

**SECOND AMENDMENT TO REVOCABLE
AND NONEXCLUSIVE LICENSE
(CONFLUENCE EAST IMPROVEMENTS)**

THIS SECOND AMENDMENT is made and entered into by and between the **CITY AND COUNTY OF DENVER**, a home rule City and Colorado municipal corporation, whose address is 1437 Bannock, Denver, Colorado 80202 (“City”), and **CONFLUENCE APARTMENTS, LLC**, a Delaware limited liability company d/b/a Confluence Park Apartments, LLC, whose address is c/o PM Realty Group L.P., 1000 Main Street, Suite 2400, Houston, TX 77002-6359 (“Owner” or “Licensee” and together with the City, the Parties” or separately, a “Party”).

RECITALS

WHEREAS, the City and the Licensee entered into a Development Agreement, dated March 2, 2016, found in City Clerk File Number 2016-0231, to define the Confluence East Improvements and to allow the Confluence East Improvements to be constructed; and

WHEREAS, the City granted to Licensee a Revocable License (“License”), dated July 15, 2016 (“Effective Date”), to construct certain off-site improvements within an open space parcel of land in Denver located generally on the south side of 15th Street along the east bank of the South Platte River known as “Confluence East”, which improvements are known as the “Confluence East Improvements”; and

WHEREAS, the City and Licensee amended the License (“First Amendment”), dated January 25, 2017, to clarify the term of the License with respect to warranty/guarantee periods of the Confluence East Improvements as required by the City’s Technical Specifications; and

WHEREAS, the City and the Licensee desire the Licensee, at no cost to the City, to cause to be constructed and complete the Confluence East Improvements to be located within Confluence East and in conformance with the Site Development Plan and the Development Agreement; and

WHEREAS, the Parties desire the Expiration Date of this License to coincide with the warranty period required by the Technical Specifications and triggered by the City’s issuance of Substantial Completion;

WHEREAS, the City and the Licensee desire to amend the License so that the Licensee, and/or Licensee’s contractor has access to, across and over Confluence East and to complete the construction and perform required maintenance of the Confluence East Improvements, as required by the License and First and Second Amendment and as depicted on Amended Exhibit C;

NOW, THEREFORE, the City and Licensee hereby amend the terms and conditions set forth for Licensee’s access as follows:

1. Paragraph 11 is amended to read as follows:

“11. TERM. This License shall commence on the Effective Date. Substantial Completion, as that term is used in the Technical Specifications, was issued on August 31, 2017. Upon issuance of Substantial Completion, Licensee is required to comply with the warranty/guarantee provisions of the Technical Specifications. This license shall terminate upon the expiration of the warranty/guarantee periods as required by the Technical Specifications, but in no event later than August 31, 2019 (“Expiration Date”).”

2. Amended Exhibit C is hereby stricken and replaced with Second Amended Exhibit C, attached to this Second Amendment.

3. Amended Exhibit D is hereby stricken and replaced with Second Amended Exhibit D, attached to this Second Amendment.

[The remainder of this page is intentionally blank.]

Contract Control Number:

IN WITNESS WHEREOF, the parties have set their hands and affixed their seals at Denver, Colorado as of

SEAL

CITY AND COUNTY OF DENVER

ATTEST:

By _____

APPROVED AS TO FORM:

REGISTERED AND COUNTERSIGNED:

By _____

By _____

By _____



LICENSEE:

Confluence Apartments, LLC,
a Delaware limited liability company

By: Denver Confluence, LLC,
a Delaware limited liability company
its Managing Member

By: PMRG Confluence, LLC,
a Texas limited liability company
its Managing Member

By: PM Realty Group, L.P.
a Delaware Membership
its Manager

By: Provident Investor GP, LLC,
a Texas limited liability company
its sole General Partner

By: _____
Name: Rick Kirk
Its: Manager  



SECOND AMENDED EXHIBIT C

Confluence East Improvements

(Attached)

CONFLUENCE PARK

Denver, Colorado Issue for Construction

DECEMBER 21, 2016

PROJECT TEAM

LANDSCAPE ARCHITECT
STUDIO OUTSIDE
CONTACT: BRIAN HALSELL
824 EXPOSITION AVE., SUITE 5
DALLAS, TX 75226
TEL: (214) 954-7160
FAX: (214) 954-7162

IRRIGATION
HINES IRRIGATION
CONTACT: NATE HINES
ADDRESS: 323 West Drake Road,
Suite 204
Fort Collins, Colorado 80525
TEL: 970.282.1800

CIVIL
BOWMAN CONSULTING
CONTACT: CHUCK WEISS
ADDRESS: 603 Park Point Dr., Suite 100
Golden, CO 80401
TEL: 303.674.7355

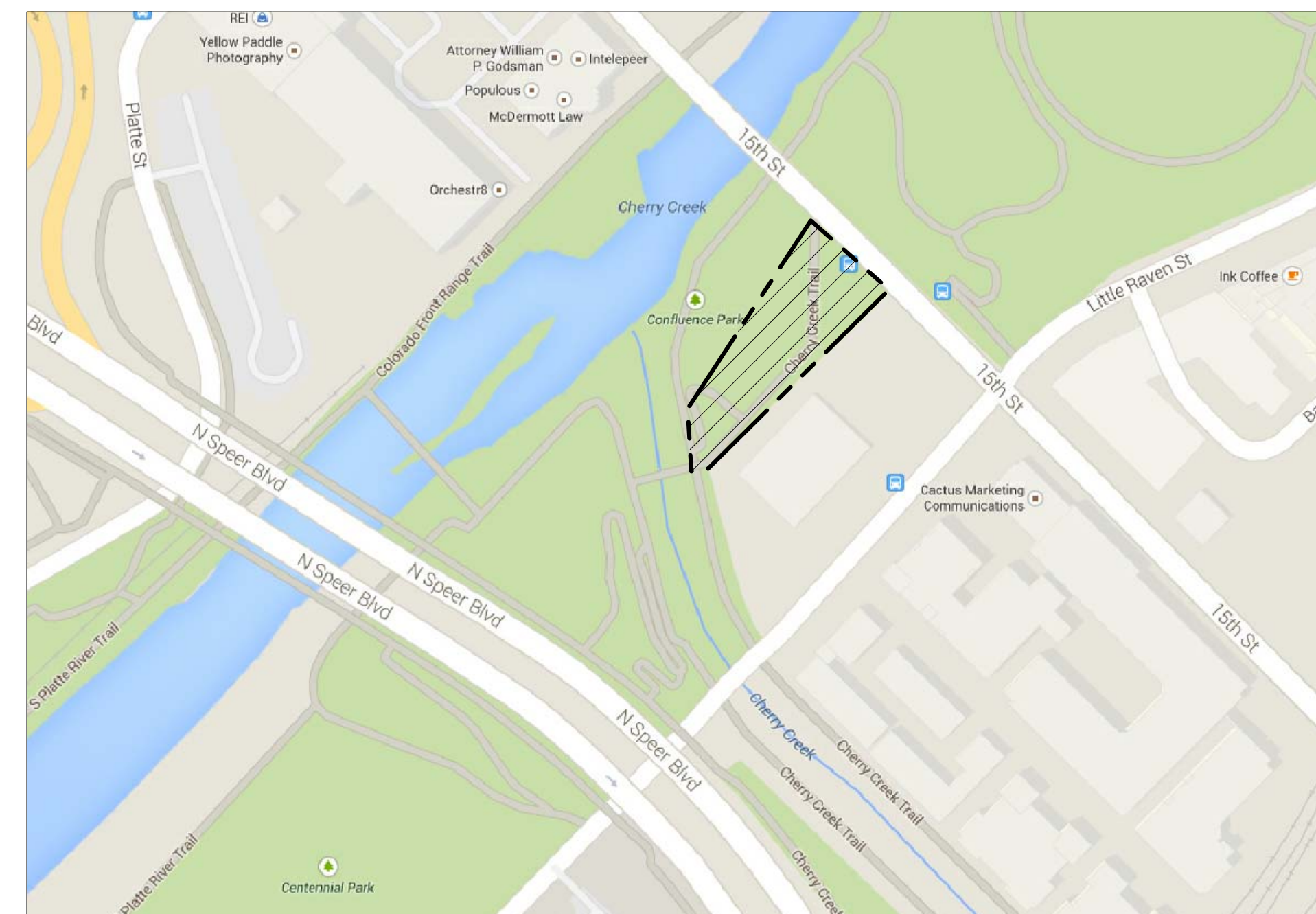
ELECTRICAL
BLUM CONSULTING ENGINEERS
CONTACT: CHRISTOPHER MICHAEL
ADDRESS: 8144 Walnut Hill Lane, Suite 200
Dallas, TX 75231
TEL: 214.373.8222

STRUCTURAL
BROCKETTE-DAVIS-DRAKE
CONTACT: JJ SNEED
ADDRESS: 4144 N. CENTRAL EXPY., STE 1100
DALLAS, TX 75204
TEL: 214.824.3647

SHEET INDEX

	PERMIT	PERMIT COMMENTS 7.26.16	PERMIT COMMENTS 8.08.16	PERMIT COMMENTS 9.01.16	PERMIT COMMENTS 9.13.16	PERMIT COMMENTS 9.20.16	PERMIT COMMENTS 10.12.16	PERMIT COMMENTS 11.26.16	PERMIT COMMENTS 12.21.16
LANDSCAPE									
COVER	X	X	X	X			X	X	X
L0.01 NOTES & LEGEND	X	X	X	X			X	X	X
L1.00 EXISTING CONDITION PLAN		X	X	X			X	X	X
L1.01 DEMOLITION PLAN	X	X	X	X			X	X	X
L2.01 HARDSCAPE PLAN	X	X	X	X			X	X	X
C1.01 GRADING AND UTILITY PLAN	X	X	X	X			X		
L4.01 HARDSCAPE DETAILS	X	X	X	X	X		X	X	X
S1.00 STRUCTURAL DETAILS			X	X			X	X	X
L5.01 PLANTING PLAN	X	X	X	X			X	X	X
L5.02 PLANTING DETAILS	X	X	X	X			X	X	X
L5.03 PLANT LEGEND	X	X	X	X			X	X	X
IR1 IRRIGATION PLAN	X	X	X	X			X	X	X
IR 2 IRRIGATION DETAILS	X	X	X	X			X	X	X
IR 3 IRRIGATION DETAILS		X	X	X			X	X	X
IR 4 IRRIGATION DETAILS		X	X	X			X	X	X
E1.00 SITE ELECTRICAL		X	X	X	X		X	X	X
E1.01 PHOTOMETRIC PLAN		X	X	X			X	X	X

LOCATION MAP



N.T.S.



City and County of Denver
Parks and Recreation Department
Checked for General Compliance with applicable Denver
Criteria, Rules, Regulations and Standards.

APPROVED (if validly signed)

Approved by: Executive Director of Parks and Recreation Date

(Note: Signature in Print)

APPROVED AS TO FORM.
**DRAWINGS AND DESIGN ADEQUACY ARE ACCEPTED
BASED UPON THE PROJECT LANDSCAPE ARCHITECT'S
ATTACHED SEAL OF REGISTRATION.**

Project Name

**CONFLUENCE
PARK EAST**

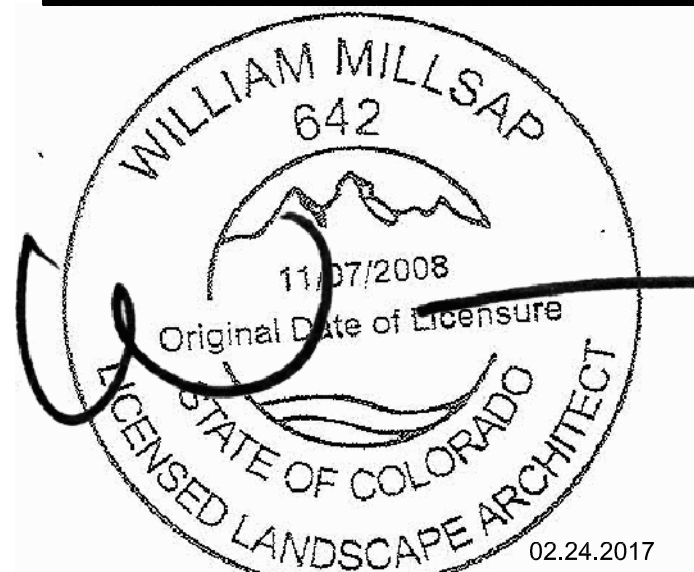
Issue Title

PERMIT

Issue / Addenda / Revisions

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02.10.17	Permit Comments
03.03.17	ASI 26. R6

Seal



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Drawing Title

NOTES & LEGEND

Issue Date: 03.03.2017
Project No: 14047
Reviewed By: MF
Drawn By: BH

Sheet No.

L0.01

SYMBOLS LEGEND:

GENERAL

- CENTER LINE
- LIMIT OF WORK
- MATCHLINE
- EXPANSION JOINT
- CONTROL JOINT
- POINT OF BEGINNING
- ENLARGEMENT REFERENCE
- DETAIL REFERENCE
- ELEVATION REFERENCE
- SECTION REFERENCE
- MATERIAL REFERENCE

ABBREVIATIONS

- + 735.46 PROPOSED LANDSCAPE SPOT GRADE
- @ 735.46 PROPOSED CIVIL SPOT GRADE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TF TOP OF FOOTING
- FL FLOW LINE/ INVERT ELEVATION
- EJ EXPANSION JOINT
- CJ CONTROL/ CONSTRUCTION JOINT
- CL CENTER LINE
- POB POINT OF BEGINNING
- COL TOP OF COLUMN
- PA PLANTING AREA

SHOP DRAWING, SAMPLES, MOCK-UPS:

	PHOTOS	SHOP DRAWINGS	SAMPLES	MOCK UP
ALL PLANTS	X			
COLORED CONCRETE				X
CRUSHED GRANITE			X	
STONE SLABS, CAPS, AND VENEERS			X	X

CONTRACTOR SHALL PREPARE/PROVIDE SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT FOR THE FOLLOWING ITEMS:
MOCK UPS MAY BE "IN PLACE" AND USED AS PART OF THE FINAL CONSTRUCTION IF APPROVED. REFER TO SPECIFICATIONS FOR FOR MOCK UP DESCRIPTIONS.

MATERIAL LEGEND

CONCRETE

- C-1 STANDARD CONCRETE
STANDARD GRAY
MEDIUM BROOM FINISH
PATTERN: SAW CUT JOINTS - REFER TO PLANS LAYOUT
- C-2 CONCRETE W/ INTEGRAL COLOR
MANUFACTURER: DAVIS COLORS
COLOR: OUTBACK OR DUNE
FINISH: MEDIUM BROOM
PATTERN: REFER TO PLANS (PROVIDE MOCKUP)
- C-3 CONCRETE W/ INTEGRAL COLOR
MANUFACTURER: DAVIS COLORS
COLOR: OUTBACK OR DUNE
FINISH: SANDBLAST
PATTERN: REFER TO PLANS (PROVIDE MOCKUP)

STONE & GRAVEL

- S-1 PRE-CAST CONCRETE BENCH
MANUFACTURER: FORM & FIBER
SIZE: (3) 2' X 4' BENCHES
COLOR: TO MATCH ADJACENT COLORED CONCRETE (OUTBACK OR DUNE FROM DAVIS COLORS)
CONTACT: DIANE COLLIER
DIANE COLLIER GROUP
214.238.3100
http://www.colliergrouptx.com/
- S-2 CRUSHER FINES
COLOR: TBD
SIZE: 6" COMPACTED TYP.
SIZE: PER DPR SPECIFICATIONS
- S-3 STONE VENEER & CAP
TYPE: COLORADO RED SANDSTONE
TO MATCH EXISTING STONE IN THE PARK
PROVIDER: TBD
TEL: TBD
SIZE: REFER TO DETAILS

GENERAL NOTES:

- WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR BEARS ALL RESPONSIBILITY FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO UTILITIES THAT ARE TO REMAIN SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER. STUDIO OUTSIDE ASSUMES NO RESPONSIBILITY FOR ANY NOT SHOWN ON PLANS.
- ALL PROPOSED AND FINISHED GRADES ARE BASED ON INFORMATION PROVIDED BY THE OWNER'S SURVEY AND/OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
- PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION, ALL PIERS, FOOTINGS, AND WALLS ARE TO BE SURVEYED, LAID OUT, AND STAKED IN FIELD FOR REVIEW BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
- CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED BY STUDIO OUTSIDE ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTORS ARE TO BID THEIR OWN VERIFIED QUANTITIES. NOTIFY LANDSCAPE ARCHITECT AT ANY DISCREPANCIES.
- EASEMENTS SETBACKS, BUILDING, CURB AND GUTTER, UNDERGROUND UTILITIES HAVE BEEN SUPPLIED TO STUDIO OUTSIDE BY THE PROJECT CIVIL ENGINEER. REFER TO CIVIL ENGINEERS DRAWINGS FOR ADDITIONAL INFORMATION.

ENVIRONMENTAL

- CONTRACTOR SHALL TAKE REASONABLE MEASURES TO PREVENT PARTICULATE MATTER FROM BECOMING AIRBORNE AND TO PREVENT THE VISIBLE DISCHARGE OF FUGITIVE PARTICULATE EMISSIONS BEYOND THE PROPERTY ON WHICH THE EMISSIONS ORIGINATE. THE MEASURES TAKEN MUST BE EFFECTIVE IN THE CONTROL OF FUGITIVE PARTICULATE EMISSIONS AT ALL TIMES ON THE SITE, INCLUDING PERIODS OF INACTIVITY SUCH AS EVENINGS, WEEKENDS, AND HOLIDAYS AS WELL AS ANY OTHER PERIOD OF INACTIVITY.
- ANY FILL MATERIAL OR SOILS TO BE MOVED TO AND PLACED ON CCD-OWNED PROPERTY OR PLACED ON REAL PROPERTY TO BE TRANSFERRED TO THE CCD MUST BE FREE OF KNOWN CONTAMINATION (OBSERVED AND DOCUMENTED OR PREVIOUSLY DOCUMENTED) AND BE ACCEPTABLE FOR UNRESTRICTED RESIDENTIAL USE. CONTACT DAVE ERICKSON, DENVER ENVIRONMENTAL HEALTH (720-865-5433) FOR CLARIFICATION, IF NEEDED, REGARDING THIS CCD REQUIREMENT.
- NOISE CONTROL. EXEMPTED HOURS FOR CONSTRUCTION IN THE CITY AND COUNTY OF DENVER ARE FROM 7 A.M. TO 9 P.M. MONDAY THROUGH FRIDAY AND 8 A.M. TO 5 P.M. ON SATURDAYS AND SUNDAYS PER SECTIONS 36-6.(B)(7) AND 36-7.(5)(A), B, AND C, OF DENVER'S NOISE ORDINANCE, CHAPTER 36, NOISE CONTROL, DENVER REVISED MUNICIPAL CODE (DRMC). IF THERE IS AN ANTICIPATED NEED TO WORK OUTSIDE OF THE EXEMPTED HOURS FOR CONSTRUCTION: 1) THE CONTRACTOR WILL NEED TO MAKE A REQUEST FOR A NIGHTTIME NOISE VARIANCE AS ALLOWED FOR IN SECTION 36-7.(5)(C, OF THE DRMC AND 2) THE VARIANCE PROCESS NEEDS TO BE STARTED A MINIMUM OF THREE MONTHS PRIOR TO THE DESIRED START DATE OF ANY WORK NEEDING TO OCCUR OUTSIDE OF EXEMPTED ANY NOISE VARIANCE QUESTIONS SHOULD BE DIRECTED TO PAUL RIEDESEL, DEPARTMENT OF ENVIRONMENTAL HEALTH, DENVER COMMUNITY NOISE PROGRAM. (PHONE 720-865-5410; FAX (720-865-5532) A MINIMUM OF THREE MONTHS PRIOR TO THE START OF THE PROJECT.

LIGHTING:

IMPORTANT! ALL LIGHTING SYMBOLS, CIRCUITS, LOCATIONS, AND CALL OUTS SHOWN ARE SHOWN FOR REFERENCE ONLY.
REFER TO LIGHTING AND ELECTRICAL PLANS FOR LIGHT SPECIFICATIONS AND SELECTIONS. ALL LIGHTS AND FINAL LOCATIONS TO BE APPROVED BY LIGHTING DESIGNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

Project Name

**CONFLUENCE
 PARK EAST**

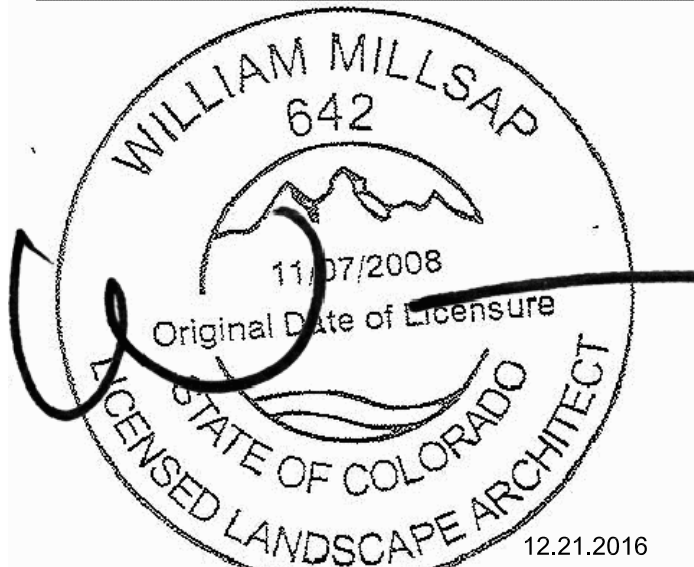
Issue Title

PERMIT

Issue / Addenda / Revisions

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9.20.16	Permit Comments
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11.28.16	Permit Comments
12.21.16	Permit Comments

Seal



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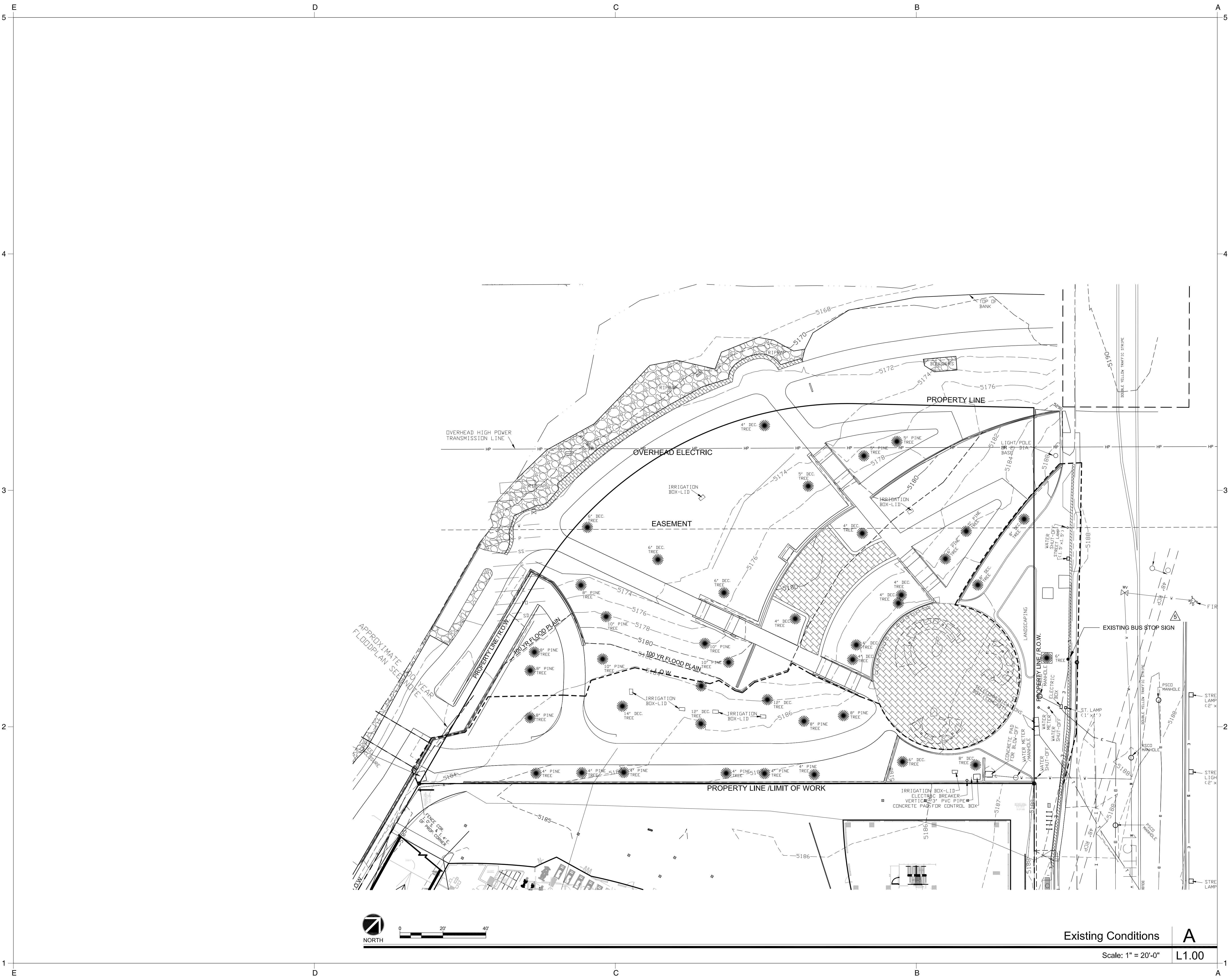
Drawing Title

**EXISTING
 CONDITIONS**

Issue Date: 12.21.2016
 Project No: 14047
 Reviewed By: MF
 Drawn By: BH

Sheet No.

