



Easement Relinquishment Submittal Checklist

Any submittal not meeting all minimum checklist criteria herein shall be rejected as incomplete.

Easement Relinquishment submittal documents will include the following:

- Application (Page 2&3 of this document) - Must be signed by owner, or a vested party
- Original holding document of the easement - eg. Ordinance, PNEE, Subdivision plan, etc.:
 - Must include the Clerk and Recorder's Book and Page, and/or Recordation Number.
- A Legal Description and Exhibits are required if you are relinquishing a portion of the easement as held in the original document. The Legal Description and Exhibit of the easement(s) to be relinquished, must be prepared by a Professional Land Surveyor (PLS), licensed in the State of Colorado:
 - PDF format (must be PLS signed and stamped) **and**
 - Word format (Does not need to be PLS signed and stamped)
- Site Plan - accurately engineered drawings to include:
 - Numerical and Bar Scale (Scale not to exceed 1:40)
 - North arrow
 - Legend
 - Vicinity map, if necessary
 - Plan set date and revision number (if applicable)
 - Call out the location of the easement proposed to be relinquished and hatch area
 - Call out the location if new easement will be conveyed (if applicable)
 - Property lines
 - Right-of-Way width
 - Edge of Pavement and/or Curb and Gutter
 - Sidewalks
 - Trees and landscaping in the ROW
 - Nearby driveways and alleys
 - Street names
 - Aerial imagery is allowed, but does not replace the required Engineered drawings

FEES:

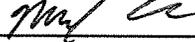
Must be paid immediately after project is logged in and a project number is provided by your Coordinator along with the project invoice.

Initial Processing Fee = \$1,000.00 (Non-Refundable)

Legal Description Review Fee = \$300.00 (Non-Refundable)

Ordinance Fee = \$300.00 (Non-Refundable)

I hereby attest that all above information has been incorporated into our plan submittal.


3/17/2022

 Owner/Vested Party/Applicant Signature Date





DENVER
THE MILE HIGH CITY

DOTI | Right-of-Way Services
Engineering and Regulatory Office
201 W. Colfax Avenue, Dept. 507
Denver, CO 80202 P: 720-865-3003
DOTI.ER@denvergov.org

APPLICATION EASEMENT RELINQUISHMENT

Please complete this application to apply for an ordinance to relinquish easements held by the City in the Public Right of Way. Please reference Rules and Regulations for Easement Relinquishments for more details on the relinquishment process. Please type or print. If necessary attach additional sheets to fully answer any of the following sections. Submit the complete application electronically to: DOTI.ER@denvergov.org.

DATE: _____

PROJECT NAME: 2019 Dedication-0000094 3756 Federal blvd-2018P00000607

IS THIS PROJECT ASSOCIATED WITH A SITE DEVELOPMENT REVIEW? Yes No

If you checked 'Yes' above, provide Project Master, Site Plan and/or Concept Development project numbers:

_____, _____, _____

ADDRESS (approx.) OF EASEMENT: 3756 North Federal Blvd. Denver CO

APPLICANT:

Name: Michael Zara

Company (if applicable): Tiago Properties, LLC. Title: Permanent Easement for Right-of-way Area

Address: 4700 South Syracuse Street Suite 420 Denver, CO 80237

Telephone number: 480-231-2619 Email address: mikezara1982@icloud.com

PROPERTY OWNER (where the easement is located): Check if the same as Applicant

Company: _____

Owner Contact: _____

Address: _____

Telephone Number: _____ Email address: _____

ORIGINAL HOLDING DOCUMENT THE EASEMENT IS HELD IN:

Title of document: Permanent Easement for Right-of-way Area

Clerk & Recorder Recordation Number: 2020066025

Ordinance Number (if applicable): _____

PORTION OF EASEMENT IF BEING RELINQUISHED:

Easement in its entirety

A portion of the easement (as described in the legal description)





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**APPLICATION
EASEMENT RELINQUISHMENT**

QUANTITY OF EASEMENTS TO BE RELINQUISHED: 1

Easement Groupings if submitting with multiple easements: _____

DESCRIBE THE CURRENT STATE OF THE EASEMENT(S):

In the space below, please describe what the easement was granted for, if it is a partial relinquishment or being relinquished in its entirety and any addition background information

Permanent Easement for DOTI Engineering Regulatory Stormwater, Permanent Easement for Public Access, Permanent Easement for Right of way Area, Clerk and Recorder's Reception Number 2020066025. Recorded on 5/15/2020.

EXISTING UTILITIES:

If there are existing utilities in the easement, please explain how these utilities will be accommodated and whether they will be removed or relocated.

If there are no existing utilities in the easement to the best of your knowledge, please state NO Utilities or N/A

N/A

EXPLANATION OF WHY THE EASEMENT RELINQUISHMENT IS BEING REQUESTED:

Please explain why the easement needs to be relinquished.

The Easement is related to Dedication: 2019-Dedication-0000094/2018-Projmstr-0000607-3756 North Federal Blvd. we are not pursuing this project as referenced. Due to issues with the project/covid/cost of project building expenses, and the dedication being an issue with every tenant. Each LOI we had on the project was pulled due to the loss of access. In turn, the bank pulled the funding for the project. The building has sit vacant for over five years. At this stand point, we want to return the building to its prior use as an automotive store to prevent any issues. We are looking to remove this easement and get a tenant into this building as quickly as possible. As the vacant building is an eye sore for the community and we have taken on serious losses as building owners financially. We are requesting for our easement dedication to be returned to our property rights.

I/WE HEREBY CERTIFY THAT I/WE ARE THE OWNER(S) OF THE REAL PROPERTY WHICH IS THE SUBJECT OF THIS APPLICATION AND THAT THE FOREGOING INFORMATION ON THIS APPLICATION IS TRUE AND COMPLETE.

