\$419,862.58	\$552,450.76	24%	76%	Based on percentages above
Owner Equipment	\$81,818.18		\$81,818.18	100%	0%	All Proprietary Scope
Owner Millwork	\$218,181.82		\$218,181.82	100%	0%	All Proprietary Scope
Digital Technology	\$360,046.43		\$360,046.43	100%	0%	All Proprietary Scope
Additional Design (Not included in CCB)	\$650,000.00	\$750,000.00	\$1,400,000.00	46%	54%	
SUBTOTAL	\$1,559,728.47	\$1,751,576.30	\$3,311,304.77	48%	52%	
PROJECT TOTAL	\$2,135,496.12	\$5,000,000.79	\$7,135,496.91	30%	70%	Proposed Split

2023 LEASE AMENDMENT

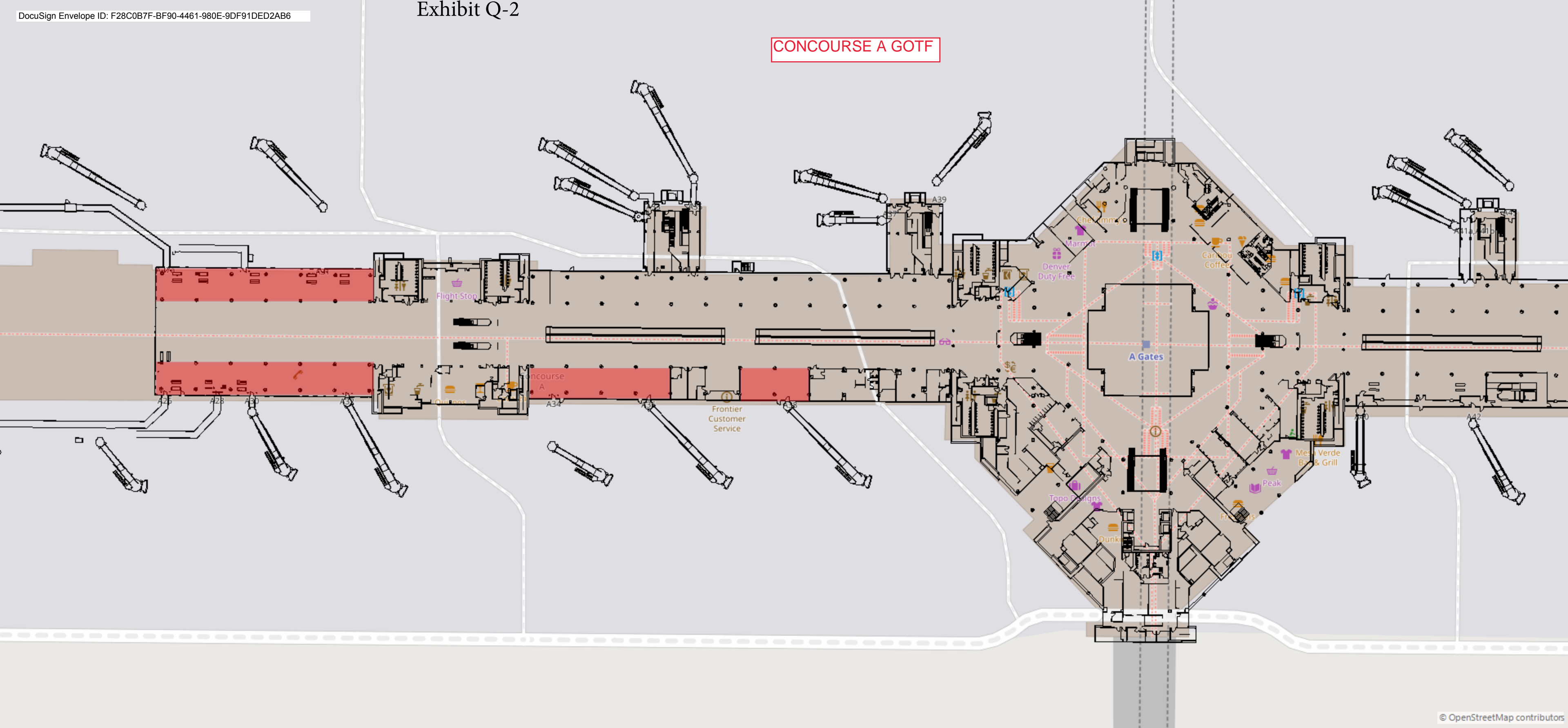
Exhibit Q



UA DEN B Con GOTF - Project Sequence

Each work area will be completed and permit signed off prior to moving to the next construction area;
 B-East
 South Finger
 B-West

