



APPLICATION

FOR ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT-OF-WAY

An Encroachment Permit is required prior to placing privately-owned improvements (“Encroachment” or “Encumbrance”) in the public Right-of-Way (ROW). Only Encroachment Permit Applications in accordance with [Rules and Regulations](#) and [Permit Entrance Requirements](#) for Encroachments in the Public Right-of-Way will be considered by the Department of Transportation & Infrastructure (DOTI). **It is the City’s sole discretion whether to grant an Encroachment Permit based on any facts the City feels are relevant. Approval is not guaranteed.**

To apply, complete this application and submit together with required application materials in accordance with the [Permit Entrance Requirements](#) to DOTI.ER@denvergov.org. Please type or print clearly. If necessary, attach additional sheets to fully answer any of the following sections. Incomplete applications packages will not be accepted. Questions on this application or the process can be sent to DOTI.ER@denvergov.org.

☐ **Check if this application is for Tier Determination only.** *If checked, the project will not be submitted for full review until confirmation, and remaining submittal requirements, are received by owner.*

ADJACENT PROPERTY OWNER:

The adjacent property owner or Authorized Special District will be the Encroachment Owner and Permittee and is the responsible party for the Encroachment in accordance with the Rules and Regulations, including all fees and annual billing.

Company Name:	Central Platte Valley Metropolitan District	
Contact Name:	Anna Jones - District Manager	
Property Address:	1900 16th Street Plaza - Circular plaza area between 16th St, Chestnut Pl., and Wewatta St.	
Billing Address:	to be provided by anna	
Phone:	303-793-1478	Email: Anna.Jones@claconnect.com

PRIMARY CONTACT: ☐ Check if the same as Adjacent Property Owner

Company Name:	Livable Cities Studio	
Contact Name:	Todd Wenskoski	
Address:	3827 Lafayette St. #135, Denver, CO 80205	
Phone:	303-793-1478	Email: twenskoski@livable-cities.com

City and County of Denver — Department of Transportation & Infrastructure
 Right-of-Way Services | Engineering & Regulatory
 201 West Colfax Ave. Dept. 507 | Denver, CO 80202
www.denvergov.org/doti
[Email: DOTI.ER@denvergov.org](mailto:DOTI.ER@denvergov.org)
 Phone: 720-865-3003



ENCROACHMENT INFORMATION:

Project Name:	Dreamscape Sculpture
Adjacent Property Address:	190016th Street, Denver, CO 80202 (nearest address to site)
Coordinates (Lat/Long):	39°45'10.7"N 105°00'11.0"W
Encroachment Area, in SF:	Approx. 1,520 SF

Is this project associated with a LAND DEVELOPMENT REVIEW?

Yes ☐ No ☒ If 'Yes', provide Project Master, Site Plan and/or Concept Development Project Numbers:

Is the proposed encroachment located in Future Right-of-Way?

Finalizing permit and/or processing resolution for the Encroachment will not occur until the ROW dedication is finalized.

Yes ☐ No ☒ If 'Yes', provide ROW Dedication Project Number:

Location Description: (e.g. Located on the South side of 23rd Ave, twenty (20) feet from face of curb, and ten (10) feet west of pavement on Private Drive.)

Located on the west side of Wewatta St. in the center of a circular stone paved plaza area approximately 40' from the face of curb.

Description of Encroachment:

Describe the proposed encroachment, including the type and quantity of objects.

The encroachment permit request is for a new public art piece funded by the Central Platte Valley Metro District. "Dreamscape" is a sculpture comprised of 8 cloud-shaped pieces with metal pipes representing rain dropping from the clouds.

Reason for Private Improvements in the Public ROW:

Private improvements should be located on private property. Only in cases where there are physical constraints that preclude the placement of private improvements on private property that an encroachment may be considered within the right-of-way. Make your case as to why this is a good use of the public right-of-way.

The CPV Metropolitan District (CPVMD) is the primary maintenance authority for sidewalk and back of curb areas within the district boundary. This location was identified as a location for public art from the time the streets were constructed over twenty years ago, as indicated by the circular stone paving. The site is a key gateway location that was always intended to include a public art piece. The entire area will continue to be maintained by the CPVMD in accordance with all previous agreements in place with CCD.



ATTESTATION:

By submitting this permit application and signing below, I understand and agree to the following:

1. That I am the property owner adjacent to the Encroachment Area, or the authorized representative of a Special District, that is responsible for the placement, maintenance, repair, replacement, removal, site restoration, ownership, or is otherwise responsible for the Encroachment in accordance with the Rules & Regulations for Encroachments and Encumbrances in the Public Right-of-Way.
2. That it is the City's sole discretion to classify the Tier of an Encroachment and whether to grant an Encroachment Permit based on any facts the City feels are relevant. The issuance of an Encroachment Permit confers no rights to the Right-of-Way, the Encroachment Permit is revocable and DOTI can order the removal of the Encroachment and restoration of the Encroachment Area for any reason the City feels relevant.
3. Permittee agrees to defend, indemnify, reimburse and hold harmless the City, its appointed and elected officials, agents and employees for, from and against all liabilities, claims, judgments, suits or demands for damages to persons or property arising out of, resulting from, or relating to an Encroachment Permit and the Encroachment ("Claims"). This indemnity shall be interpreted in the broadest possible manner to indemnify City for any acts or omissions of Permittee or its subcontractors either passive or active, irrespective of fault, including City's negligence whether active or passive.
4. Permittee's duty to defend and indemnify City shall arise at the time written notice of the Claim is first provided to City regardless of whether claimant has filed suit on the Claim. Permittee's duty to defend and indemnify City shall arise even if City is the only party sued by claimant and/or claimant alleges that City's negligence or willful misconduct was the sole cause of claimant's damages.
5. Permittee will defend any and all Claims which may be brought or threatened against City and will pay on behalf of City any expenses incurred by reason of such Claims including, but not limited to, court costs and attorney fees incurred in defending and investigating such Claims or seeking to enforce this indemnity obligation. Such payments on behalf of City shall be in addition to any other legal remedies available to City and shall not be considered City's exclusive remedy.
6. Insurance coverage requirements specified in an Encroachment Permit shall in no way lessen or limit the liability of Permittee under the terms of this indemnification obligation. Permittee shall obtain, at its own expense, any additional insurance that it deems necessary for the City's protection.
7. This defense and indemnification obligation shall survive the expiration or termination of any issued Encroachment Permit.
8. Permittee is fully responsible for all costs to install, maintain, repair, replace, remove, and restore the Encroachment Area, including annual City Encroachment Permit Fees. A lien will be placed on the Permittee's property for failure to remove a revoked or abandoned Encroachment for cost incurred by CCD to remove the Encroachment and restore the Encroachment Area on behalf of the Permittee.
9. Indemnity and Insurance for Tier I and Tier II Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier I or Tier II Encroachment, the Owner of such Tier I or Tier II Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier I or Tier II Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$2,000,000 policy aggregate. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.
10. Indemnity and Insurance for Tier III Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier III Encroachment, the Owner of such Tier III Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier III Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$5,000,000 policy aggregate. A combination of primary and excess coverage may be used to meet the aggregate limit. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.

**ADJACENT PROPERTY
OWNER SIGNATURE:**

Signed by:

E4D7C5399854403...

DATE: 12/18/2025

PRINT NAME:

Jason Dorfman

TITLE: President

COMPANY:

Central Platte Valley Metro District

SUBMITTAL CHECKLIST

FOR ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT-OF-WAY

Any Submittal not meeting all minimum checklist criteria herein will be rejected as incomplete.

Encroachments shall be in accordance with:

- ☒ [Rules and Regulations Governing Encroachments & Encumbrances in the Public Right-of-Way](#)
- ☒ [Transportation Standards and Details for the Engineering Division](#)

Application

- ☒ **Signed by adjacent property owner** as owner of Encroachment or authorized Special District representative

Evidence of Adjacent Property Ownership & Parcel Land Description

Required for all Encroachment Permit Applications **Comments provided on application submittal letter**

- ☐ Current Title Work/Warranty Deed confirming ownership and parcel land description for adjacent property
- ☐ Parcel Land Description in Word format

Land Description sealed and signed by a Professional Land Surveyor licensed in Colorado

Required for Tier II Underground Encroachments and all Tier III Encroachments (can be submitted after 1st review)

- ☒ Encroachment Area Land Description and Exhibit(s) in PDF format stamped and signed by PLS
- ☒ Encroachment Area Land Description in Word format

Site Plans sealed and signed by a Professional Engineer licensed in Colorado

GENERAL

- ☒ Vicinity map
- ☒ North arrows and numerical and bar scales (Scale not to exceed 1" = 40')
- ☒ Legend
- ☒ PE stamp area **Comments provided on application submittal letter**
- ☒ Plan set date and revision number (if applicable)

PLAN VIEW

Show, label and dimension existing and proposed final site conditions, including but not limited to the following (aerial imagery is allowed; however, it does not replace requirement for accurately scaled engineering drawings):

- ☒ Property lines, right-of-way width
- ☒ Edge of pavement, curb and gutter, sidewalks, nearby driveways and alleys
- ☒ Street lights, pedestrian lights, signal poles, utility poles
- ☒ Surface utility features (e.g. cabinets, handholes, manholes, inlets, vaults, valves, fire hydrants)
- ☒ Regulatory Floodplain boundaries (FEMA)
- ☒ Underground and overhead utilities (e.g. water, sewer, power, communications, gas, irrigation)
- ☒ Trees and landscaping in the ROW
- ☒ Street names and adjacent property address(es)
- ☒ Regional Transportation District (RTD) bus stop with any amenities
- ☒ Location and size of Encroachment – Show and dimension limits of both above and below ground elements

City and County of Denver — Department of Transportation & Infrastructure

Right-of-Way Services | Engineering & Regulatory
201 West Colfax Ave. Dept. 507 | Denver, CO 80202
www.denvergov.org/doti
Phone: 720-865-3003

- ☒ Construction Materials
- ☒ Projection from building
- ☒ Distance from Encroachment to the nearest flowline
- ☒ Distance from Encroachment to any other Streetscape feature/obstruction in the vicinity
- ☒ Distance from property line to back of curb
- ☒ Electrical service alignment, electrical connection location, and voltage/amps
- ☒ No proposed Encroachments located in the intersection clear zone per Transportation Std. Dwg. 7.9

ELEVATION OR CROSS-SECTION VIEWS

- ☒ Location and size of Encroachment – Show and dimension limits of both above and below ground elements
- ☒ Existing and final grade
- ☒ Existing utilities and their size and depth
- ☒ Vertical height/clearance of the Encroachment from finish grade

DETAIL SHEET(S)

- ☒ Manufacturer's and/or construction detail(s)
- ☒ Referenced City detail(s) by drawing number on the appropriate plan and elevation view(s)
- ☒ Office of the Forester's (OCF) tree protection detail and notes
- ☒ Special, non-standard, or modified City details

STRUCTURAL PLANS ☐ Not Applicable

- ☒ Structural plans
- ☐ Manufacturers certification

ADDITIONAL REQUIRED MATERIAL(S) ☒ Not Applicable

- ☐ Approval from applicable reviewing authorities (e.g. design review district, floodplain, Arts & Venues)
- ☐ For properties sharing the Encroachment, appropriate legal documentation for review by the City

COMMENT RESOLUTION SHEET(S) IF APPLICABLE ☒ Not Applicable for 1st Submittal

- ☐ Reviewer's and Agency Name
- ☐ Review comments (reviewer comments must be verbatim)
- ☐ Formal written response to each comment

Fees:

Fees must be paid immediately after ER provides a project number and invoice for your application.