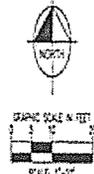
Michael A. [Signature]
(Owner/Vested Party Signature)

3/17/2027
DATE



3756 N FEDERAL BLVD SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 12 WEST
OF THE 8TH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO
LOCATED AT 3756 N FEDERAL BOULEVARD



LEGEND

- PROPERTY LINE
- PROPOSED SURFACE ELEVATION
- EXISTING PARKWAY
- ACCESSIBLE PATH
- FARKING SPACE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- TREE LANDSCAPE
- EXISTING TREE HOBANK
- PROPOSED TREE HOBANK

SITE PLAN NOTES

- ALL CONCRETE WALKWAYS AND CURBS, DRIVEWAYS, DRIVEWAYS, AND CONCRETE PAVEMENT SHALL BE CAST IN PLACE WITH WELLY BROWN (20% CALS) USED AS AGGREGATE AND SHALL MEET THE REQUIREMENTS OF THE FINAL APPROVED DEVELOPMENT REPORT AND THE CITY STREETS CONCRETE SPECIFICATIONS TO COLORADO DIVISION OF HIGHWAYS SHALL BE ALLOWED AT THE DISCRETION OF THE OWNER AND SHALL NOT REQUIRE REVISION TO THE SITE PLAN.
- ALL PARKING LOT AREAS AND DRIVE LINES NOT IDENTIFIED AS CONCRETE ON THE SITE PLAN SHALL BE ASPHALT PAVEMENT AND SHALL MEET THE REQUIREMENTS OF THE FINAL APPROVED DEVELOPMENT REPORT AND THE CITY STREETS CONCRETE SPECIFICATIONS.
- REFER TO ARCHITECT AND ENGINEER FOR CURBS, RETAINING WALLS, DRIVEWAYS, AND MANUFACTURER.

BENCHMARK:
SEE BENCH MARK IS SET IN REAR YARD AT INTERSECTION OF TOP OF CURB & WEST STREET DENVER CITY ENGINEER BY USE
ELEVATION = 5258.11 (NAD 83 DATUM)

SIGN TRANGLE NOTES

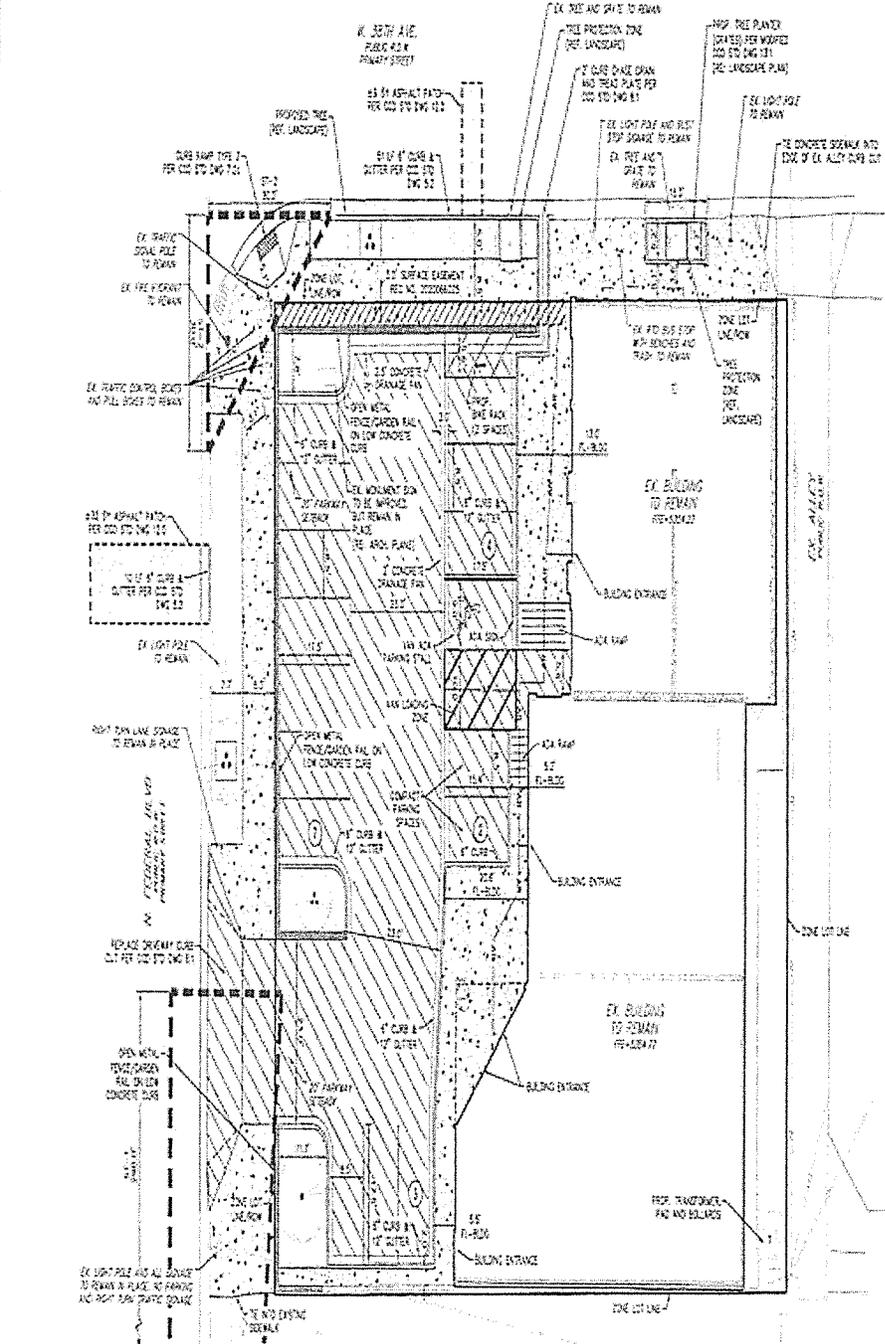
- REGULAR SIGN TRIANGLE - 45 FEET THAT ARE WIDER THAN 14" MAY BE TALLER THAN 30" WITH THIS TRIANGLE.
- ROUND SIGN TRIANGLE - NO FEET THAT ARE WIDER THAN 14" MAY BE TALLER THAN 30" WITH THIS TRIANGLE EXCEPT STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.