CONCOURSE A GOTF



#	Activity ID	Activity Name	Duration	Start	Finish	2022												2023												2024												2025											
						N	D	J	F	M	A	M	J	Jul	A	S	O	N	D	J	F	M	A	M	J	Jul	A	S	O	N	D	J	F	M	A	M	J	Jul	A	S	O	N	D	J	F	M	A						
1	UNITED- CONCOURSE B GOTF		621	15-Dec-21 A	10-Jun-24																																																
2	Summary & Milestones		483	08-Jul-22 A	10-Jun-24																																																
3	SUM-1010	Notice to Proceed - Procurement	0	08-Jul-22 A																																																	
4	Summary Durations		686	08-Jul-22 A	10-Jun-24																																																
5	SUM-1020	Forecasted Project Duration (Calendar Days)	686	08-Jul-22 A	10-Jun-24																																																
6	SUM-1030	Construction Duration (Calendar Days)	516	13-Nov-22 A	10-May-24																																																
7	Project Requirements		305	10-Aug-23	10-Jun-24																																																
8	South Finger Completion		30	10-Aug-23	09-Sep-23																																																
9	CLS-1090	Substantial Completion	0		10-Aug-23*																																																
10	CLS-1100	Closeout(Calendar Days)	30	11-Aug-23	09-Sep-23																																																
11	CLS-1110	Project Closeout Period Complete	0		09-Sep-23*																																																
12	B-East Completion		30	15-Dec-23	14-Jan-24																																																
13	CLS-1060	Substantial Completion	0		15-Dec-23*																																																
14	CLS-1070	Closeout(Calendar Days)	30	16-Dec-23	14-Jan-24																																																
15	CLS-1080	Project Closeout Period Complete	0		14-Jan-24*																																																
16	Project Completion		31	10-May-24	10-Jun-24																																																
17	CLS-1030	Substantial Completion	0		10-May-24*																																																
18	CLS-1040	Closeout (Calendar Days)	30	12-May-24	10-Jun-24																																																
19	CLS-1050	Project Closeout Period Complete-Submitted	0		10-Jun-24																																																
20	TCO+5 Milestones		331	22-Jan-23 A	12-May-24																																																
21	TCO-1060	TCO+5 - Electrical and LV Early Work	0		22-Jan-23 A																																																
22	TCO-1030	TCO+5 - Complete Finger Demo	0		28-Jun-23																																																
23	TCO-1000	TCO+5 - Begin Concourse West	0		07-Nov-23																																																
24	TCO-1010	TCO+5 - Final Carpet Mobilization	0		17-Apr-24																																																
25	TCO-1020	TCO+5 - Substantial Completion	0		12-May-24																																																
26	Quality Milestones		195	24-Oct-22 A	19-Jul-23																																																
27	Pre-Installation Meetings		183	24-Oct-22 A	19-Jul-23																																																
28	PIMFA-1010	PIM - Fire Alarm Install	0	24-Oct-22 A																																																	
29	PIMELEC-10	PIM - Elec/LV Rough In	0	24-Oct-22 A																																																	
30	FWIDEM-10	PIM - Demolition	0	03-Nov-22 A																																																	
31	PIMFLR-102	PIM - Flooring	0	22-Nov-22 A																																																	
32	PIMDW-104	PIM - Drywall	0	10-Jan-23 A																																																	
33	PIMPNT-105	PIM - Painting	0	08-Feb-23 A																																																	
34	PIMUAL-103	PIM - United Equipment	0	21-Apr-23 A																																																	
35	PIMFURN-1C	PIM - Furniture	0	26-Apr-23 A																																																	
36	PIMCON-10	PIM - Concrete	0	15-May-23 A																																																	
37	PIMPLB-106	PIM - Wall Panel	0	17-May-23 A																																																	
38	PMIGED-104	QC Activities Complete	0		19-Jul-23																																																
39	First Work Inspections		171	19-Jan-23 A	22-May-23 A																																																
40	FWIDEM-10	FWI - Demolition	0	19-Jan-23 A																																																	
41	FWIELEC-10	FWI - Elec/LV Rough In	0	19-Jan-23 A																																																	
42	FWIDW-103	FWI - Drywall	0	01-Mar-23 A																																																	
43	FWIWPN-10	FWI - Painting	0	14-Mar-23 A																																																	
44	FWICON-10	FWI - Concrete	0	04-Apr-23 A																																																	
45	FWIFLR-103	FWI - Flooring	0	10-Apr-23 A																																																	
46	FWIUAL-101	FWI - United Equipment	0	21-Apr-23 A																																																	
47	FWIFURN-1C	FWI - Furniture	0	27-Apr-23 A																																																	
48	FWIFA-1020	FWI - Fire Alarm Install	0	04-May-23 A																																																	
49	FWIWPN-10	FWI - Wall Panel	0	22-May-23 A																																																	
50	Safety Milestones		155	17-Nov-22 A	17-Jul-23																																																
51	SAFLOG-110	Site Logistics/Staging	0	17-Nov-22 A																																																	
52	SAFELEC-100	Electrical LOTO	0	23-Jan-23 A																																																	

■ Remaining Work
 ■ Actual Work
 ■ Near Critical (6<10TF)
 ■ Impacts
 ■ S
■ Critical Work
 ■ Near Critical (<5 TF)
 ■ Actual Level of Effort
 ■ Impacted
 ◆ ◆ N