L1.00



Existing Conditions

A

Scale: 1" = 20'-0"

L1.00

Project Name

CONFLUENCE
 PARK EAST

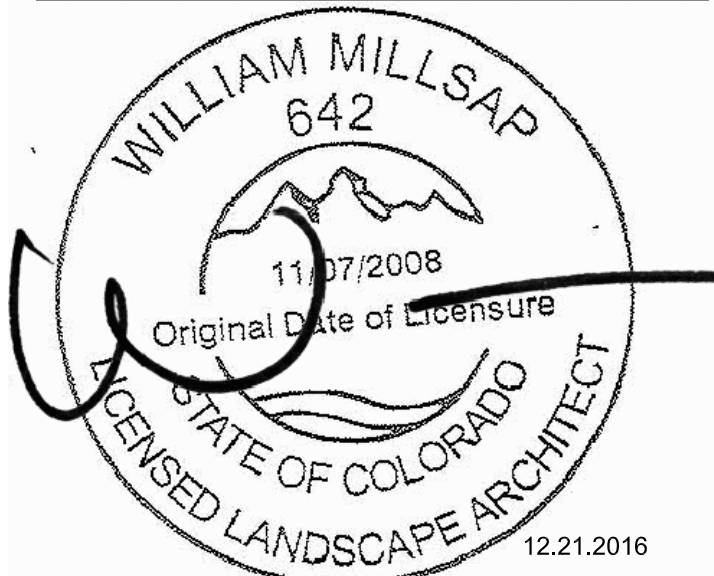
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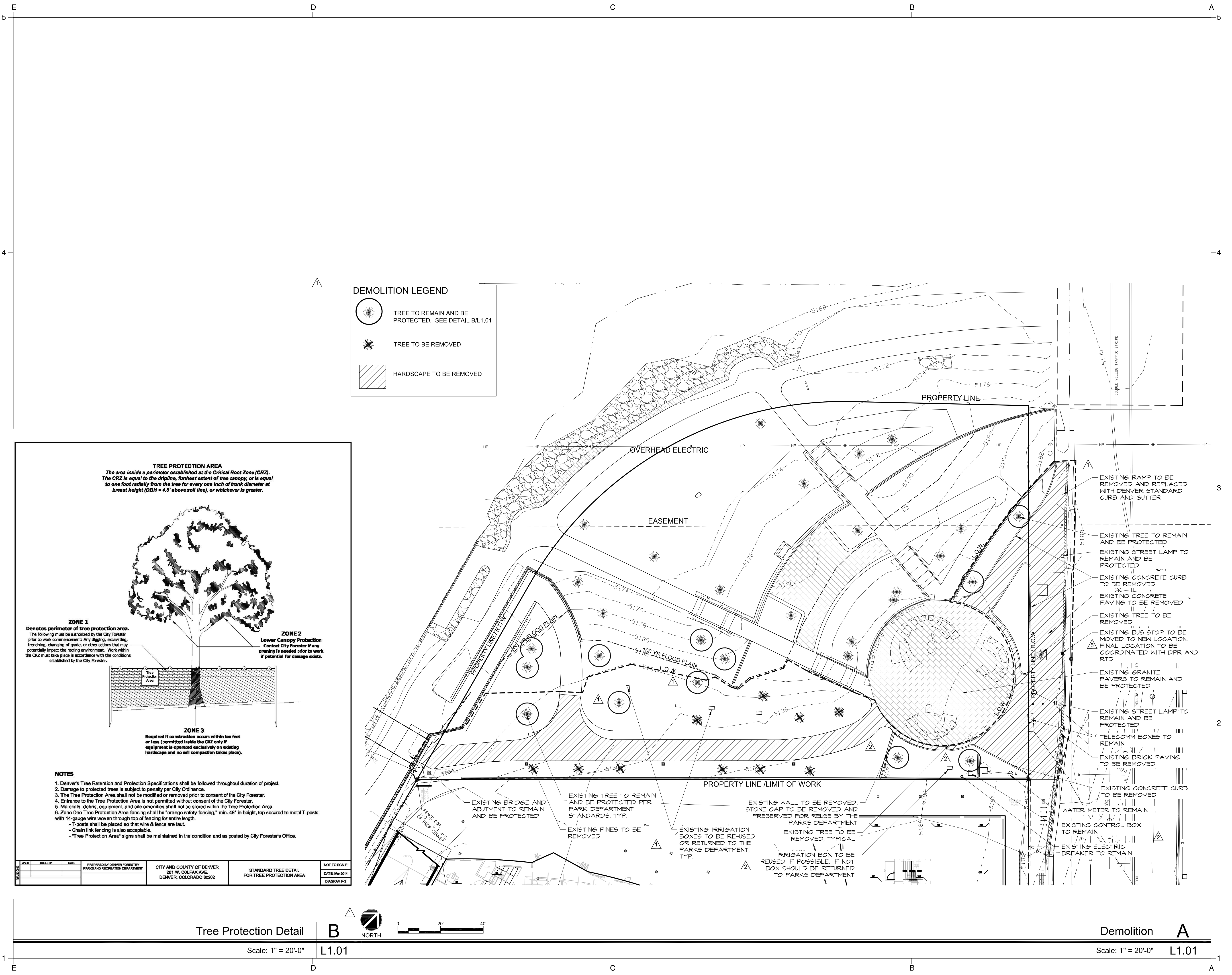
Drawing Title

DEMOLITION PLAN

Issue Date: 12.21.2016
 Project No: 14047
 Reviewed By: MF
 Drawn By: BH

Sheet No.

L1.01



DEMOLITION LEGEND

- TREE TO REMAIN AND BE PROTECTED. SEE DETAIL B/L.1.01
- TREE TO BE REMOVED
- HARDSCAPE TO BE REMOVED

TREE PROTECTION AREA
 The area inside a perimeter established at the Critical Root Zone (CRZ). The CRZ is equal to the dripline, furthest extent of tree canopy, or is equal to one foot radially from the tree for every one inch of trunk diameter at breast height (DBH = 4.5' above soil line), or whichever is greater.

ZONE 1
 Denotes perimeter of tree protection area. The following must be authorized by the City Forester prior to work commencement: Any digging, excavating, trenching, changing of grade, or other actions that may potentially impact the rooting environment. Work within the CRZ must take place in accordance with the conditions established by the City Forester.

ZONE 2
 Lower Canopy Protection Contact City Forester if any pruning is needed prior to work. If potential for damage exists.

ZONE 3
 Required if construction occurs within ten feet or less (permitted inside the CRZ only if equipment is operated exclusively on existing hardscape and no soil composition takes place).

NOTES

- Denver's Tree Retention and Protection Specifications shall be followed throughout duration of project.
- Damage to protected trees is subject to penalty per City Ordinance.
- The Tree Protection Area shall not be modified or removed prior to consent of the City Forester.
- Entrance to the Tree Protection Area is not permitted without consent of the City Forester.
- Materials, debris, equipment, and site amenities shall not be stored within the Tree Protection Area.
- Zone One Tree Protection Area fencing shall be "orange safety fencing," min. 48" in height, top secured to metal T-posts with 14-gauge wire woven through top of fencing for entire length.
 - T-posts shall be placed so that wire & fence are taut.
 - Chain link fencing is also acceptable.
 - "Tree Protection Area" signs shall be maintained in the condition and as posted by City Forester's Office.

PREPARED BY DENVER FORESTRY
 PARKS AND RECREATION DEPARTMENT
 CITY AND COUNTY OF DENVER
 201 W. COLFAX AVE.
 DENVER, COLORADO 80202

STANDARD TREE DETAIL
 FOR TREE PROTECTION AREA

NOT TO SCALE
 DATE: MAR 2014
 DWGNOV-13

Tree Protection Detail

B



Scale: 1" = 20'-0"

L1.01

Demolition

A

Scale: 1" = 20'-0"

L1.01

Project Name

**CONFLUENCE
 PARK EAST**

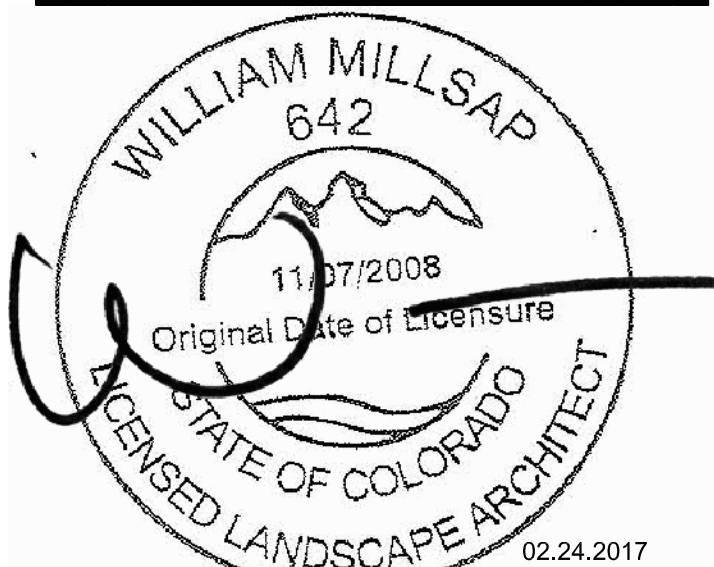
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03.03.17	ASI 26. R6

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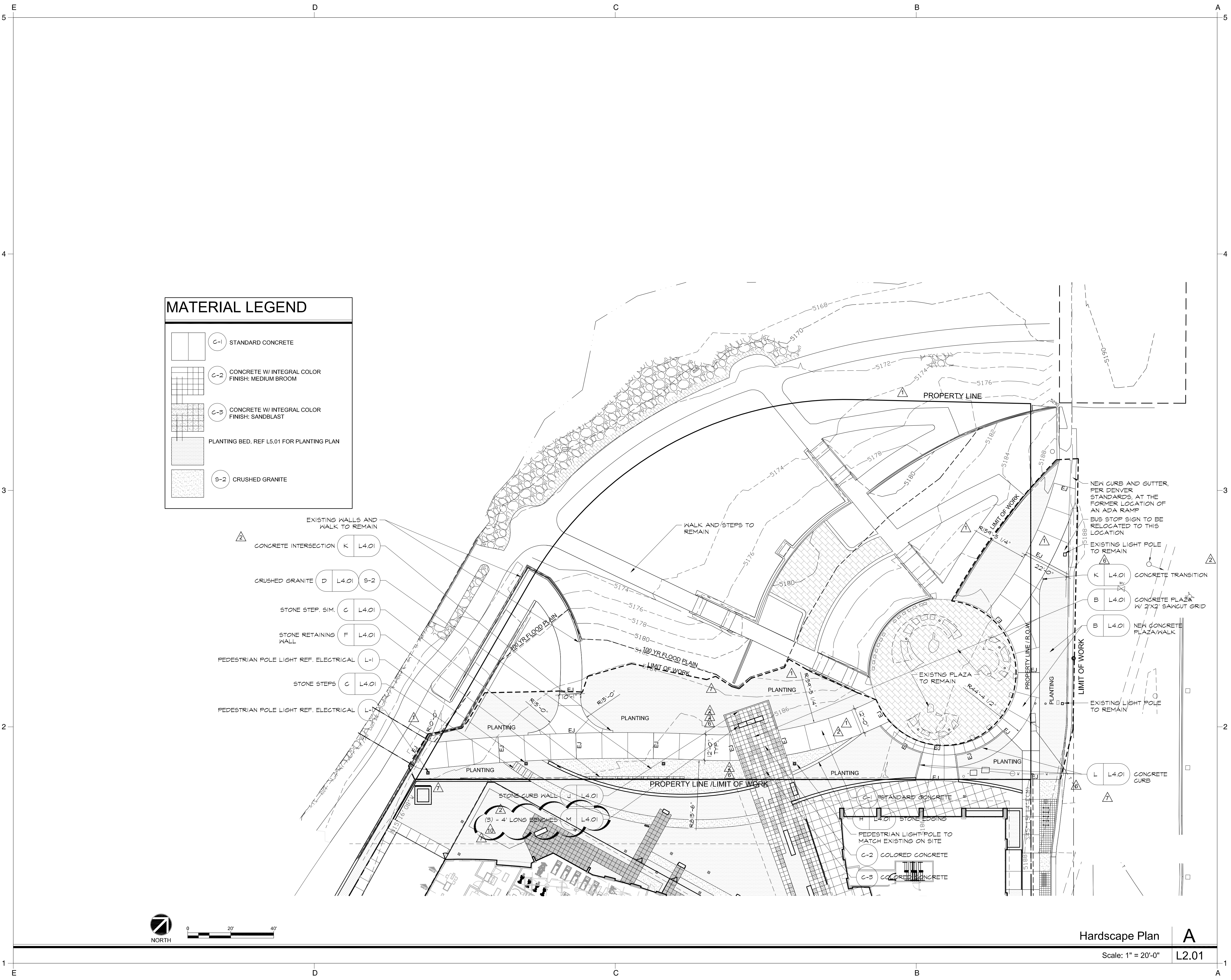
Drawing Title

HARDSCAPE PLAN

Issue Date: 03.03.2017
 Project No: 14047
 Reviewed By: MF
 Drawn By: BH

Sheet No.

L2.01



Hardscape Plan
 Scale: 1" = 20'-0"
A
L2.01

Project Name

**CONFLUENCE
 PARK EAST**

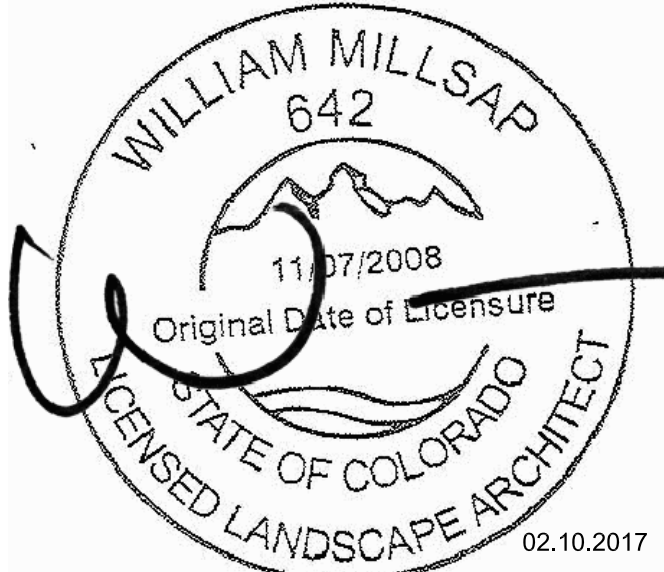
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02.10.17	Permit Comments

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Drawing Title

**HARDSCAPE
 DIMENSION PLAN**

Issue Date: 02.10.2017
 Project No: 14047
 Reviewed By: MF
 Drawn By: BH

Sheet No.

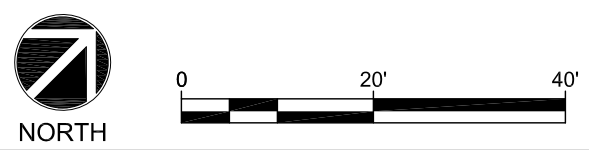
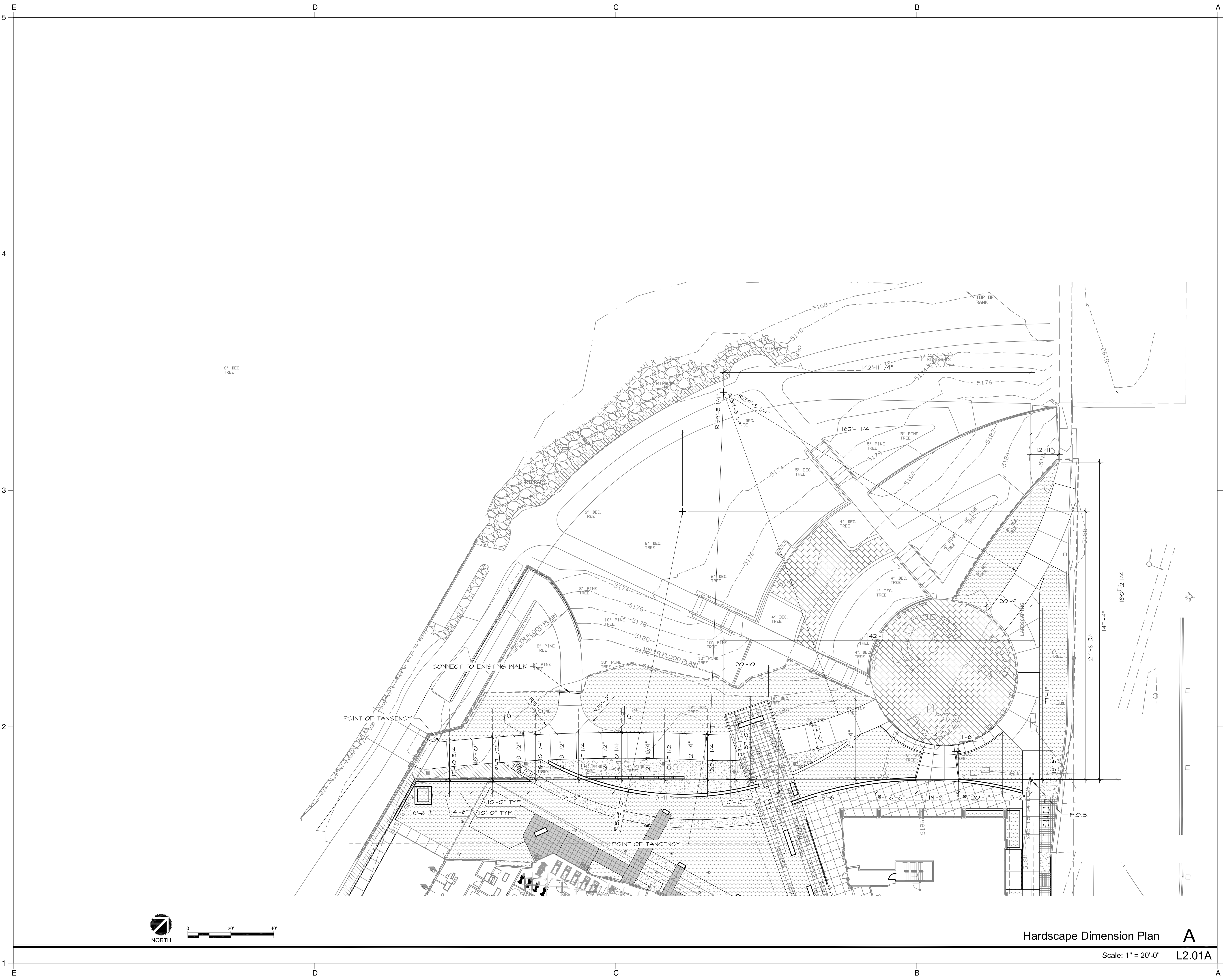
L2.01A

Hardscape Dimension Plan

Scale: 1" = 20'-0"

A

L2.01A



Project Name

**CONFLUENCE
PARK EAST**

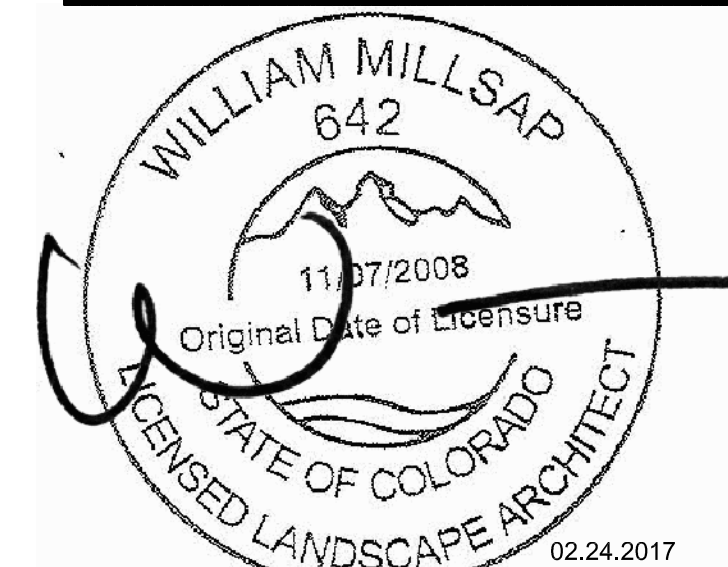
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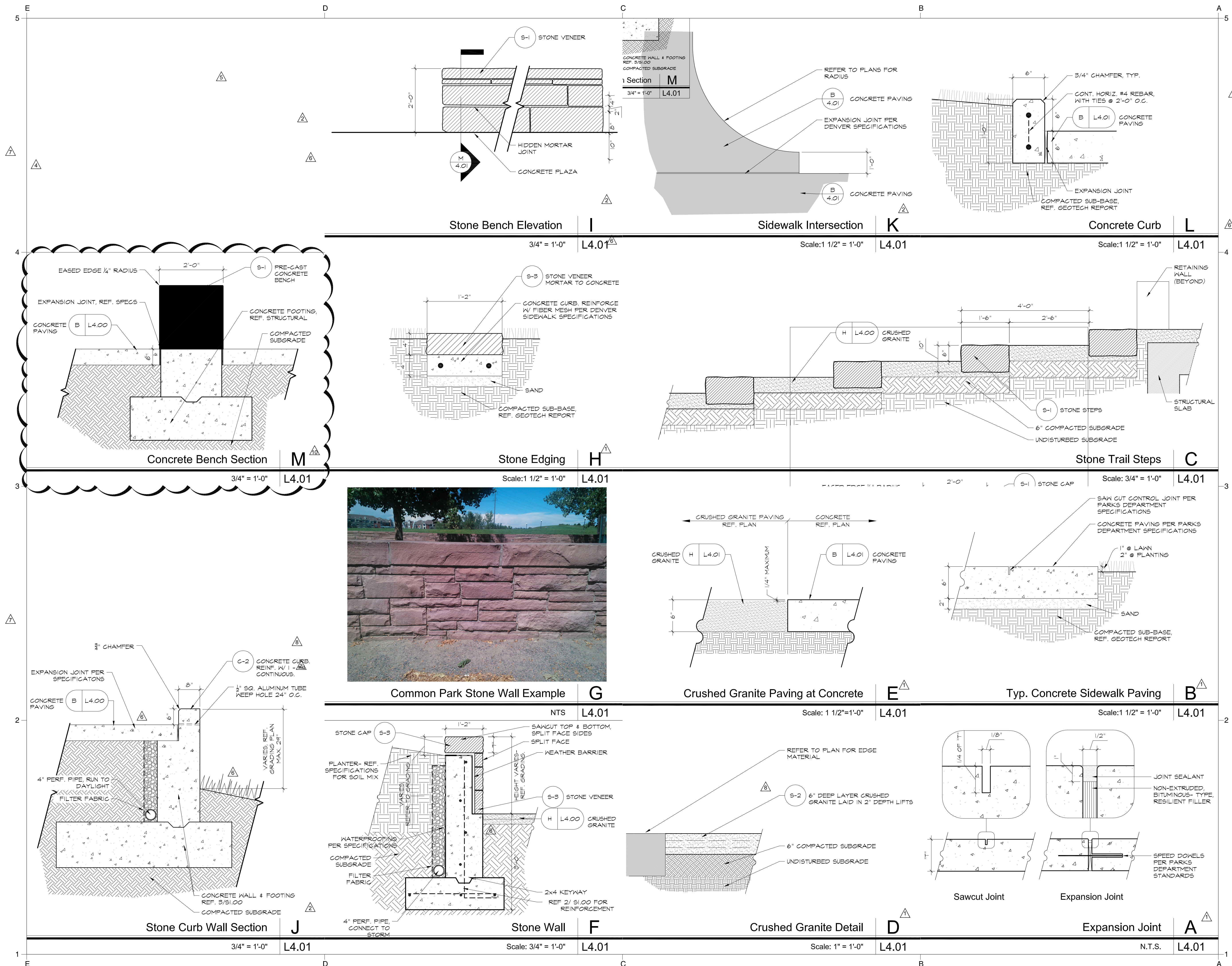
Drawing Title

**HARDSCAPE
DETAILS**

Issue Date: 03.03.2017
Project No: 14047
Reviewed By: MF
Drawn By: BH

Sheet No.