SIGN TRIANGLE INFO

- 10'-12" TRIANGLE (SEE 1) = 280T (1-200)
- 10'-12" INTERSECTION CORNER SIGN TRIANGLE

FORESTRY NOTES

- PROCEDURE FOR REMOVING PAVEMENT AND CONVERTING TO TREE PLANTING AREA
- REMOVE CONCRETE PAVEMENT BY HAND - MINIMIZE USE OF HEAVY EQUIPMENT AS THIS MAY RESULT IN ROOT DAMAGE AND FURTHER DAMAGE TO THE TREE.
 - ONCE PAVEMENT HAS BEEN REMOVED, EXCAVATE (CAUTIONED) TREE LUMP AREA (A PNEUMATIC EXCAVATOR TO DEPTH OF 4'-6" FOR ALL ROOT EXPOSURE).
 - MAINTAIN SOIL TO ORIGINAL GRADE PRIOR TO PNEUMATIC EXCAVATION (E.G. SOIL LEVEL ONCE PAVEMENT WAS REMOVED).
 - IF REMAINING GRADE DIFFERS FROM PLANTING AREA GRADE AND SEVERAL FEET, WITH SPREADS REMOVED, WALK OR 1/4" BUSHES GRANITE ROCK CHIP (NOT BRICKS OR RETAINED BRICKS).
- CRITICAL NOTES:**
- DO NOT REMOVE, DAMAGE, OR TRIM THE LUMP AREA WITH OPERATOR - (EQUIP BY PNEUMATIC EXCAVATOR AND MAINTAIN AS RECOMMENDED ABOVE). IN ADDITION, REMOVAL OF LUMP AREA SHOULD BE PERFORMED ALONG EDGE OF WALK OR ALONG BACK OF CURB WHILE AREA HAS BEEN GRATED. TRODDING FOR LUMP AREA INSTALLATION TYPICALLY RESULTS IN EXCESSIVE SOIL DAMAGE TO ANY POST-EXISTENT LUMP AREA, AGGRAVATION WITHIN TREE PROTECTION ZONE (E.G. LUMP AREA SHOULD NOT BE USED IN PROTECTION ZONE).
 - REMOVE EXISTING SIDEWALK AND CONVERT TO TREE LUMP AREA BEING REMOVED SUBSTANTIAL COMPLETION. THIS WILL MINIMIZE TREE DAMAGE FROM CONSTRUCTION EQUIPMENT. THIS PROTECTION ZONE SHOULD BE PLANNED AND ALSO SUFFICIENT REMOVAL OF SOIL PRIOR TO SUBSTANTIAL BUILDING COMPLETION WILL REQUIRE A REVISION OF TREE PROTECTION ZONE TO TREE SURVIVAL.
 - NO CONSTRUCTION ACCESS, STORAGE OF MATERIALS, OR STORAGE OF EQUIPMENT IS PERMITTED WITHIN TREE PROTECTION ZONE INCLUDING STORAGE, INSTALLATION OF UNDERGROUND UTILITIES, INSTALLATION OF SITE IMPROVEMENTS, AND/OR PRESENT AND CONSTRUCTION ACTIVITY MUST OCCUR OUTSIDE TREE PROTECTION ZONE (E.G. STORAGE OF TREES).
 - EXISTING SPACES WITHIN TREE PROTECTION ZONES (TZS) MUST REMAIN UNOCCUPIED AND CHANGES IN GRADE RESULT IN ROOT EXPOSURE, TREE DAMAGE, AND POTENTIAL DEATH.



SITE LAYOUT PLAN
SHEET 3 OF 8

JUNE 17, 2020

3756 N FEDERAL BLVD
SITE DEVELOPMENT PLAN - 2016PMD000607

3756 N FEDERAL BLVD SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE 6TH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO
LOCATED AT 3756 N FEDERAL BOULEVARD

BENCHMARK:
SITE BENCH MARK IS LOC BY 1504 FOUND AT BASE OF IN TOP OF CURB & NEXT STAMPED DENVER CITY ENGINEER IN 1934
ELEVATION = 5356.79 (NAVD 88 DATUM)

LEGEND

---	ZONE LOT LINE	---	CURB AND GUTTER (1" MIN)
----	PROPOSED SURFACE ELEVATION	---	EXISTING FIRE HYDRANT
----	PROPOSED EASEMENT LINE	---	PROPOSED FIRE HYDRANT
----	EXISTING EASEMENT LINE	---	FINISHED GRADE
----	EXISTING WALK CENTER	---	TOP OF WALL
----	EXISTING MAJOR CONTROL	---	EXISTING GRADE
----	PROPOSED WALK CENTER	---	FLOW LINE
----	PROPOSED MAJOR CONTROL	---	WATER EXISTING
----	PROPOSED SPOT GRADE	---	PROPOSED FLOOR ELEVATION
----	PROPOSED SLOPE		

DWD STANDARD NOTES

- EACH FIRE HYDRANT MUST SUPPLY 1000 GPM MINIMUM AT 20 PSI RESIDUAL PRESSURE
- WATER PLANS FOR THIS PROJECT MUST BE SUBMITTED TO DWR FOR REVIEW APPROVAL SEPARATE OF THE DDC PROCESS
- AN APPROVED DWR EROSION PREVENTION IS REQUIRED FOR FIRE LINES, CONCRETE, WALKWAYS, DRIVEWAYS AND DRIVEWAYS
- WATER LOCATIONS MUST BE APPROVED BY DWR
- CONVEYOR IS RESPONSIBLE FOR ALL NECESSARY EROSION MEASURES TO MEET THE REQUIRED PERMITS
- ALL EXISTING TAPS ON THE SITE THAT ARE NOT USED MUST BE CUT-OFF AT THE MAIN AND CAPPED BY DWR. THIS WILL BE DONE AT THE DEVELOPER'S COST
- SYSTEM DEVELOPMENT VALUE FOR REPLACEMENT TAPS WILL BE GIVEN ACCORDING TO CURRENT OPENING RATES
- IF A WATER EASEMENT IS REQUIRED ON SITE, THIS EASEMENT WILL BE GRANTED TO DWR BY SEPARATE AGREEMENT
- LANDSCAPING SPECIFIED IN FUTURE WATER AGREEMENTS MUST COMPLY WITH RESTRICTIONS CONTAINED WITHIN THE STANDARD WATER EASEMENT AGREEMENT
- EACH INDEPENDENT STRUCTURE MUST HAVE ITS OWN SEPARATE USE, SERVICE LINE AND METER
- 6" MIN. DIAMETER IS REQUIRED ON ALL NEW WATER SERVICES. MINIMUM OF OCCUPANCY WILL NOT BE GRANTED WITHOUT A DWR APPROVAL BY DWR
- PRE-CONSTRUCTION REVIEW IS REQUIRED PRIOR TO THE FORMAL WATER PLAN SUBMITTAL TO DWR
- NO CONSTRUCTION ACCESS, STORAGE OF MATERIALS, OR EROSION IS PERMITTED WITHIN THE PROTECTION ZONE INCLUDING PROTECTIVE INSTALLATION OF PROTECTIVE ZONE. INSTALLATION OF SITE IMPROVEMENTS AND/OR GRADING. ALL CONSTRUCTION ACTIVITY MUST OCCUR OUTSIDE THE PROTECTION ZONES (SEE EROSION CONTROL PLAN)