Swinerton Builders

Project: UNITED- CONCOURSE B GOTF

WBS

Data Date: 27-Jun-23

Run Date: 27-Jun-23

#	Activity ID	Activity Name	Duration	Start	Finish	2022												2023												2024												2025																							
						N	D	J	F	M	A	M	J	Jul	A	S	O	N	D	J	F	M	A	M	J	Jul	A	S	O	N	D	J	F	M	A	M	J	Jul	A	S	O	N	D	J	F	M	A																		
263	CONE-2520	Swinerton Punch List and Final Clean	3	11-Sep-23	13-Sep-23	█ Swinerton Punch List and Final Clean																																																											
264	Holdrooms 52-49		41	16-Aug-23	12-Oct-23																																																												
265	CONE-1040	Temp Protection Install and Wayfinding	1	16-Aug-23	16-Aug-23	█ Temp Protection Install and Wayfinding																																																											
266	CONE-1160	Selective Demolition	5	17-Aug-23	23-Aug-23	█ Selective Demolition																																																											
267	CONE-1170	Modify Framed Corners at Existing Radius Wall	3	17-Aug-23	21-Aug-23	█ Modify Framed Corners at Existing Radius Wall																																																											
268	CONE-1280	Install Solid Surface Walls and Metal Base	8	22-Aug-23	31-Aug-23	█ Install Solid Surface Walls and Metal Base																																																											
269	CONE-1360	GPR/Scan For CoreDrilling	5	24-Aug-23	30-Aug-23	█ GPR/Scan For CoreDrilling																																																											
270	CONE-1480	Core Drilling for Power/Comm/Data	5	31-Aug-23	07-Sep-23	█ Core Drilling for Power/Comm/Data																																																											
271	CONE-1490	Install Conduit/LV Cabling (Apron Level)	5	31-Aug-23	07-Sep-23	█ Install Conduit/LV Cabling (Apron Level)																																																											
272	CONE-1680	Floor Patch/ Fireproofing	2	10-Sep-23	11-Sep-23	█ Floor Patch/ Fireproofing																																																											
273	CONE-1600	Install Carpet and Column Bases	12	12-Sep-23	27-Sep-23	█ Install Carpet and Column Bases																																																											
274	CONE-1760	Paint and Graphics	7	12-Sep-23	20-Sep-23	█ Paint and Graphics																																																											
275	CONE-2120	F/A Modifications and Tie-in	2	21-Sep-23	24-Sep-23	█ F/A Modifications and Tie-in																																																											
276	CONE-1840	Install Podiums/Displays/Welcome Stations	5	25-Sep-23	01-Oct-23	█ Install Podiums/Displays/Welcome Stations																																																											
277	CONE-1960	Pull Wire/Terminate to Podiums/Displays/Stations	3	26-Sep-23	28-Sep-23	█ Pull Wire/Terminate to Podiums/Displays/Stations																																																											
278	CONE-2130	Place and Connect Furniture	6	27-Sep-23	04-Oct-23	█ Place and Connect Furniture																																																											
279	CONE-1970	Terminate Electrical/Data/AV Distribution-Switch Over	5	01-Oct-23	05-Oct-23	█ Terminate Electrical/Data/AV Distribution-Switch Over																																																											
280	CONE-2550	Install Security Cameras/ Commissioning	5	01-Oct-23	05-Oct-23	█ Install Security Cameras/ Commissioning																																																											
281	CONE-2240	Remove Existing Check In Counters and Podiums	2	08-Oct-23	09-Oct-23	█ Remove Existing Check In Counters and Podiums																																																											
282	CONE-2320	Swinerton Punch List and Final Clean	3	10-Oct-23	12-Oct-23	█ Swinerton Punch List and Final Clean																																																											
283	Holdrooms 48-45		41	05-Sep-23	31-Oct-23																																																												
284	CONE-1050	Temp Protection Install and Wayfinding	1	05-Sep-23	05-Sep-23	█ Temp Protection Install and Wayfinding																																																											
285	CONE-1180	Selective Demolition	5	06-Sep-23	12-Sep-23	█ Selective Demolition																																																											
286	CONE-1190	Modify Framed Corners at Existing Radius Wall	3	06-Sep-23	10-Sep-23	█ Modify Framed Corners at Existing Radius Wall																																																											
287	CONE-1290	Install Solid Surface Walls and Metal Base	8	11-Sep-23	20-Sep-23	█ Install Solid Surface Walls and Metal Base																																																											
288	CONE-1370	GPR/Scan For CoreDrilling	5	13-Sep-23	19-Sep-23	█ GPR/Scan For CoreDrilling																																																											
289	CONE-1500	Core Drilling for Power/Comm/Data	5	20-Sep-23	26-Sep-23	█ Core Drilling for Power/Comm/Data																																																											
290	CONE-1510	Install Conduit/LV Cabling (Apron Level)	5	20-Sep-23	26-Sep-23	█ Install Conduit/LV Cabling (Apron Level)																																																											
291	CONE-1690	Floor Patch/ Fireproofing	2	27-Sep-23	28-Sep-23	█ Floor Patch/ Fireproofing																																																											
292	CONE-1770	Paint and Graphics	7	29-Sep-23	09-Oct-23	█ Paint and Graphics																																																											
293	CONE-1610	Install Carpet and Column Bases	12	01-Oct-23	16-Oct-23	█ Install Carpet and Column Bases																																																											
294	CONE-2140	F/A Modifications and Tie-in	2	10-Oct-23	11-Oct-23	█ F/A Modifications and Tie-in																																																											
295	CONE-1850	Install Podiums/Displays/Welcome Stations	5	12-Oct-23	18-Oct-23	█ Install Podiums/Displays/Welcome Stations																																																											
296	CONE-1980	Pull Wire/Terminate to Podiums/Displays/Stations	3	15-Oct-23	17-Oct-23	█ Pull Wire/Terminate to Podiums/Displays/Stations																																																											
297	CONE-2150	Place and Connect Furniture	6	16-Oct-23	23-Oct-23	█ Place and Connect Furniture																																																											
298	CONE-1990	Terminate Electrical/Data/AV Distribution-Switch Over	5	18-Oct-23	24-Oct-23	█ Terminate Electrical/Data/AV Distribution-Switch Over																																																											
299	CONE-2560	Install Security Cameras/ Commissioning	5	18-Oct-23	24-Oct-23	█ Install Security Cameras/ Commissioning																																																											
300	CONE-2250	Remove Existing Check In Counters and Podiums	2	25-Oct-23	26-Oct-23	█ Remove Existing Check In Counters and Podiums																																																											
301	CONE-2330	Swinerton Punch List and Final Clean	3	29-Oct-23	31-Oct-23	█ Swinerton Punch List and Final Clean																																																											
302	Holdrooms 44-42		41	27-Sep-23	22-Nov-23																																																												
303	CONE-1000	Temp Protection Install and Wayfinding	1	27-Sep-23	27-Sep-23	█ Temp Protection Install and Wayfinding																																																											
304	CONE-1080	Selective Demolition	5	28-Sep-23	04-Oct-23	█ Selective Demolition																																																											
305	CONE-1090	Modify Framed Corners at Existing Radius Wall	3	28-Sep-23	02-Oct-23	█ Modify Framed Corners at Existing Radius Wall																																																											
306	CONE-1240	Install Solid Surface Walls and Metal Base	8	03-Oct-23	12-Oct-23	█ Install Solid Surface Walls and Metal Base																																																											
307	CONE-1320	GPR/Scan For CoreDrilling	5	05-Oct-23	11-Oct-23	█ GPR/Scan For CoreDrilling																																																											
308	CONE-1400	Core Drilling for Power/Comm/Data	5	12-Oct-23	18-Oct-23	█ Core Drilling for Power/Comm/Data																																																											
309	CONE-1410	Install Conduit/LV Cabling (Apron Level)	5	12-Oct-23	18-Oct-23	█ Install Conduit/LV Cabling (Apron Level)																																																											
310	CONE-1640	Floor Patch/ Fireproofing	2	19-Oct-23	22-Oct-23	█ Floor Patch/ Fireproofing																																																											
311	CONE-1560	Install Carpet and Column Bases	12	23-Oct-23	07-Nov-23	█ Install Carpet and Column Bases																																																											
312	CONE-1720	Paint and Graphics	7	23-Oct-23	31-Oct-23	█ Paint and Graphics																																																											
313	CONE-2040	F/A Modifications and Tie-in	2	01-Nov-23	02-Nov-23	█ F/A Modifications and Tie-in																																																											
314	CONE-1800	Install Podiums/Displays/Welcome Stations	5	05-Nov-23	09-Nov-23	█ Install Podiums/Displays/Welcome Stations																																																											
315	CONE-1880	Pull Wire/Terminate to Podiums/Displays/Stations	3	06-Nov-23	08-Nov-23	█ Pull Wire/Terminate to Podiums/Displays/Stations																																																											