Fees (Non-Refundable):	Tier I Encroachment:	Tier II Encroachment:	Tier III Encroachment:
Initial Processing	No Fee	\$1,500.00	\$1,500.00
Land Description Review	N/A	\$300.00	\$300.00
Resolution Review	N/A	N/A	\$300.00
Annual Permit	No Fee	\$200.00	\$200.00

Attestation:

I hereby attest that the above information is incorporated into the Encroachment Application and plan submittal:

SIGNATURE:  DATE: 12/19/25

PRINT NAME: Todd Wenskoski EMAIL: twenskoski@livable-cities.com

COMPANY: Livable Cities Studio

CENTRAL PLATTE VALLEY METROPOLITAN DISTRICT DREAMSCAPE MEP

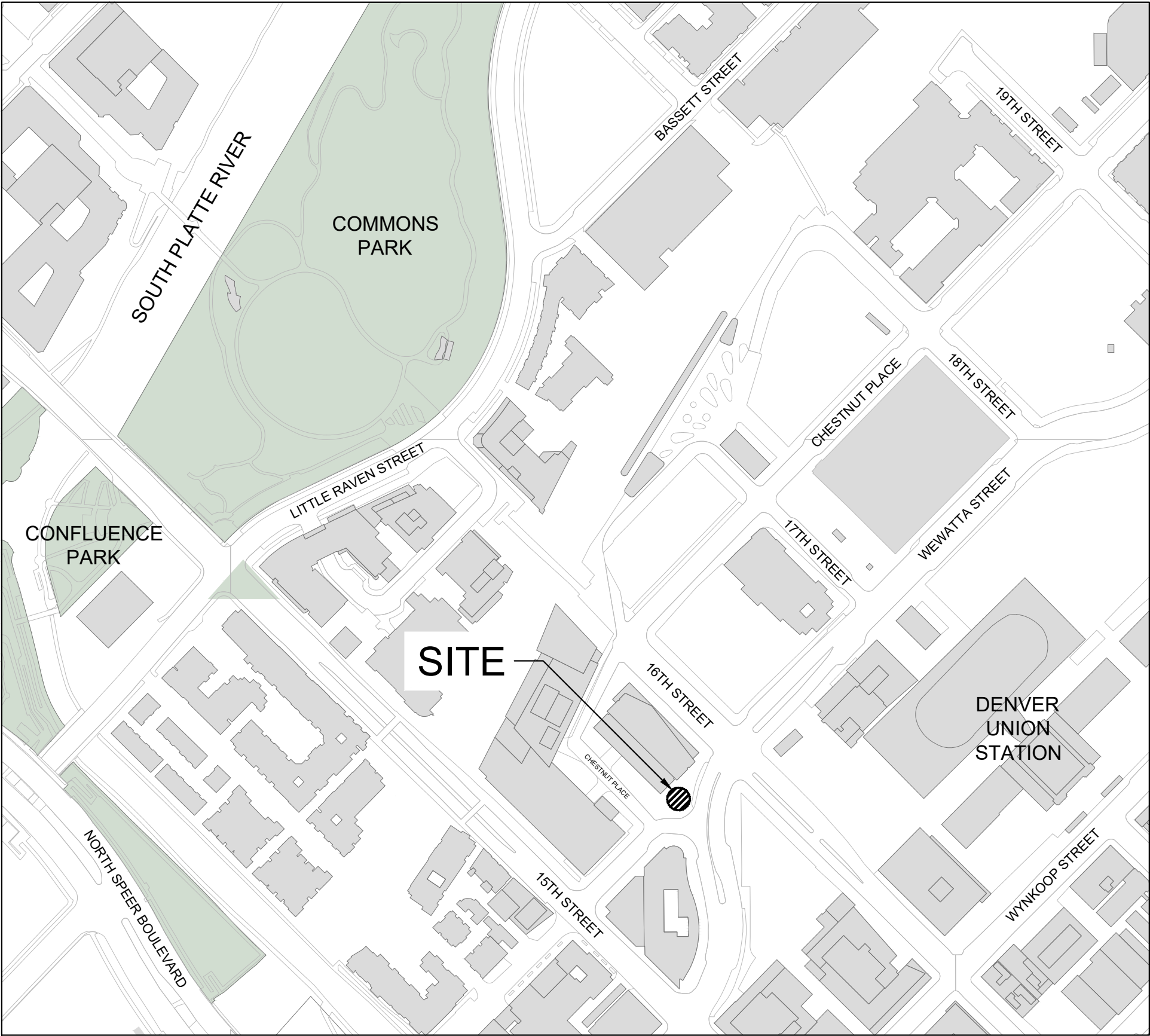
1900 16TH STREET, DENVER, COLORADO 80202

DECEMBER 19, 2025
ENCROACHMENT PACKAGE

NOTES

- 1. ALL WORK SHALL COMPLY WITH APPLICABLE CITY AND COUNTY OF DENVER CODES AND STANDARDS.
- 2. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND COORDINATE WITH EXISTING UTILITIES.
- 3. ALL WORK IS SUBJECT TO CITY AND COUNTY OF DENVER PERMITTING AND INSPECTION.
- 4. NO PLAN REVISIONS WITHOUT PRIOR APPROVAL.

PROJECT LOCATION & VICINITY MAP



SHEET INDEX

SHEET NO.	SHEET TITLE
01	COVER SHEET
02	SURVEY
S000	GENERAL NOTES, SHEET LIST AND RENDERING
S001	SCULPTURE PLAN, ELEVATION AND DETAILS
L101	LANDSCAPE DETAILS

CONTACT INFORMATION

CLIENT

CENTRAL PLATTE
VALLEY METRO DISTRICT

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District Manager
Clifton Larson Allen LLP
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(303) 793-1478

ARTIST

SUJIN LIM
sujinlim1@gmail.com

LANDSCAPE ARCHITECT

LIVABLE
CITIESSTUDIO

LIVABLE CITIES
STUDIO

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Denver, CO 80205

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ART + ENGINEERING

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WSP

HCL ENGINEERING

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ART CONSULTANT

NINE dot ARTS

NINE DOT ARTS

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Director of Curatorial
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Denver, CO 80211

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CITIESSTUDIO

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Denver, CO 80205
t. 303.800.2201
www.livablecitiesstudio.com



Know what's below.
Call before you dig.

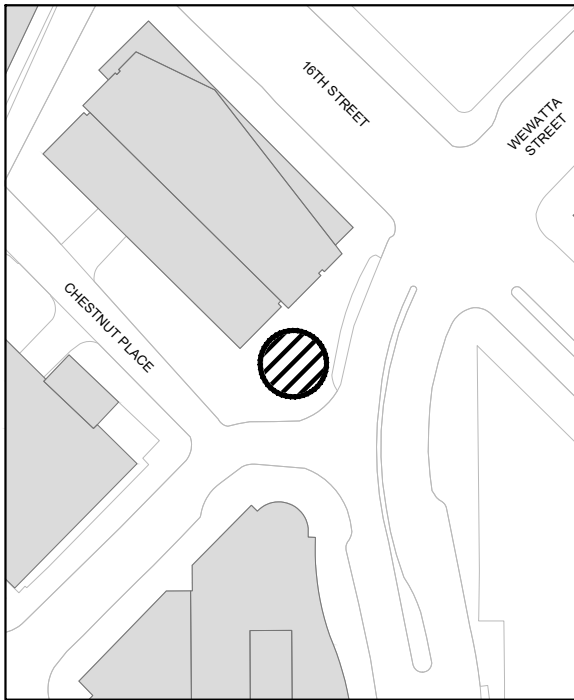
REVISIONS / SUBMISSIONS

NO.	DATE	DESCRIPTION	BY

STAMP

PROGRESS SET:
NOT FOR
CONSTRUCTION

KEYMAP



CLIENT

CENTRAL PLATTE VALLEY
METROPOLITAN DISTRICT

WEWATTA PLAZA:
DREAMSCAPE
SCULPTURE

1900 16TH STREET,
DENVER, COLORADO 80202

ENCROACHMENT PACKAGE

PROJECT NO. PRJ-XX

PRINT DATE 12/18/2025
HORIZONTAL SCALE 1:10

DRAWN BY LK
CHECKED BY TW

SHEET TITLE

COVER SHEET



SHEET NO.

01

SITE PLAN

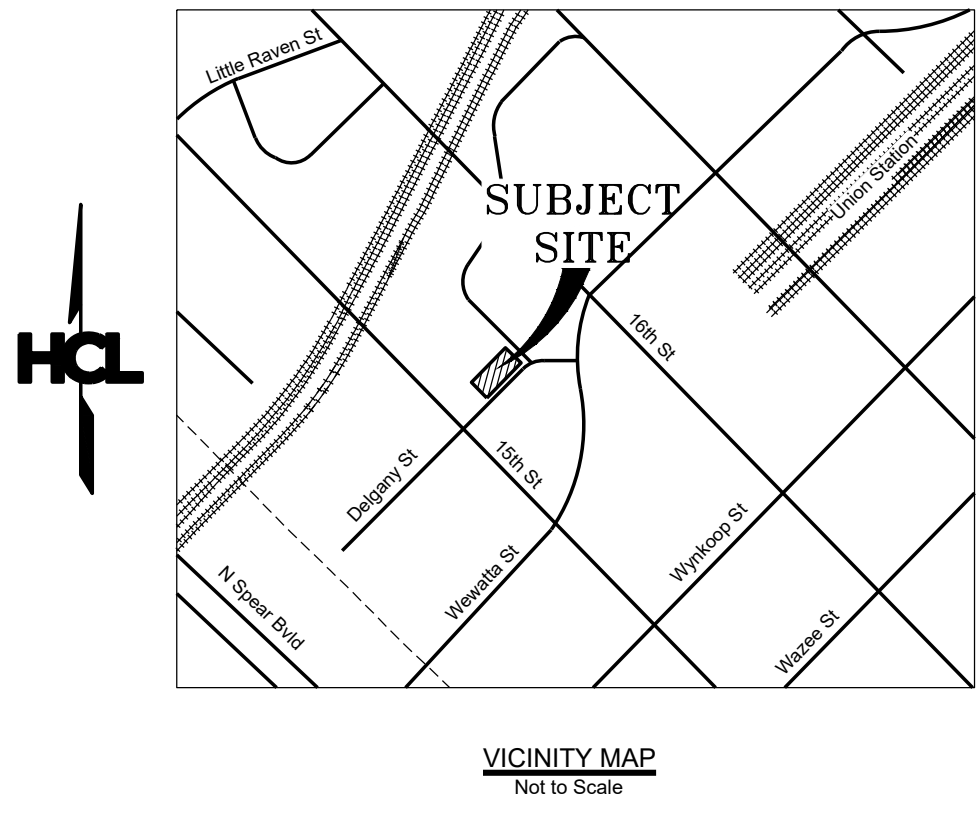
1900 16th Street, Denver, CO

Lot 1, Block 3, The Commons Subdivision Filing No.1,

Located in the Northwest Quarter of the Northeast Quarter of of Section 33,

Township 3 South, Range 68 West of the 6th Principal Meridian,

City and County Denver, State of Colorado

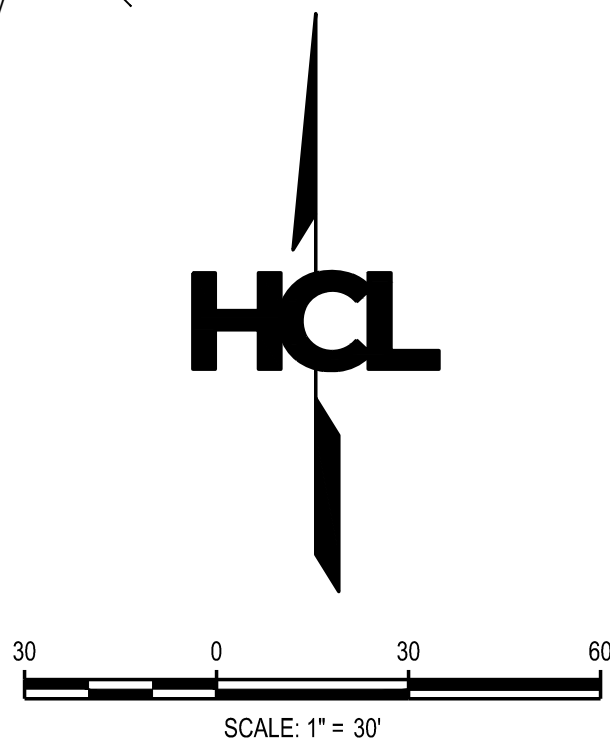
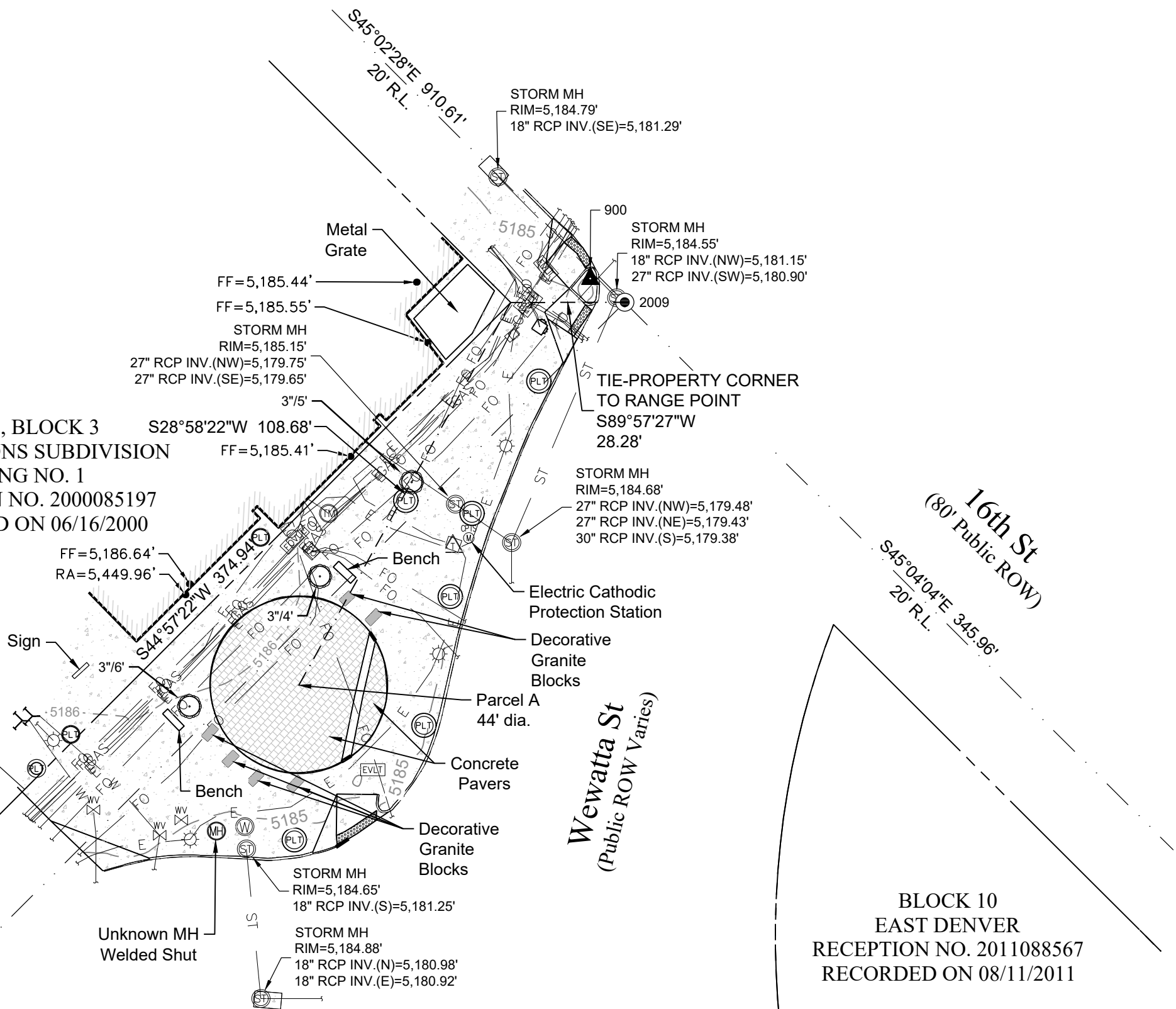


