



REQUEST FOR ORDINANCE

TO: John McGrath, City Attorney's Office

FROM: Matt Bryner, PE  Digitally signed by Bryner, Matt R. - DOTI
CE2783 Engineer-Architect Director
Date: 2021.06.01 13:27:33 -06'00'

PROJECT NO: 2019PM0000626

DATE: May 20, 2021

SUBJECT: Request for an Ordinance to connect City wastewater facilities to a property outside of the limits of the City.

It is requested that the above subject item be placed on the next available Mayor Council Agenda.

This office has investigated the request of Danny Harris of the City and County of Denver on behalf of the property at 5400 Monroe Street, Commerce City, Colorado. This matter has been checked by this office and has been coordinated with DES - Wastewater who has indicated their agreement.

Therefore, you are requested to initiate Council action to connect City wastewater facilities to the following described areas:

SEE ATTACHED FOR PROJECT DESCRIPTION

Cc:
DOTI: Jason Gallardo
DOTI: Alba Castro
DOTI: Nancy Kuhn
Development Engineering Services: Jim Turner
Development Engineering Services: Danny Harris

ORDINANCE/RESOLUTION REQUEST

Please email requests to Jason Gallardo at
Jason.Gallardo@denvergov.org by **NOON on Monday**.

All fields must be completed.

Incomplete request forms will be returned to sender which may cause a delay in processing.

Date of Request: May 20, 2021

Please mark one: **Bill Request** or **Resolution Request**

1. **Has your agency submitted this request in the last 12 months?**

Yes **No**

If yes, please explain:

2. **Title:** *(Include a concise, one sentence description – please include name of company or contractor and contract control number - that clearly indicates the type of request: grant acceptance, contract execution, amendment, municipal code change, supplemental request, etc.)*

Request for an Ordinance to connect to City wastewater facilities for 5400 Monroe Street **per DRMC Sec. 56-97**

3. **Requesting Agency:** DOTI ROWS DES Wastewater

4. **Contact Person:** *(With actual knowledge of proposed ordinance/resolution.)*

- **Name:** Danny Harris
- **Phone:** 720-913-0816
- **Email:** Danny.Harris@denvergov.org

5. **Contact Person:** *(With actual knowledge of proposed ordinance/resolution who will present the item at Mayor-Council and who will be available for first and second reading, if necessary.)*

- **Name:** Jason Gallardo
- **Phone:** 720-865-8723
- **Email:** Jason.Gallardo@denvergov.org

6. **General description of proposed ordinance including contract scope of work if applicable:**

This is a property outside of the limits of the City that needs to connect to City wastewater facilities, which requires an Ordinance.

****Please complete the following fields:** *(Incomplete fields may result in a delay in processing. If a field is not applicable, please enter N/A for that field.)*

- a. **Contract Control Number:** N/A
- b. **Duration:** Permanent
- c. **Location:** 5400 Monroe Street (Future building addresses of 3591, 3601, and 3711 E. 54th Avenue)
- d. **Affected Council District:** 9
- e. **Benefits:** Collection of sanitary sewer usage fees
- f. **Costs:** N/A

7. **Is there any controversy surrounding this ordinance?** *(Groups or individuals who may have concerns about it?)*
Please explain.

No.

To be completed by Mayor's Legislative Team:

SIRE Tracking Number: _____

Date Entered: _____



EXECUTIVE SUMMARY

Project Title: Request for an Ordinance to connect to City wastewater facilities. City project number 2019PM0000626.

Description of Proposed Project: This is a property outside of the limits of the City that needs to connect to City wastewater facilities, which requires an Ordinance.

Explanation of why the public right-of-way must be utilized to accomplish the proposed project: The 54th Avenue Right-of-Way will be utilized for a private sanitary service lines, in order to connect the property to Denver's existing public sanitary main in 54th Avenue.

Has a Temp MEP been issued, and if so, what work is underway: N/A

What is the known duration of an MEP: N/A

Will land be dedicated to the City if the vacation goes through: N/A

Will an easement be placed over a vacated area, and if so explain: N/A

Will an easement relinquishment be submitted at a later date: N/A

Additional information: None.