FINISHED FLOOR NOTE

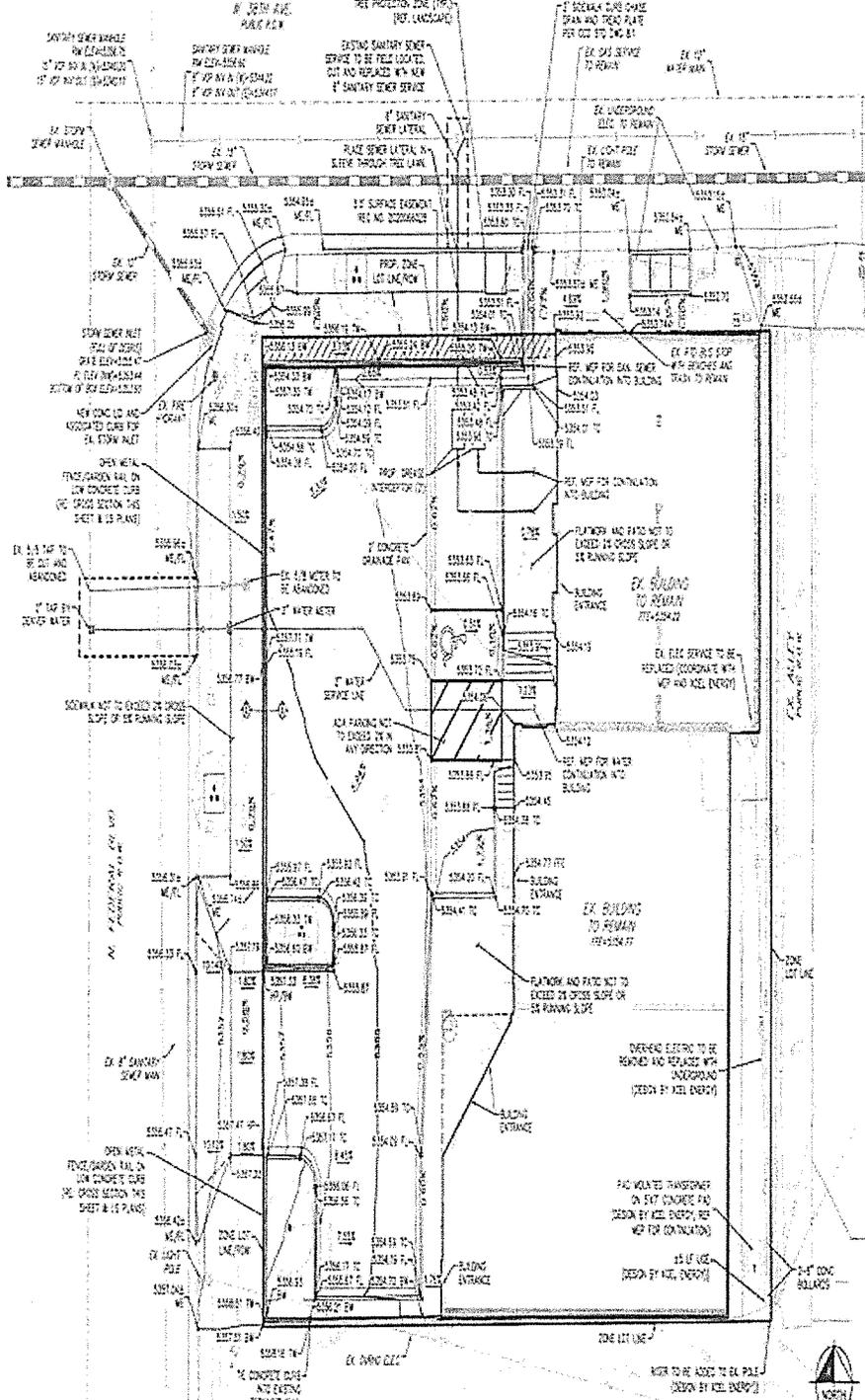
- THE FLOOR FINISH PROVIDED BY CITY AND COUNTY OF DENVER SHALL BE AS SHOWN ON THE FINISHED FLOOR PLAN. ALL FINISHES AND MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND THE CITY ENGINEER. THE FINISHES SHALL BE IDENTICAL TO THE FINISHES SHOWN ON THE FINISHED FLOOR PLAN. THE FINISHES SHALL BE IDENTICAL TO THE FINISHES SHOWN ON THE FINISHED FLOOR PLAN. THE FINISHES SHALL BE IDENTICAL TO THE FINISHES SHOWN ON THE FINISHED FLOOR PLAN.