LOT 1, BLOCK 3
THE COMMONS SUBDIVISION
FILING NO. 1
RECEPTION NO. 2000085197
RECORDED ON 06/16/2000

LOT 1, BLOCK 3
THE COMMONS SUBDIVISION
FILING NO. 1
RECEPTION NO. 2000085197
RECORDED ON 06/16/2000

BLOCK 1
THE COMMONS SUBDIVISION
FILING NO. 2
RECEPTION NO. 2001206849
RECORDED ON 12/06/2001

BLOCK 10
EAST DENVER
RECEPTION NO. 2011088567
RECORDED ON 08/11/2011



GENERAL NOTES

- Nature and purpose of this survey: This survey is not a land survey plat, improvement survey plat, or improvement location certificate. The purpose of this survey was to locate improvements and topography only within the limits specified by client. Client provided no title reports and/or title company research. If any easements exist within the surveyed area, their existence is unknown to surveyor and they are not shown.

Benchmark: City and County of Denver, Benchmark no. 485
City and County of Denver coordinate system. A found City and County of Denver 2" brass cap on top of concrete base of transformer tower north of 15th St and east of South Platte River. NAVD88 Elevation= 5,190.69'
- The linear units of measure used in this survey are U.S. survey feet. The United States survey foot is defined as exactly 1200 / 3937 meters.
- This topographic survey drawing does not represent a monumented land survey and is only intended to depict site control as it existed on the date surveyed
- Horizontal coordinates for this survey are based on the City and County of Denver (CCD) local projection coordinate system.
- Date of field survey: 09/24/2025.
- Any person who knowingly removes, alters or defaces any public land survey monument or land boundary monument or accessory commits a class two (2) misdemeanor pursuant to state statute 18-4-508, C.R.S.

UTILITY LOCATION NOTES

- This survey was prepared with the benefit of electronic underground utility technology. This technology relies on connection for a tracer signal. The detection of the signal can be limited by a number of factors and these influence the accuracy of a marked location. This method of location is approximate. When an accurate location is needed, a utility pothole will need to be performed.
- The underground utility location was performed by HCL Engineering and Surveying, LLC., 5975 S Quebec St, Suite 200, Centennial, CO 80111. Phone: 303-773-1605.
- The utility information shown on this drawing was derived from visible features on or above the ground, marks placed by underground utility locates, and publicly available utility maps.
- The location of underground features cannot be accurately, completely and reliably determined without excavation. Where additional or more detailed information is required, the client is advised that excavation may be necessary. No excavations were made during the progress of this exhibit to locate buried utilities and structures. All underground utilities must be field located by the appropriate agency or utility company prior to any excavation, pursuant to C.R.S. Sec 9-1.5-103.

LEGEND

---	Right-of-Way	⊙	Electric Manhole
---	Range Line	⊞	Electric Pedestal
---	Major Contour	⊞	Electric Vault
---	Minor Contour	⊞	Light Pole
---	Buried Electrical Line	⊞	Electric Transformer
---	Buried Gas Line	⊞	Storm Manhole
---	Buried Fiber Optic Line	⊞	Water Manhole
---	Buried Water Line	⊞	Fire Department Connection
---	Buried Storm Line	⊞	Water Valve
---	Concrete	⊞	Telephone Manhole
---	Building	⊞	End Of Information
---	ADA Ramp	⊞	Landscape Planter Box
---	Concrete Pavers	⊞	Deciduous Tree (Trunk Diameter/Drip Line Radius)

SURVEYOR'S CERTIFICATION

I, Jon Spirk, a registered Professional Land Surveyor in the state of Colorado, have affixed my stamp and signature representing that the surveying services addressed hereon have been performed by me or under my responsible charge, and are based upon the professional surveyor's knowledge, information, belief and is in accordance with applicable standards of practice.



Jon Spirk, P.L.S.
Colorado Reg. No. 38351 for and on behalf of
HCL Engineering and Surveying, LLC

The word "Certification" and/or "Certify" as shown and used hereon means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee, expressed or implied.

Survey Project Control Table				
Point #	Northing	Easting	Description	
2009	399,269.23	570,554.84	FOUND 2INCH ALUM CAP IN CONC STAMPED "CCD RANGE POINT PLS 38198"	
2014	398,929.61	570,215.74	FOUND NO8 REBAR IN RANGE POINT BOX	

Revision #	Description	Date	Author
1			
2			
3			
4			



HCL ENGINEERING & SURVEYING, L.L.C.
5975 S. QUEBEC ST, SUITE 200
CENTENNIAL, CO 80111
PHONE: 303.773.1605
FAX: 303.773.3297
WWW.HCLENGINEERING.COM

1900 16th Street
Encroachment
Site Plan

Job Number	250200	Drawn By:	JRH
Date:	10-01-2025	Checked By:	JNS
Sheet Number:	02	of	05

PROJECT DESCRIPTION

1. Sujin Lim – Dreamscape is a series of freestanding stainless steel and fiberglass sculpture and a concrete foundation, to be installed at 1900 16th St., Denver, CO 80202.

2. This section is for general orientation only. The Contractor is responsible for all scope items described in the drawings and specifications as well as for all material and labor that can reasonably be inferred there from.

GENERAL APPLICATION

1. All things which, in the opinion of the Contractor, appear to be deficiencies, omissions, contradictions or ambiguities in the drawings shall be brought to the attention of the Structural Engineer. Corrections or written interpretations shall be issued before affected work may proceed.

2. The Contractor shall inform the Structural Engineer, clearly and explicitly in writing, of any deviation or substitution from the requirements of the contract documents. Contractor shall not be relieved of any requirement of the contract documents by virtue of the Structural Engineer's review of shop drawings, project data, etc., unless the Contractor has clearly and explicitly informed the Structural Engineer in writing of any deviations or substitutions at time of submission.

DESIGN CRITERIA

- Building Code: 2024 IBC with 2025 City of Denver Amendments
- Gravity Loads:
 - DL = Sculpture Self-Weight
 - LL = 200# Conc. Horiz.
- Foundation Design:
 - Use Code Minimum Allowable Soil Bearing Pressure = 1500psf
- Wind Loading:
 - Ultimate Design Wind Speed = 115 MPH, Risk Category II
 - Wind Exposure B
 - Design Wind Pressure, $p_{WSO} = 16psf$
- Seismic Loading: $N/A -$ Wind Controls

CODES AND STANDARDS

- Building Code: 2024 IBC with 2025 City of Denver Amendments
- "Specification for Structural Steel Buildings" ANSI / AISC 360-05 by American Institute of Steel Construction (AISC).
- "AISC Code of Standard Practice" by AISC.
- "Structural Stainless Steel" by AISC.
- "Building Code Requirements for Reinforced Concrete", ACI318, by the American Concrete Institute (ACI).
- "Manual of Standard Practice" by the Concrete Reinforcing Steel Institute (CRS).
- All references are latest edition unless noted otherwise.

CAST-IN-PLACE CONCRETE

- Minimum concrete compressive strength at 28 days and unit weight:

ELEMENT	STRENGTH, PSI	WEIGHT, PCF
Footings	4000	145
- Concrete shall not be placed until reinforcing and embedded items have been inspected by the owner's independent inspection agency and/or the special investigator.
- Reinforcing:
 - Bars: ASTM A615--grade 60, except grade 40 for bars noted as field bent.
 - Welded Wire Fabric: ASTM A185.
- Clearance between reinforcing and concrete surfaces:
 - Unformed - 3"
- Earth formed trenches may be used for footings.
- Unless noted, provide continuous reinforcing around corners and through: construction joints, and joints between all abutting members.
- Provide standard hooks on bars terminating at a concrete face unless noted i.e.: edges of openings, slab edges, expansion joints, ends of beams, and ends of walls, etc.
- Splice bars with contact laps unless noted otherwise.
 - Use class A splices.
 - For lightweight concrete, multiply lengths in tables by 1.3.
 - For epoxy-coated reinforcement, multiply lengths in tables by 1.5.

TENSION LAP SPLICES (4000 PSI CONCRETE)

BAR SIZE	LAP CLASS	TOP BARS	OTHER BARS
#3	A	19	15
	B	24	19
#4	A	25	19
	B	32	25
#5	A	31	24
	B	40	31
#6	A	37	29
	B	48	37
#7	A	54	42
	B	70	54
#8	A	62	48
	B	80	62
#9	A	70	54
	B	91	70
#10	A	79	61
	B	102	79
#11	A	87	67
	B	113	87

- Concrete mix designs:
 - Submit written reports of each proposed concrete mix not less than 15 days prior to the start of work.
 - Mix designs, including water cement ratios and slumps, shall be prepared in accordance with ACI 301.
 - Cement shall conform to ASTM C 150 Type I.
 - Normal weight aggregate shall conform to ASTM C33.
 - Light weight aggregate shall conform to ASTM C330.
 - No admixtures containing calcium chloride shall be permitted in any concrete.
 - Maximum aggregate size shall be: 1 1/2" for formed elements and 3/4" for slabs on grade.
 - Water reducing admixture shall be used in all concrete.
 - Air entraining admixture in accordance with ACI 301 shall be used in all concrete exposed to freezing and thawing during either construction or service conditions.
 - Concrete subjected to freezing/thawing shall have a maximum water/cement ratio of 0.50 and shall contain the amount of air entraining agent specified in ACI 301.
 - In no case shall water/cement ratio exceed the following:

$f'c=4000$ psi	0.50 max. w/c ratio
----------------	---------------------

24.Curing:

- Liquid type, membrane forming curing compound, conforming to ASTM C309, use Type I, Class A compounds.
- Curing compounds should not be used on surfaces that are to receive additional concrete, paint, tile or other material requiring a positive bond unless the contractor has demonstrated that the membrane can be satisfactorily removed before subsequent application is made, or the membrane dissipates or can serve satisfactorily as the base for the later application.
- Curing shall be maintained for a period of 7 days in which the mean ambient temperature is above 40 degrees Fahrenheit or until the concrete has attained 70% of the specified compressive strength.

25.Hot Weather Placement: When depositing concrete in hot weather, follow recommendations of ACI 305. The temperature of concrete at time of placement shall not exceed 90 degrees Fahrenheit. Protect to prevent rapid drying. Start finishing and curing as soon as possible.