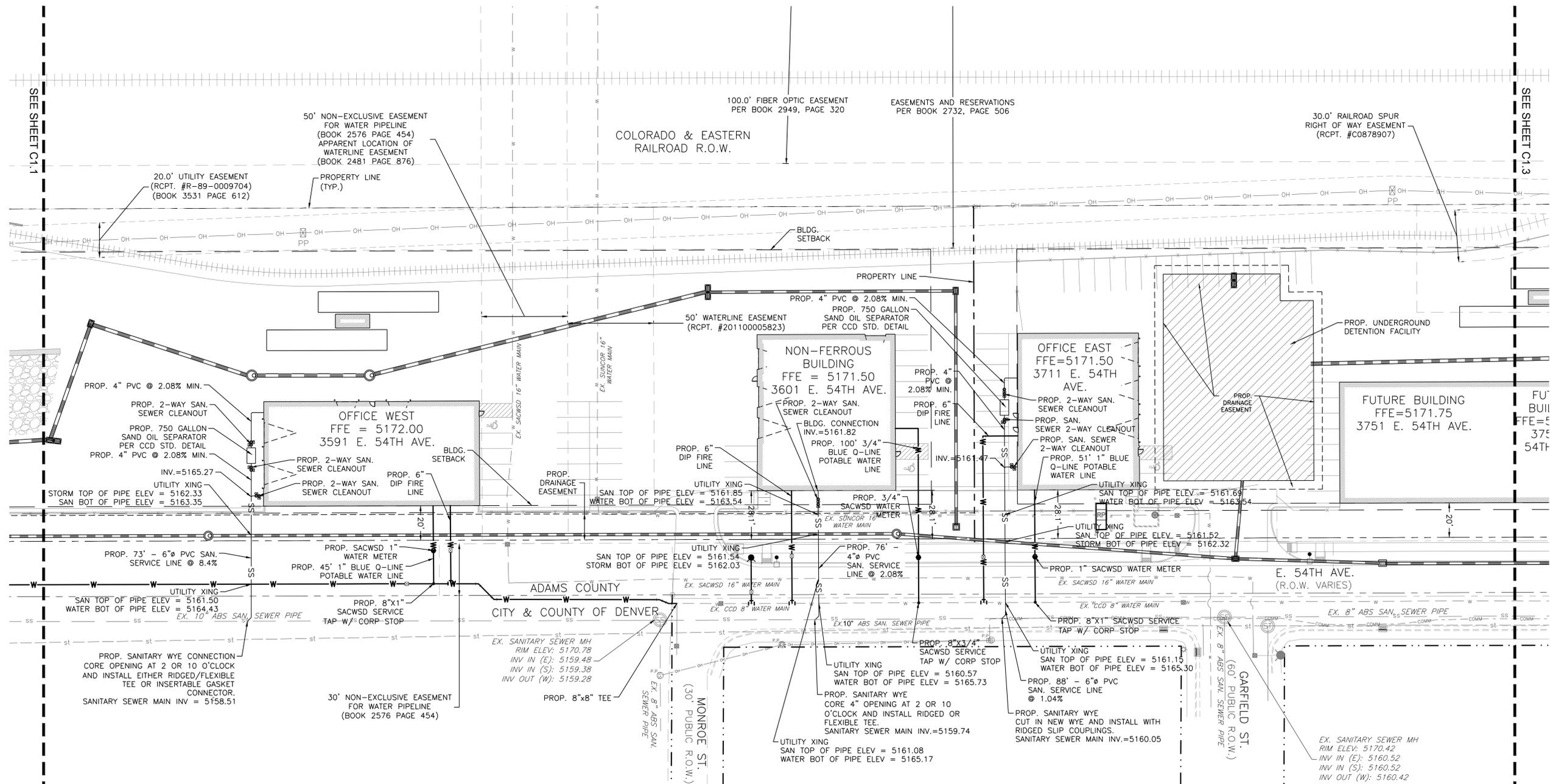
Legal Description:

KNOW ALL MEN BY THESE PRESENTS THAT SALVA TERRA HOLDINGS LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE OWNER OF THAT PART OF THE NORTHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, ADAMS COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 1, BLOCK 1, MCGUIRE SUBDIVISION, AS RECORDED AT RECEPTION NUMBER 2010000015357, CONTAINING 10.085 ACRES, MORE OR LESS;

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS AND BLOCKS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF MCGUIRE SUBDIVISION - FIRST REPLAT, AND DO HEREBY GRANT TO THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE STREETS AND OTHER PUBLIC WAYS AND LANDS HEREON SHOWN, AND THE EASEMENTS AS SHOWN, FOR PUBLIC UTILITY, CABLE TV AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE CITY OF COMMERCE CITY.

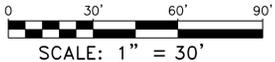
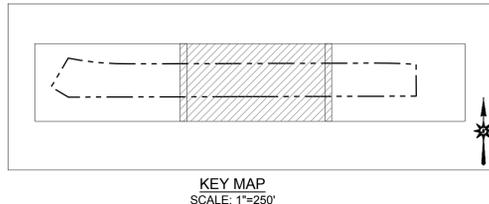
SEWER USE AND DRAINAGE PERMIT - FOR
5400 MONROE STREET
 A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13,
 TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,
 STATE OF COLORADO



LEGEND

	PROPERTY LINE		EXISTING SANITARY SEWER
	LOT LINE		EXISTING STORM SEWER
	PROPOSED EASEMENT/SETBACK		EXISTING WATERLINE
	EXISTING EASEMENT/SETBACK		EXISTING COMMUNICATIONS LINE
	EXISTING RIGHT-OF-WAY		EXISTING FIBER OPTIC LINE
	PROPOSED CURB		EXISTING OVERHEAD ELECTRIC LINE
	PROPOSED FLOW LINE		EXISTING (UNDERGROUND) ELECTRIC LINE
	PROPOSED PAN/LIP		PROPOSED REDUCER *
	EXISTING CURB TO REMAIN		EXISTING/PROPOSED GATE VALVE *
	EXISTING FLOW LINE TO REMAIN		EXISTING/PROPOSED FIRE HYDRANT *
	EXISTING PAN/LIP TO REMAIN		EXISTING STORM MANHOLE *
	EXISTING/PROPOSED SIGN *		EXISTING STORM INLET *
	PROPOSED SANITARY SEWER		EXISTING SANITARY MANHOLE *
	PROPOSED STORM SEWER		EXISTING POWER POLE *
	PROPOSED WATERLINE		