L4.01



Project Name

CONFLUENCE
PARK EAST

Issue Title

ISSUE FOR
CONSTRUCTION

Issue / Addenda / Revisions

10/14/2016	CITY COMMENT REVISIONS
11/28/2016	PERMIT COMMENTS
12/16/2016	PERMIT COMMENTS
03/03/2017	ASI #26.R6

Seal

01/08/2016
The seal on this document was signed by Cody B. Campbell, P.E. on January 8, 2016. Alteration of a sealed document without proper notification of the responsible engineer is an offense under the State of Colorado Professional Engineers Practice Act.

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Drawing Title

Issue Date: 1.08.2016
Project No: 14047
Reviewed By:
Drawn By: BDD

Sheet No.

S1.00

ASI 26-R6
3/3/2017

E D C B A

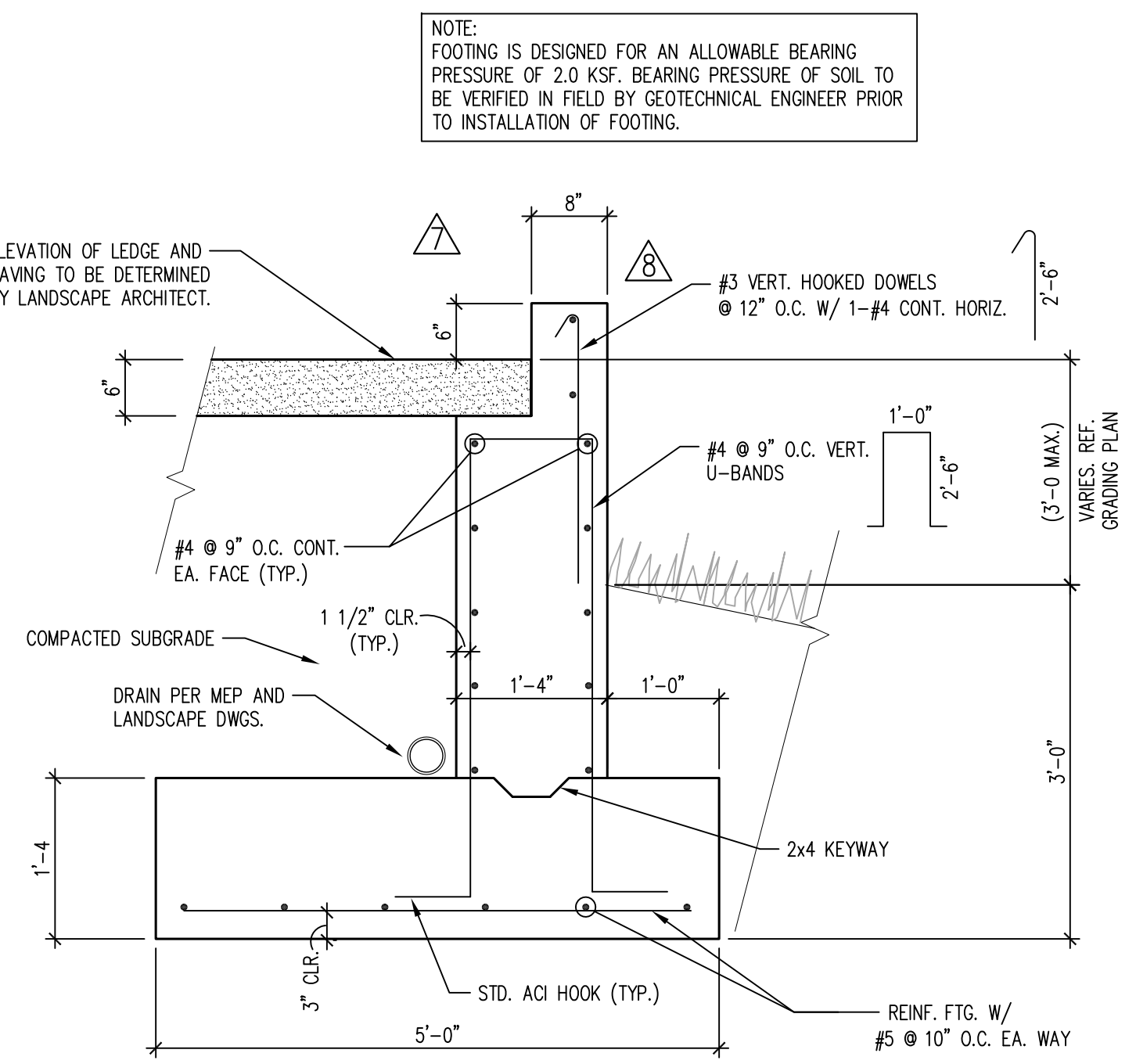
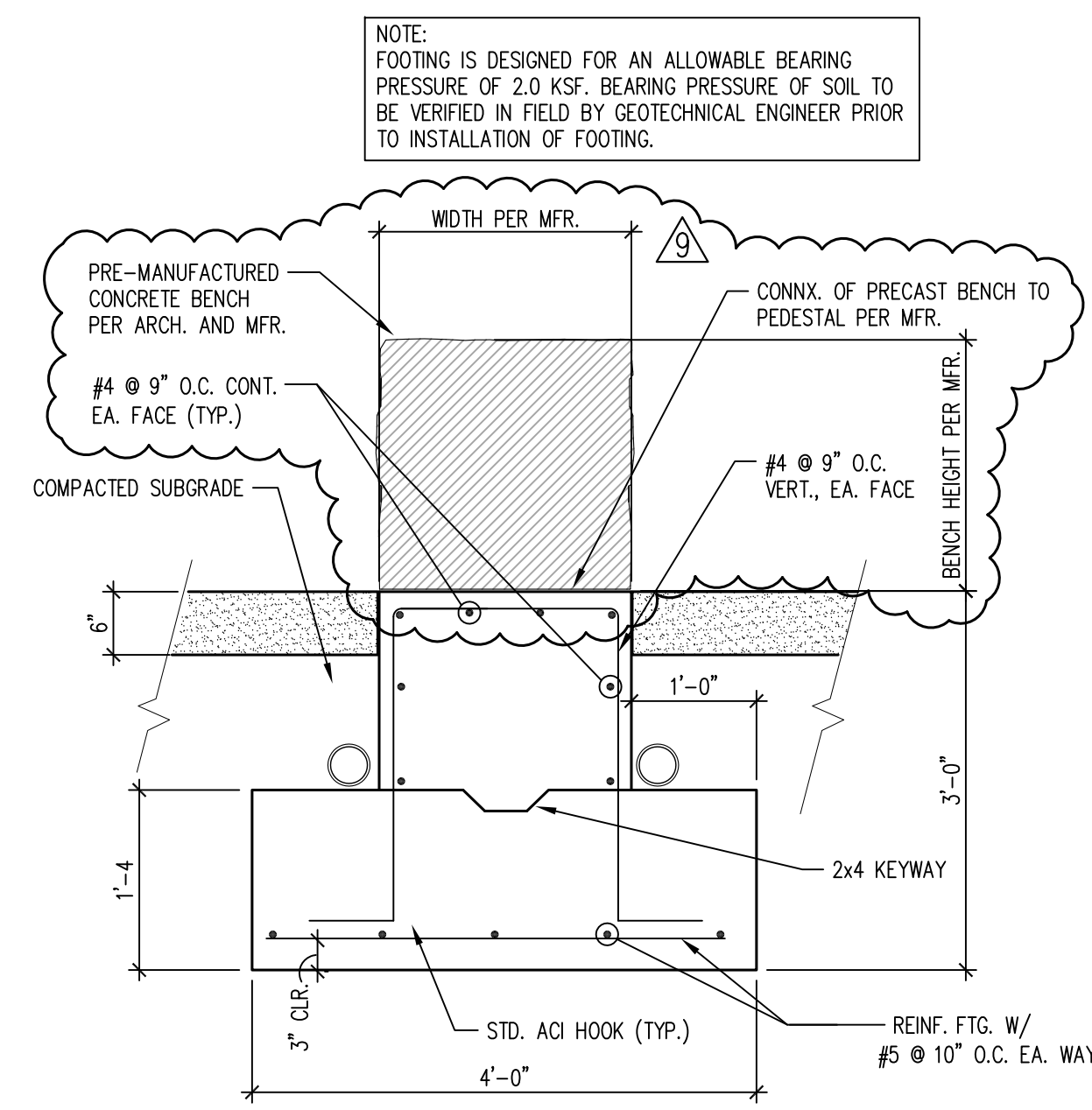
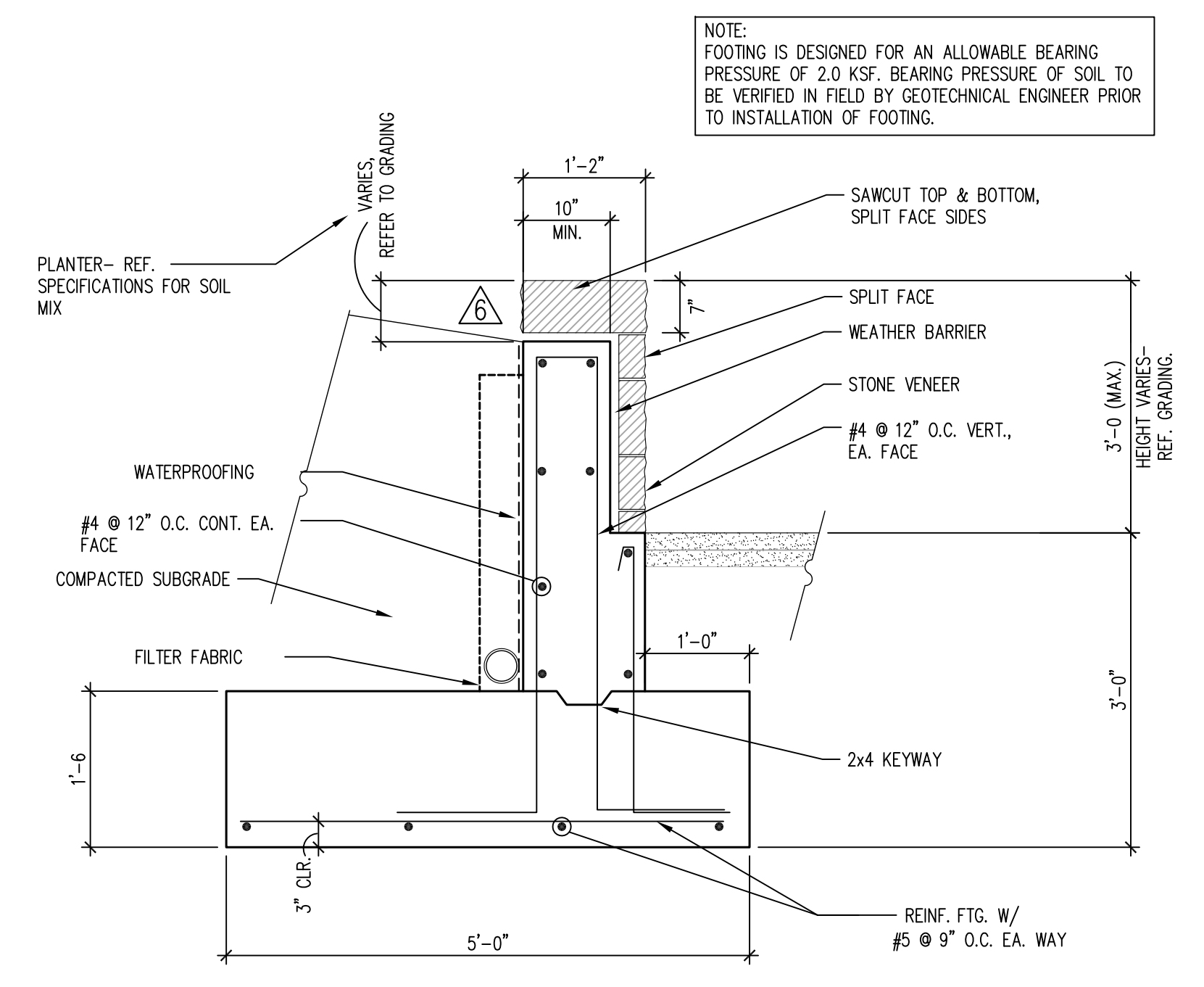
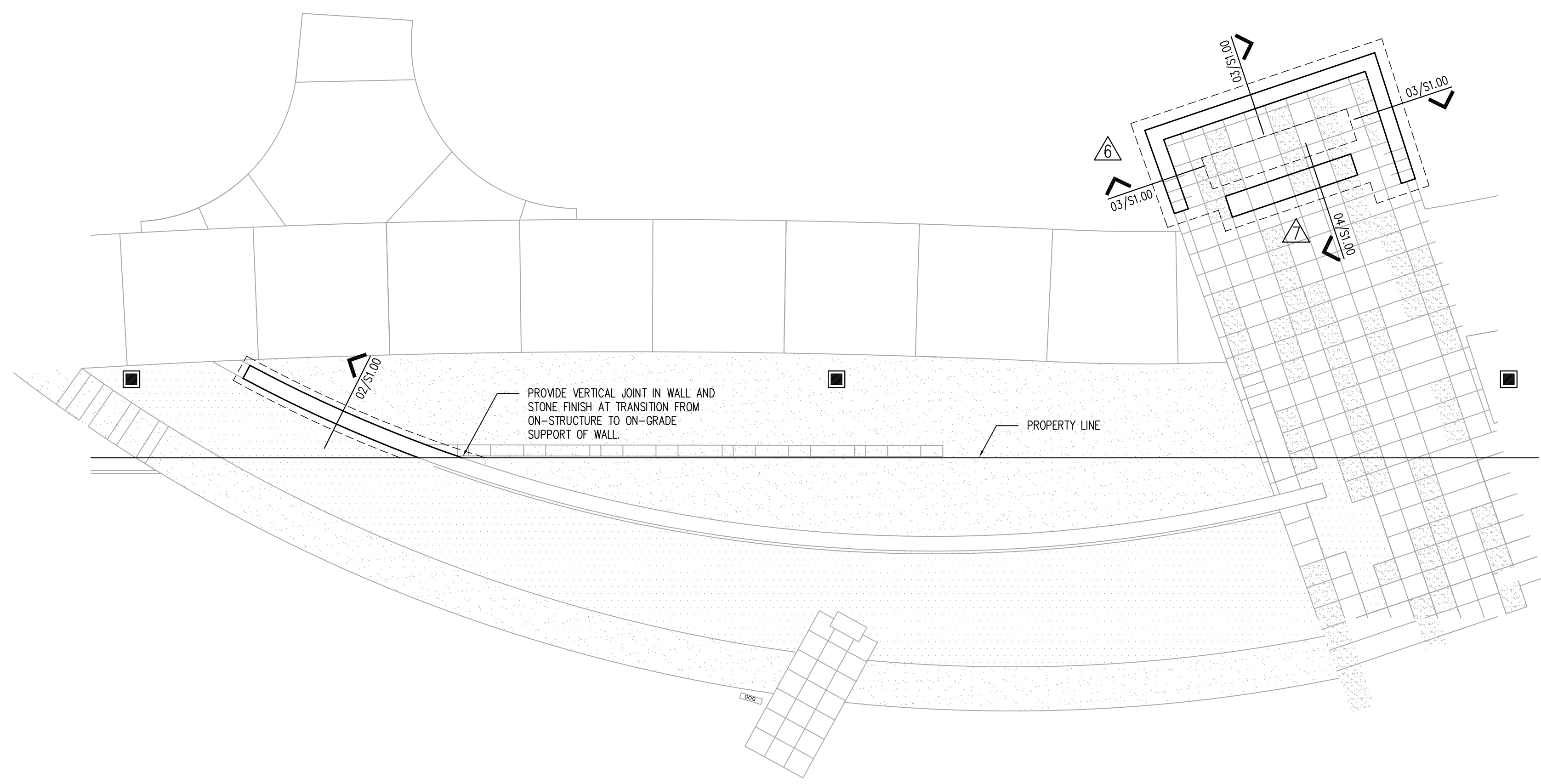
5

4

3

2

1



GENERAL NOTES

- THE STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL BUILDING CODE, 2012 EDITION, WITH CITY OF DENVER AMENDMENTS.
- THE USE OF EPOXY & ACRYLIC ADHESIVES IS NOT PERMITTED FOR USE AT MISPLACED AND/OR OMITTED EMBEDS, DOWELS, OR OTHER ITEMS INTENDED TO BE ANCHORED IN CONCRETE.
- ELEVATION 100'-0 = DATUM ELEVATION 5188.00'. VERIFY DATUM ELEVATION WITH CIVIL AND ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. REFER TO CIVIL DRAWINGS FOR LOCATIONS OF BUILDING ON SITE.

CONCRETE NOTES

- ALL CONCRETE SHALL BE LABORATORY DESIGNED AND CONTROLLED AND SHALL MEET THE REQUIREMENTS OF "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318-11). CONCRETE SHALL ALSO CONFORM TO THE FOLLOWING REQUIREMENTS:

COMPRESSIVE STRENGTH @ 28 DAYS U.N.O.	TYPE AGGREGATE	AIR ENTRAINMENT	USAGE	WATER/CEMENT RATIO (MAX.)	MODULUS OF ELASTICITY (MIN.)
4000 PSI	CRUSHED STONE	YES (a)	RETAINING WALLS, STRIP FOOTINGS	0.44	3.8 x 10 ⁶ PSI

(a) PROVIDE 5% (± 1%) AIR ENTRAINMENT ADMIXTURE WHERE NOTED ABOVE.
- ALL CONCRETE WORK TO BE IN ACCORDANCE WITH ACI 318 AND ACI 301.
- CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE AS NOTED BELOW. REFERENCE ACI 318 SECTION 7.7 FOR CONDITIONS NOT NOTED.

CONCRETE EXPOSED TO SOIL OR WEATHER	PROTECTION
ALL CONCRETE PLACED AGAINST SOIL	3"
SLABS-ON-GRADE	1" TOP
RETAINING WALLS	2" BACKFILLED SIDES 1" NON-BACKFILLED SIDES
CONCRETE EXPOSED TO SOIL OR WEATHER	2" (#6 OR LARGER BARS) 1 1/2" (#5 BAR OR SMALLER)
- IN THE EVENT THAT CONCRETE CASTING IS INTERRUPTED HORIZONTAL OR NEARLY HORIZONTAL CONSTRUCTION JOINTS SHALL BE PREPARED BY ROUGHENING THE SURFACE IN AN APPROVED MANNER SO THAT THE AGGREGATE IS EXPOSED UNIFORMLY, LEAVING NO LAITANCE, LOOSE PARTICLES OR DAMAGED CONCRETE. ALL HORIZONTAL JOINTS AND REMEDIAL ACTION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVED.

REINFORCING STEEL NOTES

- ALL REINFORCING SHALL BE NEW BILLET STEEL, ASTM A615 - GRADE 60 UNLESS NOTED OTHERWISE. REINFORCING SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH THE ACI SP-66 AND ACI 318.
- HORIZONTAL WALL REINFORCEMENT SHALL BE CONTINUOUS AND SHALL HAVE 90 DEGREE BENDS AND EXTENSIONS AT CORNERS AND INTERSECTIONS AS SHOWN ON THE DRAWINGS.
- ALL LAPS IN WELDED WIRE FABRIC SHALL BE ONE MESH PLUS TWO INCHES AT SLICES.

BACKFILL NOTES

- RETAINING WALLS ARE DESIGNED FOR AT-REST EQUIVALENT FLUID PRESSURES OF 55 PCF TO A DEPTH OF 15 FEET BELOW GRADE. ALL WALLS SHALL BE DRAINED AND BACKFILLED WITH FREE DRAINING, GRANULAR GRANULAR MATERIAL PER GEOTECHNICAL REQUIREMENTS. SELECT FILL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 12 INCHES IN THICKNESS AND COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DENSITY AS DETERMINED BY ASTM D 1557, AND THE MOISTURE CONTENT SHALL BE MAINTAINED WITHIN 2% OF THE MATERIAL'S OPTIMUM MOISTURE CONTENT. REFERENCE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- THE WALL SHALL NOT BE BACKFILLED UNTIL:
 - THE WALL AND FOOTING CONCRETE STRENGTH HAS REACHED THE SPECIFIED 28 DAY COMPRESSIVE STRENGTH.
- BASEMENT WALL FOOTINGS, ELEVATOR PIT WALL FOOTINGS AND GARAGE RETAINING WALL FOOTINGS ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 2.0 KSF.