DFD FIRE FLOW CALCULATIONS

FIRE FLOW REQUIREMENTS ARE 1500 GPM
 THE BUILDING REQUIRES 3 FIRE HYDRANTS TO MEET FIRE FLOW REQUIREMENTS
 EACH FIRE HYDRANT MUST SUPPLY 1000 GPM MINIMUM AT 20 PSI RESIDUAL PRESSURE
 CODE USED FOR ANALYSIS: 2020 IFC WITH 2018 AMENDMENTS
 OCCUPANCY GROUP: A-2
 CONSTRUCTION TYPE: I-B
 FIRE-FLOW AREA: 6311 SQUARE FEET
 THE BUILDING IS NOT FULLY SPRINKLERED

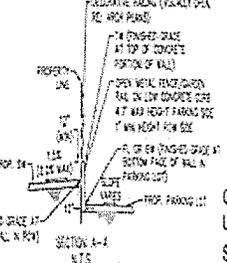
FORESTRY NOTES

- PROVIDE CONCRETE PAD FOR HAND - MINIMIZE USE OF MECHANICAL AREA AS THE BEST RESULT IN ROOT DAMAGE AND FURNISH PROTECTIVE ZONE OF THE AREA
 - ONCE PROTECTIVE ZONE HAS BEEN PROVIDED, LOCATE CALCULATED TREE LINES WITH AN APPROPRIATE BUFFER TO SOUTH OF 1'-6" FOR EACH EXISTING TREE
 - MINIMUM 50% TO ORIGINAL GRADE PRIOR TO PLANTING OR REMOVAL (SEE SLOPE CONTROL PLAN FOR REMOVAL)
 - FILL REMAINING SPACE DIFFERENCE WITH PLANTING AREA GRADE AND SENSITIVE TO WITH SPRICED REMOVAL MAINTENANCE (1" MIN) MAINTENANCE BACK (NOT EXCEED 10% REMOVED GRADE)
- CRITICAL NOTES**
- DO NOT REMOVE EXISTING TREE LINES WITHIN PROTECTIVE ZONE - REMOVE WITH PRELIMINARY EROSION AND MAINTENANCE PLAN. IN ADDITION, REMOVAL LOCATING PROTECTIVE ZONE LATER DURING PLANTING ALONG EDGE OF WALK OR ALONG BACK OF CURB AREA AND BEEN AIR SPACES. TRIMMING FOR LATER INSTALLATION TYPICALLY RESULTS IN EXCESSIVE ROOT DAMAGE. SO ANY POST-INSTALLMENT UTILITY INSTALLATION WITHIN THE PROTECTIVE ZONE (E.G. UNDER DRAPES) MUST BE DONE BY DIRECTORIAL ORDER
 - REMOVE EX. SIDEWALK AND CONFORM TO TREE LINES ONCE BUILDING REQUIRES SUBSTANTIAL COMPLETION. THIS WILL MAINTAIN TREE CLEARANCE FROM CONSTRUCTION EQUIPMENT. TREE PROTECTION ZONES SHOWN ON PLANS WILL ALSO SURVIVE. REMOVAL OF WALK PRIOR TO SUBSTANTIAL BUILDING COMPLETION WILL REQUIRE AN EROSION CONTROL PLAN TO BE SUBMITTED
 - NO CONSTRUCTION ACCESS, STORAGE OF MATERIALS, OR EROSION IS PERMITTED WITHIN THE PROTECTIVE ZONE INCLUDING PROTECTIVE INSTALLATION OF PROTECTIVE ZONE. INSTALLATION OF SITE IMPROVEMENTS AND/OR GRADING. ALL CONSTRUCTION ACTIVITY MUST OCCUR OUTSIDE THE PROTECTIVE ZONES (SEE EROSION CONTROL PLAN)
 - EXISTING GRACES WITHIN THE PROTECTIVE ZONE (PZ) MUST REMAIN UNOBTAINED/CHANGED AND GRADE RESULT IN ROOT EXPOSURE, TREE DAMAGE, AND POTENTIAL DEATH.



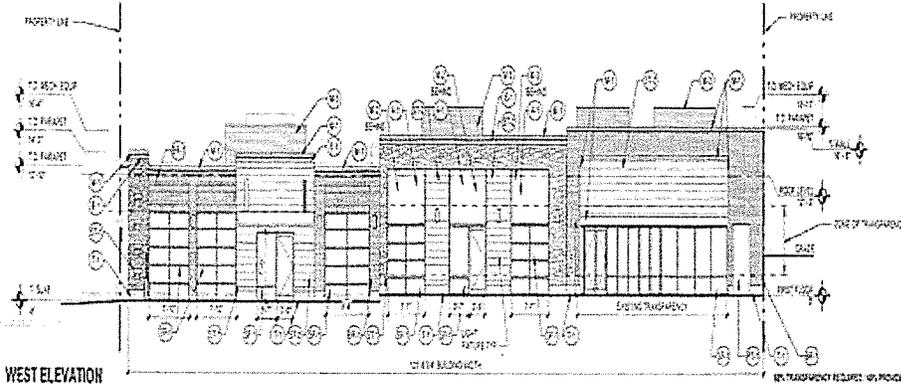
Kimley-Horn
 1100 East 17th Avenue, Suite 100
 Denver, Colorado 80202
 Phone: 303.733.1100
 Fax: 303.733.1101
 www.kimley-horn.com

811
 Call before you dig
 Call 811 or 311

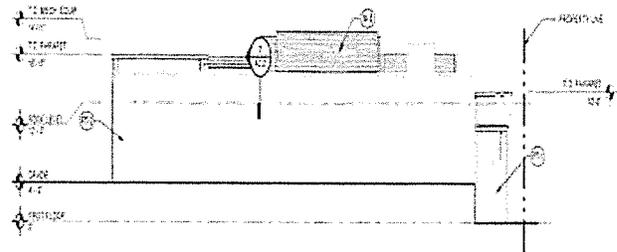


3756 N FEDERAL BLVD SITE DEVELOPMENT PLAN

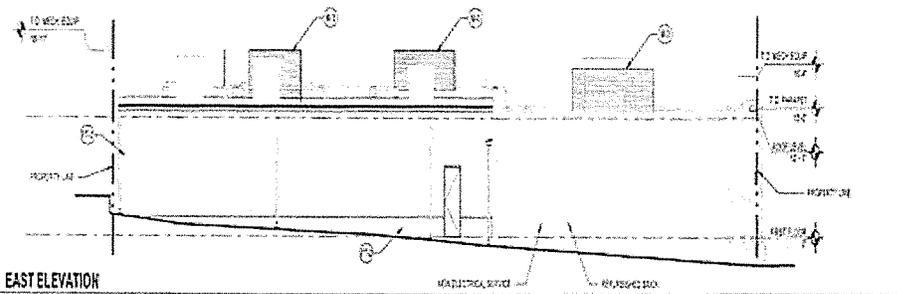
LOCATED IN THE NORTH-WEST QUARTER OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE 6TH PRINCIPLE MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO
LOCATED AT 3756 N FEDERAL BOULEVARD