UTILITY NOTES:
 1. ALL PROPOSED ONSITE STORM PIPES SHALL BE HDPE, RCP, OR ADS HP STORM



NO.	REVISION	BY	DATE
2ND SUBMISSION		RSD	12/28/20
3RD SUBMISSION		RSD	03/26/21

R&R ENGINEERS-SURVEYORS, INC.
 1635 WEST 13TH AVENUE SUITE 310
 DENVER, COLORADO 80204
 PHONE: 303-753-6730

WWW.RRENGINEERS.COM

5400 MONROE STREET
 5400 MONROE STREET
 COMMERCE CITY, CO

SITE ADDRESS: 5400 MONROE STREET
 COMMERCE CITY, CO

PREPARED FOR: MONROE STREET PARTNERS WEST, LLC
 2801 WEST MANSFIELD AVE.
 ENGLEWOOD, CO 80110

Job No. RD19127
 Date: 8/28/2020
 Drawn: NGE/Checked: CJD
 Name: _____

UTILITY PLAN
(CENTER)

No. **C1.2**

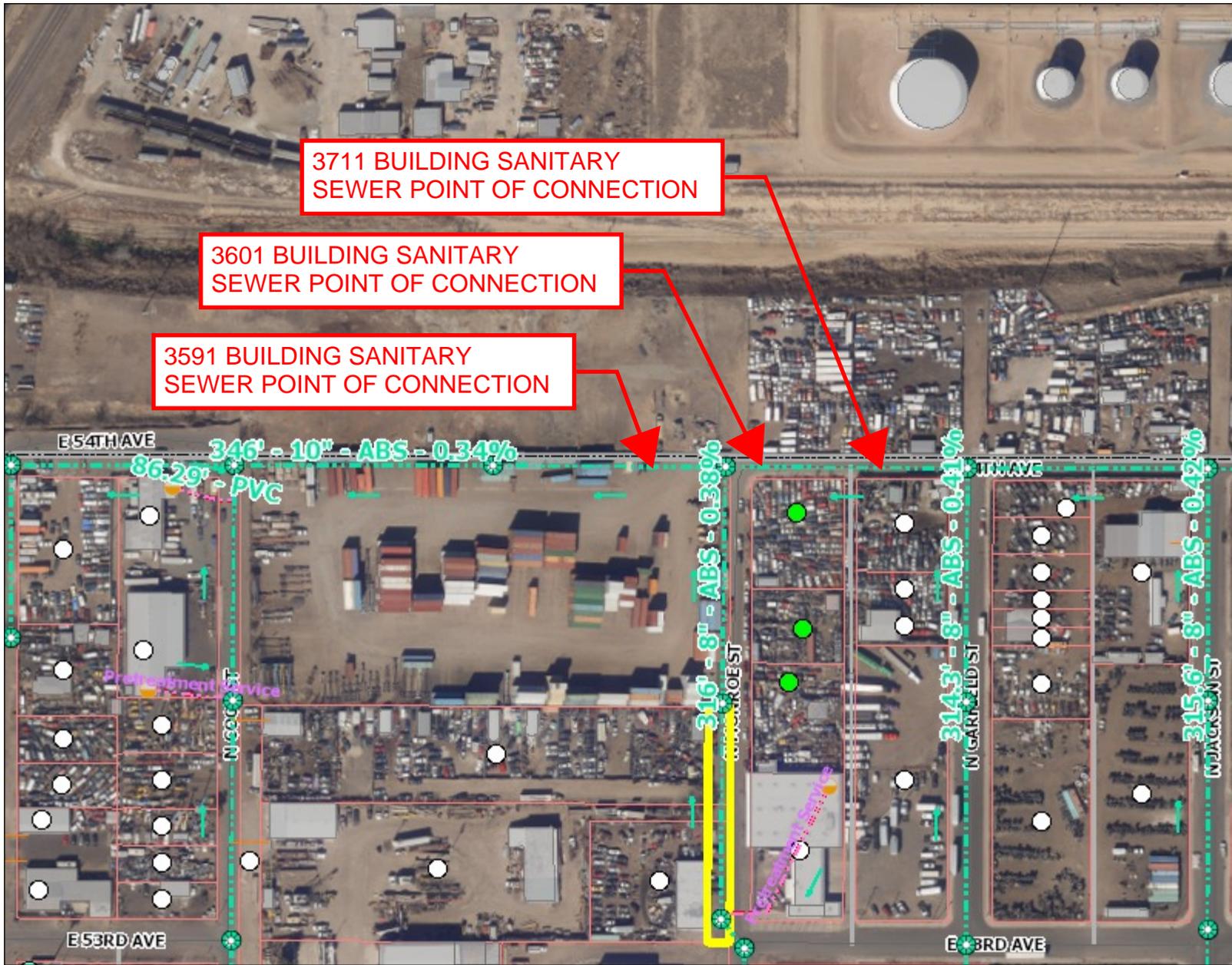
PATH: P:\RD19127 5400 MONROE STREET (COMMERCE CITY)\ENGINEERING\4 DRAWINGS\PLANS\RD19127 - UTIL-SUDP.DWG, PLOT DATE: 3/26/2021, 2:20:58 PM, BY: LIZ JONES