Project Name

CONFLUENCE
 PARK EAST

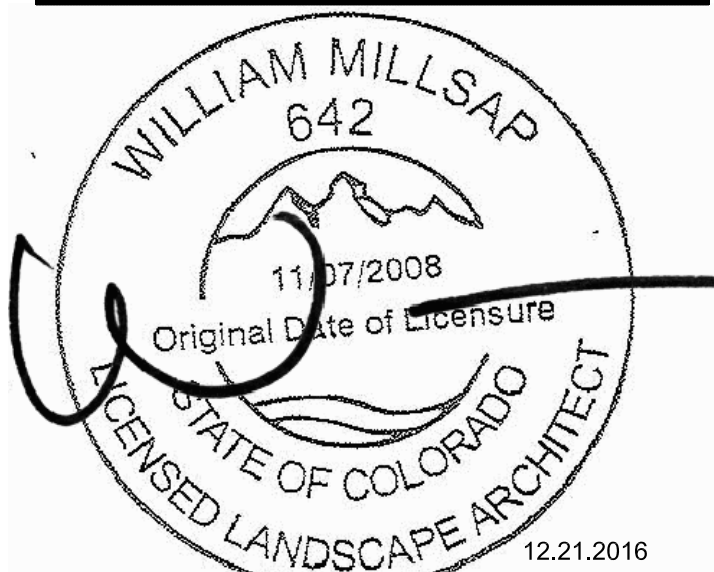
Issue Title

PERMIT

Issue / Addenda / Revisions

Date	Description
7.26.16	Permit Comments
8.08.16	Permit Comments
9.01.16	Permit Comments
9.13.16	Permit Comments
9.20.16	Permit Comments
10.14.16	Permit Comments
11.28.16	Permit Comments
12.21.16	Permit Comments

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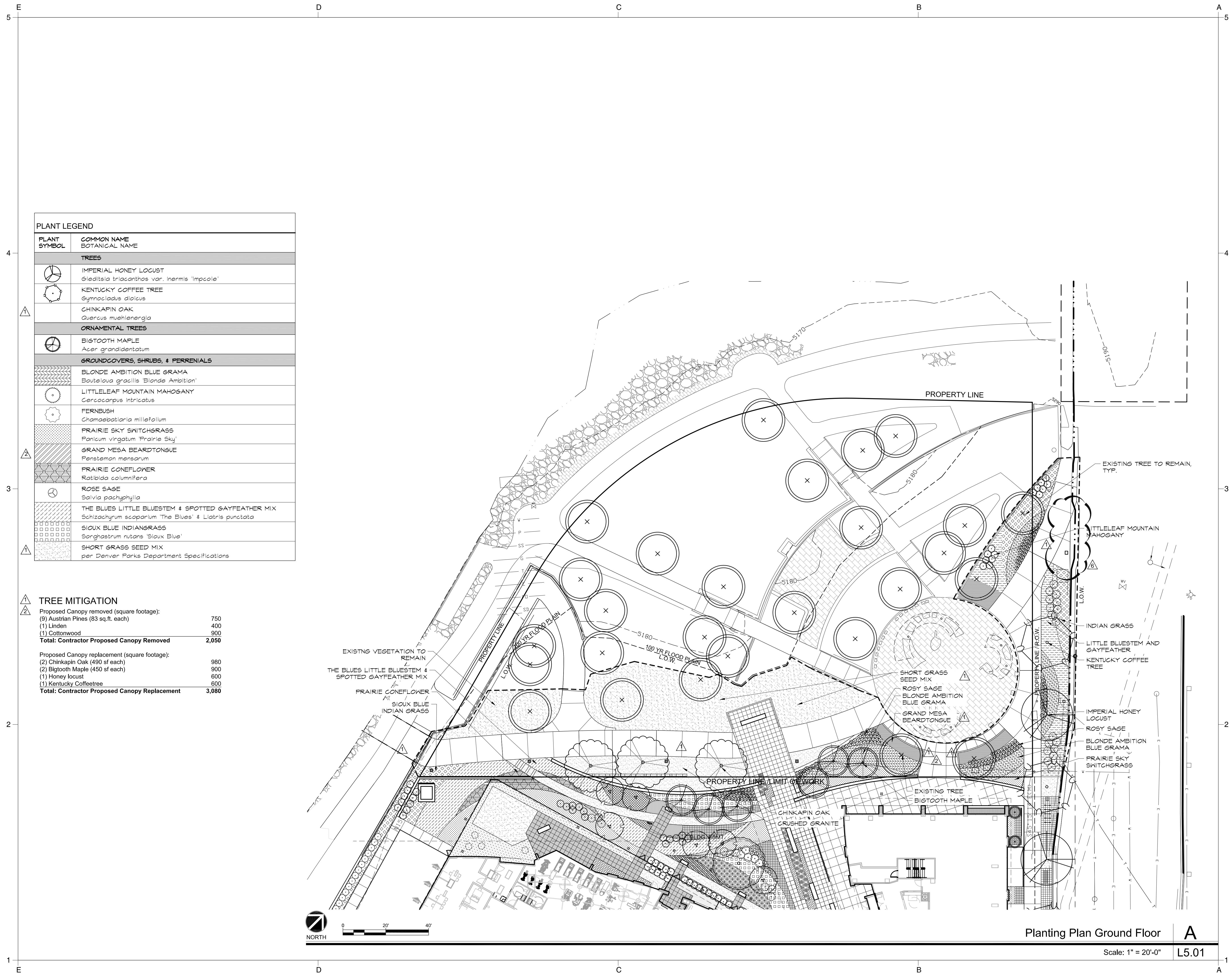
Drawing Title

LANDSCAPE PLAN

Issue Date: 12.21.2016
 Project No: 14047
 Reviewed By: MF
 Drawn By: BH

Sheet No.

L5.01



PLANT LEGEND	
PLANT SYMBOL	COMMON NAME BOTANICAL NAME
TREES	
	IMPERIAL HONEY LOCUST <i>Gleditsia triacanthos var. inermis 'Impcoale'</i>
	KENTUCKY COFFEE TREE <i>Gymnocladus dioica</i>
	CHINKAPIN OAK <i>Quercus muhlenbergia</i>
ORNAMENTAL TREES	
	BIGTOOTH MAPLE <i>Acer grandidentatum</i>
GROUNDCOVERS, SHRUBS, & PERENNIALS	
	BLONDE AMBITION BLUE GRAMA <i>Bouteloua gracilis 'Blonde Ambition'</i>
	LITTLELEAF MOUNTAIN MAHOGANY <i>Cercocarpus intricatus</i>
	FERNBUSH <i>Chamaebatiaria millefolium</i>
	PRAIRIE SKY SWITCHGRASS <i>Panicum virgatum 'Prairie Sky'</i>
	GRAND MESA BEARDTONGUE <i>Pentstemon mensarum</i>
	PRAIRIE CONEFLOWER <i>Ratibida columnifera</i>
	ROSE SAGE <i>Salvia pachyphylla</i>
	THE BLUES LITTLE BLUESTEM & SPOTTED GAYFEATHER MIX <i>Schizachyrum scoparium 'The Blues' & Liatris punctata</i>
	SIOUX BLUE INDIANGRASS <i>Sorghastrum nutans 'Sioux Blue'</i>
	SHORT GRASS SEED MIX per Denver Parks Department Specifications

TREE MITIGATION	
Proposed Canopy removed (square footage):	
(9) Austrian Pines (83 sq.ft. each)	750
(1) Linden	400
(1) Cottonwood	900
Total: Contractor Proposed Canopy Removed	2,050
Proposed Canopy replacement (square footage):	
(2) Chinkapin Oak (490 sf each)	980
(2) Bigtooth Maple (450 sf each)	900
(1) Honey locust	600
(1) Kentucky Coffeetree	600
Total: Contractor Proposed Canopy Replacement	3,080

Planting Plan Ground Floor
 Scale: 1" = 20'-0"
 L5.01

Project Name

**CONFLUENCE
 PARK EAST**

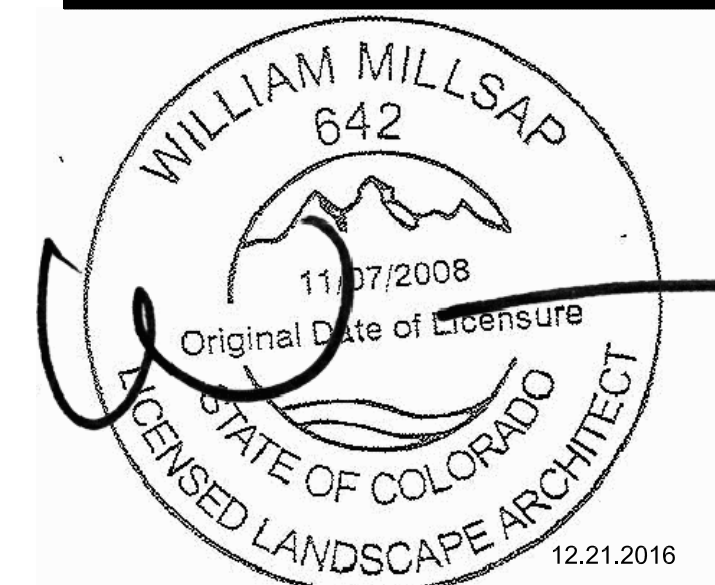
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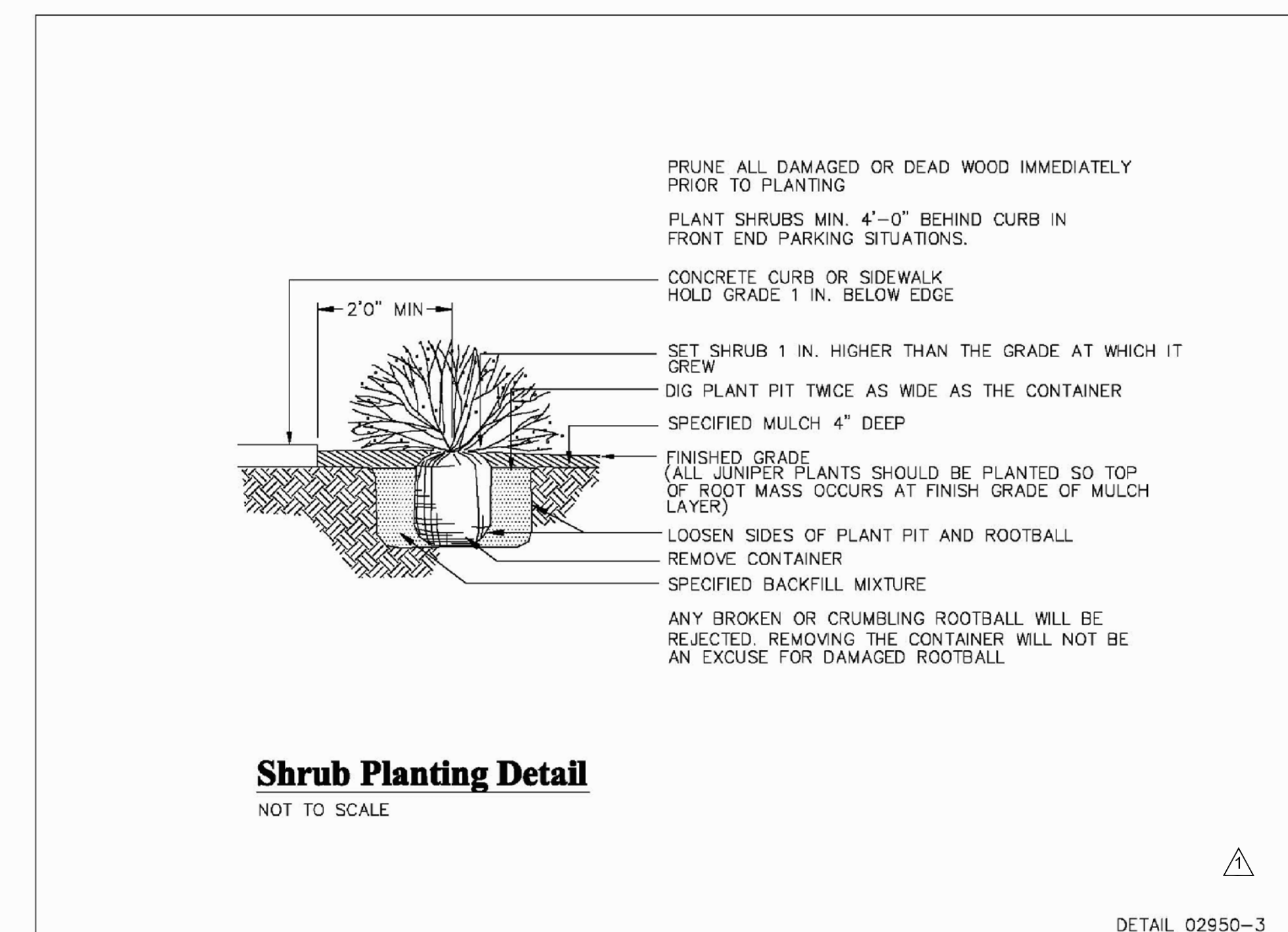
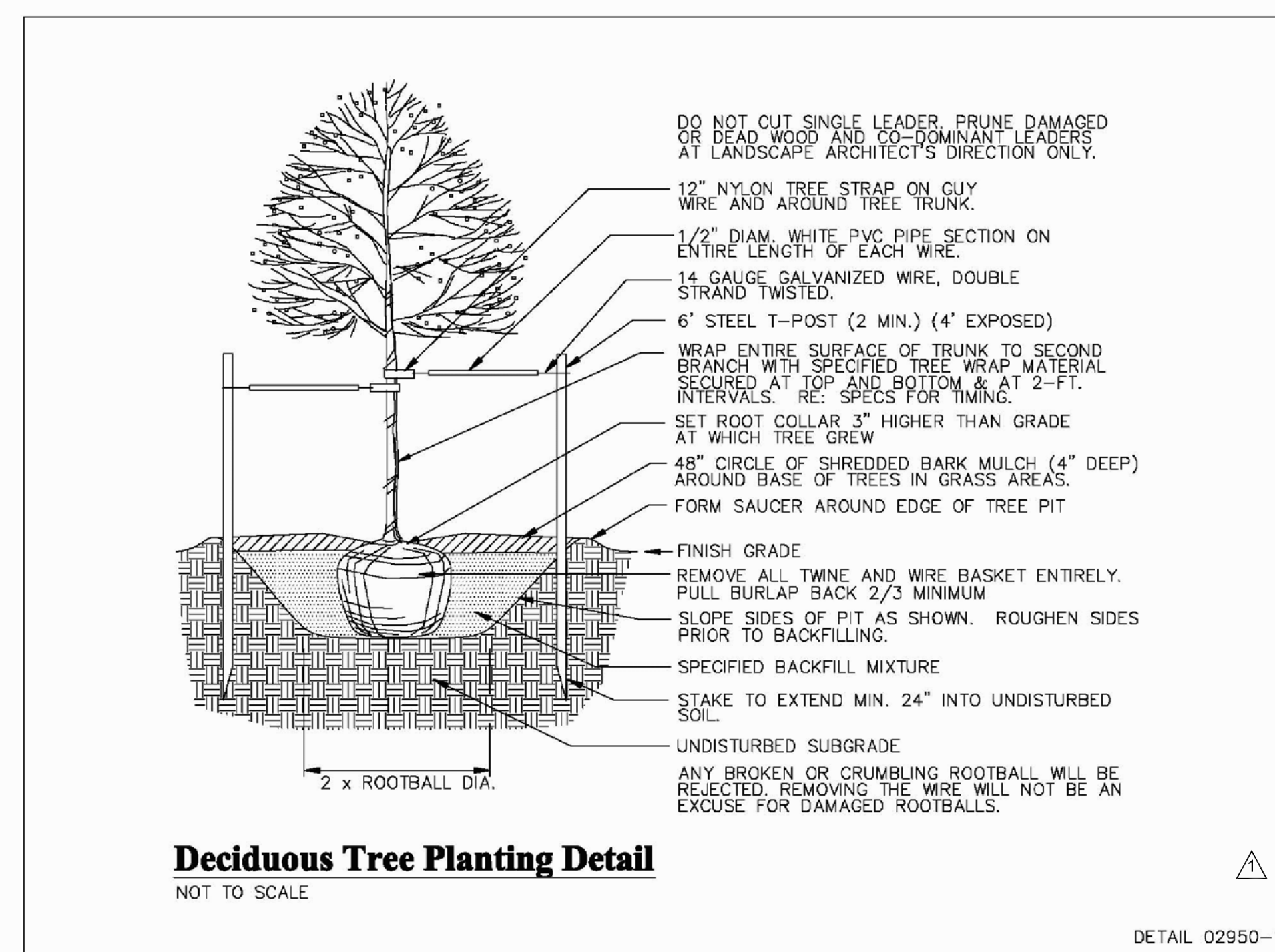
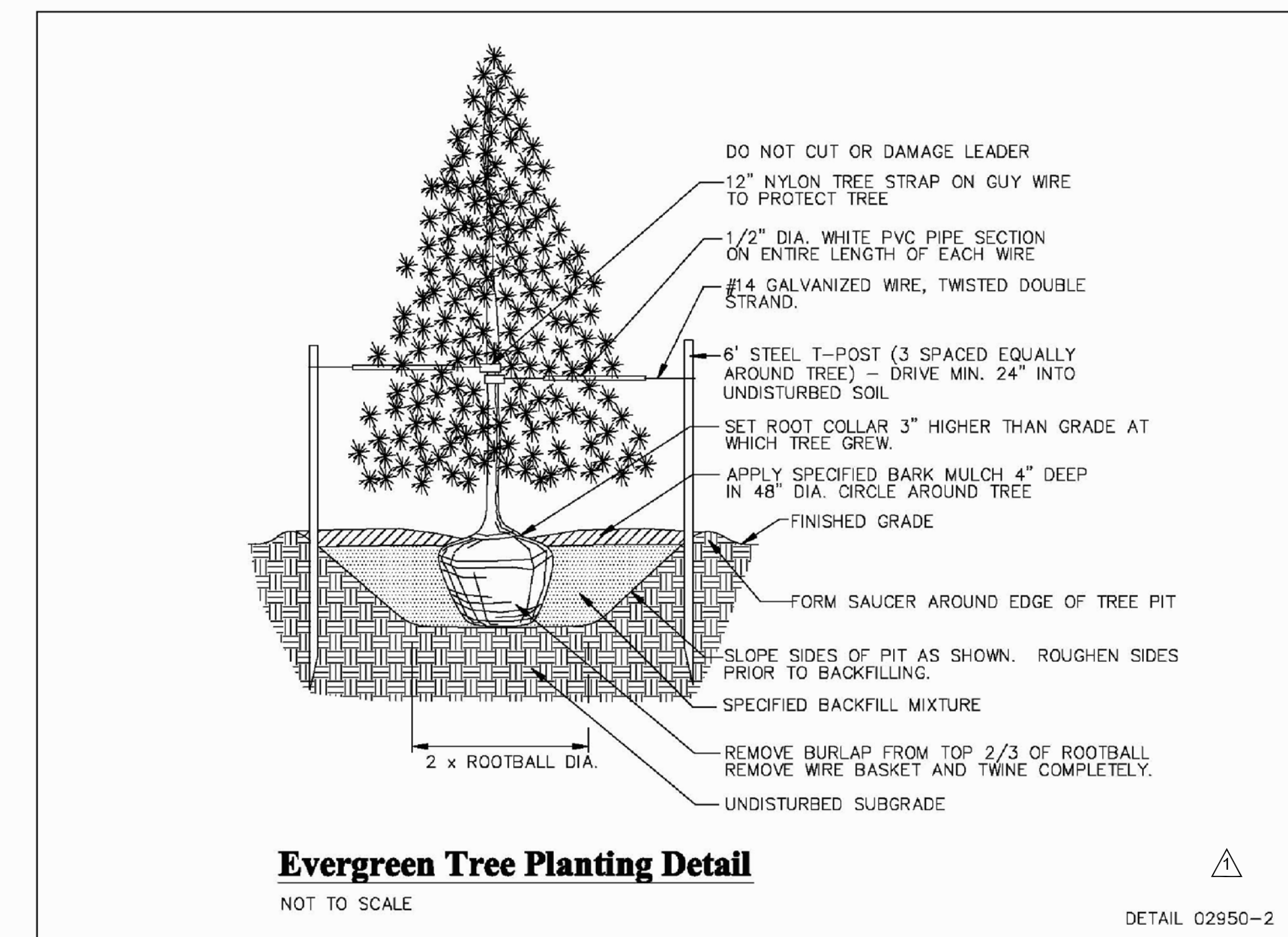
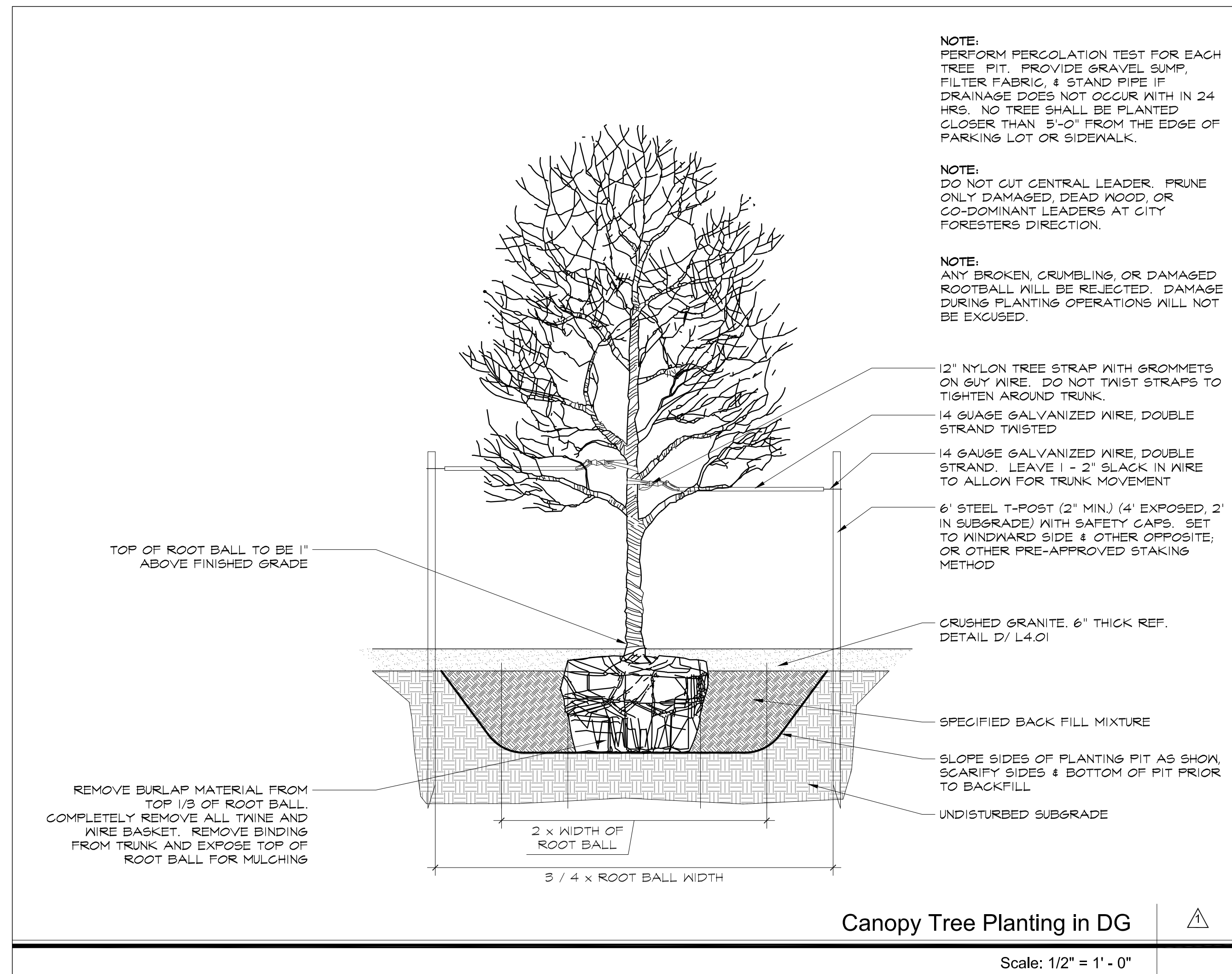
Drawing Title

PLANTING DETAILS

Issue Date: 12.21.2016
 Project No: 14047
 Reviewed By: MF
 Drawn By: BH

Sheet No.