█ Remaining Work
█ Actual Work
█ Near Critical (6<10TF)
█ Impacts
█ S
█ Critical Work
█ Near Critical (<5 TF)
█ Actual Level of Effort
█ Impacted
█ N

Swinerton Builders
 Page 6 of 10
 Baseline ID: S301

Table with columns for Activity ID, Activity Name, Duration, Start, Finish, and monthly breakdown for 2022, 2023, 2024, and 2025. Includes activity details for Concourse Level-West and various holdrooms.

Legend for work status: Remaining Work, Critical Work, Actual Work, Near Critical (<10TF), Actual Level of Effort, Impacts, Impacted, S, N.

Swinerton Builders

2023 LEASE AMENDMENT

Exhibit R

EXHIBIT R

**CITY AND COUNTY OF DENVER
INSURANCE REQUIREMENTS FOR DEPARTMENT OF AVIATION
SITE ACCESS AGREEMENT**

A. Certificate Holder and Submission Instructions

Contractor must provide a Certificate of Insurance as follows:

Certificate Holder: CITY AND COUNTY OF DENVER
Denver International Airport
8500 Peña Boulevard
Denver CO 80249
Attn/Submit to: airlineaffairsadmin.sharedmailbox@flydenver.com

- ACORD Form (or equivalent) certificate is required.
- Contractor must be evidenced as a Named Insured party.
- Electronic submission only, hard copy documents will not be accepted.
- Reference on the certificate must include the City-assigned Contract Number, if applicable.

The City may at any time modify submission requirements, including the use of third-party software and/or services, which may include an additional fee to the Contractor.

B. Defined Terms

1. “Agreement” as used in this exhibit refers to the contractual agreement to which this exhibit is attached, irrespective of any other title or name it may otherwise have.
2. “Contractor” as used in this exhibit refers to the party contracting with the City and County of Denver pursuant to the attached Agreement.

C. Coverages and Limits

1. Commercial General Liability

Contractor shall maintain insurance coverage including bodily injury, property damage, personal injury, advertising injury, independent contractors, and products and completed operations in minimum limits of \$1,000,000 each occurrence, \$2,000,000 products and completed operations aggregate; if policy contains a general aggregate, a minimum limit of \$2,000,000 annual per location aggregate must be maintained.

- a. Coverage shall include Contractual Liability covering liability assumed under this Agreement (including defense costs assumed under contract) within the scope of coverages provided.
- b. Coverage shall include Mobile Equipment Liability, if used to perform services under this Agreement.
- c. If a “per location” policy aggregate is required, “location” shall mean the entire airport premises.

2. Business Automobile Liability

Contractor shall maintain a minimum limit of \$1,000,000 combined single limit each occurrence for bodily injury and property damage for all owned, leased, hired and/or non-owned vehicles used in performing services under this Agreement.

- a. If operating vehicles unescorted airside at DEN, a \$10,000,000 combined single limit each occurrence for bodily injury and property damage is required.
- b. If Contractor does not have blanket coverage on all owned and operated vehicles and will require unescorted airside driving privileges, then a schedule of insured vehicles (including year, make, model and VIN number) must be submitted with the Certificate of Insurance.