3711 BUILDING SANITARY
SEWER POINT OF CONNECTION

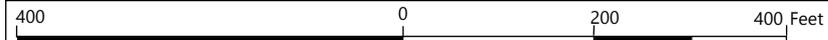
3601 BUILDING SANITARY
SEWER POINT OF CONNECTION

3591 BUILDING SANITARY
SEWER POINT OF CONNECTION



Legend

- ▲ Well Restrictions
- Barrier Restrictions
- Area Restrictions
 - Liner
 - Sheet Pile Wall Area
- MHFD FHAD Floodplains
- Sanitary Pretreatment Facilities:
 - AN - Acid Neutralization
 - GI - Grease Interceptor
 - IWSS - Industrial Waste Sample Site
 - LT - Lint Trap
 - SO - Sand_Oil
 - VR - Variance
- DES Sanitary Manhole
 - DIW Manhole, Private
 - Drain Manhole, Private
 - Drop Manhole, Public
 - Drop Manhole, Private
 - Drop Manhole, Metro
 - Sanitary Manhole, Public
 - Sanitary Manhole, Private
 - Sanitary Manhole, Metro
 - Meter, Public
 - Meter, Private
- ⊗ Abandoned Sanitary Manhole
- Sanitary Pipe Directional Arrow
- Sanitary Casing
- Sanitary Service Lines
- Pretreatment Service Lines
- Pretreatment Service Lines An
- Sanitary Main Annotation





Thursday, October 15, 2020

Mr. Joe Henry
JRL Monroe, LLC
510 E 51ST Ave

Re: Preliminary Contact / Can Serve Letter
Property Name: Recycling and Transfer Station
Property Location: 5400 Monroe St, Commerce City, CO 80022

Dear Mr. Henry:

As referenced in Article II, Section 1.4, Paragraph 1.4.5 of the South Adams County Water and Sanitation District ("District") Rules and Regulations this document shall serve as the Can Serve Letter with the intent to serve the afore-mentioned project if all submittal criteria required by SACWSD can be met by the applicant. After review of the information provided for said property the District has determined that the property currently is **Included** in the District's service area. In order for the owner of the property to begin the process of acquiring water and wastewater services from the District, the owner shall refer to Article II of the District Rules and Regulations and in addition comply with, but not limited to, the following:

1. Identify the source and amount of water owned in order to serve the entire development as envisioned and present evidence to support ownership of adequate Equivalent Residential Units (ERUs).
2. Complete the District's service application with corresponding design plans including site, potable water, irrigation water, wastewater utility plans, plumbing plans, and District standard details.
3. Design and construct the District's water and sewer infrastructure in accordance with current approved Design Standards and Construction Specifications.
4. Pay appropriate connection fees and pass all required inspections.
5. Per SACWSD Rules and Regulations each building will be required to have individual water meters and sanitary sewer service lines.
6. Project special conditions for utilities: This location is within Denver Water supply area of SACWSD. You will need to coordinate all project tasks with Denver Water concurrently with SACWSD process.
7. Due to location of existing SACSWD sanitary sewer mains approximately 2200 feet away, this site will need to obtain sanitary sewer services from other sources, such as the City and County of Denver(CCD), or an ISDS to be permitted through Tri-County Health. If the property is served by CCD mains, the District acknowledges development and monthly sewer service fees will be paid to CCD by the property.

If you have questions regarding this letter, please call me at 720-206-0593 or e-mail me at jnelson@sacwsd.org.

Sincerely,

A handwritten signature in blue ink that reads "Jeff Nelson".

Jeff Nelson
Development Review Supervisor



CITY AND COUNTY OF DENVER

Department of Public Works - Development Services

Sewer Use and Drainage Permit



Address: 3591 E 54th Ave
(Office West)

Permit # 2020-SUDP-0003978

Project Name: Commerce City tap into Denver sewer main (Office West)

Application Date: 10/13/2020

Ready Date: 10/13/2020

Type of Work: New
Service Area Code: 04080000

Use: Commercial
SFRE: 4.8

Reduced or Exempt Fee:
Tap Size: 1.00

Fee Type	Fund/Org/No	Fee Amount	Transaction Number	Payment Date	Void
Report to Metro:	Total Permit Fees:		Exemption or Fee Reduction:		

Upon proper inspection and issuance of a Sewer Connection Permit and compliance with the terms and conditions of this Permit as well as those of the associated Application, authorization to connect to the sewer system is hereby granted. All Wastewater Management Division rules and regulations, criteria, standards, details, etc., shall apply as a minimum unless specifically exempted in writing. All inspection requests must be called in to Wastewater, at the (303) 446-3759 number, no later than 3:30 P.M. on the previous business day. No inspection requests will be accepted after 3:30 P.M. If work under this Permit is not properly completed, this Permit shall become void. If work under this Permit is not commenced within one year from the date of issuance or, if after partial completion,

TYPE OF CONNECTION: New

REQUIRED INSPECTIONS FOR THIS PERMIT

See permit conditions below for more detailed information.