L5.02



Project Name

CONFLUENCE
 PARK EAST

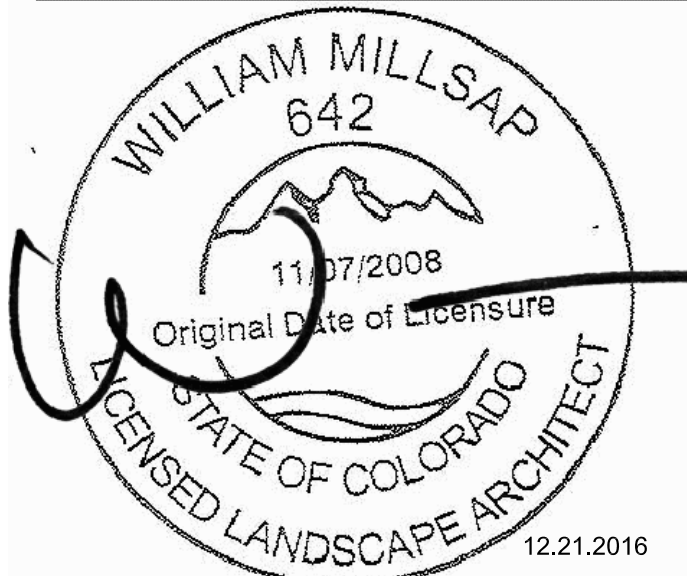
Issue Title

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Drawing Title

PLANT LEGEND

Issue Date: 12.21.2016
 Project No: 14047
 Reviewed By: MF
 Drawn By: BH

Sheet No.

L5.03

PLANTING NOTES:

- CONTRACTOR SHALL STAKE OUT ALL INFORMAL TREE LOCATIONS IN FIELD FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING I.A. RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
- PLANTING BEDS SHALL BE STAKED FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO EXCAVATION.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- TREES OVERHANGING WALKS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF SEVEN (7) FEET. TREES OVERHANGING PUBLIC STREET PAVEMENT DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF FOURTEEN (14) FEET.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE CONTRACTOR THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE U.S.A. STANDARD FOR NURSERY STOCK. LATEST EDITION AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- WRITTEN DIMENSIONS & GRADES PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- STUDIO OUTSIDE ASSUMES NO RESPONSIBILITY FOR ANY EXCAVATION OR GRADING NOT SHOWN ON SURVEYS OR CIVIL ENGINEER'S PLANS SUPPLIED TO STUDIO OUTSIDE. ALL PROPOSED AND FINISHED GRADES ARE BASED ON INFORMATION PROVIDED BY THE OWNER'S SURVEY AND/OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED BY STUDIO OUTSIDE ARE PROVIDED FOR CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. NOTIFY ARCHITECT IF ANY DISCREPANCIES OCCUR. CONTRACTORS ARE TO BID THEIR OWN VERIFIED QUANTITIES.

PLANT LEGEND

PLANT SYMBOL	COMMON NAME BOTANICAL NAME	SIZE MIN.	HEIGHT MIN.	SPREAD MIN.	COMMENTS
TREES					
	IMPERIAL HONEY LOCUST <i>Gleditsia triacanthos var. inermis 'Impcole'</i>	3" CAL.	14'-16'	5'-6'	NURSERY GROWN, MATCHED, WELL BRANCHED, STRONG CENTRAL LEADER, BALLED AND BURLAPPED
	KENTUCKY COFFEE TREE <i>Gymnocladus dioica</i>	3" CAL.	14'-16'	4'-6'	NURSERY GROWN, MATCHED, WELL BRANCHED, STRONG CENTRAL LEADER, BALLED AND BURLAPPED
	CHINKAPIN OAK <i>Quercus muehlenbergii</i>	3" CAL.	14'-16'	4'-6'	NURSERY GROWN, MATCHED, WELL BRANCHED, STRONG CENTRAL LEADER, BALLED AND BURLAPPED
ORNAMENTAL TREES					
	BIGTOOTH MAPLE <i>Acer grandidentatum</i>	45 GAL.	10'	5'-6'	B&B, MATCHED, WELL BRANCHED, MULTI-TRUNK
GROUNDCOVERS, SHRUBS, & PERENNIALS					
	BLONDE AMBITION BLUE GRAMA <i>Bouteloua gracilis 'Blonde Ambition'</i>	1 GAL.	8"-10"	8"-10"	NURSERY GROWN, MATCHED AND WELL ROOTED, CONTAINER GROWN, PLANT 15" O.C. TRIANGULAR SPACING
	LITTLELEAF MOUNTAIN MAHOGANY <i>Cercocarpus intricatus</i>	5 GAL.	24"	24"	NURSERY GROWN, MATCHED AND WELL ROOTED, CONTAINER GROWN, PLANT 30" O.C. SPACING
	FERNBUSH <i>Chamaebotaria millefolium</i>	5 GAL.	36"	36"	NURSERY GROWN, MATCHED AND WELL ROOTED, CONTAINER GROWN, PLANT 4' O.C. SPACING
	PRAIRIE SKY SWITCHGRASS <i>Panicum virgatum 'Prairie Sky'</i>	1 GAL.	30"	18"	NURSERY GROWN, MATCHED AND WELL ROOTED, CONTAINER GROWN, PLANT 30" O.C. TRIANGULAR SPACING
	GRAND MESA BEARDTONGUE <i>Pentstemon mensarum</i>	1 GAL.	6"	6"	NURSERY GROWN, MATCHED AND WELL ROOTED, CONTAINER GROWN, PLANT 8" O.C.
	PRAIRIE CONEFLOWER <i>Ratibida columnifera</i>	1 GAL.	18"	10"	NURSERY GROWN, MATCHED AND WELL ROOTED, CONTAINER GROWN, PLANT 18" O.C. SPACING
	ROSE SAGE <i>Salvia pashyphylla</i>	1 GAL.	18"	18"	NURSERY GROWN, MATCHED AND WELL ROOTED, CONTAINER GROWN, PLANT 18" O.C.
	THE BLUES LITTLE BLUESTEM & SPOTTED GAYFEATHER MIX <i>Schizachyrum scoparium 'The Blues' & Liatris punctata</i>	1 GAL.	14"-16"	12"	50/50 MIX, ALTERNATE SPECIES, NURSERY GROWN, MATCHED AND WELL ROOTED, CONTAINER GROWN, PLANT 12" O.C. TRIANGULAR.
	SIoux BLUE INDIANGRASS <i>Sorghastrum nutans 'Sioux Blue'</i>	1 GAL.	30"	24"	NURSERY GROWN, MATCHED AND WELL ROOTED, CONTAINER GROWN, PLANT 3' O.C. SPACING
	SHORT GRASS SEED MIX per Denver Parks Department Specifications	SEED	-	-	REFER TO DENVER PARKS DEPARTMENT SPECIFICATIONS

CONFLUENCE
PARK EAST

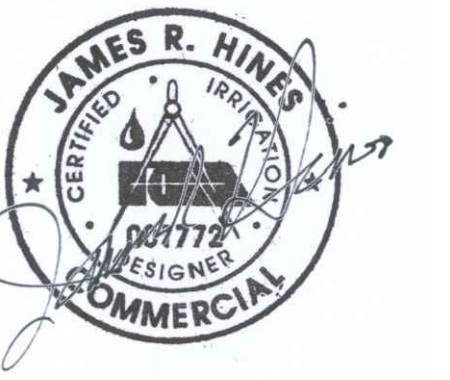
Issue Title

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Issue / Addenda / Revisions

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Drawing Title

IRRIGATION PLAN

Issue Date: 12.14.2016
Project No: 14047
Reviewed By: EW
Drawn By: JW

Sheet No.

IR-1



SITE WATER MANAGEMENT SERVICES
323 W. DRANE RD, SUITE 204
FORT COLLINS, COLORADO 80526
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E Fax: 866.215.8974
Web: www.hinesinc.com

INSTALLATION GENERAL NOTES

1. READ THOROUGHLY AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
2. COORDINATE UTILITY LOCATES ("CALL BEFORE YOU DIG") OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3. DO NOT PROCEED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IF DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED, BRING ALL SUCH OBSTRUCTIONS OR DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
4. THE DRAWINGS ARE DIAGRAMMATIC. THEREFORE, THE FOLLOWING SHOULD BE NOTED:
 - A. ALTHOUGH IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE PLANTING AREAS FOR CLARITY, INSTALL IRRIGATION PIPE AND WIRING IN LANDSCAPED AREAS WHENEVER POSSIBLE.
 - B. TREE AND SHRUB LOCATIONS AS SHOWN ON LANDSCAPE PLANS TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT LOCATIONS. AVOID CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ARCHITECTURAL FEATURES.
 - C. USE ONLY STANDARD TEES AND ELBOW FITTINGS. USE OF CROSS TYPE FITTINGS IS NOT ALLOWED.
6. PROVIDE THE FOLLOWING COMPONENTS TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT:
 - A. TWO (2) OPERATING KEYS FOR EACH TYPE OF MANUALLY OPERATED VALVES.
 - B. TWO (2) OF EACH SERVICING WRENCH OR TOOL NEEDED FOR COMPLETE ACCESS, ADJUSTMENT, AND REPAIR OF ALL ROTARY SPRINKLERS.
7. SELECT NOZZLES FOR SPRAY AND ROTARY SPRINKLERS WITH ARCS WHICH PROVIDE COMPLETE AND ADEQUATE COVERAGE WITH MINIMUM OVERSPRAY FOR THE SITE CONDITIONS. CAREFULLY ADJUST THE RADIUS OF THROW AND ARC OF COVERAGE OF EACH ROTARY SPRINKLER TO PROVIDE THE BEST PERFORMANCE.
8. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF IRRIGATION SLEEVING. SLEEVES ARE REQUIRED FOR BOTH PIPING AND ELECTRICAL WIRING AT EACH HARDSCAPE CROSSING. COORDINATE INSTALLATION OF SLEEVING WITH OTHER TRADES. ANY PIPE OR WIRE WHICH PASSES BENEATH EXISTING HARDSCAPE WHERE SLEEVING WAS NOT INSTALLED WILL REQUIRE HORIZONTAL BORING BY THE IRRIGATION CONTRACTOR.
9. INSTALL ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES.
10. THE FOLLOWING SHOULD BE NOTED REGARDING PIPE SIZING: IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN THE IDENTICALLY SIZED SECTIONS, THE UNSIZED PIPE IS THE SAME NOMINAL SIZE AS THE TWO SIZED SECTIONS. THE UNSIZED PIPE SHOULD NOT BE CONFUSED WITH THE DEFAULT PIPE SIZE NOTED IN THE LEGEND.
11. INSTALL TWO (2) #14 AWG CONTROL WIRES FROM CONTROLLER LOCATION TO EACH DEAD-END OF MAINLINE FOR USE AS SPARES IN CASE OF CONTROL WIRE FAILURE. COIL 3 FEET OF WIRE IN VALVE BOX.
12. PARK SERVED FROM DENVER WATER 1 1/2-INCH TAP, TAP ID # 355975. ADDRESS 2190 15TH STREET.
13. THE EXISTING IRRIGATION SYSTEM OUTSIDE OF THE PROJECT SCOPE MUST REMAIN FUNCTIONAL DURING CONSTRUCTION AND EXISTING TREES THAT ARE TO REMAIN WITHIN THE PROJECT SCOPE MUST BE WATERED UNTIL NEW SYSTEM IS INSTALLED AND FUNCTIONAL.
14. CONTRACTOR SHALL COORDINATE WITH THE DENVER PARKS DEPARTMENT TO INTEGRATE THE NEW IRRIGATION SYSTEM WITH THE EXISTING SYSTEM.

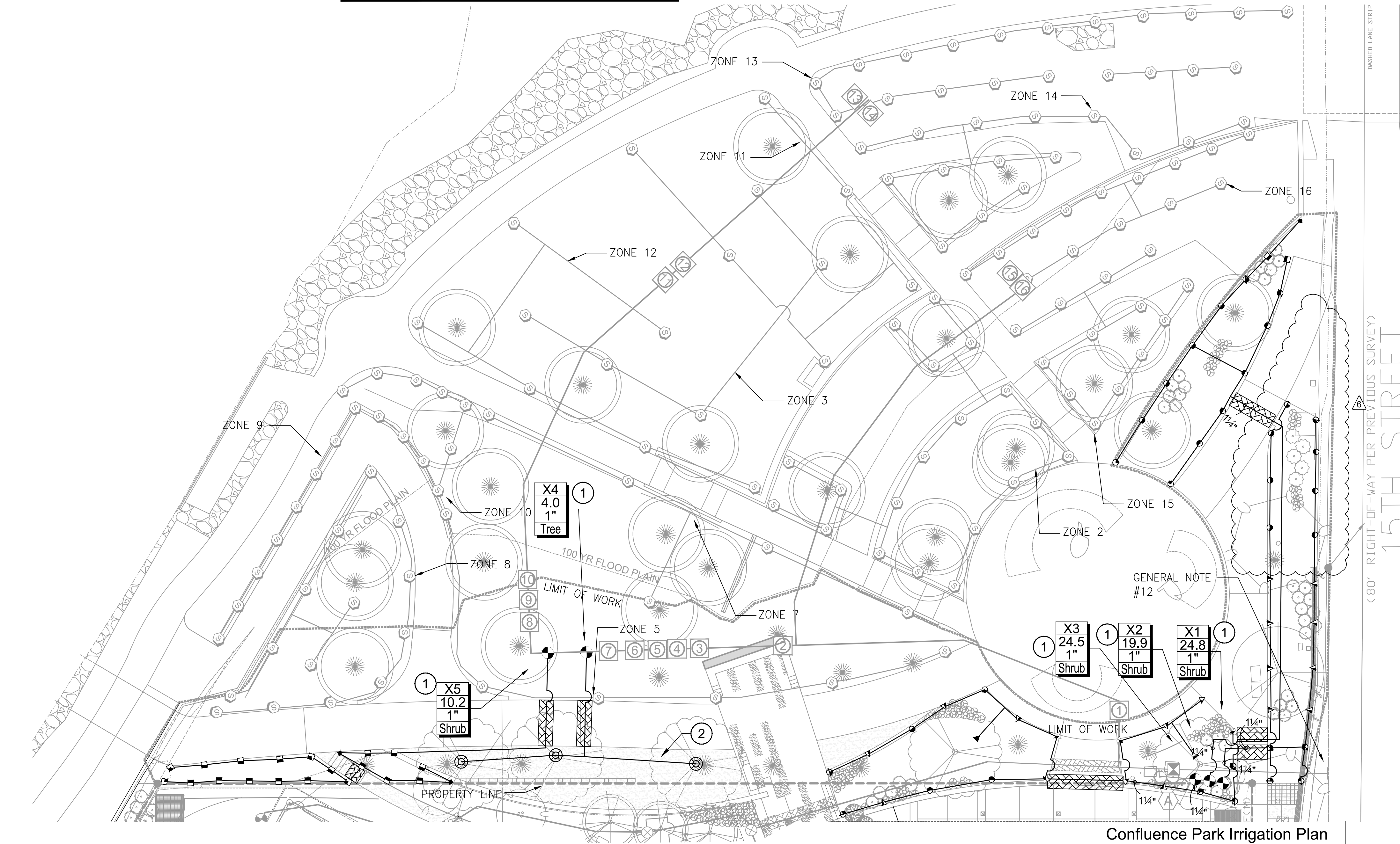
IRRIGATION LEGEND

- SLEEVES: CLASS 200 PVC
- LATERAL PIPE TO SPRINKLERS: 100 PSI HIGH DENSITY POLYETHYLENE 1-INCH SIZE UNLESS OTHERWISE INDICATED
- UNCONNECTED PIPE CROSSING
- REMOTE CONTROL VALVE ASSEMBLY FOR SPRINKLER LATERALS: RAIN BIRD PEB-PRS (SIZED PER PLAN) AND 2-INCH CHAMPION 300-RS ANGLE VALVE
- INDICATES CONTROLLER AND STATION NUMBER
- INDICATES LATERAL DISCHARGE (GPM)
- INDICATES VALVE SIZE (INCHES)
- INDICATES SPRINKLER RISER POP-UP HEIGHT (4-INCH UNLESS OTHERWISE NOTED)
- EXISTING IRRIGATION SPRINKLERS
- EXISTING REMOTE CONTROL VALVE
- EXISTING MAINLINE
- EXISTING CONTROLLER: TORO SENTINEL: 24 STATIONS, 16 STATIONS EXISTING, 5 STATIONS ADDED
- EXISTING BACKFLOW PREVENTER

CONSTRUCTION NOTES

1. CONTRACTOR SHALL FIELD LOCATED THE EXISTING MAINLINE AT THIS APPROXIMATE LOCATION. CONNECT NEW VALVE TO EXISTING MAINLINE AND ROUTE NEW CONTROL WIRE TO OPERATE VALVE BACK TO EXISTING CONTROLLER THROUGH THE AVAILABLE CONDUIT SWEEP. INSTALL IRRIGATION EQUIPMENT AS SHOWN.
2. REFER TO DETAIL #9 FOR TREE BUBBLER ASSEMBLY AND INSTALLATION PER DENVER PARKS AND RECREATION STANDARDS. INNER AND OUTER BUBBLERS SHOULD BE SEPARATED WITH BALL VALVES.

NOTE:
INSTALL RAIN BIRD 1806 SAM-PRS SPRAY BODIES FOR MOWED TURF, NOZZLE PER PLAN.
INSTALL RAIN BIRD 1812 SAM-PRS SPRAY BODIES FOR PLANTING BEDS AND NATIVE MIXES, NOZZLE PER PLAN.
PREVIOUS AS-BUILT DRAWINGS OF THE IRRIGATION SYSTEM ARE AVAILABLE FROM DENVER PARKS. CONTRACTOR TO REQUEST AS-BUILTS AND REVIEW BEFORE INSTALLATION OF NEW EQUIPMENT.



Confluence Park Irrigation Plan

1-INCH = 16-FEET

Project Name

CONFLUENCE
PARK EAST

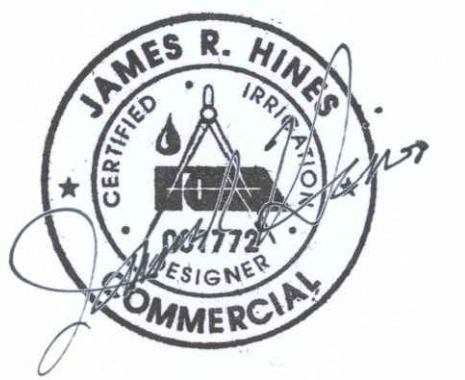
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IRRIGATION DETAILS

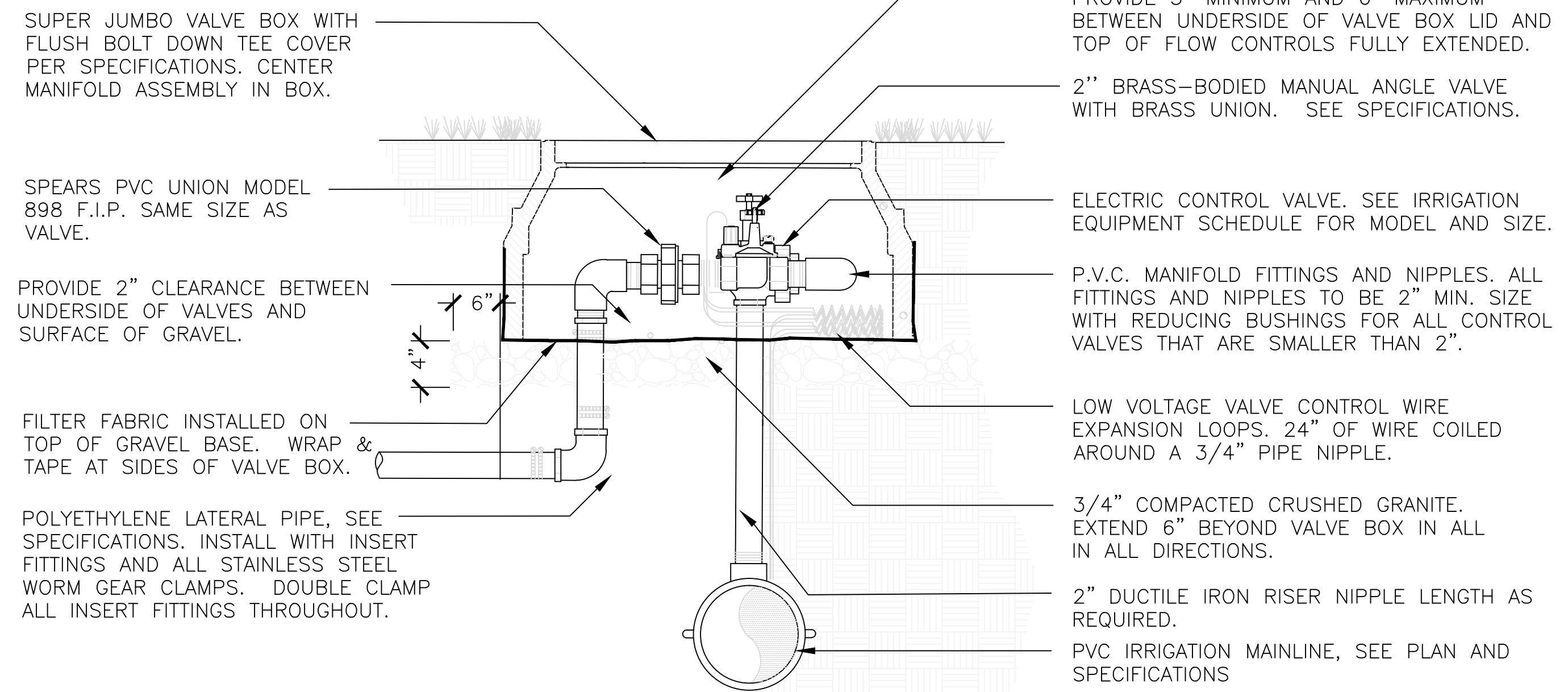
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Project No: 14047
Reviewed By: EW
Drawn By: JW

Sheet No.