- c. If transporting waste, hazardous material, or regulated substances, Contractor shall carry a Broadened Pollution Endorsement and an MCS 90 endorsement on its policy.
 - d. If Contractor does not own any fleet vehicles and Contractor's owners, officers, directors, and/or employees use their personal vehicles to perform services under this Agreement, Contractor shall ensure that Personal Automobile Liability including a Business Use Endorsement is maintained by the vehicle owner, and if appropriate, Non-Owned Auto Liability by the Contractor. This provision does not apply to persons solely commuting to and from the airport.
 - e. If Contractor will be completing all services to DEN under this Agreement remotely and not be driving to locations under direction of the City to perform services this requirement is waived.
3. **Workers' Compensation and Employer's Liability Insurance**

Contractor shall maintain the coverage as required by statute for each work location and shall maintain Employer's Liability insurance with limits no less than \$100,000 per occurrence for each bodily injury claim, \$100,000 per occurrence for each bodily injury caused by disease claim, and \$500,000 aggregate for all bodily injuries caused by disease claims.

 - a. Colorado Workers' Compensation Act allows for certain, limited exemptions from Worker's Compensation insurance coverage requirements. It is the sole responsibility of the Contractor to determine their eligibility for providing this coverage, executing all required documentation with the State of Colorado, and obtaining all necessary approvals. Verification document(s) evidencing exemption status must be submitted with the Certificate of Insurance.
4. **Pollution Legal Liability**

Contractor shall maintain insurance covering work site operations that are conducted on DEN premises including project management and site supervision duties with a limit no less than \$1,000,000 each occurrence and \$2,000,000 annual aggregate for claims arising out of a pollution condition or site environmental condition.

 - a. Coverage shall include claims/losses for bodily injury, property damage including loss of use of damaged property, defense costs including costs and expenses incurred in the investigation, defense or settlement of claims, and cleanup cost for pollution conditions resulting from illicit abandonment, the discharge, dispersal, release, escape, migration or seepage of any solid, liquid, gaseous or thermal irritant, contaminant, or pollutant, including soil, silt, sedimentation, smoke, soot, vapors, fumes, acids, alkalis, chemicals, electromagnetic fields, hazardous substances, hazardous materials, waste materials, low level radioactive waste, mixed wastes, on, in, into, or upon land and structures thereupon, the atmosphere, surface water or groundwater on DEN premises.
 - b. Work site means a location where covered operations are being performed, including real property rented or leased from the City for the purpose of conducting covered operations.
5. **Property Insurance**

Contractor is solely responsible for any loss or damage to its real or business personal property located on DEN premises including, but not limited to, materials, tools, equipment, vehicles, furnishings, structures and personal property of its employees and subcontractors unless caused by the sole, gross negligence of the City. If Contractor carries property insurance on its property located on DEN premises, a waiver of subrogation as outlined in Section F will be required from its insurer.
6. *Intentionally Deleted.*

7. Unmanned Aerial Vehicle (UAV) Liability:

If Contractor desires to use drones in any aspect of its work or presence on DEN premises, the following requirements must be met prior to commencing any drone operations:

- a. Express written permission must be granted by DEN.
- b. Express written permission must be granted by the Federal Aviation Administration (FAA).
- c. Drone equipment must be properly registered with the FAA.
- d. Drone operator(s) must be properly licensed by the FAA.
- e. Contractor must maintain UAV Liability including flight coverage, personal and advertising injury liability, and hired/non-owned UAV liability for its commercial drone operations with a limit no less than \$1,000,000 combined single limit per occurrence for bodily injury and property damage.

8. Excess/Umbrella Liability

Combination of primary and excess coverage may be used to achieve minimum required coverage limits. Excess/Umbrella policy(ies) must follow form of the primary policies with which they are related to provide the minimum limits and be verified as such on any submitted Certificate of Insurance.

D. Reference to Project and/or Contract

The City Project Name, Title of Agreement and/or Contract Number and description shall be noted on the Certificate of Insurance, if applicable.

E. Additional Insured

For all coverages required under this Agreement (excluding Workers' Compensation, Employer's Liability and Professional Liability, if required), Contractor's insurer(s) shall include the City and County of Denver, its elected and appointed officials, successors, agents, employees, and volunteers as Additional Insureds by policy endorsement.

F. Waiver of Subrogation

For all coverages required under this Agreement (excluding Professional Liability, if required), Contractor's insurer(s) shall waive subrogation rights against the City and County of Denver, its elected and appointed officials, successors, agents, employees, and volunteers by policy endorsement.

If Contractor will be completing all services to the City under this Agreement remotely and not be traveling to locations under direction of the City to perform services, this requirement is waived specific to Workers' Compensation coverage.

G. Notice of Material Change, Cancellation or Nonrenewal

Each certificate and related policy shall contain a valid provision requiring notification to the Certificate Holder in the event any of the required policies be canceled or non-renewed or reduction in required coverage before the expiration date thereof.

1. Such notice shall reference the DEN assigned contract number related to this Agreement.
2. Such notice shall be sent thirty (30) calendar days prior to such cancellation or non-renewal or reduction in required coverage unless due to non-payment of premiums for which notice shall be sent ten (10) calendar days prior.
3. If such written notice is unavailable from the insurer or afforded as outlined above, Contractor shall provide written notice of cancellation, non-renewal and any reduction in required coverage to the Certificate Holder within three (3) business days of receiving such notice by its insurer(s) and include documentation of the formal notice received from its insurer(s) as verification. Contractor shall replace cancelled or nonrenewed policies with no lapse in coverage and provide an updated Certificate of Insurance to DEN.
4. In the event any general aggregate or other aggregate limits are reduced below the required minimum per occurrence limits, Contractor will procure, at its own expense, coverage at the requirement minimum per occurrence limits. If Contractor cannot replenish coverage within ten (10) calendar days, it must notify the City immediately.

H. Cooperation

Contractor agrees to fully cooperate in connection with any investigation or inquiry and accept any formally tendered claim related to this Agreement, whether received from the City or its representative. Contractor's failure to fully cooperate may, as determined in the City's sole discretion, provide cause for default under the Agreement. The City understands acceptance of a tendered claim does not constitute acceptance of liability.