Inspection Type	Inspection Status	Inspection Scheduled Date/Inspection Date

SEWER PERMIT CONDITIONS:

- Number: 1 Condition: This permit is issued for a new Commercial Building & Tenant Finish (located in Commerce City, Adams County) with sanitary sewer service line connection to a sanitary sewer main owned and maintained by the City and County of Denver only.
- 2 Any future additions to, modifications of, or changes of use to this commercial building and/or tenant must be reviewed and approved in writing by the City and County of Denver, Development Engineering Services for potential impacts to a Denver Public Sanitary Main.
- Sanitary sewer connection fees, in accordance with RMC Chapter 56, Article 3, Division 3, Sec 56-92.5, will apply to this project and are non-refundable.
- Billing for ongoing carriage, treatment and disposal charges will be based on water usage and shall be 150% of the amount that would be charged for areas inside the boundaries of the City per residential connection or residential equivalent, in accordance with RMC Chapter 56, Article 3, Division 3, Secs. 56-97 through 56-101.

Office Copy

Site Copy - MUST BE POSTED ON SITE

Billing for this property will be sent directly to the owners at this property address:

3591 E 54th Ave
Commerce City, CO

Increases to carriage, treatment and disposal charges may occur from time to time and will apply at the same rate / time for this property as for all other Denver Residents.

3 A copy of the domestic water tap application approval from South Adams County Water and Sanitation District for the new 1 (one) inch domestic water tap/meter must be submitted to DOTI Permit Operations, PRIOR to any sanitary building sewer construction or connection.

4 Anytime an existing domestic water tap is reactivated or increased in pipe size, or a new domestic water tap is added, a Sewer Use & Drainage Permit must be obtained from Development Services
ANY CHANGE IN THE BUILDING SEWER SIZE, CONFIGURATION OR LOCATION, FROM WHAT WAS ORIGINALLY SUBMITTED AND APPROVED BY DOTI WASTEWATER MUST BE SUBMITTED FOR REVIEW AND APPROVAL OF A SUPPLEMENTAL SUDP PERMIT PRIOR TO ANY SANITARY BUILDING SEWER CONSTRUCTION

5 Any portion of the building sewer being built over, or any portion within two (2) feet of a building, must be replaced with approved material (Schedule 40 PVC, ABS/DWV, or Cast Iron pipe). All new and replaced sewers beyond two (2) feet from the building must be inspected and approved by DOTI Plumbing Inspection.

6 NO SANITARY EJECTORS ARE AUTHORIZED UNDER THE TERMS OF THIS PERMIT

The properly licensed sewer contractor must confirm if the existing public sanitary main has been lined prior to connection. The connection to the main shall be coordinated with the DOTI WW Plumbing Inspector as to the proper connection method, if the public sanitary main is lined.

A 1:1 ratio to the bearing point must be maintained on all sanitary service lines.

The 1. new four (4) inch building sand/oil interceptor lateral, 2. the new four (4) inch building sewer lateral and connection downstream of the new interceptor to the new six (6) inch building sewer lateral and final connection to the existing ten (10) inch public sanitary main in E 54th Ave. via a FACTORY WYE FITTING (NO CORE DRILLING), must be inspected by DOTI Plumbing Inspection. Installation must conform to DOTI WW standards regarding workmanship and materials, to include the use of Class B bedding material conforming to ASTM C-33, gradation size 67. All work must be done by a properly licensed Plumbing or Sewer Contractor and the licensed Plumbing or Sewer Contractor must call DOTI Permit Operations at 303-446-3759 or email DOTIPERMITOPERATIONS@denvergov.org with valid license and permit numbers, no later than 3:30 P.M. on the previous business day, to schedule inspections.

7 Any additional inspections (ie video inspection) will be at the discretion of the DOTI WW Plumbing Inspector for sanitary sewer, pre-treatment devices and / or storm sewer or storm drainage piping or devices to ensure proper condition, grade, and slope. If any portion of the existing or new sanitary sewer, pre-treatment device or storm sewer / drainage line or devices is deemed inadequate by the DOTI WW, the segment of line must be replaced. This includes connections to public/private main-lines.

8 The properly licensed sewer contractor must coordinate all cleanout locations AND SIZES with the DOTI WW Plumbing Inspector. An approved type of two-way cleanout shall be installed outside of the building near the connection between the building drain and building sewer, on ALL building sewer laterals or lines exiting the building or in compliance with section 708 of the 2015 IPC. Cleanouts are NOT permitted to be located in the garage floor slab or in the public right-of way. All cleanouts located within vehicle travel paths must be equipped with traffic-rated cleanouts. Additional cleanouts shall be installed at intervals not to exceed 100 feet and for each aggregate horizontal change in direction exceeding 135 degrees.

9 A minimum of a 750 gallon, Two-compartment, sand/oil interceptor shall be installed to conform to DOTI WW Standard Drawing and following the 2015 IPC and Colorado State Codes. Design discrepancies shall be coordinated with the DOTI WW Plumbing Inspector for conformance to Codes and field conditions. All work must be done by a properly licensed Plumbing Contractor and the licensed Plumbing Contractor must DOTI Permit Operations at 303-446-3759 or email DOTIPERMITOPERATIONS@denvergov.org with valid license and permit numbers, no later than 3:30 P.M. on the previous business day, to schedule inspections.

10 Routing of the waste lines, directed to the Sand/Oil Interceptor must be inspected and approved by the Commerce City Building Inspection Division. The licensed Plumbing Contractor must contact Commerce City to schedule the required routing inspection.