IR-2

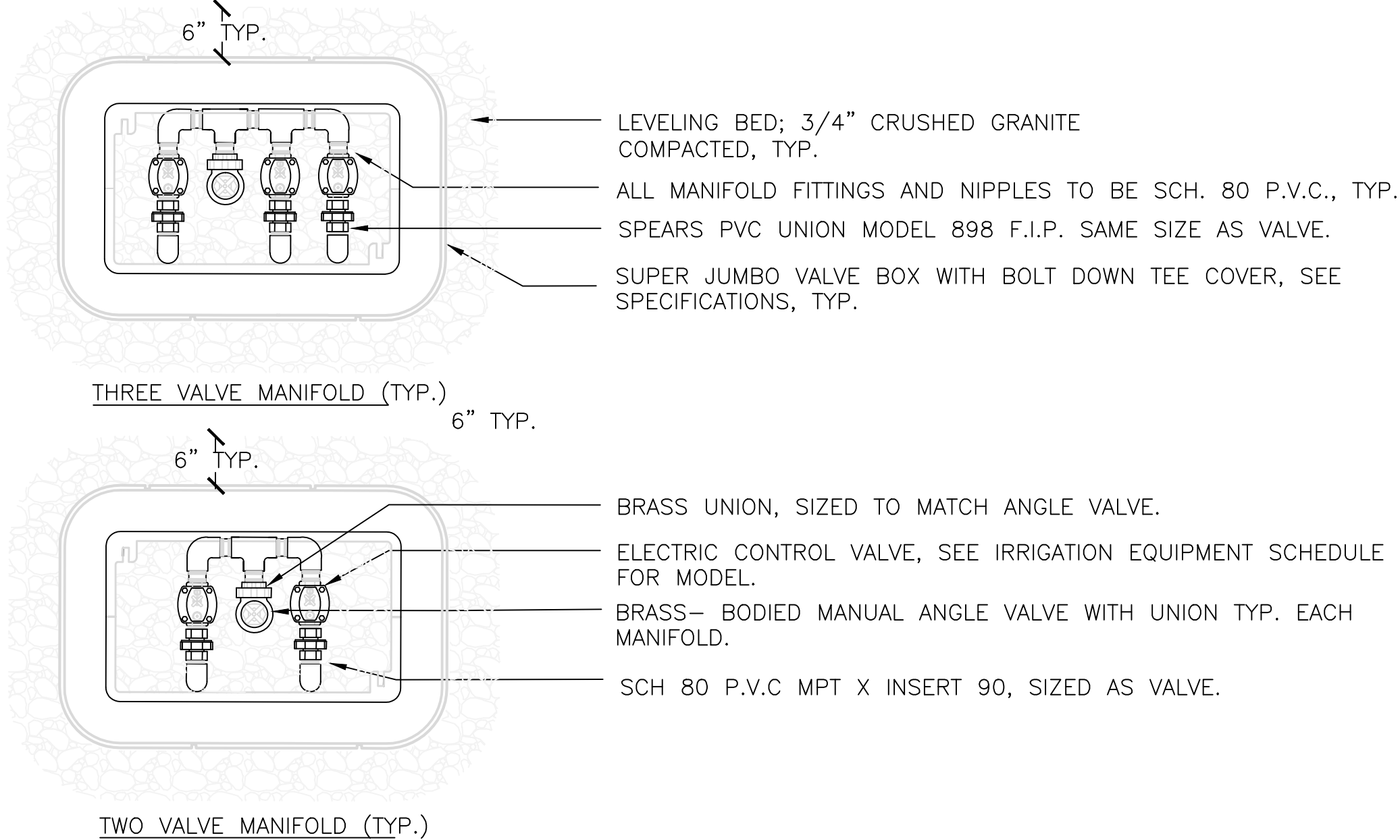


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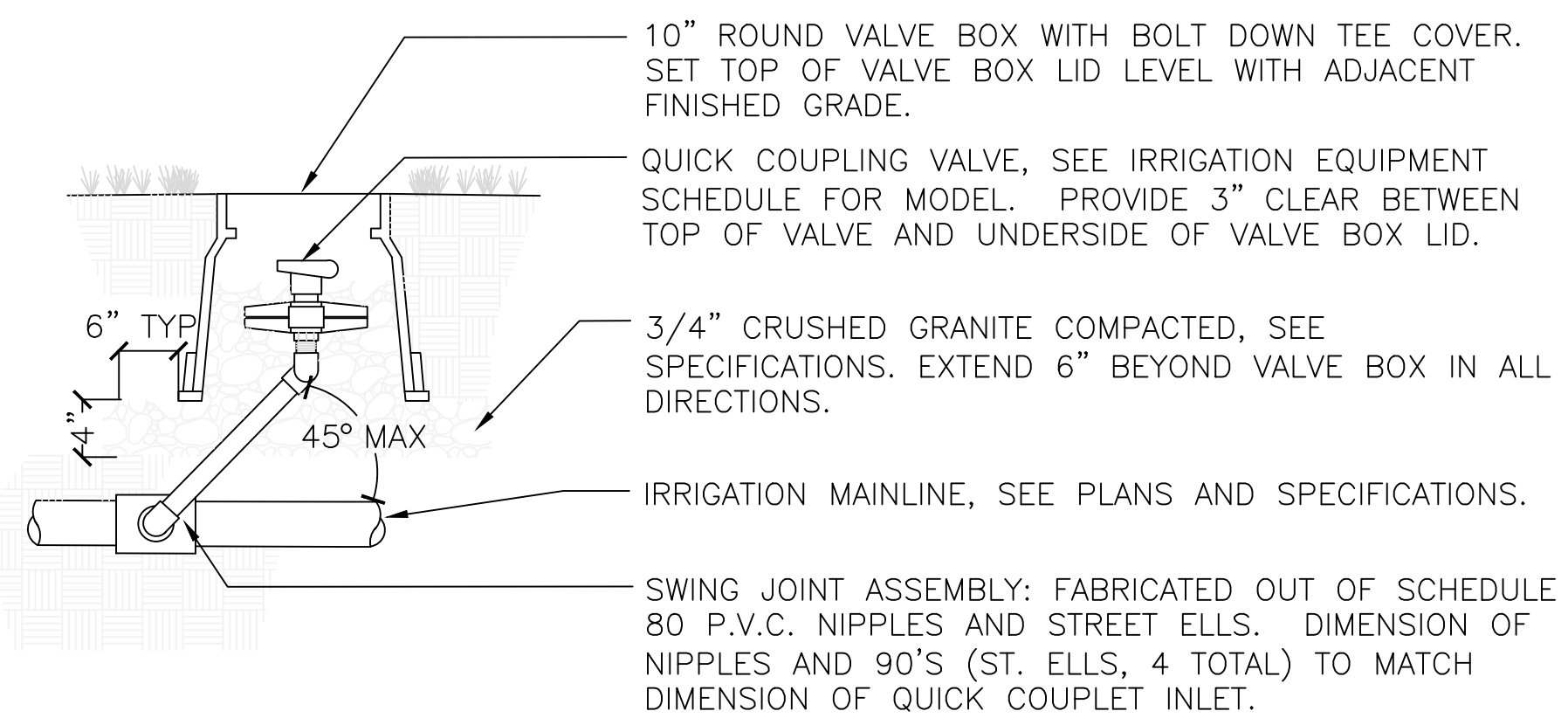
- NOTE:
- SET TOP OF VALVE BOX LID LEVEL WITH ADJACENT FINISHED GRADE.
 - BRAND (STATION NO.) INTO VALVE BOX LID WITH 1" HIGH LETTERS MIN. AND LOCK TIE PLASTIC VALVE NO. TAGS TO FLOW CONTROL STEM ON EACH CONTROL VALVE.

REMOTE VALVE



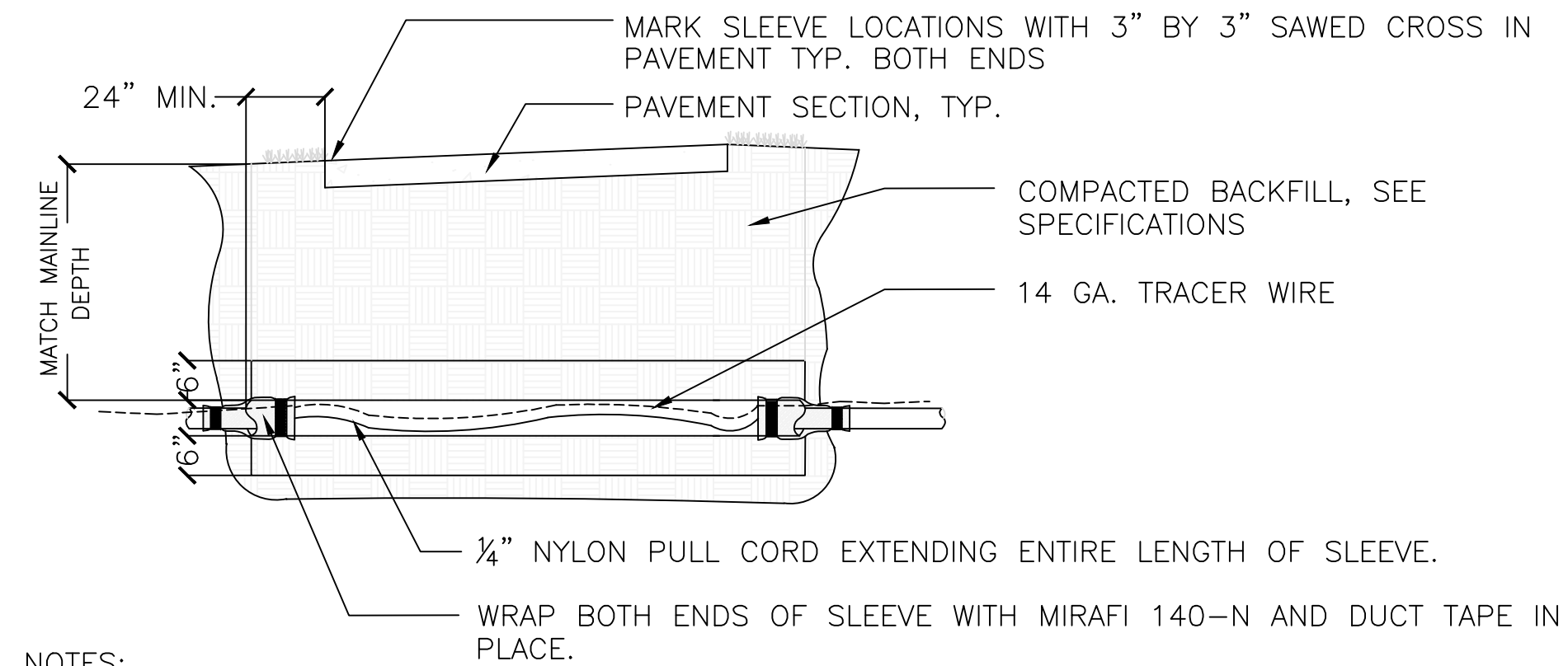
- NOTE:
- CENTER MANIFOLD ASSEMBLY IN BOX. ENSURE THAT LATERAL PIPE HAS 6" OF COVER MINIMUM WHERE IT PASSES UNDER VALVE BOX FRAME.
 - DO NOT MODIFY OR CUT SIDE WALLS OF VALVE BOX.
 - ASSEMBLE VALVE MANIFOLD ASSEMBLY FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
 - LOCATE VALVE BOXES AND MAINLINE A MINIMUM DISTANCE OF 24" FROM CURBS AND WALKS AND A MINIMUM OF 36" FROM CENTER LINE OF DRAINAGE SWALES.

REMOTE CONTROL VALVE



- NOTE:
- INSURE THAT HANDLE ON QUICK COUPLER KEY WILL CLEAR VALVE BOX IN ALL DIRECTIONS.
 - BRAND (QC) INTO VALVE BOX LID WITH 1" HIGH LETTERS MIN.
 - NIPPLE ANGLE TO BE 10 DEGREES MIN. AND 45 DEGREES MAX. INSTALL SWING JOINT SUCH THAT DOWNWARD PRESSURE ON VALVE WILL TIGHTEN FITTING INTO MAINLINE TEE.
 - FOR QUICK COUPLERS LOCATED WITHIN 100 FEET OF BACKFLOW PREVENTION DEVICES AND INTENDED FOR WINTERIZATION USE, ALL FITTINGS AND NIPPLES OF THE SWING JOINT ASSEMBLY MUST BE CONSTRUCTED ENTIRELY OF BRASS.

QUICK COUPLER VALVE



- NOTES:
- SLEEVE SHALL BE CL-200 P.V.C. UNLESS OTHERWISE NOTED ON PLAN.
 - ALL MAINLINE AND LATERAL SLEEVES SHALL BE A MINIMUM OF 2 PIPE SIZES LARGER THAN THE PIPE BEING SLEEVED.
 - DENVER WATER REQUIRES TRACER WIRE IN ALL SLEEVES THAT CROSS STREETS. IF SLEEVE IS FOR MAINLINE AND A TRACER WIRE IS ALREADY INCLUDED, NO ADDITIONAL TRACER WIRE IS NEEDED.
 - SLEEVES SHALL BE INSTALLED AT SAME DEPTH AS MAINLINE OR LATERALS.
 - SLEEVES TO BE INSTALLED 24" DEPTH MINIMUM UNDER ROADWAYS AND 30" DEPTH MINIMUM UNDER TREE CRITICAL ROOT ZONES.

SLEEVEING - BORE

4

1

2

3

Project Name

**CONFLUENCE
 PARK EAST**

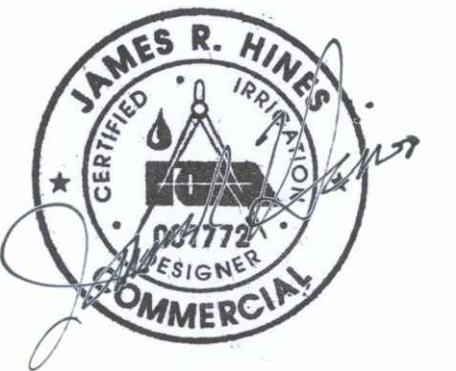
Issue Title

PERMIT

Issue / Addenda / Revisions

Date	Description
7.26.16	Permit Comments
8.08.16	Permit Comments
9.28.16	Permit Comments
10.14.16	Permit Comments

Seal



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Drawing Title

IRRIGATION DETAILS

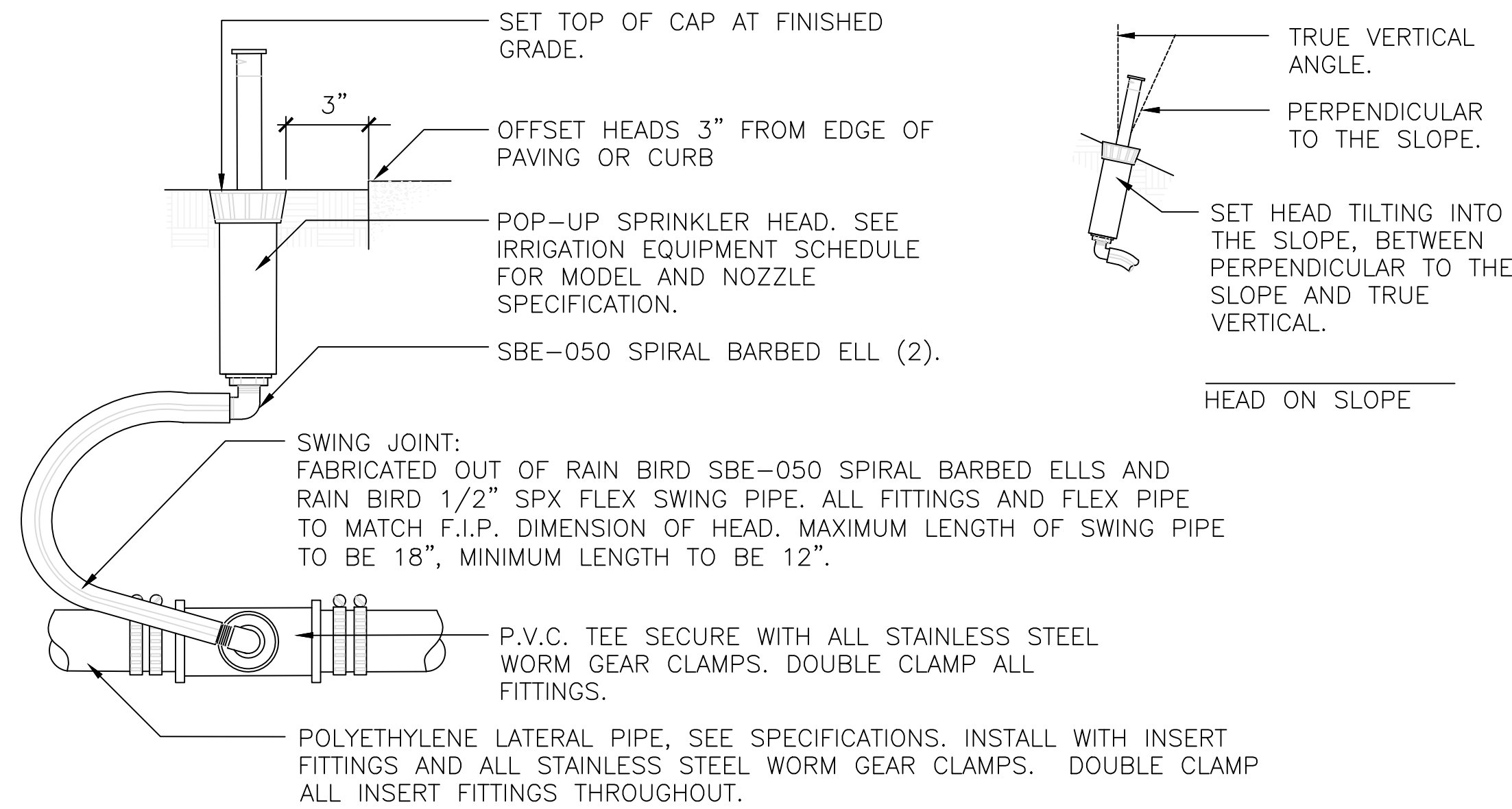
Issue Date: 12.14.2016
 Project No: 14047
 Reviewed By: EW
 Drawn By: JW

Sheet No.

IR-3



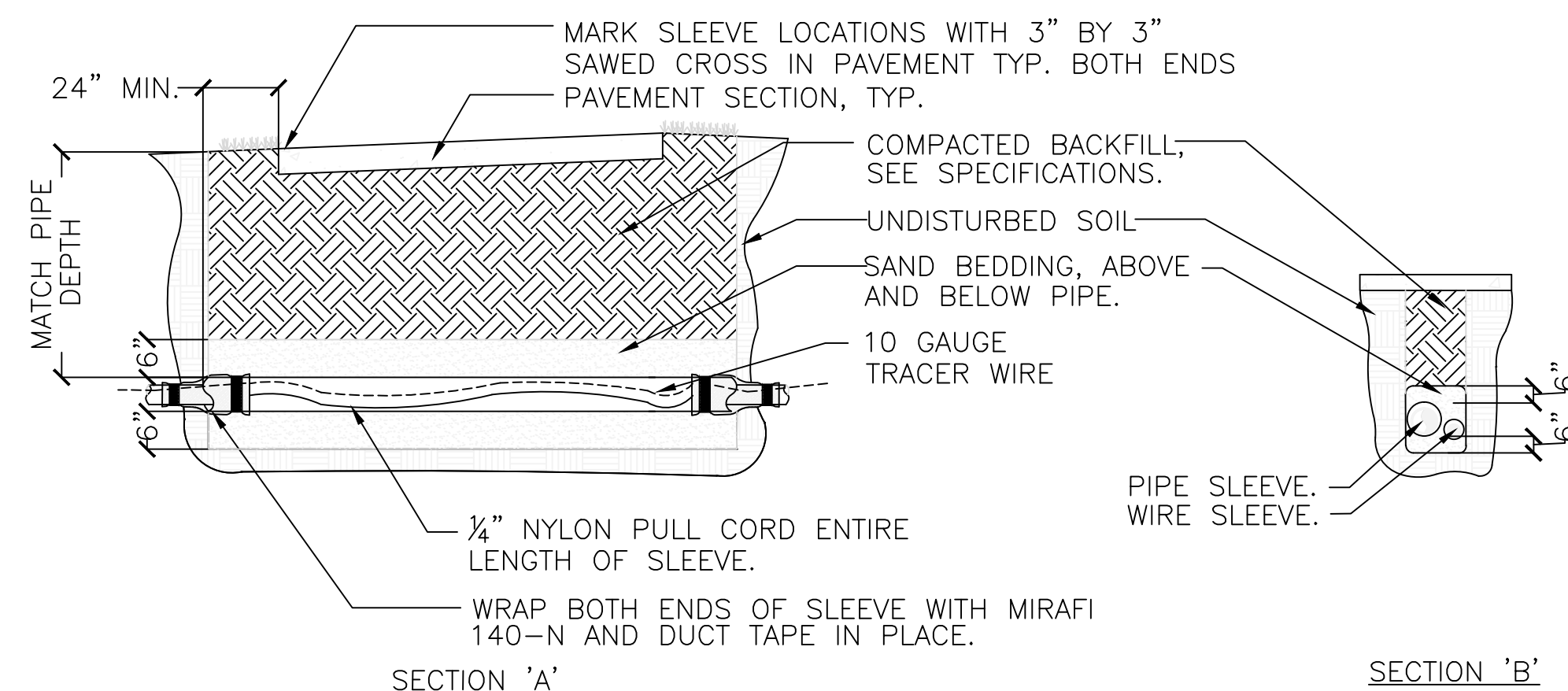
SITE WATER MANAGEMENT SERVICES
 323 W. DRAKE RD, SUITE 204
 FORT COLLINS, COLORADO 80526
 Telephone: 970.282.1800
 E Fax: 866.215.8974
 Web: www.hinesinc.com



- NOTE:**
1. PLUMB HEAD PERPENDICULAR TO FINISHED GRADE OR AS SPECIFIED FOR HEADS ON A SLOPE.
 2. SET TOP OF HEAD LEVEL WITH FINISHED GRADE IN TURF GRASS AREAS. SET TOP OF HEAD 1/2" ABOVE FINISHED GRADE IN SEEDED AREAS.
 3. LATERAL PIPE TO BE PLACED 9" MIN FROM EDGE OF CURB/WALKS AND 36" MIN FROM THE CENTERLINE OF SWALES.

POP-UP SPRAY HEAD

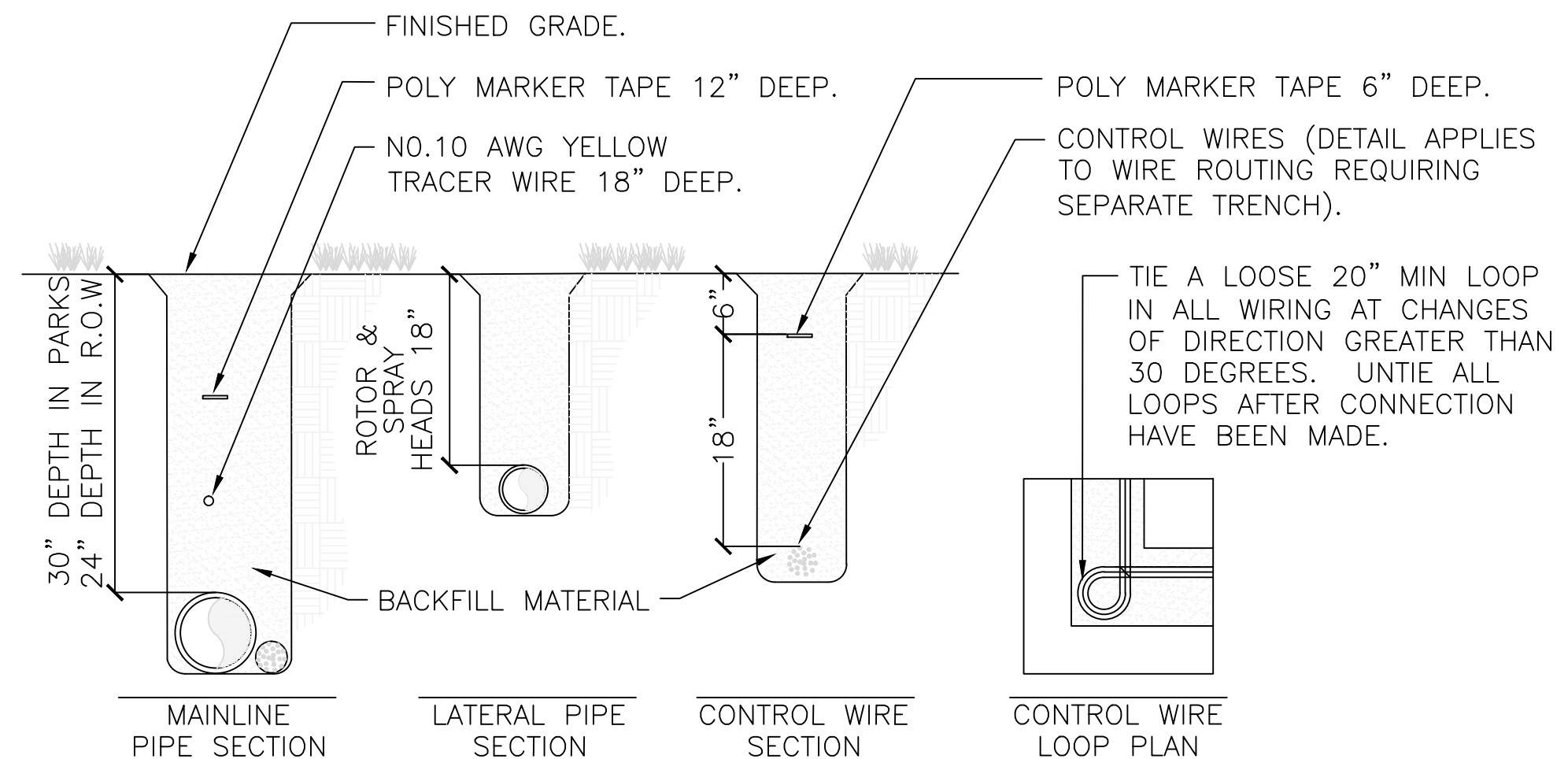
5



- NOTES:**
1. SLEEVING SHALL BE CL-200 P.V.C. UNLESS OTHERWISE NOTED ON PLAN.
 2. ALL MAINLINE SLEEVES HAVE A SEPARATE COMPANION SLEEVE FOR WIRE, PLACED SIDE BY SIDE.
 3. MULTIPLE SLEEVES INSTALLED ADJACENT TO ONE ANOTHER ARE TO BE PLACED SIDE BY SIDE, NEVER STACKED.
 4. ALL MAINLINE AND LATERAL SLEEVES SHALL BE A MINIMUM OF 2 PIPE SIZES LARGER THAN THE PIPE BEING SLEEVED.
 5. BACKFILL ANY RELATED SLEEVING EXCAVATIONS AND MECHANICALLY AND COMPACT IN 6" MAX. LIFTS TO 95% BY VIBRATORY COMPACTION METHOD UNDER ALL PAVEMENT SECTIONS.
 7. SLEEVES SHALL BE INSTALLED AT SAME DEPTH AS MAINLINE OR LATERALS. SLEEVES TO BE INSTALLED AT 24" DEPTH MINIMUM UNDER ROADWAYS.
 8. WATER SETTLING OF TRENCHES UNDER PAVEMENT IS NOT PERMITTED.