26.Cold Weather Placement: When temperatures drop below 40 degrees at any time during concrete placing and curing, the provisions of ACI 306 R-2, which addresses the protection of concrete from freezing shall be followed. The following provisions are a guideline for cold-weather concreting procedures, however, they DO NOT replace nor supersede ACI-306.

27.Concrete mix and mixing procedures:

- Where use is desired, a non-corrosive, non-chloride accelerating admixture may be used in accordance with manufacturers printed instructions. Admixtures containing calcium chloride SHALL NOT BE USED UNDER ANY CIRCUMSTANCES.
- Air entraining admixture in accordance with ACI-301 shall be included in any concrete subject to freezing and thawing during either construction or service conditions.
- Water and aggregate shall be uniformly heated to achieve the following temperatures during mixing (Refer to ACI-306, Table 3.1). If air temperature is ..., then concrete temperature as mixed is...

Greater than 30° F; 60° F	Between 0° and 30° F; 65° F	Less than 0° F; 70° F
---------------------------	-----------------------------	-----------------------
- Concrete slump shall be maintained at 4 inches or less. (Ref. ACI-306)

28.Concrete Placing: (Ref. ACI-306)

- All snow, ice, and frost shall be removed so that it does not occupy space intended to be filled with concrete.
 - Concrete shall not be placed on frozen subgrade.
 - Concrete shall be placed at a temperature not less than 55° F.
- 29.Protection of concrete during curing: (Ref. ACI-306)
- Concrete shall be maintained at a temperature not less than 55° F during curing for the time duration specified below.
 - Concrete that will be exposed to little or no freezing and thawing in service or during construction, such as in foundations and substructures, shall be maintained at the curing temperature for:
 - Two days if made with Type I or II Cement.
 - One day if made with Type III cement, or accelerating admixture, or 100 lbs/yd of additional cement.
 - Concrete that will be exposed to weather in service or during construction:
 - Three days if made with Type I or II cement.
 - Two days if made with Type III cement, or accelerating admixture, or 100 lbs/yd of additional cement.

30.Insulating materials for concrete protection are outlined in ACI-306.

31.Welding of reinforcing is prohibited.

STAINLESS STEEL

- Stainless steel scope consists of anchors and hardware.
- Stainless steel grade: ASTM A554 TYPE T304 typ. U.N.O.

MISCELLANEOUS NOTES

- The Contractor is solely responsible for all safety regulations, programs and precautions related to all work on this project.
- The Contractor is solely responsible for the protection of persons and property either on or adjacent to the project and shall protect it against injury, damage, or loss.
- Means and methods of construction and erection of structural materials are solely the Contractor's responsibility.
- The structure is designed to function as a unit upon completion of construction of the project and then, only to support the design loads indicated. The contractor is responsible for means, methods and sequence of construction and the adequacy of the structure to support loads occurring during construction of the project. Furnish all temporary bracing, shoring, and/or support as may be required.
- No structural modifications, alterations, or repairs shall be made without prior review by Structural Engineer.

QUALITY CONTROL

- The Contractor is responsible for quality control, including workmanship and materials furnished by his subcontractors and suppliers.
- Inspection or testing by the Owner does not relieve the Contractor of his responsibility to perform the Work in accordance with the Contract Documents.
- Workmanship: The Contractor is responsible and shall bear the cost of correcting work which does not conform to the specified requirements.
- Correct deficient work by means acceptable to the Engineer. The cost of extra work incurred by the Engineer to approve corrective work shall be borne by the Contractor.

SPECIAL INSPECTION

- Special inspection is required per IBC, chapter 17 for the following:
 - Inspection of subgrade preparation operations by Geotechnical Engineer.
 - Placement of concrete reinforcement prior to closing of formwork and placing of concrete.
 - Concrete placement and strength testing.
 - Inspect all anchor bolts and embedments cast into concrete.
- The Contractor shall be responsible for notifying Special Inspector 72 hours in advance of required inspections for scheduling purposes. Failure to meet observation schedules may require removal (for inspection purposes) of any finishes that have been subsequently installed. Approval by the special Inspector does not preclude observation by the Engineer of Record and approval by the EOR does not preclude the inspection process by the Special Inspector and any other code requirements for inspection. Removal and replacement of any finishes and/or framing damaged by the finish removal process or as required for corrective action shall be at the Contractor's expense, not the Owner, Engineer or Structural Observer.
- Yetiworks may also provide verbal instructions to field supervision personnel as needed to ensure that the observed work conforms to contract documents, and will follow up site observations with a written report of items observed with noted deficiencies.
- Structural Observation: As a minimum, the Engineer Shall perform structural observation at the following stages of construction:
 - Footings: After excavation and placement of steel, but before placement of concrete.
 - At completion of fabrication of structure.
 - At completion of installation.

6. Upon completion of work the Structural Observer shall submit a report to the Owner and the Building Official bearing his/her wet stamp and signature attesting to the visual observations made. The report shall also identify any reported deficiencies, which have not been resolved.

7. Welding shall be performed by qualified welders having current valid certifications for the work being performed. Welding shall be performed under the supervision of a Special Inspector or in the shop of a fabricator approved by the authority having jurisdiction. A certification of fabrication from the shop performing the welding or a report from the Special Inspector shall be provided to the Building Inspector prior to framing approval.

STRUCTURAL ABBREVIATIONS

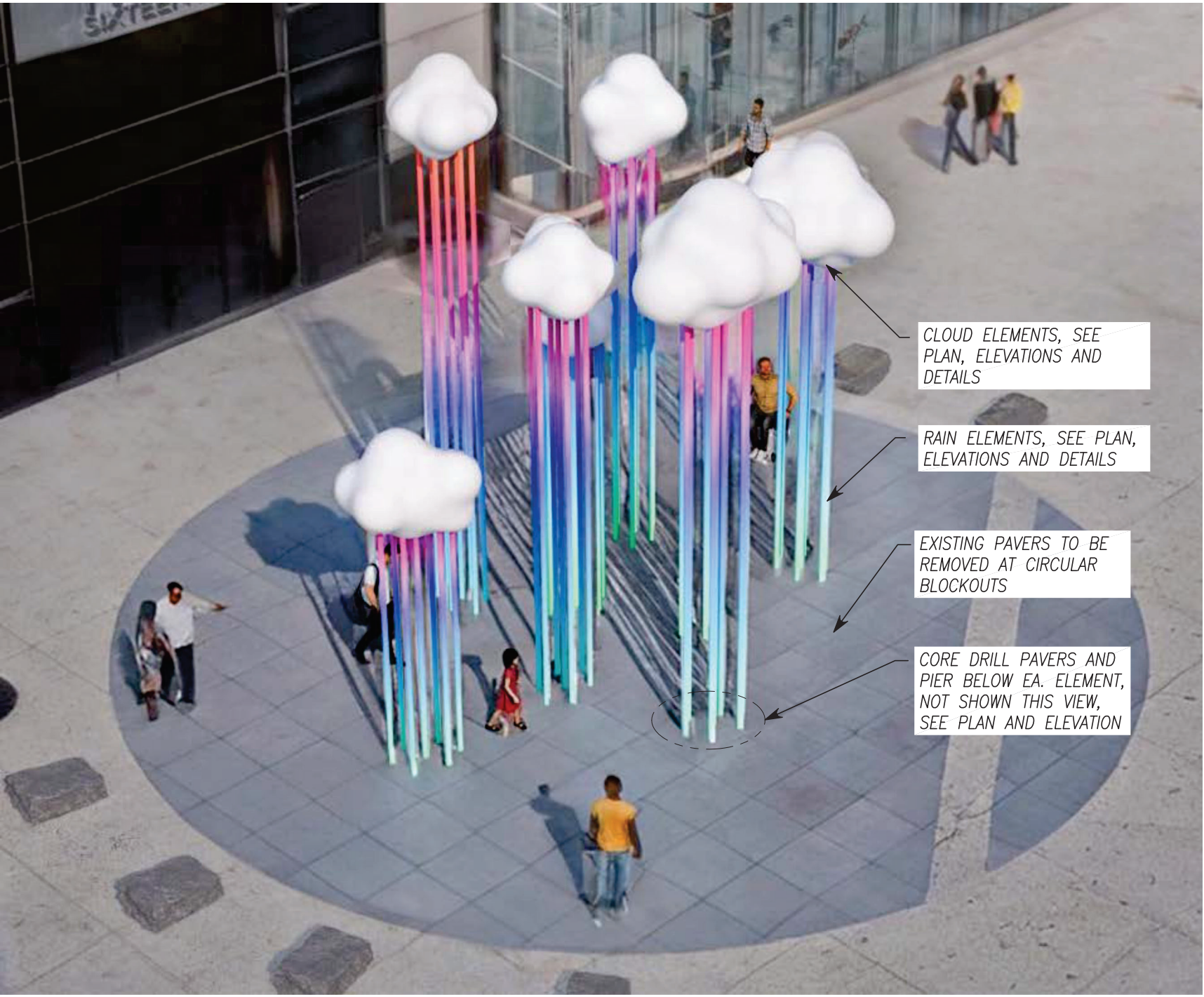
ABBREV.	DEFINITION	ABBREV.	DEFINITION
A.B.	anchor bolts	HORIZ	horizontal
ADDN'L	additional	I.F.	inside face
A.F.F.	above finished floor	INT	interior
ALT	alternate	JT	joint
ARCH	architectural	L, LEN	length
B, BOT	bottom	LAT	lateral
B.B.	bond beam	LLH	long leg horizontal
B.L.	brick ledge	LLV	long leg vertical
BLDG	building	LONG	longitudinal
BM	beam	LVL	laminated veneer lumber
BRG	bearing	MAS	masonry
BTWN	between	MAX	maximum
CJ	const./control joint	MECH	mechanical
CL,CLR	clear	MLAM	microlam
CMU	conc. masonry unit	MFR	manufacturer
COL	column	MIN	minimum
CONC	concrete	MTL	metal
CONN	connection	N.I.C.	not in contract
CONST	construction	NMWT	normal weight
CONT	continuous	NOM	nominal
CTRL	control	NS	near side
DET,DTL	detail	O.F.	outside face
DB	deck bearing	O.H.	opposite hand
DIM	dimension	OPNG	opening
DK	deck	PC	precast
DS	diagonal sheathing	PL	plate
DWGS	drawings	REINF	reinforcement
DWL	dowel	REQ'D	required
EA	each	RET	retaining
EE	extended end	RWR	rake wall rafter
EF	each face	S.A.D.	see arch. drawings
EFF	effective	S.O.G.	slab on grade
EJ	expansion joint	SC	slip critical
EL,ELEV	elevation	SCHED	schedule
EOC	edge of concrete	SECT	section
EOD	edge of deck	SIP	structural insulating panel
EOM	edge of masonry	SL	slab
EOS	edge of slab	SPA	spacing
EW	each way	SST	Simpson Strong Tie
EXIST	existing	STFNRR	stiffener
EXP	expansion	STL	steel
EXT	exterior, extension	SUPPL	supplier
FDTN	foundation	SUPT	support
FF	finish floor	T	top
FL	floor	T/xx	top of xxx
FOS	face of stud	THK	thick, thickness
FP	full penetration	TJI	Wood I beam (see notes)
FPS	for side	TRAN	transverse
FTG	footing	TYP	typical
GA	gauge	UNO	unless noted otherwise
GB	grade beam	U.S.C.	under separte contract
GEN	general	VERT	vertical
GLB	glu-lam beam	V.I.F.	verify in field
HAS	headed anchor stud	W	wide, width
HK	hook	WWF	welded wire fabric

GENERAL LEGEND

GENERAL NOTATIONS	
	ELEVATION OR BUILDING SECTION XX = DRAWING NUMBER YY = SHEET NUMBER
	SECTION CUT XX = DRAWING NUMBER YY = SHEET NUMBER
	DETAIL CALL OUT XX = DRAWING NUMBER YY = SHEET NUMBER
	DETAIL SECTION CUT B
	INDICATES STEPS AND SLOPES IN DECKS, ROOFS, & SLABS
	ELEVATION CALLOUT XXX'-YY" = OBJECT ELEVATION T.O. SLAB = T.O. (OR B.O.) OBJECT
	INDICATES ADDENDUM NUMBER
	INDICATES CHANGE FROM LAST ISSUE
	KEYED NOTE - SEE KEYED NOTES
	INDICATES EXTENTS

STRUCTURAL SHEET LIST

SHEET NUMBER	SHEET NAME	CURRENT DATE	Construction Documents	12/15/2025
S000	General Notes, Sheet List and Artist Rendering	12-15-2025	X	
S101	Sculpture Plan, Elevation and Details	12-15-2025	X	
ISSUE NOTATION: X - ISSUED AS NOTED ABOVE I - ISSUED FOR INFORMATION ONLY XX - REVISION NUMBER (01, 02, etc.)				