I. Additional Provisions

1. Deductibles or any type of retention are the sole responsibility of the Contractor.
2. Defense costs shall be in addition to the limits of liability. If this provision is unavailable that limitation must be evidenced on the Certificate of Insurance.
3. Coverage required may not contain an exclusion related to operations on airport premises.
4. A severability of interests or separation of insureds provision (no insured vs. insured exclusion) is included under all policies where Additional Insured status is required.
5. A provision that coverage is primary and non-contributory with other coverage or self-insurance maintained by the City under all policies where Additional Insured status is required.
6. If the Contractor procures or maintains insurance policies with coverages or limits beyond those stated herein, such greater policies will apply to their full effect and not be reduced or limited by the minimum requirements stated herein.
7. All policies shall be written on an occurrence form. If an occurrence form is unavailable or not industry norm for a given policy type, claims-made coverage will be accepted by the City provided the retroactive date is on or before the Agreement Effective Date or the first date when any goods or services were provided to the City, whichever is earlier, and continuous coverage will be maintained or an extended reporting period placed for three years (eight years for construction-related agreements) beginning at the time work under this Agreement is completed or the Agreement is terminated, whichever is later.
8. Certificates of Insurance must specify the issuing companies, policy numbers and policy periods for each required form of coverage. The certificates for each insurance policy are to be signed by an authorized representative and must be submitted to the City at the time Contractor signed this Agreement.
9. The insurance shall be underwritten by an insurer licensed or authorized to do business in the State of Colorado and rated by A.M. Best Company as A- VIII or better.
10. Certificate of Insurance and Related Endorsements: The City's acceptance of a certificate of insurance or other proof of insurance that does not comply with all insurance requirements shall not act as a waiver of Contractor's breach of this Agreement or of any of the City's rights or remedies under this Agreement. All coverage requirements shall be enforced unless waived or otherwise modified in writing by DEN Risk Management. Contractor is solely responsible for ensuring all formal policy endorsements are issued by their insurers to support the requirements.
11. The City shall have the right to verify, at any time, all coverage, information, or representations, and the insured and its insurance representatives shall promptly and fully cooperate in any such audit the City may elect to undertake including provision of copies of insurance policies upon request. In the case of such audit, the City may be subject to a non-disclosure agreement and/or redactions of policy information unrelated to verification of required coverage.
12. No material changes, modifications, or interlineations to required insurance coverage shall be allowed without the review and written approval of DEN Risk Management.
13. Contractor shall be responsible for ensuring the City is provided updated Certificate(s) of Insurance prior to each policy renewal.
14. Contractor's failure to maintain required insurance shall be the basis for immediate suspension and cause for termination of this Agreement, at the City's sole discretion and without penalty to the City.

J. Part 230 and the DEN Airport Rules and Regulations

If the minimum insurance requirements set forth herein differ from the equivalent types of insurance requirements in Part 230 of the DEN Airport Rules and Regulations, the greater and broader insurance requirements shall supersede those lesser requirements, unless expressly excepted in writing by DEN Risk Management. Part 230 applies to Contractor and its subcontractors of any tier.



DENVER INTERNATIONAL AIRPORT
8500 Peña Blvd. | Denver, Colorado 80249-6340 | (303) 342-2000

May 31, 2023

Sent Via Email Only
brendan.baker@united.com

Mr. Brendan Baker
Director, Corporate Real Estate
United Airlines
233 South Wacker Drive-WHQCI
Chicago, IL 60606

SUBJECT: Self-Insurance Approval
DEN Contract No. 202160322 - 12 / XC 2X000, Air Carrier Use and Lease Agreement (Amendment 12)
Requesting Party: United Airlines
Lines of Self-Insured Coverage: Pollution Liability

This letter is issued to document and confirm the approval of United Airlines (UAL) request for Denver International Airport (DEN) to accept their self-insurance program regarding the obligation to provide the captioned line(s) of coverage as contractually required by DEN. Attached herewith, excepting financial statements, is the requested information and supporting documentation provided to DEN by UAL:

1. Self-Insurance Letter issued by UAL received May 31, 2023
2. United Airlines Inc. SEC Filed Financials (annual period ending: Dec 31, 2022)

The documentation received from UAL was reviewed and accepted by DEN Legal, DEN Accounting and DEN Risk.

This approval of self-insurance is solely related to UAL for the specific line(s) of coverage and contract referenced above and is subject to change with written notice issued by DEN Risk.

Sincerely,

A blue ink handwritten signature, appearing to read "Janet C. Bressler", written over a white background.

Janet C. Bressler
Manager of Risk Management

cc: Susan Moore, DEN Airline Affairs, susan.moore@flydenver.com
Michael Biel, DEN Accounting, michael.biel@flydenver.com
Heidi O'Neil, DEN Accounting, heidi.oneil@flydenver.com
John Redmond, DEN Legal, john.redmond@flydenver.com



May 31, 2023

Attn: Janet C. Bressler
DEN Risk Manager
City and County of Denver
Denver International Airport
8500 Peña Boulevard
Denver, CO 80249

Re: Denver International Airport - Airport Use and Facilities Lease Agreement

This confirms that United Airlines, Inc., has elected to self-insure the Pollution Legal Liability insurance requirement in accordance with the Denver International Airport Use and Lease Agreement.

United's Environmental self-insurance program consists of the following:

- United has a department of professionals dedicated to environmental safety to prevent losses and, if one does occur, to minimize the impact to United and our partners;
- United has required our contractors to hold PLL and professional liability insurance that would cover the risks associated with their work;
- United's liquidity creates risk bearing capacity in excess of most commercial insurers, thus allowing United to self-insure certain risks when economical and appropriate;
- United is a publicly traded company and the SEC requires that we report and reserve for any event that could materially impact the airline, and we are required to follow GAAP and FASB principles that stipulate conservative reporting of any event that incurs a material financial loss;
- United has a process of quarterly reviewing its environmental reserves and modifying based upon any new information.