IRRIGATION SLEEVING – TRENCHED

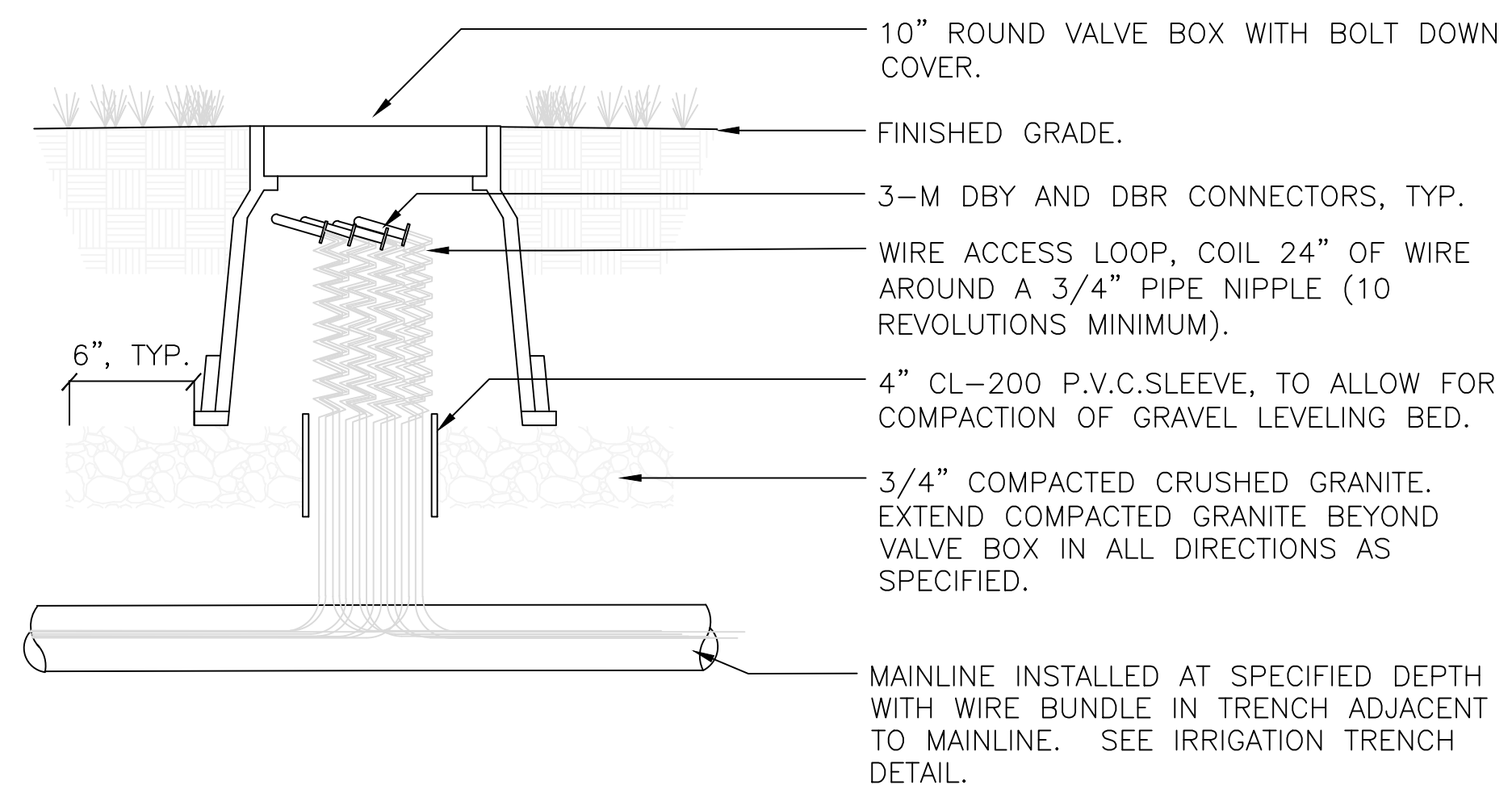
7



- NOTE:**
1. TRENCH DEPTHS ARE SHOWN AS MINIMUMS, MAXIMUM DEPTH VARIATION ALLOWABLE IS 2". SEE SPECIFICATIONS FOR MINIMUM TRENCH WIDTHS.
 2. MULTIPLE IRRIGATION PIPES SHALL NOT BE INSTALLED IN THE SAME TRENCH.
 3. IRRIGATION WIRE SHALL BE PLACED BESIDE IRRIGATION PIPE, NEVER STACKED.
 4. BUNDLE AND TAPE ALL WIRES AT 10'-0" MINIMUM SECTIONS.
 5. BACKFILL MATERIAL SHALL BE FREE OF RUBBISH, FROZEN MATERIALS AND STONES LARGER THAN 1". SEE SPECIFICATIONS FOR TYPICAL BACKFILL MATERIAL, PROCEDURES AND REGULATIONS.

IRRIGATION TRENCH

6



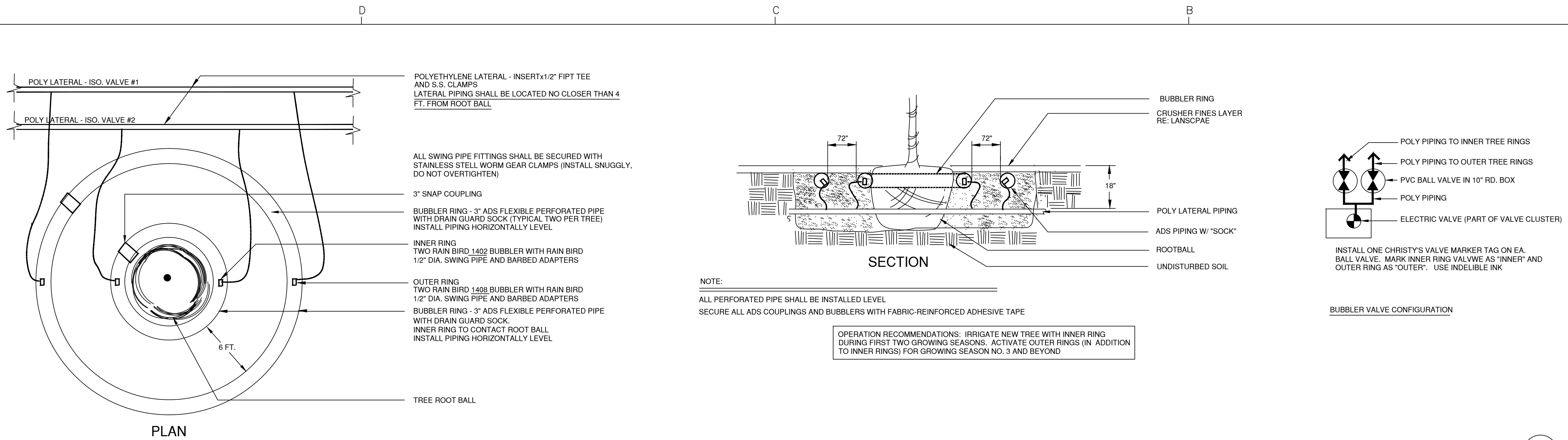
- NOTE:**
1. SET TOP OF BOX LEVEL WITH WITH FINISHED GRADE IN TURF AREAS AND LEVEL WITH TOP OF MULCH IN PLANTING BEDS.
 2. USE STANDARD RECTANGULAR VALVE BOX WITH BOLT DOWN LID FOR SPLICES OF MORE THAN TWENTY (20) WIRES.

WIRE SPLICE

8

Project Name

**CONFLUENCE
 PARK EAST**



TREE BUBBLER ASSEMBLY DETAIL

9

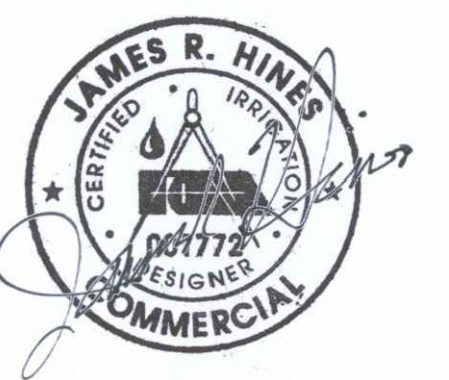
Issue Title

PERMIT

Issue / Addenda / Revisions

Date	Description
7.26.16	Permit Comments
8.08.16	Permit Comments
9.28.16	Permit Comments
10.14.16	Permit Comments

Seal



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Drawing Title

IRRIGATION DETAILS

Issue Date: 12.14.2016
 Project No: 14047
 Reviewed By: EW
 Drawn By: JW

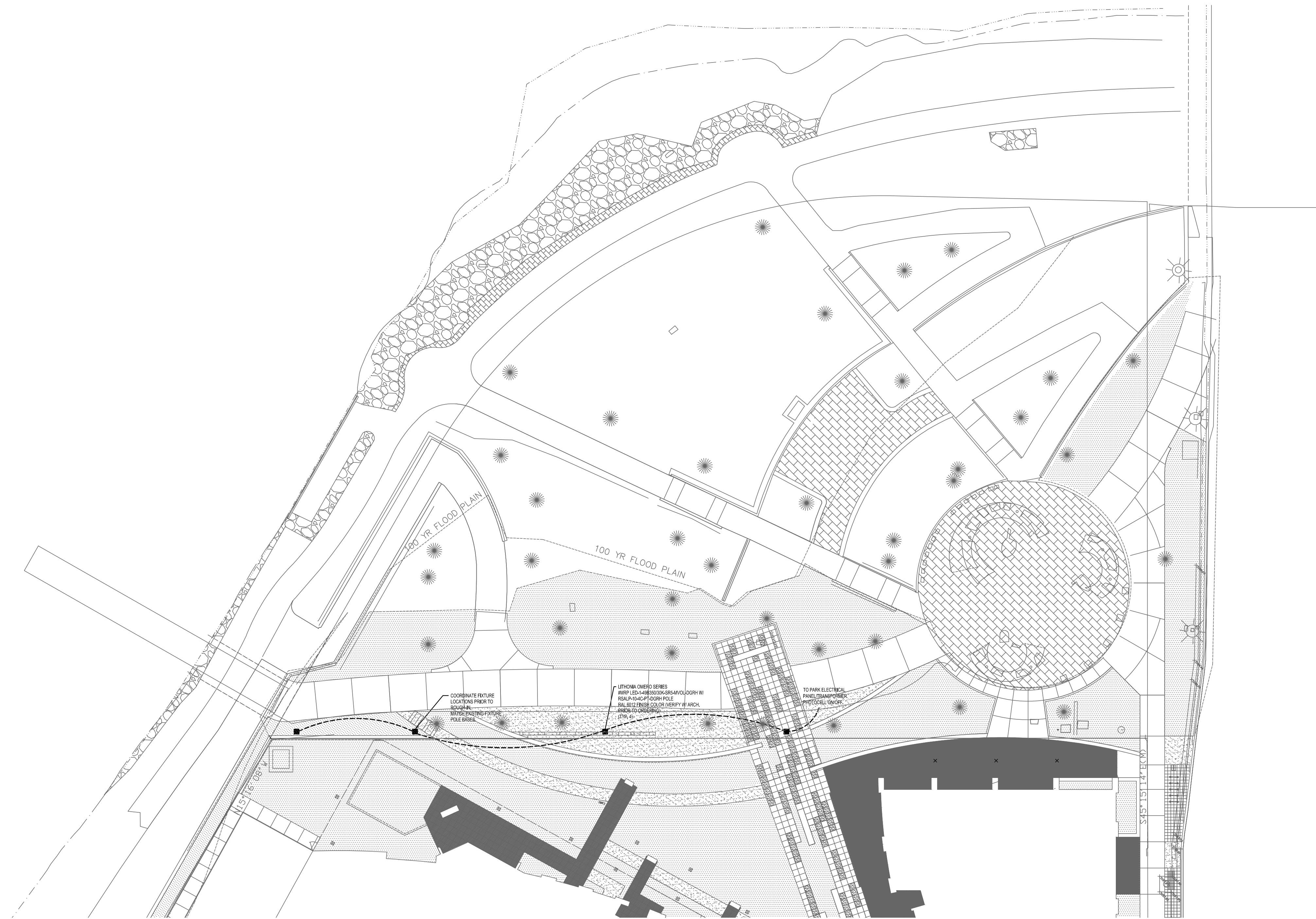
Sheet No.

IR-4



Project Name

CONFLUENCE PARK EAST



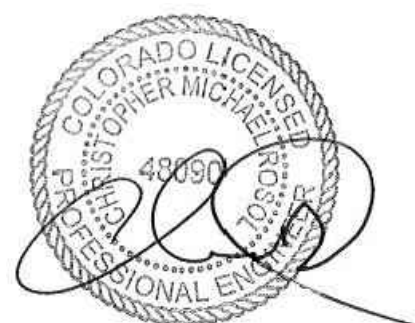
Issue Title

PERMIT

Issue / Addenda / Revisions

Date	Description
7.26.16	Permit Comments
9.13.16	Permit Comments
9.20.16	Permit Comments
11.28.16	Permit Comments
12.21.16	Permit Comments

Seal



12.21.2016

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Drawing Title

LIGHTING SITE PLAN

Issue Date: 1.08.2016
 Project No: 14047
 Reviewed By: X
 Drawn By: X

Sheet No.

E1.00

01 PARK SITE PLAN - LIGHTING
SCALE: 1" = 20'-0"

Project Name

**CONFLUENCE
 PARK EAST**

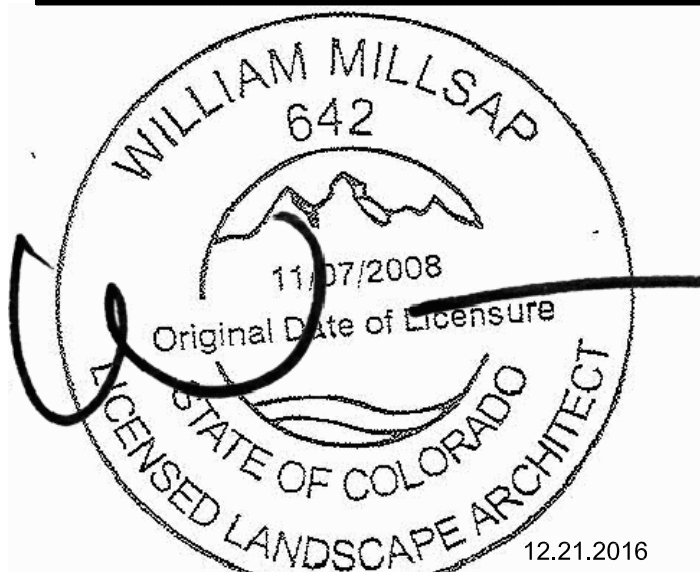
Issue Title

PERMIT

Issue / Addenda / Revisions

Date	Description
7.26.16	Permit Comments
8.08.16	Permit Comments
9.01.16	Permit Comments
9.13.16	Permit Comments
9.20.16	Permit Comments
10.14.16	Permit Comments
11.28.16	Permit Comments
12.21.16	Permit Comments

Seal



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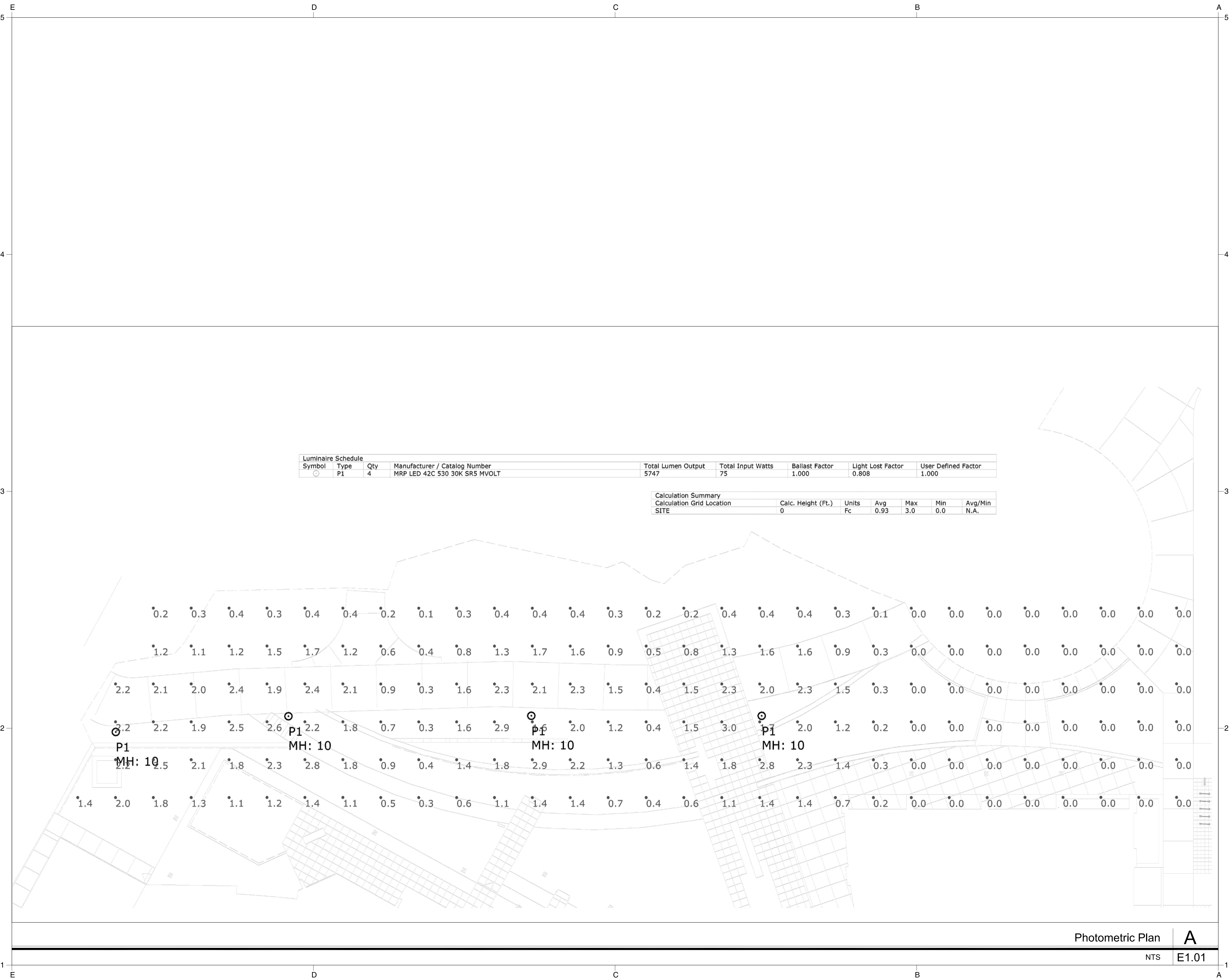
Drawing Title

**PHOTOMETRIC
 PLAN**

Issue Date: 12.21.2016
 Project No: 14047
 Reviewed By: MF
 Drawn By: BH

Sheet No.

E1.01



Luminaire Schedule				Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
Symbol	Type	Qty	Manufacturer / Catalog Number	5747	75	1.000	0.808	1.000
○	P1	4	MRP LED 42C 530 30K SR5 MVOLT					

Calculation Summary							
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min	
SITE	0	Fc	0.93	3.0	0.0	N.A.	

Photometric Plan | **A**
 NTS | E1.01



ARCHITECT'S SUPPLEMENTAL INSTRUCTION (ASI)	26-R8
CONFLUENCE PARK EAST WITH CITY REVISIONS	

Date:	November 16, 2017		
Distribution	Name	Company	Team Member
X	Bryant Nail bnail@pmrg.com	PMRG (972) 421-3378	Owner/Developer
X	Steve Kelly skelly@pmrg.com	PMRG (303) 999-1628	Owner/Developer
X	Kevin Schaffer kschaffer@ozarch.com	OZ Architecture (303) 861-5704	Associate Architect
X	Greg Ruhl Greg.ruhl@clarkconstruction.com	Clark (Denver) (202) 280-9550	General Contractor
X	Darin Bigus Darin.Bigus@clarkconstruction.com	Clark (Denver) (720) 616-0061	General Contractor
X	Justin Wilhelm justin.wilhelm@clarkconstruction.com	Clark (Denver) (518) 231-3721	General Contractor

CONTRACT MODIFICATIONS

PMRG Developer, LLC requests that Clark Construction review this ASI with affected parties and respond, provided the response shall not alter the time within which the Contractor is required to submit a claim pursuant to Section 2.3.5 of the General Conditions to the Construction Contract. If Clark Construction believes there is any cost/time impact associated with this Submittal/RFI/ASI or response, Clark shall provide notice and request for adjustment as described above and shall not proceed with the Work until directed by PMRG and any cost/time increase has been determined. Requests for adjustments shall not be considered by PMRG unless prior written notice of the proposed change is submitted, together with documentation detailing the proposed increase or decrease in the Contract Sum, before commencement of the Work contemplated therein. Adjustments, if any, to the Contract Sum and/or to the Scheduled Completion Date or to any Milestone Date shall be pursuant to the provisions and procedures set forth in the Construction Contract.

Description/Response:

The ASI, in general, reflects revisions required by the City of Denver for work related to the Confluence East Improvements. Revisions from 26-R7 are highlighted in **yellow**. These revisions relate to the grading at the SW corner of the park.