1

ARTIST RENDERING

SCALE : NTS

21300T001

Yetiworks

ART + ENGINEERING

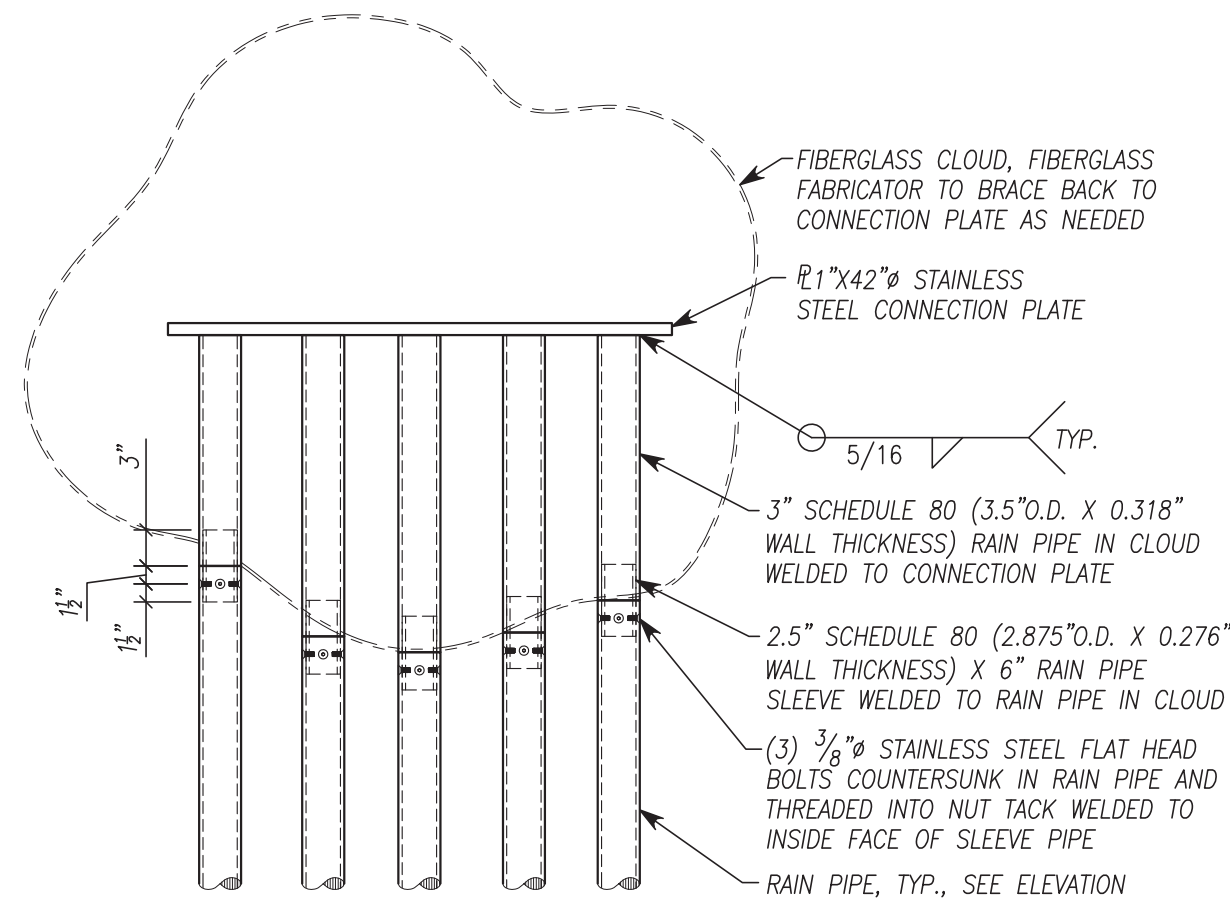
303.646.7533 | yetiwork@gmail.com

www.yetiworks.co

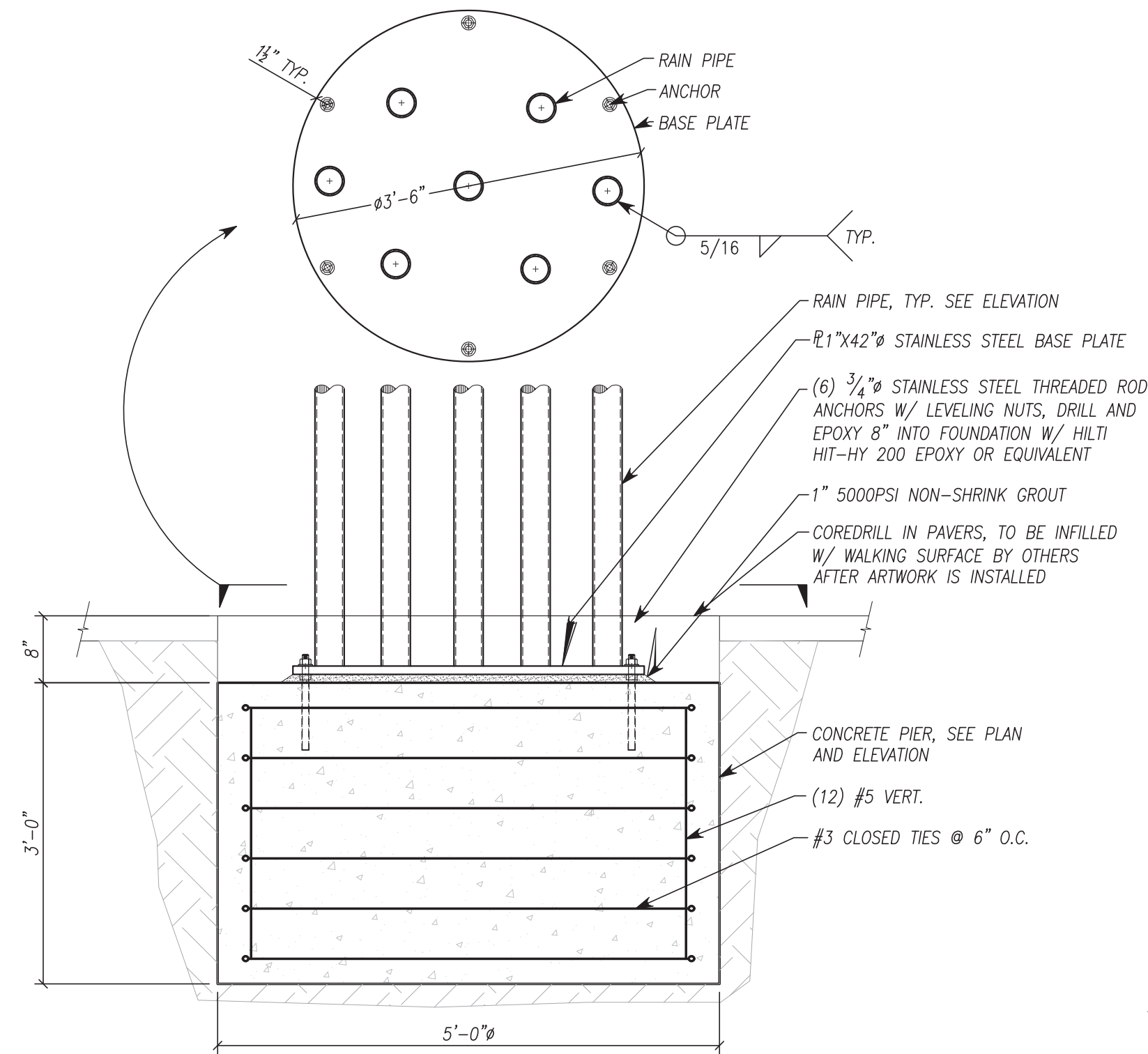
TITLE:	GENERAL NOTES, SHEET LIST	S000
PROJECT NAME:	Sujin Lim - Dreamscape	
DRAWN BY:	NAG	SCALE: AS NOTED

DISCLAIMER
THE STRUCTURAL ENGINEER'S SEAL ON THIS DRAWING INDICATES THAT THE INFORMATION SHOWN AND THE CALCULATIONS PERTAINING TO THAT INFORMATION HAVE BEEN PREPARED BY QUALIFIED PEOPLE UNDER THE DIRECTION OF THE ENGINEER-OF-RECORD. THE SEAL DOES NOT IMPLY RESPONSIBILITY FOR INFORMATION PREPARED BY OTHERS NOR FOR ANY INFORMATION NOT SHOWN ON THIS DRAWING AND SUCH RESPONSIBILITY IS SPECIFICALLY DISCLAIMED. ON PHASED PROJECTS, DRAWINGS THAT ARE ISSUED BUT NOT SEALED SHALL BE CONSIDERED TO BE PRELIMINARY IN NATURE AND ARE ISSUED FOR INFORMATION ONLY.

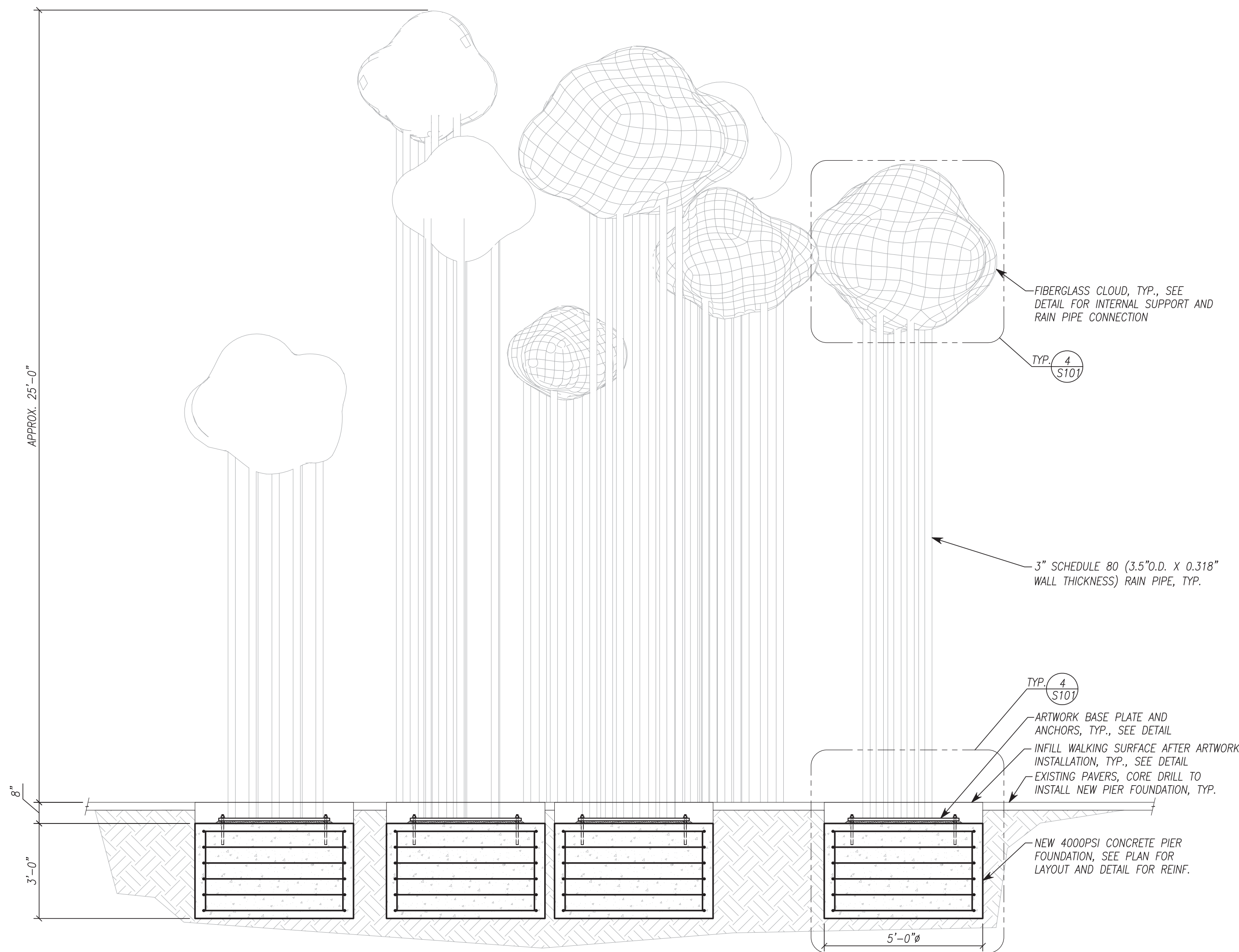
THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS ON THE PROJECT TO CLEARLY DEFINE ALL OF THE REQUIREMENTS FOR CONSTRUCTION. WHERE CONFLICTS OCCUR, CONTACT THE ARCHITECT FOR CLARIFICATION.