United's independently audited financials can be found at <https://ir.united.com/financial-performance/sec-filings>

Sincerely,

A handwritten signature in black ink that reads "Andy Nottestad".

Andrew Nottestad
Managing Director, Risk Management

**EXHIBIT S: EDI PLAN
(NOT REQUIRED)**

From: Garcia, Katherine - DEN <Katherine.Garcia@flydenver.com>
Sent: Friday, July 14, 2023 12:53 PM
To: Uriarte, Mark - DEN <Mark.Uriarte@flydenver.com>
Cc: Logachev, Marina - DEN <Marina.Logachev@flydenver.com>
Subject: UAL_2211

Hey Mark,

Thanks for the call and asking for clarification. As I stated on the phone, DSBO does not require an EDI plan on Tenant rebuilds/reconstruction. We require the forms 1A, MWBE Commitment and an LOI for City and County of Denver Certified Subs who will be working on the project.

If there are any questions on Tenant contracts, please let me know.

Thanks

Kathy



DENVER
THE MILE HIGH CITY

Katherine E. Garcia | Compliance Project Manager
Division of Small Business Opportunity
Denver Economic Development & Opportunity | City and County of Denver
[Pronouns](#) | She/Her/Hers
Email: Katherine.garcia@flydenver.com

United Airlines, Inc.
2023 Lease Amendment
202264055-12 / XC2X000

2023 LEASE AMENDMENT

Exhibit T

Bond No. _____

PERFORMANCE BOND

KNOW ALL MEN BY THESE PRESENTS, that we, _____ (“Principal”), and _____, Surety herein, a corporation duly organized under the laws of the State of _____ and authorized to issue surety bonds in the State of Colorado, are held and firmly bound unto UNITED AIRLINES, INC. (“Airline” and/or “Obligee”) in the sum of _____ DOLLARS (\$_____.00) for the payment of which sum we bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these presents.

WHEREAS, Principal has entered into that certain _____ Agreement, hereinafter referred to as the “Contract,” with Airline dated the ____ day of _____ 2023, for pre-construction and construction services related to the Airlines' Gate of the Future Concourse project at the Denver International Airport, Denver, Colorado (the “Project”); and

WHEREAS, the CITY AND COUNTY OF DENVER (“DEN”) is the owner of the real property on which the improvements are to be constructed; and

WHEREAS, the DEN DEPARTMENT OF AVIATION (“DDOA”) manages Denver International Airport; and

WHEREAS, pursuant to that certain 2023 Lease Agreement, Denver Contract No. 202264055-12, (the “Agreement”) by and among the DEN and Airline, Airline is responsible for the construction of the Project;

NOW, THEREFORE, the condition of this obligation is such, that if the said Principal (a) shall faithfully construct the improvements as provided in the Contract in accordance with the plans, specifications, and contract documents, and (b) shall fully indemnify and save harmless Obligee from all costs and damage which Obligee may suffer by reason of Principal’s default, and (c) shall reimburse and repay Obligee all outlay and expense which Obligee may incur in making good such default, then this obligation shall be void; otherwise to remain in full force and effect.

Whenever Principal shall be, and declared by Obligee to be, in default under the Contract, Obligee, having performed Obligee’s obligations thereunder, may call upon the Surety who shall promptly remedy the default and:

1. Complete the Contract in accordance with the terms and conditions; or
2. Obtain a bid or bids for completion of the Contract in accordance with its terms and conditions, and, upon determination by Surety of the lowest responsible bidder, arrange for a contract between such bidder and Obligee, and make available as work progresses (even though there should be a default or a succession of defaults under the contract or contracts of completion arranged under this paragraph) sufficient funds to pay the cost of completion less the balance of the contract price; but not

exceeding. including other costs and damages for which Surety may be liable hereunder, the amounts set forth in the first paragraph hereof. The term “balance of the contract price” as used in this paragraph shall mean total amount payable by Oblige to Principal under, the Contract and any amendment; thereto, less the amount properly paid by Oblige to Principal.

Surety, for value received, stipulates and agrees that no change, extension or time, alteration or addition to the terms of the Contract or to the work to be performed thereunder, or the plans, specifications, or drawings accompanying the same, shall in any way affect its obligation on this Bond, and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the Contract, or to the work to be performed thereunder.

Surety expressly agrees to be bound to, and shall have the right to participate in, any mandatory dispute resolution procedures required in the Contract therein incorporated with regard to any claim asserted against this Bond.

This Bond is given pursuant to the provisions of the laws of the State of Colorado. If any legal action be filed upon this Bond, exclusive venue shall lie in Denver County, State of Colorado.

IN WITNESS WHEREOF, this instrument has been executed by the duly authorized representatives of the Principal and the Surety.

Signed and sealed this ____ day of _____ 2023.

Principal:

By: _____

Its: _____

Surety:

By: _____

Its: _____

[Attach Power of Attorney for Surety’s Attorney-in-Fact]

Approved:

UNITED AIRLINES, INC.

By: _____

Its: _____

Bond No. _____

PAYMENT BOND

KNOW ALL MEN BY THESE PRESENTS, that we, _____, (“Principal”), and _____, Surety herein, a corporation duly organized under the laws of the State of _____, and authorized to issue surety bonds in the State of Colorado, are held and firmly bound unto UNITED AIRLINES, INC. (“Airline” and/or “Obligee”) in the sum of _____ DOLLARS (\$_____.00) for the payment of which sum we bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these presents.