DRAWING REVISION SHEET INDEX

LANDSCAPE/CIVIL		SUMMARY OF REVISIONS
COVER	COVER	
L0.01	NOTES AND LEGEND	PRE-FABRICATED PARK BENCH
L1.00	EXISTING CONDITION PLAN	
L1.01	DEMOLITION PLAN	
L2.01	HARDSCAPE PLAN	PRE-FABRICATED PARK BENCH
L2.01A	HARDSCAPE PLAN-DIMENSIONS	DIMENSIONAL CONTROL
C1.01	GRADING AND UTILITY PLAN	
L4.01	HARDSCAPE DETAILS	PRE-FABRICATED PARK BENCH ATTACHMENT AND CHAMFER
S1.00	STRUCTURAL DETAILS	PRE-FABRICATED PARK BENCH
L5.01	PLANTING PLAN	
L5.02	PLANTING DETAILS	
L5.03	PLANT LEGEND	
IR	AS-BUILT IRRIGATION	
IR-1	IRRIGATION PLAN	
IR-2	IRRIGATION DETAILS	
IR-3	IRRIGATION DETAILS	
IR-4	IRRIGATION DETAILS	
E1.00	SITE ELECTRICAL	
E1.01	PHOTOMETRIC PLAN	
FR6.2	STONE WALL AT BRIDGE	DETAIL FOR STONE SLAB WALL
FR6.4	PARK STONE SLAB WALL – GRADING EXHIBIT	SITE PLAN WITH LIMITS OF WALL
L4.0x	PARK STONE SLAB WALL ELEVATION	NEW SHEET AS REQUIRED BY DPR

SPECIFICATIONS		
01 11 10	SUMMARY OF WORK	
01 31 13	COORDINATION	
01 31 19	PROJECT MEETINGS	
01 32 13	SCHEDULE	
01 32 19	SUBMITTALS	
01 33 23	SHOP AND WORKING DRAWINGS, PRODUCT DATA AND SAMPLES	
01 35 23	CONSTRUCTION SAFETY	
01 43 00	QUALITY ASSURANCE	
01 45 16	CONTRACTOR QUALITY CONTROL	
01 56 39	TREE RETENTION AND PROTECTION	
01 57 13	EROSION AND SEDIMENTATION CONTROL	
01 60 00	MATERIAL AND EQUIPMENT	
01 66 00	STORAGE AND PROTECTION	
01 71 23	LAYOUT OF WORK AND SURVEYS	
01 74 23	CLEANING	
01 77 00	CONTRACT CLOSEOUT	
01 78 23	OPERATION AND MAINTENANCE DATA	
01 78 35	WARRANTIES AND BONDS	
01 78 39	CONTRACT RECORD DOCUMENTS	
02 41 00	DEMOLITION	
03 30 00	CAST-IN-PLACE CONCRETE	
31 11 10	CLEARING AND GRUBBING	
31 20 00	EARTH MOVING	
31 23 16	EXCAVATION AND BACKFILLING OF TRENCHES	
31 32 50	WATERING	
32 13 13	CONCRETE WALKS, CURBS, AND MISCELLANEOUS FLATWORK	
32 15 40	CRUSHED STONE PAVING	
32 80 00	IRRIGATION SYSTEMS	
32 84 33	AUTOMATIC IRRIGATION CONTROLLERS	
32 91 13	SOIL PREPARATION	
32 91 20	TOPSOIL	
32 92 20	NATIVE SEEDING	
32 93 00	TREES, PLANTS, AND GROUNDCOVERS	

32 97 00	LANDSCAPE MAINTENANCE	
33 44 00	STORM SEWERAGE	
33 46 00	SUBDRAINAGE SYSTEMS	

ISSUED BY
Glen Morgenweck, GDA

ACCEPTED BY:

Clark Construction	Date
Printed Name	

Project Name

**CONFLUENCE
PARK EAST**

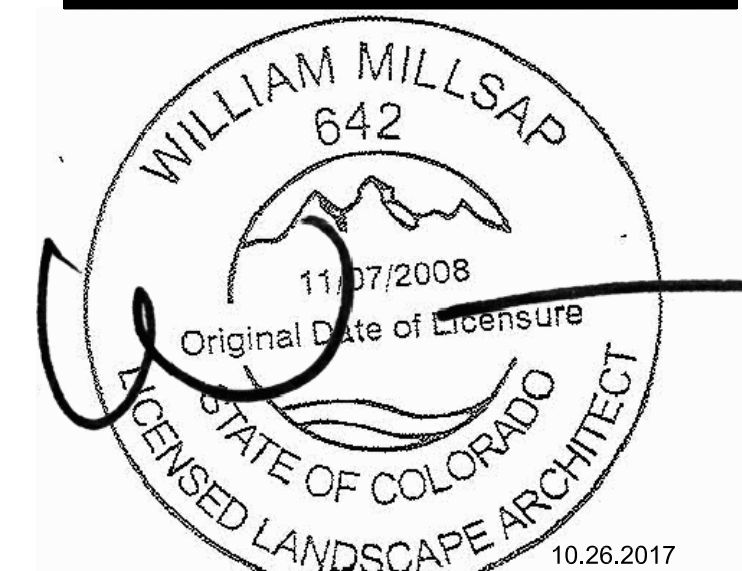
Issue Title

PERMIT

Issue / Addenda / Revisions

Date	Description
7.26.16	Permit Comments
8.08.16	Permit Comments
9.01.16	Permit Comments
9.13.16	Permit Comments
9.20.16	Permit Comments
10.14.16	Permit Comments
11.28.16	Permit Comments
12.21.16	Permit Comments
02.10.17	Permit Comments
03.03.17	ASI 26. R6
10.10.17	Bench Revisions

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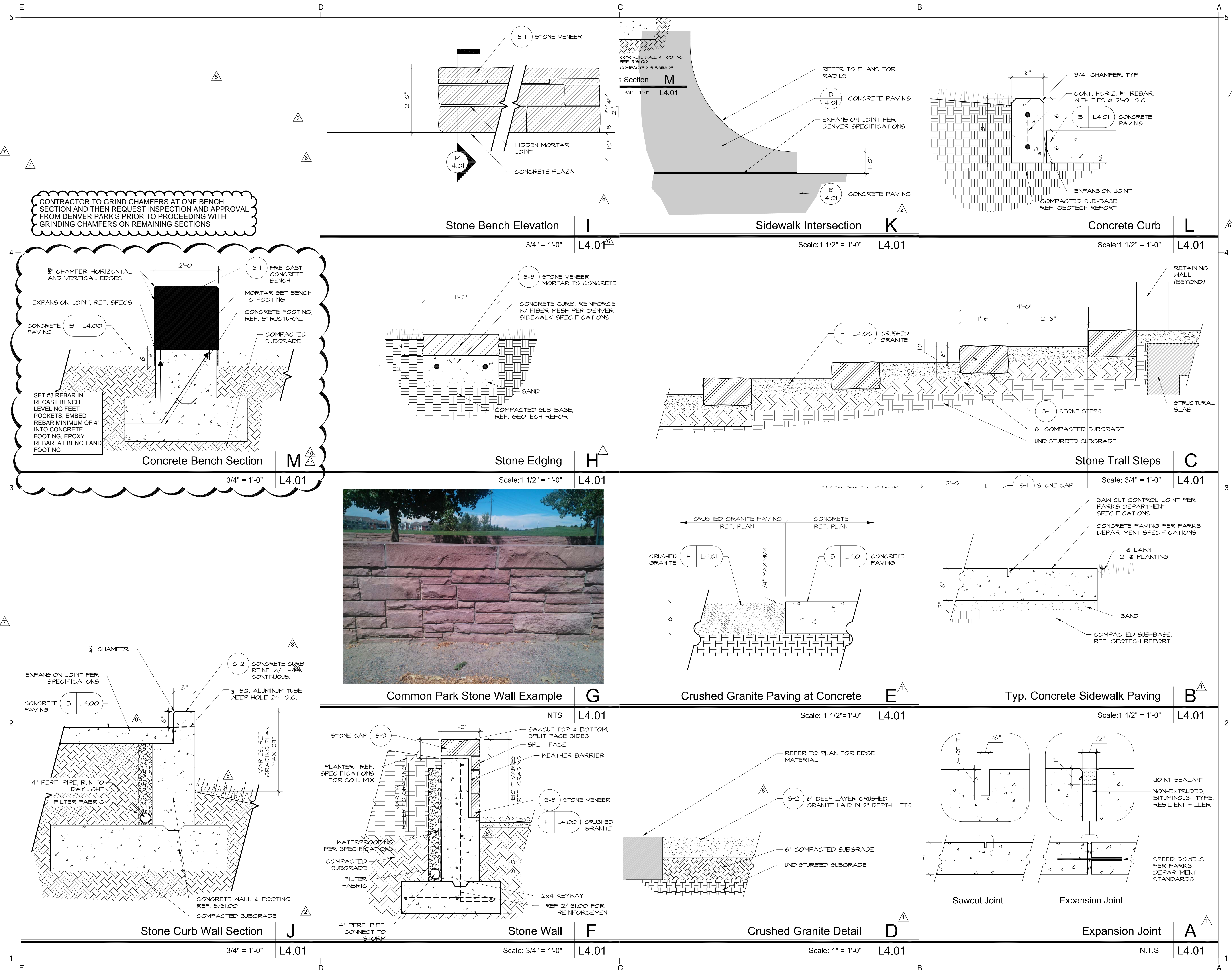
**HARDSCAPE
DETAILS**

Issue Date: 03.03.2017
Project No: 14047
Reviewed By: MF
Drawn By: BH

Sheet No.

L4.01

ASI 26-R8
11/16/2017



CONTRACTOR TO GRIND CHAMFERS AT ONE BENCH SECTION AND THEN REQUEST INSPECTION AND APPROVAL FROM DENVER PARKS PRIOR TO PROCEEDING WITH GRINDING CHAMFERS ON REMAINING SECTIONS

3/8" CHAMFER, HORIZONTAL AND VERTICAL EDGES
2'-0"
S-1 PRE-CAST CONCRETE BENCH
MORTAR SET BENCH TO FOOTING
CONCRETE FOOTING, REF. STRUCTURAL
COMPACTED SUBGRADE
CONCRETE PAVING B L4.00
EXPANSION JOINT, REF. SPECS
SET #3 REBAR IN RECAST BENCH LEVELING FEET POCKETS. EMBED REBAR MINIMUM OF 4" INTO CONCRETE FOOTING. EPOXY REBAR AT BENCH AND FOOTING

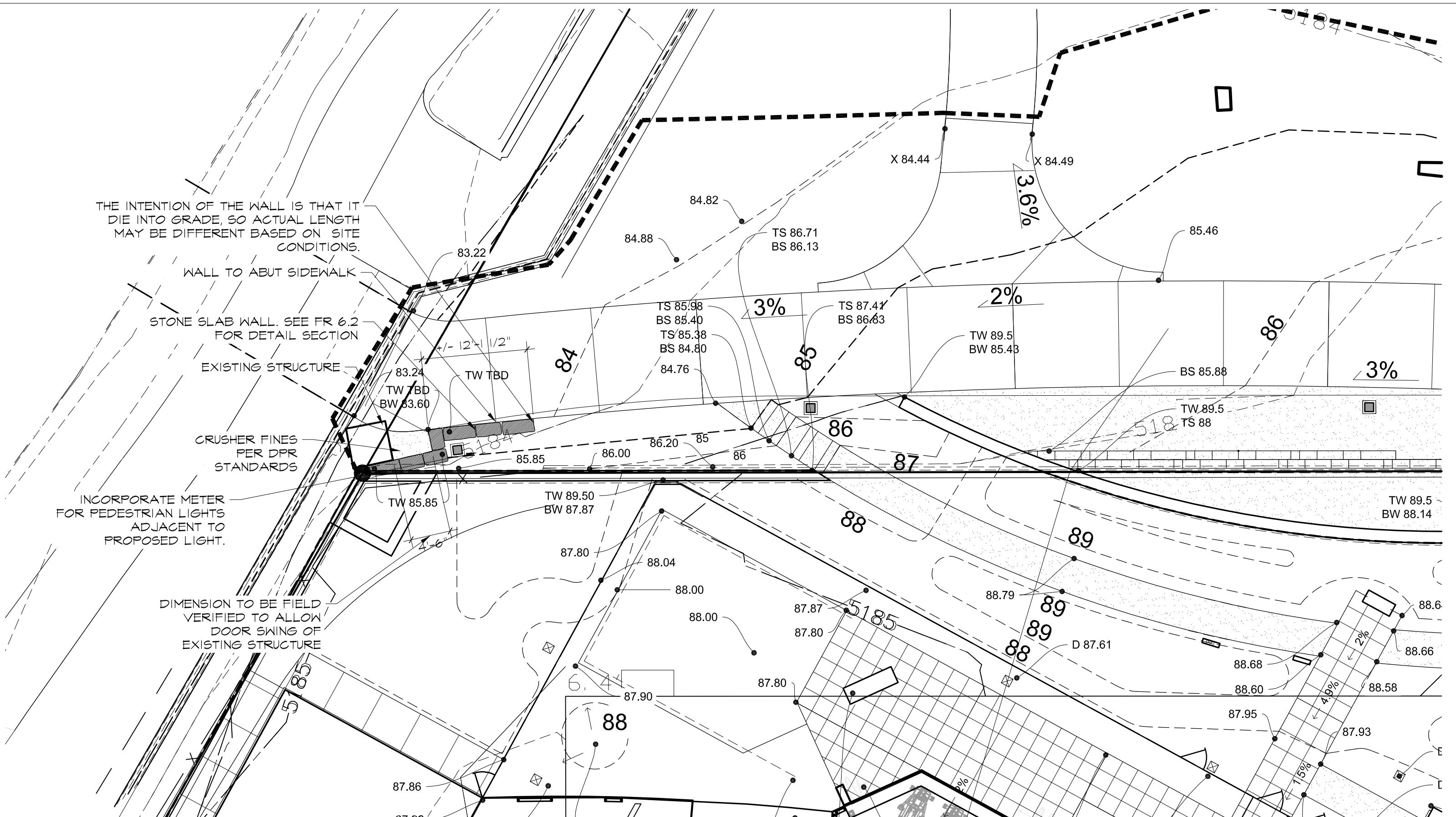


3/8" CHAMFER
EXPANSION JOINT PER SPECIFICATIONS
CONCRETE PAVING B L4.00
4" PERF. PIPE, RUN TO DAYLIGHT
FILTER FABRIC
CONCRETE WALL & FOOTING REF. S/S1.00
COMPACTED SUBGRADE
C-2 CONCRETE CURB, REINF. W/ 1" CONTINUOUS.
1" SQ. ALUMINUM TUBE, KEEP HOLE 24" O.C.
VARIES, REF. GRADING PLAN, MAX. 24"

STONE CAP S-3
1'-2"
SAWCUT TOP & BOTTOM, SPLIT FACE SIDES
SPLIT FACE
WEATHER BARRIER
HEIGHT VARIES, REF. GRADING
S-3 STONE VENEER
H L4.00 CRUSHED GRANITE
PLANTER- REF. SPECIFICATIONS FOR SOIL MIX
WATERPROOFING PER SPECIFICATIONS
COMPACTED SUBGRADE
FILTER FABRIC
2x4 KEYWAY REF. 2/ S1.00 FOR REINFORCEMENT
4" PERF. PIPE, CONNECT TO STORM

REFER TO PLAN FOR EDGE MATERIAL
S-2 6" DEEP LAYER CRUSHED GRANITE LAID IN 2" DEPTH LIFTS
6" COMPACTED SUBGRADE
UNDISTURBED SUBGRADE

1/4 OF 1"
1/2"
JOINT SEALANT
NON-EXTRUDED, BITUMINOUS-TYPE, RESILIENT FILLER
SPEED DOWELS PER PARKS DEPARTMENT STANDARDS



THE INTENTION OF THE WALL IS THAT IT DIE INTO GRADE, SO ACTUAL LENGTH MAY BE DIFFERENT BASED ON SITE CONDITIONS.

WALL TO ABUT SIDEWALK

STONE SLAB WALL. SEE FR 6.2 FOR DETAIL SECTION

EXISTING STRUCTURE

CRUSHER FINES PER DPR STANDARDS

INCORPORATE METER FOR PEDESTRIAN LIGHTS ADJACENT TO PROPOSED LIGHT.

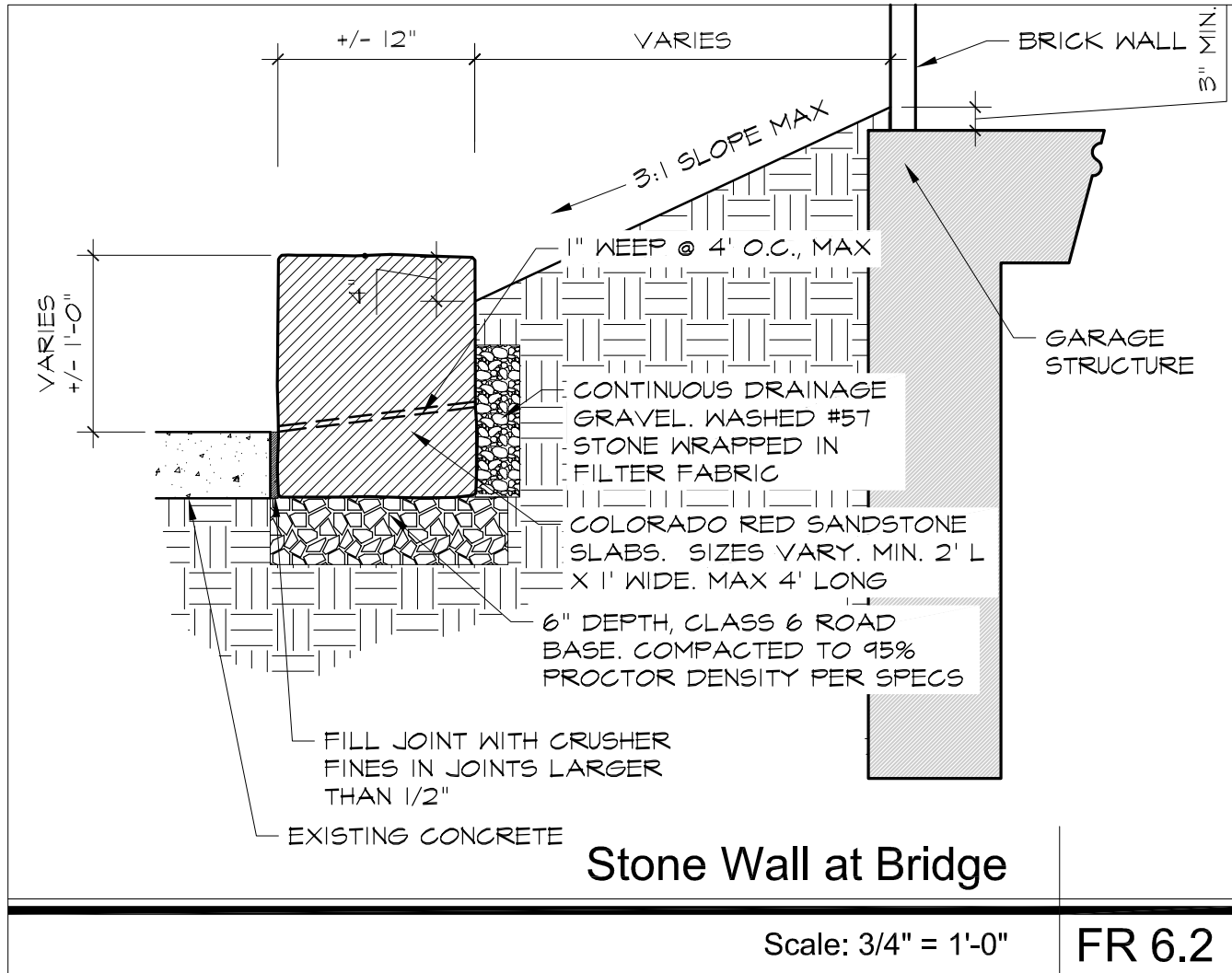
DIMENSION TO BE FIELD VERIFIED TO ALLOW DOOR SWING OF EXISTING STRUCTURE

PARK STONE SLAB WALL - GRADING EXHIBIT

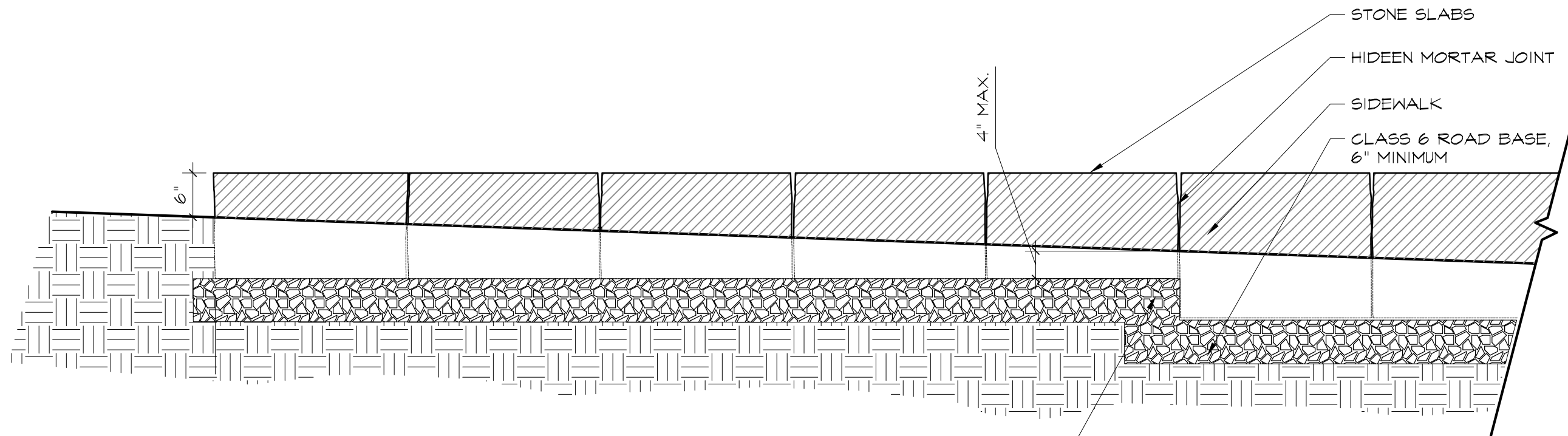
FR 6.4

CONFLUENCE PARK

ASI 26-R8
 11/16/2017



ASI 26-R8
 11/16/2017



Park Stone Slab Wall Elevation

3/4" = 1'-0"

L4.0X

ASI 26-R8
11/16/2017

SECOND AMENDED EXHIBIT D

Construction Specifications and Timeframes

SPECIFICATIONS

The improvements to Confluence Park will follow the plans attached to this License as Exhibit C. In addition, the improvements and work performed shall comply with the City's Departments of Public Works and Parks & Recreation technical specifications and standards.

TIME FRAMES

- | | |
|--|------------------------------|
| 1. Mobilize, fence, install protection and survey | Aug. 1 – Aug. 31, 2016 |
| 2. Clear, grub and demo | Sept. 1 – Sept. 30, 2016 |
| 3. Underground utilities, curbs walkways and stone | Oct. 1 – Nov. 30, 2016 |
| 4. Appurtenances and landscape/plantings | Nov. 1 – Dec. 31, 2016 |
| 5. Clean up and punch work (shown below but not limited to) | Jan. 2 2017– Aug. 31, 2018 |
| • Punch List Item 18: Reseed the disturbed area | |
| • Punch List Item 20: Energize the 4 light poles | |
| • Punch List Item 23: Install/mark the conduit & pull box | |
| • Punch List Item 27: Construct the Stone Wall at Bridge | |
| • Punch List Item 27: Light Pole/Caisson Reset at Bridge | |
| • Punch List Item 27: Planting and Irrigation at Bridge | |
| • Punch List Item 28 & 32: Install correct caissons to
support correct light pole bases | |
| 6. Acceptance and demobilization | Sept. 1, 2018-Sept. 30, 2018 |