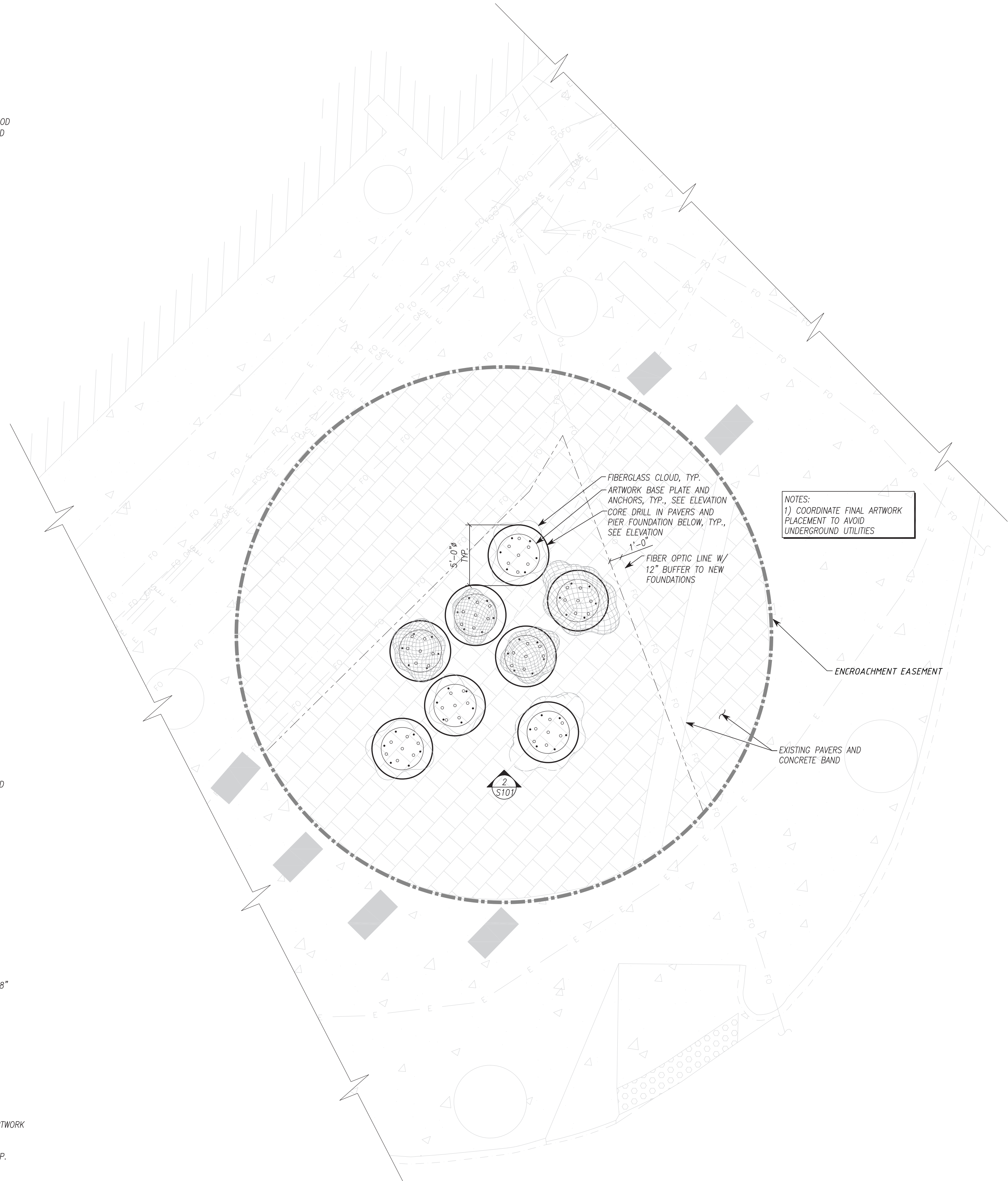
4 CLOUD CONNECTION DETAIL
SCALE : 3/16"=1'-0" 21300T001



3 BASE CONNECTION DETAIL
SCALE : 3/4"=1'-0" 21300T001



2 SCULPTURE ELEVATION
SCALE : 3/8"=1'-0" 21300T001



1 SCULPTURE PLAN
SCALE : 3/16"=1'-0" 21300T001

DISCLAIMER
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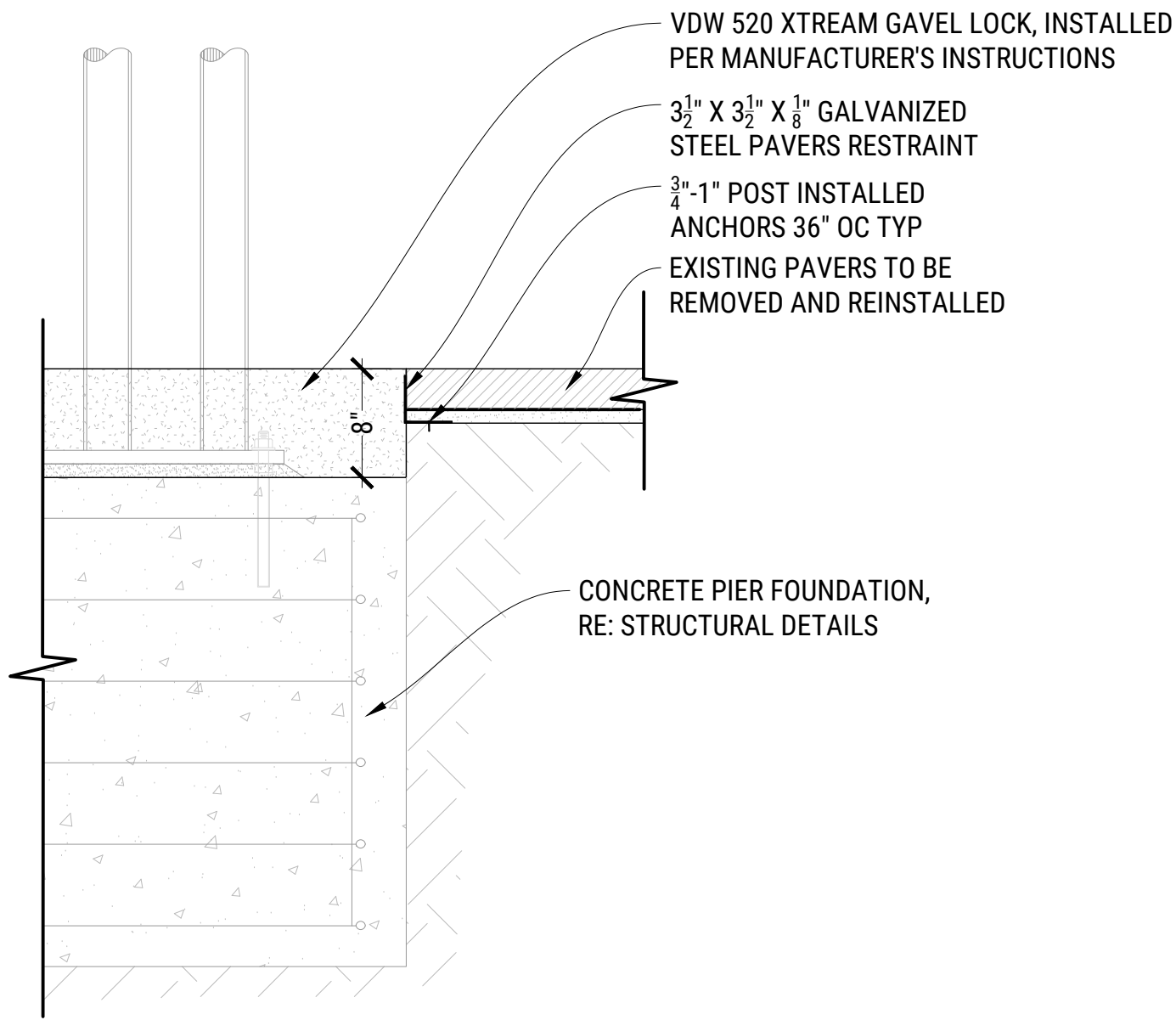


yetiworks
ART + ENGINEERING
303.648.7533 | yetiworks@gmail.com
www.yetiworks.com

TITLE:	SCULPTURE PLAN, ELEVATION AND DETAILS
PROJECT NAME:	Sujin Lim - Dreamscape
DRAWN BY:	NAC
SCALE:	AS NOTED

S101

THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS ON THE PROJECT TO CLEARLY DEFINE ALL OF THE REQUIREMENTS FOR CONSTRUCTION. WHERE CONFLICTS OCCUR, CONTACT THE ARCHITECT FOR CLARIFICATION.



1 BASE CONNECTION - RESIN BOUND AGGREGATE & STONE PAVER REINSTALLATION
NOT TO SCALE



3827 Lafayette Street #135
Denver, CO 80205
t. 303.800.2201
www.livablecitiesstudio.com



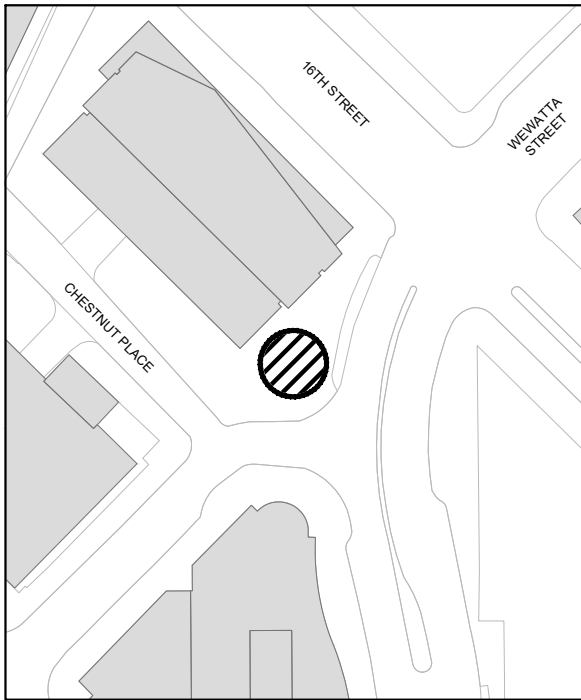
REVISIONS / SUBMISSIONS

NO.	DATE	DESCRIPTION	BY

STAMP

**PROGRESS SET:
NOT FOR
CONSTRUCTION**

KEYMAP



CLIENT

CENTRAL PLATTE VALLEY
METROPOLITAN DISTRICT

**WEWATTA PLAZA:
DREAMSCAPE
SCULPTURE**

1900 16TH STREET,
DENVER, COLORADO 80202

ENCROACHMENT PACKAGE

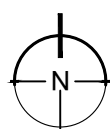
PROJECT NO. PRJ-XX

PRINT DATE 12/18/2025
HORIZONTAL SCALE 1:10

DRAWN BY LK
CHECKED BY TW

SHEET TITLE

LANDSCAPE DETAILS



SHEET NO.

L101

EXHIBIT A

"LAND DESCRIPTION"

A parcel of land located in the public right-of-way of Delgany Street adjacent to Lot 2, Block 1, The Commons Subdivision - Filing No. 3, situated in the Northeast Quarter of Section 33, Township 3 South, Range 68 West of the 6th Principal Meridian, City and County of Denver, State of Colorado, more particularly described as follows:

Commencing at the range point at the intersection of 16th St and Delgany St, being monumented with a found 2" aluminum rock cap stamped "CCD RANGE POINT PLS 38198".

THENCE N45°02'28"W along the 20 foot range line in 16th St, a distance of 20.00 feet to the northeasterly prolongation of the northwesterly right-of-way line of Delgany St;

THENCE S44°57'22"W, along said northeasterly prolongation of the northwesterly right-of-way line of Delgany St, a distance of 68.58 feet to the POINT OF BEGINNING;

THENCE S45°02'38"E, a distance of 35.09 feet;

THENCE S10°58'21"W, a distance of 44.37 feet;

THENCE S40°27'41"W, a distance of 43.47 feet;

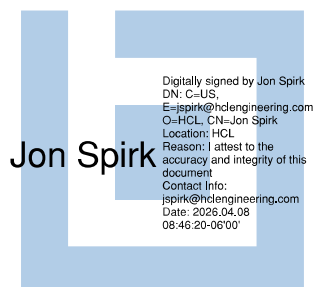
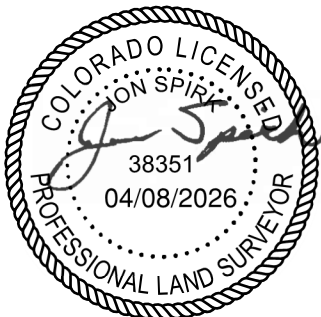
THENCE N65°16'06"W, a distance of 67.45 feet to said northwesterly right-of-way line;

THENCE N44°57'22"E, along said northwesterly right-of-way line, a distance of 103.44 feet to the POINT OF BEGINNING;

Containing 5,154 sq. ft. or 0.118 acres ±

Basis of Bearings:

The 20' range line in Delgany St being monumented with a found 2" aluminum cap in concrete stamped "CCD RANGE POINT PLS 38198" at the intersection of 16th St and Delgany St, and monumented with a found #8 rebar in range box at the intersection of 15th St and Delgany St, said line bears of S44°57'22"W.