WHEREAS, Principal has entered into that certain Construction Manager at Risk Agreement, hereinafter referred to as the “Contract,” with Airline dated the ____ day of _____ 2023, for pre-construction and construction services related to the Airlines' Gate of the Future Concourse project at the Denver International Airport, Denver, Colorado (the “Project”); and

WHEREAS, the CITY AND COUNTY OF DENVER (“DEN”) is the owner of the real property on which the improvements are to be constructed; and

WHEREAS, the DEN DEPARTMENT OF AVIATION (“DDOA”) manages Denver International Airport; and

WHEREAS, pursuant to that certain 2023 Lease Agreement, Denver Contract No. 202264055-12, (the “Agreement”) by and among the DEN and Airline, Airline is responsible for the construction of the Project;

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall make payments of all amounts lawfully due to all persons supplying or furnishing Principal or Principal's subcontractors with labor, materials, team hire, sustenance, provisions, provender, rental machinery, tools, or equipment, or other supplies performed, used or consumed in the prosecution of the work provided for under the Contract and duly authorized normal and usual extras thereto, and, further, that Principal indemnifies and saves harmless Airline, the DEN, and DDOA to the extent of any payments in connection with the carrying out of any such Contract which they may be required to make under the law, then this obligation shall be void; otherwise to remain in full force and effect.

Principal and Surety further warrant that if Principal fails to pay any person who supplies laborers, rental machinery, tools, or equipment, all amounts due as the result of the use of such laborers, machinery, tools, or equipment, in the prosecution of the Work under the Contract, Surety will pay the same in an amount not exceeding the penal sum specified herein together with interest at the rate of eight percent (8%) per annum.

Provided, however, that Airline, DEN, and DDOA, having required Principal to furnish this Bond in order to comply with the provisions of COLO. REV. STAT. §§38-26-106 and 38-24-101, *et seq.*, as applicable, all rights and remedies under this Bond shall be determined in

accordance with the provisions, conditions, and limitations of said statutes to the same extent as if they were copied at length herein. This Bond is given pursuant to the provisions of the law of the State of Colorado. If any legal action be filed upon this Bond, exclusive venue shall lie in Denver County, State of Colorado.

IN WITNESS WHEREOF, the said Principal and Surety have signed and sealed this instrument on the ____ day of _____ 2023.

Principal:

By: _____

Its: _____

Surety:

By: _____

Its: _____

[Attach Power of Attorney for Surety’s Attorney-in-Fact]
[Insert: Statutory Surety Identification/Complaint Notice.]

Approved:

UNITED AIRLINES, INC.

By: _____

Its: _____

Bond No. _____

**JOINT OBLIGEE RIDER
TO PERFORMANCE BOND AND PAYMENT BOND**

WHEREAS, _____, has entered into that certain _____ Agreement, hereinafter referred to as the “Contract”, with UNITED AIRLINES, INC. (“Airline” and/or “Obligee”) dated the ____ day of ____ 2023 for pre-construction and construction services related to the Airlines' Gate of the Future Concourse project at the Denver International Airport, Denver, Colorado (the "Project"); and

WHEREAS, _____, as Principal, and _____ as Surety (hereinafter referred to as “Surety”), made, executed, and delivered to Airline, as Obligee, their joint and several Performance Bond and a Payment Bond (collectively, the “Bonds”); and

WHEREAS, the CITY AND COUNTY OF DENVER (“DEN”) is the owner of the real property on which the improvements are to be constructed; and

WHEREAS, the DEN DEPARTMENT OF AVIATION (“DDOA”) manages the Denver International Airport; and

WHEREAS, pursuant to that certain 2023 Lease Agreement, Denver Contract No. 202264055-12, (the “Agreement”), Airline is responsible for the construction of the Project; and

WHEREAS, DEN and DDOA have requested Principal and its Surety to join with Airline in execution and delivery of this Rider, and they have agreed to do so upon the conditions herein stated.

NOW, THEREFORE, in consideration of One Dollar and other good and valuable consideration, receipt of which is hereby acknowledged, the undersigned hereby agree as follows:

The bonds as aforesaid shall be and it is hereby amended as follows:

1. The DEN and DDOA are hereby added to the Bonds as Joint Obligees (the “Governmental Obligees”).
2. The aggregate liability of the Surety under said Bonds to Obligee and the Governmental Obligees, as their interests may appear, is limited to the penal sums of the Bonds.
3. Surety's obligation to perform hereunder is included within its obligations under the Bonds to which this rider is attached; provided that such obligation shall be

conditioned on Governmental Obligees having performed as required under the Agreement and, provided further, that such obligation shall be without regard for Obligee’s compliance under the Contract.

- 4. All rights and remedies under the Bonds with regard to the Governmental Obligees shall be determined in accordance with the provisions, conditions, and limitations of the laws of the State of Colorado.
- 5. Except as herein modified, said Bonds shall be and remain in full force and effect.

No right of action shall accrue hereunder to or for the use of any person, firm, or corporation other than Airline and the Governmental Obligees named herein.

Signed and sealed this ____ day of _____, 2023.

Principal:

By: _____

Its: _____

Surety:

By: _____

Its: _____

[Attach Power of Attorney for Surety’s Attorney-in-Fact]

Approved:

UNITED AIRLINES, INC.

By: _____

Its: _____

THE CITY AND COUNTY OF DENVER

By: _____

Its: Mayor

By: _____

Its: CEO, Department of Aviation

Approved As To Form:

Kerry Tipper, Attorney for the City and
County of Denver

By: _____

David Steinberger, Assistant City Attorney