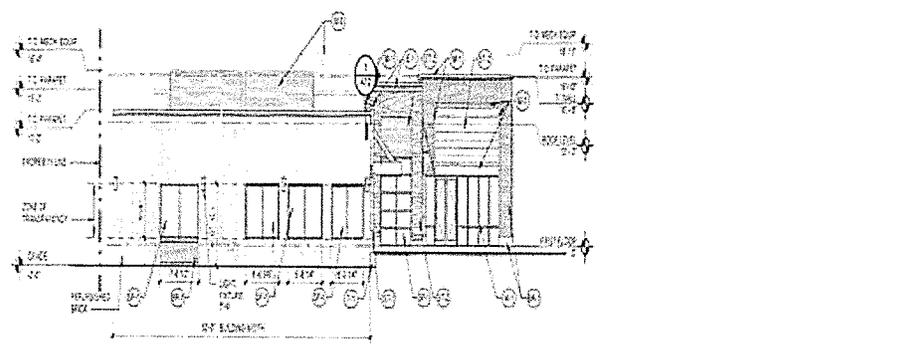
WEST ELEVATION
Scale: 1/8" = 1'-0"



SOUTH ELEVATION
Scale: 1/8" = 1'-0"



EAST ELEVATION
Scale: 1/8" = 1'-0"



NORTH ELEVATION
Scale: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE			
NO.	TYPE	COLOR	REMARKS/NOTES
01	BRICK	BLACK	RENDER
02	BRICK	BLACK	RENDER
03	BRICK	BLACK	RENDER
04	BRICK	BLACK	RENDER
05	BRICK	BLACK	RENDER
06	BRICK	BLACK	RENDER
07	BRICK	BLACK	RENDER
08	BRICK	BLACK	RENDER
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100	BRICK	BLACK	RENDER

FEDERAL - PRIMARY STREET WEST ELEVATION - TRANSPARENCY TABLE	
	MINIMUM REQUIREMENT
TOTAL BUILDING LENGTH	127'-0"
TRANSPARENCY REQUIRED	124'-0"
TRANSPARENCY PROVIDED WINDOWS AND GLAZED DOORS	85'-0"
TRANSPARENCY ALTERNATIVES NOTE EACH TYPE OF ALTERNATIVE AS SEPARATE LINE ITEM	-
TOTAL TRANSPARENCY (GLAZING ALTERNATIVES)	85'-0"
EXISTING TRANSPARENCY (GLAZING ALTERNATIVES)	85'-0"

36TH AVENUE - PRIMARY STREET NORTH ELEVATION - TRANSPARENCY TABLE	
	MINIMUM REQUIREMENT
TOTAL BUILDING LENGTH	81'-0"
TRANSPARENCY REQUIRED	81'-0"
TRANSPARENCY PROVIDED WINDOWS AND GLAZED DOORS	2'-0"
TRANSPARENCY ALTERNATIVES NOTE EACH TYPE OF ALTERNATIVE AS SEPARATE LINE ITEM	-
TOTAL TRANSPARENCY (GLAZING ALTERNATIVES)	2'-0"
EXISTING TRANSPARENCY (GLAZING ALTERNATIVES)	2'-0"

NOTE: PER SECTION 05112, TRANSPARENT STRUCTURES ARE NOT REQUIRED TO WEST STREET AS AN ALTERNATIVE TO GLAZING AS LONG AS THE ALTERNATIVE IS NOT REDUCED FROM CURRENT HEIGHT.

BUILDING ELEVATIONS
SHEET 5 OF 8

3756 N FEDERAL BLVD SITE DEVELOPMENT PLAN

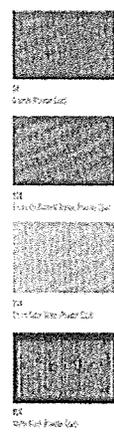
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LOCATED AT 3756 NORTH FEDERAL BOULEVARD

REV	DATE	DESCRIPTION	BY	CHKD
1	06/17/2020	ISSUE FOR PERMITS	MM	MM
2	06/17/2020	REVISED PERMITS	MM	MM

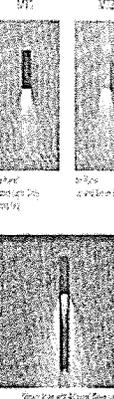
THESE

BRIAN ARCHITECTURAL SCALE WEATHERED EXTERIOR WALL SOURCE

Brian METAL FINISHES



Brian OPTIONS



SHADE LIGHT SPECIFICATION

- M11 - Down Light Only
- M12 - Down and Up Light

FINISH	LENS	CTF	SHADE LIGHT	METAL TRIM
01	15-15/27	0.90	M11	Power Coat Finishes
02	15-15/27	0.90	M12	FINISHES TO BE DETERMINED
03	15-15/27	0.90	M11	FINISHES TO BE DETERMINED
04	15-15/27	0.90	M12	FINISHES TO BE DETERMINED
05	15-15/27	0.90	M11	FINISHES TO BE DETERMINED

THESE

INVOICE

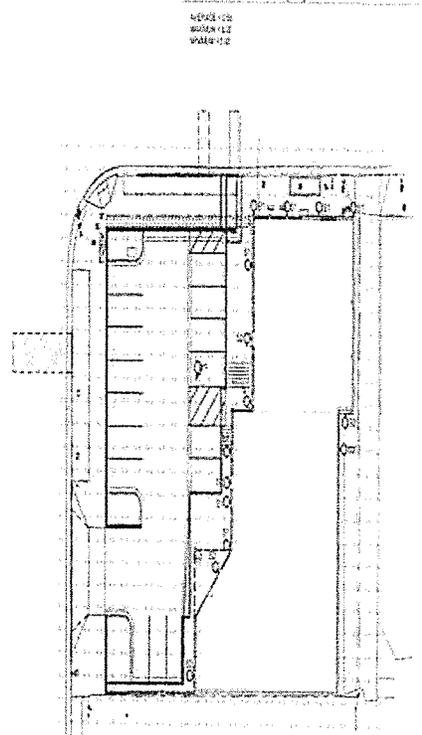
ITEM	DESCRIPTION	QTY	UNIT PRICE	TOTAL
1	Lighting Fixture M11	10	150.00	1500.00
2	Lighting Fixture M12	10	150.00	1500.00
3	Lighting Fixture M13	10	150.00	1500.00
4	Lighting Fixture M14	10	150.00	1500.00
5	Lighting Fixture M15	10	150.00	1500.00
6	Lighting Fixture M16	10	150.00	1500.00
7	Lighting Fixture M17	10	150.00	1500.00
8	Lighting Fixture M18	10	150.00	1500.00
9	Lighting Fixture M19	10	150.00	1500.00
10	Lighting Fixture M20	10	150.00	1500.00