11 Permanent increases in the proposed current production operation, ownership AND/OR increases in the process area requiring additional equipment AND/or space is considered a change in the mode of current operations. A supplemental Sewer Use & Drainage Permit will be required for such work.

12 An approved sampling cleanout/chamber shall be installed downstream from the exterior sand/oil interceptor and upstream from the line containing domestic sanitary waste for sample collection representing all process wastes. Domestic waste is NOT allowed to be routed to the sampling point. Permanent increases in the proposed current production operation AND/OR increases in the process area requiring additional equipment AND/OR space is considered a change in the mode of current operations and a supplemental Sewer Use & Drainage Permit will be required for such work. The properly licensed Plumbing Contractor must call DOTI Permit Operations at 303-446-3759 or email DOTIPERMITOPERATIONS@denvergov.org with valid license and permit numbers, no later than 3:30 P.M. on the previous business day, to schedule inspections.

13 No exterior storm sewer construction and no ground water discharge is authorized under the terms of this permit. All storm work to be permitted, inspected, and approved by Commerce City only.

There shall be no storm water drainage from the ground surface, roof leaders, catch basin, or any other source; or subsurface drainage or ground water discharge into the sanitary sewer.

14 All construction activities associated with this permit are subject to the conditions and requirements of Erosion & Sediment Control / Construction Activities Stormwater Discharge as approved and issued by Commerce City only.

DRAFT

FLOODPLAIN PERMIT CONDITIONS:

Number: Condition:

DRAFT

Standard Comments and Condition:

Conditions:

Anytime an existing domestic water tap is reactivated or increased in pipe size, or a new domestic water tap is added, a Sewer Use & Drainage permit must be obtained from Development Services.

PLEASE NOTE: The owner/developer is responsible for improvements/repairs in the right-of-way adjacent to this site. No Certificate of Occupancy will be validated by Public Works Construction until these improvements/repairs are complete. Contact the DES Construction Inspector PRIOR to starting construction. Call 303-446-3469 for the name and number of the inspector. Any work within the public right-of-way will require a Street Cut, Construction, and/or Street Occupancy Permit(s) from Public Works Permit Operations, located at 2000 W. 3rd Ave., Room 107, phone number 303-446-3759. It is the Licensed Contractor's responsibility to obtain the proper permit(s).

DRAFT

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CITY AND COUNTY OF DENVER

Department of Public Works - Development Services

Sewer Use and Drainage Permit



Address: 3601 E 54th Ave

Permit # 2020-SUDP-0003981

Project Name: Commerce City tap into Denver sewer main (Non-Ferrous Building)

Application Date: 10/13/2020

Ready Date: 10/13/2020

Type of Work: New Use: Commercial Reduced or Exempt Fee:
 Service Area Code: 04080000 SFRE: 2 Tap Size: 0.75

Fee Type	Fund/Org/No	Fee Amount	Transaction Number	Payment Date	Void
Report to Metro:	Total Permit Fees:		Exemption or Fee Reduction:		

Upon proper inspection and issuance of a Sewer Connection Permit and compliance with the terms and conditions of this Permit as well as those of the associated Application, authorization to connect to the sewer system is hereby granted. All Wastewater Management Division rules and regulations, criteria, standards, details, etc., shall apply as a minimum unless specifically exempted in writing. All inspection requests must be called in to Wastewater, at the (303) 446-3759 number, no later than 3:30 P.M. on the previous business day. No inspection requests will be accepted after 3:30 P.M. If work under this Permit is not properly completed, this Permit shall become void. If work under this Permit is not commenced within one year from the date of issuance or, if after partial completion,

TYPE OF CONNECTION: New

DRAFT

REQUIRED INSPECTIONS FOR THIS PERMIT

See permit conditions below for more detailed information.

Inspection Type	Inspection Status	Inspection Scheduled Date/Inspection Date

SEWER PERMIT CONDITIONS:

- | | |
|----------------------|---|
| <p>Number:
1</p> | <p>Condition:
This permit is issued for a new Commercial Building & Tenant Finish (located in Commerce City, Adams County) with sanitary sewer service line connection to a sanitary sewer main owned and maintained by the City and County of Denver only.</p> |
| <p>2</p> | <p>Any future additions to, modifications of, or changes of use to this commercial building and/or tenant must be reviewed and approved in writing by the City and County of Denver, Development Engineering Services for potential impacts to a Denver Public Sanitary Main.</p> <p>Sanitary sewer connection fees, in accordance with RMC Chapter 56, Article 3, Division 3, Sec 56-92.5, will apply to this project and are non-refundable.</p> <p>Billing for ongoing carriage, treatment and disposal charges will be based on water usage and shall be 150% of the amount that would be charged for areas inside the boundaries of the City per residential connection or residential equivalent, in accordance with RMC Chapter 56, Article 3, Division 3, Secs. 56-97 through 56-101.</p> |

Office Copy

Site Copy - MUST BE POSTED ON SITE

Billing for this property will be sent directly to the owners at this property address:

3601 E 54th Ave
Commerce City, CO

Increases to carriage, treatment and disposal charges may occur from time to time and will apply at the same rate / time for this property as for all other Denver Residents.