JON SPIRK
PROFESSIONAL LAND SURVEYOR
LICENSE NO. 38351, STATE OF COLORADO
FOR AND ON-BEHALF OF HCL ENGINEERING AND SURVEYING, LLC



HCL ENGINEERING & SURVEYING, L.L.C.
5975 S. QUEBEC ST, SUITE 200
CENTENNIAL, CO 80111
PHONE: 303.773.1605
FAX: 303.773.3297
WWW.HCLENGINEERING.COM

1900 16th Street

Land Description

Job Number:	250200	Drawn By:	JRH
Date:	04-08-2026	Checked By:	JNS

SHEET
1
OF
2

EXHIBIT A ILLUSTRATION

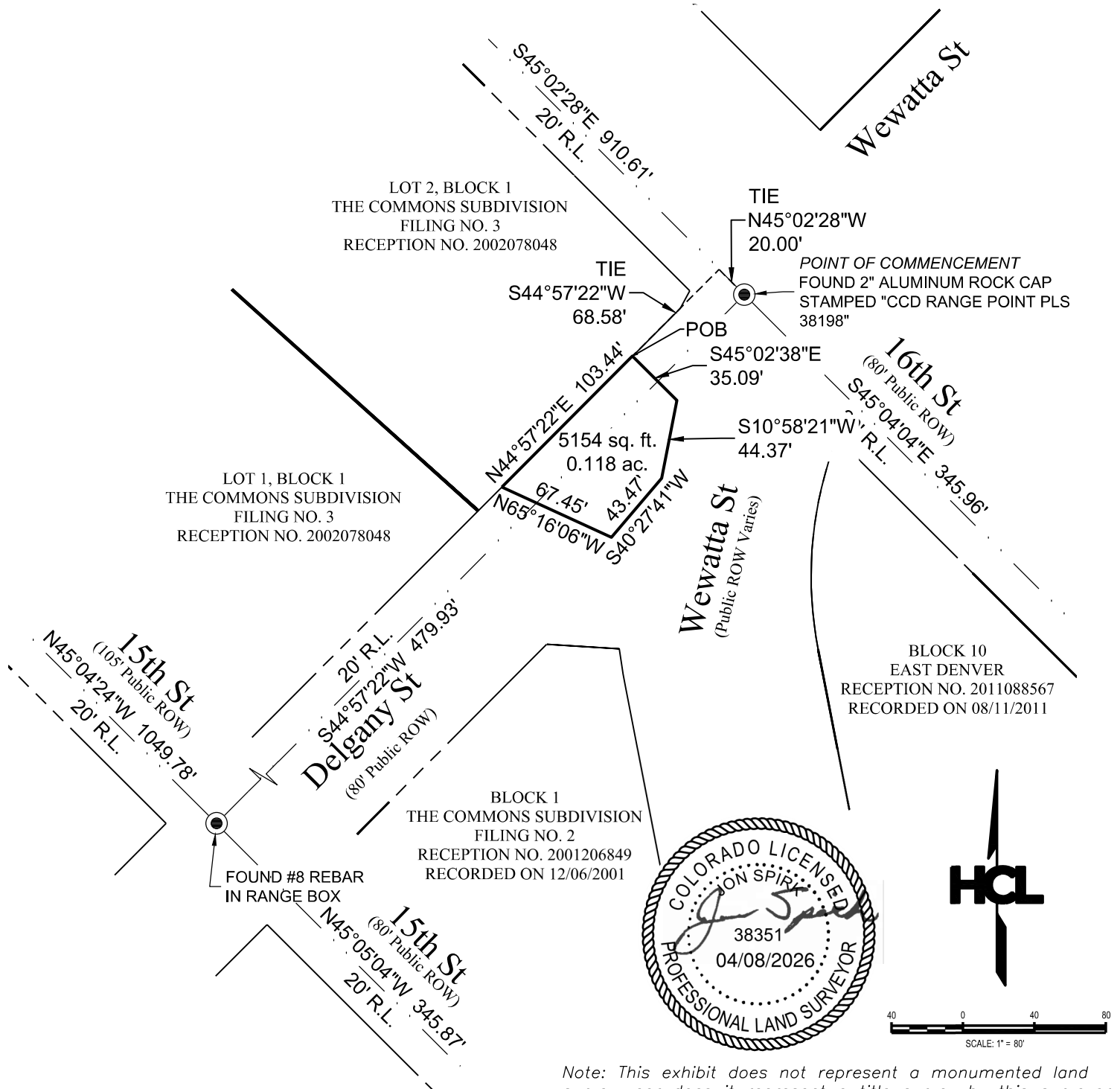
1900 16th Street, Denver CO
Located in the Northeast Quarter of Section 33,
Township 3 South, Range 68 West of the 6th Principal Meridian,
City and County of Denver, State of Colorado

LOT 2, BLOCK 1
THE COMMONS SUBDIVISION
FILING NO. 3
RECEPTION NO. 2002078048

LOT 1, BLOCK 1
THE COMMONS SUBDIVISION
FILING NO. 3
RECEPTION NO. 2002078048

BLOCK 1
THE COMMONS SUBDIVISION
FILING NO. 2
RECEPTION NO. 2001206849
RECORDED ON 12/06/2001

BLOCK 10
EAST DENVER
RECEPTION NO. 2011088567
RECORDED ON 08/11/2011



Note: This exhibit does not represent a monumented land survey, nor does it represent a title survey by this surveyor, it is intended only to depict the attached description.



HCL ENGINEERING & SURVEYING, L.L.C.
5975 S. QUEBEC ST, SUITE 200
CENTENNIAL, CO 80111
PHONE: 303.773.1605
FAX: 303.773.3297
WWW.HCLENGINEERING.COM

1900 16th Street ILLUSTRATION

Job Number:	250200	Drawn By:	JRH
Date:	04-08-2026	Checked By:	JNS

SHEET
2
OF
2

A parcel of land located in the public right-of-way of Delgany Street adjacent to Lot 2, Block 1, The Commons Subdivision - Filing No. 3, situated in the Northeast Quarter of Section 33, Township 3 South, Range 68 West of the 6th Principal Meridian, City and County of Denver, State of Colorado, more particularly described as follows:

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THENCE S45°02'38"E, a distance of 35.09 feet;

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The 20' range line in Delgany St being monumented with a found 2" aluminum cap in concrete stamped "CCD RANGE POINT PLS 38198" at the intersection of 16th St and Delgany St, and monumented with a found #8 rebar in range box at the intersection of 15th St and Delgany St, said line bears of S44°57'22"W.

Tier III - 1900 16th Street Plaza Sculpture

06/30/2026

Master ID: 2025-PROJMSTR-0000527 **Project Type:**
Review ID: 2025-ENCROACHMENT-0000162 **Review Phase:**
Location: 1900 16th Street **Review End Date:** 01/14/2026

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: DS Transportation Review Review Status: Approved

Reviewers Name: Matt Steder
Reviewers Email: Matt.Steder@denvergov.org

Status Date: 01/06/2026
Status: Approved
Comments: This project reviewed by ROWS-DES only for coordination with other nearby private developments.

Reviewing Agency: DS Project Coordinator Review Review Status: Approved - No Response

Status Date: 01/15/2026
Status: Approved - No Response
Comments:

Reviewing Agency: Survey Review Review Status: Approved

Reviewers Name: Thomas Savich
Reviewers Email: Thomas.Savich@denvergov.org

Status Date: 04/13/2026
Status: Approved
Comments: PWPRS Project Number: 2025-ENCROACHMENT-0000162 - Tier III - 1900 16th Street Plaza Sculpture
Reviewing Agency/Company: DOTI/ROWS/SURVEY
Reviewers Name: Thomas Savich
Reviewers Phone: 8188098753
Reviewers Email: thomas.savich@denvergov.org
Approval Status: Approved

Comments:
Required items B C & D not required for Authorized Special District

Attachment: a_2025Encroach162-SitePlan-001.pdf

Attachment: e_2025Encroach162-Desc and Illus-002.pdf

Attachment: f_2025Encroach162-Desc-002.docx

Status Date: 01/14/2026
Status: Denied
Comments: Survey redlines are in the project REDLINES folder (REDLINES- Survey- Savich.pdf)

Comment Report

Tier III - 1900 16th Street Plaza Sculpture

06/30/2026

Master ID: 2025-PROJMSTR-0000527 **Project Type:**
Review ID: 2025-ENCROACHMENT-0000162 **Review Phase:**
Location: 1900 16th Street **Review End Date:** 01/14/2026

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: DES Wastewater Review Review Status: Approved w/Conditions

Reviewers Name: Nate Martel
Reviewers Email: Nate.Martel@denvergov.org
Status Date: 06/30/2026
Status: Approved w/Conditions
Comments: PWPRS Project Number: 2025-ENCROACHMENT-0000162 - Tier III - 1900 16th Street Plaza Sculpture
Reviewing Agency/Company: City and County of Denver
Reviewers Name: Nate Martel
Reviewers Phone: 7203373908
Reviewers Email: nate.martel@denvergov.org
Approval Status: Approved with conditions

Comments:
CCD GIS data indicates an active sanitary sewer service beneath the work area (this appears to be captured on the current site survey). This should be investigated prior to construction to determine if a conflict exists with the proposed installation.

Status Date: 01/14/2026
Status: Denied
Comments: As noted by other reviewers, two large Metro Water Recovery sanitary mains appear to exist under the work area. These should be shown on the design plans, and MWRD approval must be obtained for this work. In addition, CCD GIS data indicates an active sanitary sewer service beneath the work area. This should be investigated to confirm its location/depth and to determine if a conflict exists with the proposed installation. A screen capture of the service line has been uploaded to this Accela record - "2025-ENCROACHMENT-0000162_DSWW_Sanitary Service.png" (also copied to "Comments" folder of internal project folder).

Reviewing Agency: City Council Referral Review Status: Approved - No Response

Status Date: 01/15/2026
Status: Approved - No Response
Comments:

Reviewing Agency: ERA Transportation Review Review Status: Approved

Reviewers Name: Kelsey Kijowski
Reviewers Email: Kelsey.Kijowski@denvergov.org
Status Date: 04/17/2026
Status: Approved
Comments: PWPRS Project Number: 2025-ENCROACHMENT-0000162 - Tier III - 1900 16th Street Plaza Sculpture
Reviewing Agency/Company: ER Transportation
Reviewers Name: Kelsey Kijowski
Reviewers Phone: 720-913-8834
Reviewers Email: kelsey.kijowski@denvergov.org
Approval Status: Approved

Comments:
Applicant provided emails showing approval/agreement of design with MWRD and Arts & Venues. Outstanding

Comment Report

Tier III - 1900 16th Street Plaza Sculpture

06/30/2026

Master ID: 2025-PROJMSTR-0000527 **Project Type:**
Review ID: 2025-ENCROACHMENT-0000162 **Review Phase:**
Location: 1900 16th Street **Review End Date:** 01/14/2026

Any denials listed below must be rectified in writing to this office before project approval is granted.

comments have been satisfied.

Status Date: 04/06/2026
Status: Denied
Comments: PWPRS Project Number: 2025-ENCROACHMENT-0000162 - Tier III - 1900 16th Street Plaza Sculpture
Reviewing Agency/Company: ER Transportation
Reviewers Name: Kelsey Kijowski
Reviewers Phone: 720-913-8834
Reviewers Email: kelsey.kijowski@denvergov.org
Approval Status: Denied

Comments:
Documentation of approval from Arts & Venues is required prior to ER Transportation approval.

Technical comments have been adequately addressed - see revised site plan attached.
MWRD has status of 'Approved w/Conditions' - applicant working directly with MWRD for requested plan updates.

Attachment: 250200_1900 16th St_SITE_PLAN.pdf

Status Date: 01/12/2026
Status: Denied
Comments:
1. Add dimension(s) from proposed Encroachment(s) to the adjacent flowline.
2. Dimension and label the pedestrian access route (PAR).
3. There are two large MWRD sanitary mains through this location. Show the outer limits of both pipes on the Site Plan. Approval from MWRD is required.
4. It is understood that Metro Districts will only have encroachment legal description and exhibit because there isn't an adjacent property.
5. This application has been forwarded to Arts & Venues. Confirmation from Arts & Venues is required to ensure artwork meets guidelines for artwork in public spaces before permit will be approved.