EXCERPT ENTRY LED

7. Light Emitting Diode (LED) lighting fixtures shall be used for all exterior lighting applications. LED lighting fixtures shall be selected based on the following criteria:

- Minimum CRI of 90
- Minimum beam spread of 30 degrees
- Minimum output of 100 lumens per watt
- Minimum life span of 50,000 hours
- Minimum warranty of 5 years

Zone Illuminance (Fc)



PHOTOMETRIC PLAN
SCALE 1/8"=1'-0"

JUNE 17, 2020

3756 N Federal Blvd Relinquishment

04/28/2022

Master ID: 2018-PROJMSTR-0000607 **Project Type:** ROW Relinquishment
Review ID: 2022-RELINQ-0000006 **Review Phase:**
Location: 3756 N Federal Blvd **Review End Date:** 04/12/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: Asset Management Review Review Status: Approved

Reviewers Name: David Edwards
Reviewers Email: DavidJ.Edwards@denvergov.org
Status Date: 03/22/2022
Status: Approved
Comments: 2019-Dedication-0000094 (Reference)

Reviewing Agency: City Forester Review Review Status: Approved

Reviewers Name: Nick Evers
Reviewers Email: Nick.Evers@denvergov.org
Status Date: 04/12/2022
Status: Approved
Comments: Approved. No immediate PRW tree conflict.

Reviewing Agency: Comcast Referral Review Status: Approved

Status Date: 04/13/2022
Status: Approved
Comments: PWPRS Project Number: 2022-RELINQ-0000006 - 3756 N Federal Blvd Relinquishment
Reviewing Agency/Company: Comcast
Reviewers Name: Javier Sotelo
Reviewers Phone: 720-670-8278
Reviewers Email: javier_sotelo@cable.comcast.com
Approval Status: Approved

Comments:

Reviewing Agency: Denver Water Referral Review Status: Approved

Status Date: 04/13/2022
Status: Approved
Comments: PWPRS Project Number: 2022-RELINQ-0000006 - 3756 N Federal Blvd Relinquishment
Reviewing Agency/Company: Denver Water
Reviewers Name: Gina Begly
Reviewers Phone: 303-628-6219
Reviewers Email: gina.begly@denverwater.org
Approval Status: Approved

Comments:

Reviewing Agency: Survey Review Review Status: Approved

Comment Report

3756 N Federal Blvd Relinquishment

04/28/2022

Master ID: 2018-PROJMSTR-0000607 **Project Type:** ROW Relinquishment
Review ID: 2022-RELINQ-0000006 **Review Phase:**
Location: 3756 N Federal Blvd **Review End Date:** 04/12/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewers Name: Ali Gulaid
Reviewers Email: Ali.Gulaid@denvergov.org

Status Date: 04/28/2022
Status: Approved
Comments: PWPRS Project Number: 2022-RELINQ-0000006 - 3756 N Federal Blvd Relinquishment
Reviewing Agency/Company: ROW/SURVEY
Reviewers Name: Ali Gulaid
Reviewers Phone: 720.865.3132
Reviewers Email: ali.gulaid@denvergov.org
Approval Status: Approved

Comments:

Attachment: 2022-RELINQ-0000006_Approved Legal Description_Exhibit A.pdf

Attachment: 2022-RELINQ-0000006_Approved Legal Description_Exhibit A.docx

Status Date: 04/12/2022
Status: Denied
Comments: There must be a description and exhibit signed and stamped by a professional surveyor.
a) PDF format (must be PLS signed and stamped) and
b) Word format (Does not need to be PLS signed and stamped)

REDLINES uploaded to E-review webpage

Reviewing Agency: Case Manager Review/Finalize Review Status: Comments Compiled

Reviewers Name: Jessica Eusebio
Reviewers Email: Jessica.Eusebio@denvergov.org

Status Date: 04/13/2022
Status: Comments Compiled
Comments:

Status Date: 03/22/2022
Status: Confirmation of Payment
Comments:

Reviewing Agency: Denver Fire Department Review Review Status: Approved

Reviewers Name: Richard Tenorio
Reviewers Email: richard.tenorio@denvergov.org

Status Date: 04/12/2022
Status: Approved
Comments: Denver Fire Dept. Approved - RT

Reviewing Agency: Landmark Review Review Status: Approved - No Response

Comment Report

3756 N Federal Blvd Relinquishment

04/28/2022

Master ID: 2018-PROJMSTR-0000607 **Project Type:** ROW Relinquishment
Review ID: 2022-RELINQ-0000006 **Review Phase:**
Location: 3756 N Federal Blvd **Review End Date:** 04/12/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewers Name: Rebecca Dierschow
Reviewers Email: Becca.Dierschow@denvergov.org

Status Date: 04/13/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Metro Wastewater Referral **Review Status:** Approved

Status Date: 04/13/2022
Status: Approved
Comments: PWPRS Project Number: 2022-RELINQ-0000006 - 3756 N Federal Blvd Relinquishment
Reviewing Agency/Company: Metro Water Recovery
Reviewers Name: Myles Howard
Reviewers Phone: 7207033627
Reviewers Email: MHoward@metrowaterrecovery.com
Approval Status: Approved

Comments:

Reviewing Agency: Office of Emergency Management Referral **Review Status:** Approved - No Response

Status Date: 04/13/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Parks and Recreation Review **Review Status:** Approved