3 A copy of the domestic water tap application approval from South Adams County Water and Sanitation District for the new 3/4 inch domestic water tap/meter must be submitted to DOTI Permit Operations, PRIOR to any sanitary building sewer construction or connection.

4 ANY CHANGE IN THE BUILDING SEWER SIZE, CONFIGURATION OR LOCATION, FROM WHAT WAS ORIGINALLY SUBMITTED AND APPROVED BY DOTI WASTEWATER MUST BE SUBMITTED FOR REVIEW AND APPROVAL OF A SUPPLEMENTAL SUDP PERMIT PRIOR TO ANY SANITARY BUILDING SEWER CONSTRUCTION

5 Any portion of the building sewer being built over, or any portion within two (2) feet of a building, must be replaced with approved material (Schedule 40 PVC, ABS/DWV, or Cast Iron pipe). All new and replaced sewers beyond two (2) feet from the building must be inspected and approved by DOTI Plumbing Inspection.

6 NO SANITARY EJECTORS ARE AUTHORIZED UNDER THE TERMS OF THIS PERMIT

The properly licensed sewer contractor must confirm if the existing public sanitary main has been lined prior to connection. The connection to the main shall be coordinated with the DOTI WW Plumbing Inspector as to the proper connection method, if the public sanitary main is lined.

A 1:1 ratio to the bearing point must be maintained on all sanitary service lines.

The new four (4) inch building sewer lateral and final connection to the existing eight (8) inch public sanitary main in E 54th Ave. must be inspected by DOTI Plumbing Inspection. Installation must conform to DOTI WW standards regarding workmanship and materials, to include the use of Class B bedding material conforming to ASTM C-33, gradation size 67. All work must be done by a properly licensed Plumbing or Sewer Contractor and the licensed Plumbing or Sewer Contractor must call DOTI Permit Operations at 303-446-3759 or email DOTIPERMITOPERATIONS@denvergov.org with valid license and permit numbers, no later than 3:30 P.M. on the previous business day, to schedule inspections.

7 Any additional inspections (ie video inspection) will be at the discretion of the DOTI WW Plumbing Inspector for sanitary sewer, pre-treatment devices and / or storm sewer or storm drainage piping or devices to ensure proper condition, grade, and slope. If any portion of the existing or new sanitary sewer, pre-treatment device or storm sewer / drainage line or devices is deemed inadequate by the DOTI WW, the segment of line must be replaced. This includes connections to public/private main-lines.

8 The properly licensed sewer contractor must coordinate all cleanout locations AND SIZES with the DOTI WW Plumbing Inspector. An approved type of two-way cleanout shall be installed outside of the building near the connection between the building drain and building sewer, on ALL building sewer laterals or lines exiting the building or in compliance with section 708 of the 2015 IPC. Cleanouts are NOT permitted to be located in the garage floor slab or in the public right-of way. All cleanouts located within vehicle travel paths must be equipped with traffic-rated cleanouts. Additional cleanouts shall be installed at intervals not to exceed 100 feet and for each aggregate horizontal change in direction exceeding 135 degrees.

9 Domestic Sewage Only - No special wastes are to be discharged to the sanitary sewer.

10 No exterior storm sewer construction and no ground water discharge is authorized under the terms of this permit. All storm work to be permitted, inspected, and approved by Commerce City only.

There shall be no storm water drainage from the ground surface, roof leaders, catch basin, or any other source; or subsurface drainage or ground water discharge into the sanitary sewer.

11 All construction activities associated with this permit are subject to the conditions and requirements of Erosion & Sediment Control / Construction Activities Stormwater Discharge as approved and issued by Commerce City only.

FLOODPLAIN PERMIT CONDITIONS:

Number: Condition:

DRAFT

Standard Comments and Condition:

Conditions:

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PLEASE NOTE: The owner/developer is responsible for improvements/repairs in the right-of-way adjacent to this site. No Certificate of Occupancy will be validated by Public Works Construction until these improvements/repairs are complete. Contact the DES Construction Inspector PRIOR to starting construction. Call 303-446-3469 for the name and number of the inspector. Any work within the public right-of-way will require a Street Cut, Construction, and/or Street Occupancy Permit(s) from Public Works Permit Operations, located at 2000 W. 3rd Ave., Room 107, phone number 303-446-3759. It is the Licensed Contractor's responsibility to obtain the proper permit(s).

DRAFT

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CITY AND COUNTY OF DENVER

Department of Public Works - Development Services

Sewer Use and Drainage Permit



Address: 3711 E 54th Ave

Permit # 2020-SUDP-0003980

Project Name: Commerce City tap into Denver sewer main (Office East)

Application Date: 10/13/2020 Ready Date: 10/13/2020

Type of Work: New	Use: Commercial	Reduced or Exempt Fee:
Service Area Code: 04080000	SFRE: 4.8	Tap Size: 1.00

Fee Type	Fund/Org/No	Fee Amount	Transaction Number	Payment Date	Void
Report to Metro:		Total Permit Fees:	Exemption or Fee Reduction:		

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TYPE OF CONNECTION: New

REQUIRED INSPECTIONS FOR THIS PERMIT

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SEWER PERMIT CONDITIONS:

- | | |
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| Number: | Condition: |
| 1 | This permit is issued for a new Commercial Building & Tenant Finish (located in Commerce City, Adams County) with sanitary sewer service line connection to a sanitary sewer main owned and maintained by the City and County of Denver only. |
| 2 | Sanitary sewer connection fees, in accordance with RMC Chapter 56, Article 3, Division 3, Sec 56-92.5, will apply to this project and are non-refundable. |
- Any future additions to, modifications of, or changes of use to this commercial building and/or tenant must be reviewed and approved in writing by the City and County of Denver, Development Engineering Services for potential impacts to a Denver Public Sanitary Main.
- Billing for ongoing carriage, treatment and disposal charges will be based on water usage and shall be 150% of the amount that would be charged for areas inside the boundaries of the City per residential connection or residential equivalent, in accordance with RMC Chapter 56, Article 3, Division 3, Secs. 56-97 through 56-101.