Reviewing Agency: ERA Wastewater Review **Review Status:** Approved

Reviewers Name: Mike Sasarak
Reviewers Email: Mike.Sasarak@denvergov.org

Status Date: 06/30/2026
Status: Approved
Comments: PWPRS Project Number: 2025-ENCROACHMENT-0000162 - Tier III - 1900 16th Street Plaza Sculpture
Reviewing Agency/Company: ER - Wastewater
Reviewers Name: Mike Sasarak
Reviewers Phone: 303-532-9783
Reviewers Email: mike.sasarak@denvergov.org
Approval Status: Approved

Comments:

Status Date: 01/14/2026
Status: Denied
Comments: Show existing 60-inch and 58-inch Metro Water Recover mains and existing sanitary service. Verify application has been reviewed and approved by Metro.

Comment Report

Tier III - 1900 16th Street Plaza Sculpture

06/30/2026

Master ID: 2025-PROJMSTR-0000527 **Project Type:**
Review ID: 2025-ENCROACHMENT-0000162 **Review Phase:**
Location: 1900 16th Street **Review End Date:** 01/14/2026

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: CenturyLink Referral Review Status: Approved - No Response

Status Date: 01/15/2026
Status: Approved - No Response
Comments:

Reviewing Agency: Xcel Referral Review Status: Approved w/Conditions

Status Date: 01/15/2026
Status: Approved w/Conditions
Comments: PWPRS Project Number: 2025-ENCROACHMENT-0000162 - Tier III - 1900 16th Street Plaza Sculpture
Reviewing Agency/Company: Public Service Company of Colorado (PSCo) dba Xcel Energy
Reviewers Name: Donna George Donna George
Reviewers Phone: 3035713306
Reviewers Email: Donna.L.George@xcelenergy.com
Approval Status: Approved with conditions

Comments:
PSCo/Xcel Energy has existing natural gas and underground electric distribution facilities within this area.
CAUTION: structures are not allowed over buried facilities. Please contact Colorado 811 for locates before excavating. Use caution and hand dig when excavating within 18-inches of each side of the marked facilities. Please be aware that all risk and responsibility for this request are unilaterally that of the Applicant/Requestor.

Reviewing Agency: RTD Referral Review Status: Approved

Status Date: 01/15/2026
Status: Approved
Comments: PWPRS Project Number: 2025-ENCROACHMENT-0000162 - Tier III - 1900 16th Street Plaza Sculpture
Reviewing Agency/Company: RTD
Reviewers Name: clayton woodruff
Reviewers Phone: 3032992943
Reviewers Email: Clayton.Woodruff@RTD-Denver.com
Approval Status: Approved

Comments:
Project Name: 2025-ENCROACHMENT-0000162 - Tier III - 1900 16th Street Plaza Sculpture - 1st Submittal

Department Comments
Bus Operations No exceptions
Bus Stop Program No exceptions
Commuter Rail No exceptions
Construction Management No exceptions
Engineering No exceptions
Light Rail No exceptions
Real Property No exceptions
Service Development No exceptions
Transit Oriented Development No exceptions
Utilities No exceptions
This review is for Design concepts and to identify any necessary improvements to RTD stops and property affected

Comment Report

Tier III - 1900 16th Street Plaza Sculpture

06/30/2026

Master ID: 2025-PROJMSTR-0000527 **Project Type:**
Review ID: 2025-ENCROACHMENT-0000162 **Review Phase:**
Location: 1900 16th Street **Review End Date:** 01/14/2026

Any denials listed below must be rectified in writing to this office before project approval is granted.

by the design. This review of the plans does not eliminate the need to acquire, and/or go through the acquisition process of any agreements, easements or permits that may be required by the RTD for any work on or around our facilities and property.

Reviewing Agency: Comcast Referral

Review Status: Approved

Status Date: 01/15/2026
Status: Approved
Comments: PWPRS Project Number: 2025-ENCROACHMENT-0000162 - Tier III - 1900 16th Street Plaza Sculpture
Reviewing Agency/Company: Comcast
Reviewers Name: Miguel Flores
Reviewers Phone: 7204130113
Reviewers Email: miguel_flores@comcast.com
Approval Status: Approved

Comments:

Reviewing Agency: Metro Wastewater Referral

Review Status: Approved w/Conditions

Status Date: 01/15/2026
Status: Approved w/Conditions
Comments: PWPRS Project Number: 2025-ENCROACHMENT-0000162 - Tier III - 1900 16th Street Plaza Sculpture
Reviewing Agency/Company: Metro Water Recovery
Reviewers Name: Kevin Boch
Reviewers Phone: 7205201516
Reviewers Email: kboch@MetroWaterRecovery.com
Approval Status: Approved with conditions

Comments:

1. Please label all Metro lines and structures within plans so that contractor is aware of when to contact us. Metro owns a 58" RCP pipe that runs through the site.
2. Foundations for the sculpture are being installed on top of or adjacent to Metro's pipe. Please provide profile drawings indicating there will be no conflict.
3. Due to the proximity of the sculpture work adjacent to the 58" sanitary sewer – depending on the methods and equipment used to install the sculpture, Metro may require a pre and post video during work to ensure no damage is done to the existing sanitary line.
2. Include note on future drawings or cover sheet:
 - a. Notify Metro two weeks prior to construction starting at (720-520-1516)
 - b. Notify and invite Metro to the pre-construction meeting at (720-520-1516)

Reviewing Agency: Street Maintenance Referral

Review Status: Approved - No Response

Status Date: 01/15/2026
Status: Approved - No Response
Comments:

Reviewing Agency: Office of Emergency Management Referral

Review Status: Approved - No Response

Status Date: 01/15/2026
Status: Approved - No Response

Comment Report

Tier III - 1900 16th Street Plaza Sculpture

06/30/2026

Master ID: 2025-PROJMSTR-0000527 **Project Type:**
Review ID: 2025-ENCROACHMENT-0000162 **Review Phase:**
Location: 1900 16th Street **Review End Date:** 01/14/2026

Any denials listed below must be rectified in writing to this office before project approval is granted.

Comments:

Reviewing Agency: Building Department Review Review Status: Approved - No Response

Status Date: 01/15/2026
Status: Approved - No Response
Comments:

Reviewing Agency: Division of Real Estate Referral Review Status: Approved

Reviewers Name: Nicholas Boschert
Reviewers Email: Nicholas.boschert@denvergov.org
Status Date: 01/07/2026
Status: Approved
Comments:

Reviewing Agency: Denver Fire Department Review Review Status: Approved

Reviewers Name: Brian Dimock
Reviewers Email: Brian.Dimock@denvergov.org
Status Date: 01/14/2026
Status: Approved
Comments:

Reviewing Agency: Denver Water Referral Review Status: Approved

Status Date: 01/15/2026
Status: Approved
Comments: PWPRS Project Number: 2025-ENCROACHMENT-0000162 - Tier III - 1900 16th Street Plaza Sculpture
Reviewing Agency/Company: Denver Water
Reviewers Name: Kela Naso
Reviewers Phone: 303-628-6302
Reviewers Email: kela.naso@denverwater.org
Approval Status: Approved

Comments:

Reviewing Agency: Parks and Recreation Review Review Status: Approved - No Response

Reviewers Name: Jennifer Cervera
Reviewers Email: Jennifer.Cervera@denvergov.org
Status Date: 01/15/2026
Status: Approved - No Response
Comments:

Reviewing Agency: Policy and Planning Referral Review Status: Approved - No Response

Status Date: 01/15/2026

Comment Report

Tier III - 1900 16th Street Plaza Sculpture

06/30/2026

Master ID: 2025-PROJMSTR-0000527 **Project Type:**
Review ID: 2025-ENCROACHMENT-0000162 **Review Phase:**
Location: 1900 16th Street **Review End Date:** 01/14/2026

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: Denver Office of Disability Rights Referral Review Status: Approved

Reviewers Name: Juan Pasillas
Reviewers Email: Juan.pasillas@denvergov.org

Status Date: 01/14/2026
Status: Approved
Comments: *Approved.

*Final construction (including any later modifications to the current design) shall continue to adhere with all applicable accessibility requirements of this review (2010 ADA). Ensure that all required Accessible clearances near any vertical artwork elements (Clear floor space, cane sweep detection, vertical head clearances, protruding objects, reach ranges, etc.) continue to comply with all Ch. 3 & Ch. 4 requirements (ADA/A117.1). Any construction or modification to any public sidewalks/walkways (specifically any Accessible Routes which connect to public transit or areas of public function), as well as other areas open to the general public, must continue comply with all applicable 2010 ADA requirements.

Please note that this project may still be required to comply with additional requirements that are specific to all sidewalk and street curb design within the PAR/ROW, which is strictly enforced by DOTI (Department of Transportation & Infrastructure Engineering Division). Please contact DOTI with any questions about their requirements.

Reviewing Agency: Construction Engineering Review Review Status: Approved

Reviewers Name: Porames Saejiw
Reviewers Email: Joe.Saejiw@denvergov.org

Status Date: 01/06/2026
Status: Approved
Comments: 1. Prior to the solicitation of bids or proposals from general contractors, the developer of this project is strongly encouraged to schedule an office meeting with the Right-of-Way Services Construction Inspections team (303) 446-3469 to discuss the project's installation of City Approved Plans for Traffic Closures, Row Items and Landscaping and the associated ROW permit fees that will need to be paid by the selected general contractor.

Reviewing Agency: TES Sign and Stripe Review Review Status: Approved - No Response

Reviewers Name: Eric Stein
Reviewers Email: Eric.Stein@denvergov.org

Status Date: 01/15/2026
Status: Approved - No Response
Comments:

Reviewing Agency: City Forester Review Review Status: Approved - No Response

Reviewers Name: Nick Evers
Reviewers Email: Nick.Evers@denvergov.org

Status Date: 01/15/2026
Status: Approved - No Response

Comment Report

Tier III - 1900 16th Street Plaza Sculpture

06/30/2026

Master ID: 2025-PROJMSTR-0000527 **Project Type:**
Review ID: 2025-ENCROACHMENT-0000162 **Review Phase:**
Location: 1900 16th Street **Review End Date:** 01/14/2026

Any denials listed below must be rectified in writing to this office before project approval is granted.

Comments:

Reviewing Agency: Landmark Review	Review Status: Approved - No Response
Status Date: 12/22/2025	
Status: Approved - No Response	
Comments: Not a designated property.	

Reviewing Agency: CDOT Referral	Review Status: Approved
Status Date: 01/15/2026	
Status: Approved	
Comments: PWPRS Project Number: 2025-ENCROACHMENT-0000162 - Tier III - 1900 16th Street Plaza Sculpture	
Reviewing Agency/Company: CDOT	
Reviewers Name: Michelle White	
Reviewers Phone: 303-512-4218	
Reviewers Email: michelle.m.white@state.co.us	
Approval Status: Approved	

Comments:
This is not on CDOT's system. We have no comments.

Reviewing Agency: Environmental Health Referral	Review Status: Approved
Reviewers Name: Lori Ann Phillips	
Reviewers Email: Loriann.phillips@denvergov.org	
Status Date: 01/07/2026	
Status: Approved	
Comments:	

Reviewing Agency: ERA Review	Review Status: Approved - No Response
Reviewers Name: Shari Bills	
Reviewers Email: Shari.Bills@denvergov.org	
Status Date: 01/15/2026	
Status: Approved - No Response	
Comments:	

Reviewing Agency: ROW - Supplemental Review	Review Status: Approved
Reviewers Name: Michael Chavez	
Reviewers Email: michael.chavez@denvergov.org	
Status Date: 04/13/2026	
Status: Approved	
Comments: PWPRS Project Number: 2025-ENCROACHMENT-0000162 - Tier III - 1900 16th Street Plaza Sculpture	
Reviewing Agency/Company: Denver Arts & Venues	
Reviewers Name: Michael Chavez	
Reviewers Phone: 3036017023	

2025-ENCROACHMENT-0000162

Comment Report

Tier III - 1900 16th Street Plaza Sculpture

06/30/2026

Master ID:	2025-PROJMSTR-0000527	Project Type:	
Review ID:	2025-ENCROACHMENT-0000162	Review Phase:	
Location:	1900 16th Street	Review End Date:	01/14/2026

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewers Email: michael.chavez@denvergov.org
Approval Status: Approved

Comments:

I spoke with Isaac Anthony with WSP. He assured me he would be submitting a rendering of the artwork, information on the artist, and a rendering of the artwork in the site plan with the next round of submittals.