Reviewers Name: Jennifer Cervera
Reviewers Email: Jennifer.Cervera@denvergov.org

Status Date: 04/07/2022
Status: Approved
Comments:

Reviewing Agency: Construction Engineering Review **Review Status:** Approved

Reviewers Name: Porames Saejiw
Reviewers Email: Joe.Saejiw@denvergov.org

Status Date: 04/12/2022
Status: Approved
Comments:

Reviewing Agency: Policy and Planning Review **Review Status:** Approved - No Response

Reviewers Name: Emily Gloeckner
Reviewers Email: Emily.Gloeckner@denvergov.org

Status Date: 04/13/2022

Comment Report

3756 N Federal Blvd Relinquishment

04/28/2022

Master ID: 2018-PROJMSTR-0000607 **Project Type:** ROW Relinquishment
Review ID: 2022-RELINQ-0000006 **Review Phase:**
Location: 3756 N Federal Blvd **Review End Date:** 04/12/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status: Approved - No Response
Comments:

Reviewing Agency: TES Sign and Stripe Review Review Status: Approved - No Response

Reviewers Name: Brittany Price
Reviewers Email: Brittany.Price@denvergov.org

Status Date: 04/13/2022
Status: Approved - No Response
Comments:

Reviewing Agency: CenturyLink Referral Review Status: Approved

Status Date: 04/13/2022
Status: Approved
Comments: PWPRS Project Number: 2022-RELINQ-0000006 - 3756 N Federal Blvd Relinquishment
Reviewing Agency/Company: CenturyLink
Reviewers Name: Lisa GALLEGOS
Reviewers Phone: 406-443-0583
Reviewers Email: lisa.gallegos@lumen.com
Approval Status: Approved

Comments:

Attachment: Vacate No reservation.pdf

Status Date: 04/13/2022
Status: Approved
Comments: PWPRS Project Number: 2021-RELINQ-0000006 - 650 West Colfax Ave Relinquishment
Reviewing Agency/Company: CenturyLink
Reviewers Name: Lisa GALLEGOS-THOMPSON
Reviewers Phone: 406-443-0583
Reviewers Email: lisa.gallegos@lumen.com
Approval Status: Approved

Comments:

CenturyLink and property owner have come to an agreement and CenturyLink has no further objections or reservations.

Attachment: Vacate-Abandonment 2022.03.28.docx

REDLINES uploaded to E-review webpage

Reviewing Agency: Xcel Referral Review Status: Approved

Status Date: 04/22/2022
Status: Approved
Comments: PWPRS Project Number: 2022-RELINQ-0000006 - 3756 N Federal Blvd Relinquishment
Reviewing Agency/Company: Public Service Company of Colorado (PSCo) dba Xcel Energy
Reviewers Name: Donna George
Reviewers Phone: 13035713306

Comment Report

3756 N Federal Blvd Relinquishment

04/28/2022

Master ID: 2018-PROJMSTR-0000607 **Project Type:** ROW Relinquishment
Review ID: 2022-RELINQ-0000006 **Review Phase:**
Location: 3756 N Federal Blvd **Review End Date:** 04/12/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewers Email: donna.l.george@xcelenergy.com
Approval Status: Approved

Comments:

Status Date: 04/13/2022
Status: Denied
Comments: PWPRS Project Number: 2022-RELINQ-0000006 - 3756 N Federal Blvd Relinquishment
Reviewing Agency/Company: Public Service Company of Colorado (PSCo) dba Xcel Energy
Reviewers Name: Donna George
Reviewers Phone: 13035713306
Reviewers Email: donna.l.george@xcelenergy.com
Approval Status: Denied

Comments:

Please be aware PSCo has existing underground electric distribution facilities in this area, and requests a depiction of these utilities in relation to the proposed easement relinquishment.

Reviewing Agency: City Councilperson and Aides Referral Review Status: Approved - No Response

Status Date: 04/13/2022
Status: Approved - No Response
Comments:

Reviewing Agency: DS Project Coordinator Review Review Status: Approved - No Response

Reviewers Name: Bridget Rassbach
Reviewers Email: Bridget.Rassbach@denvergov.org

Status Date: 04/13/2022
Status: Approved - No Response
Comments:

Reviewing Agency: DES Transportation Review Review Status: Approved

Reviewers Name: Winton Brazil
Reviewers Email: Winton.Brazil@denvergov.org

Status Date: 04/12/2022
Status: Approved
Comments:

Reviewing Agency: DES Wastewater Review Review Status: Approved

Reviewers Name: Brenden Marron
Reviewers Email: Brenden.Marron@denvergov.org

Status Date: 04/12/2022
Status: Approved

Comment Report

3756 N Federal Blvd Relinquishment

04/28/2022

Master ID: 2018-PROJMSTR-0000607 **Project Type:** ROW Relinquishment
Review ID: 2022-RELINQ-0000006 **Review Phase:**
Location: 3756 N Federal Blvd **Review End Date:** 04/12/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Comments: No objection

Reviewing Agency: RTD Referral

Review Status: Approved

Status Date: 04/13/2022
Status: Approved
Comments: PWPRS Project Number: 2022-RELINQ-0000006 - 3756 N Federal Blvd Relinquishment
Reviewing Agency/Company: RTD
Reviewers Name: C. Scott Woodruff
Reviewers Phone: 303-299-2943
Reviewers Email: clayton.woodruff@rtd-denver.com
Approval Status: Approved

Comments:

Reviewing Agency: CDOT Referral

Review Status: Approved

Status Date: 04/13/2022
Status: Approved
Comments: PWPRS Project Number: 2022-RELINQ-0000006 - 3756 N Federal Blvd Relinquishment
Reviewing Agency/Company: CDOT Region 1 ROW/survey
Reviewers Name: dane courville
Reviewers Phone: 7206720231
Reviewers Email: dane.courville@state.co.us
Approval Status: Approved

Comments:

The 3' wide easement runs along the south ROW line of W 38th Ave. (66 feet in width). The west boundary line of the 3' wide easement coincides with the east ROW of Federal Blvd. The easement appears to not affect the ROW limits of Federal Blvd. and thus does not affect CDOT property. After a review of the request I see that CDOT should approve of the relinquishment of the easement as it is outlined in record 202066025.