Office Copy

Site Copy - MUST BE POSTED ON SITE

Billing for this property will be sent directly to the owners at this property address:

3591 E 54th Ave
Commerce City, CO

Increases to carriage, treatment and disposal charges may occur from time to time and will apply at the same rate / time for this property as for all other Denver Residents.

3 A copy of the domestic water tap application approval from South Adams County Water and Sanitation District for the new 1 (one) inch domestic water tap/meter must be submitted to DOTI Permit Operations, PRIOR to any sanitary building sewer construction or connection.

4 Anytime an existing domestic water tap is reactivated or increased in pipe size, or a new domestic water tap is added, a Sewer Use & Drainage Permit must be obtained from Development Services
ANY CHANGE IN THE BUILDING SEWER SIZE, CONFIGURATION OR LOCATION, FROM WHAT WAS ORIGINALLY SUBMITTED AND APPROVED BY DOTI WASTEWATER MUST BE SUBMITTED FOR REVIEW AND APPROVAL OF A SUPPLEMENTAL SUDP PERMIT PRIOR TO ANY SANITARY BUILDING SEWER CONSTRUCTION

5 Any portion of the building sewer being built over, or any portion within two (2) feet of a building, must be replaced with approved material (Schedule 40 PVC, ABS/DWV, or Cast Iron pipe). All new and replaced sewers beyond two (2) feet from the building must be inspected and approved by DOTI Plumbing Inspection.

6 NO SANITARY EJECTORS ARE AUTHORIZED UNDER THE TERMS OF THIS PERMIT

The properly licensed sewer contractor must confirm if the existing public sanitary main has been lined prior to connection. The connection to the main shall be coordinated with the DOTI WW Plumbing Inspector as to the proper connection method, if the public sanitary main is lined.

A 1:1 ratio to the bearing point must be maintained on all sanitary service lines.

The 1. new four (4) inch building sand/oil interceptor lateral, 2. the new four (4) inch building sewer lateral and connection downstream of the new interceptor to the new six (6) inch building sewer lateral and final connection to the existing eight (8) inch public sanitary main in E 54th Ave. via a FACTORY WYE FITTING (NO CORE DRILLING), must be inspected by DOTI Plumbing Inspection. Installation must conform to DOTI WW standards regarding workmanship and materials, to include the use of Class B bedding material conforming to ASTM C-33, gradation size 67. All work must be done by a properly licensed Plumbing or Sewer Contractor and the licensed Plumbing or Sewer Contractor must call DOTI Permit Operations at 303-446-3759 or email DOTIPERMITOPERATIONS@denvergov.org with valid license and permit numbers, no later than 3:30 P.M. on the previous business day, to schedule inspections.

7 Any additional inspections (ie video inspection) will be at the discretion of the DOTI WW Plumbing Inspector for sanitary sewer, pre-treatment devices and / or storm sewer or storm drainage piping or devices to ensure proper condition, grade, and slope. If any portion of the existing or new sanitary sewer, pre-treatment device or storm sewer / drainage line or devices is deemed inadequate by the DOTI WW, the segment of line must be replaced. This includes connections to public/private main-lines.

8 The properly licensed sewer contractor must coordinate all cleanout locations AND SIZES with the DOTI WW Plumbing Inspector. An approved type of two-way cleanout shall be installed outside of the building near the connection between the building drain and building sewer, on ALL building sewer laterals or lines exiting the building or in compliance with section 708 of the 2015 IPC. Cleanouts are NOT permitted to be located in the garage floor slab or in the public right-of way. All cleanouts located within vehicle travel paths must be equipped with traffic-rated cleanouts. Additional cleanouts shall be installed at intervals not to exceed 100 feet and for each aggregate horizontal change in direction exceeding 135 degrees.

9 A minimum of a 750 gallon, Two-compartment, sand/oil interceptor shall be installed to conform to DOTI WW Standard Drawing and following the 2015 IPC and Colorado State Codes. Design discrepancies shall be coordinated with the DOTI WW Plumbing Inspector for conformance to Codes and field conditions. All work must be done by a properly licensed Plumbing Contractor and the licensed Plumbing Contractor must DOTI Permit Operations at 303-446-3759 or email DOTIPERMITOPERATIONS@denvergov.org with valid license and permit numbers, no later than 3:30 P.M. on the previous business day, to schedule inspections.

10 Routing of the waste lines, directed to the Sand/Oil Interceptor must be inspected and approved by the Commerce City Building Inspection Division. The licensed Plumbing Contractor must contact Commerce City to schedule the required routing inspection.

11 Permanent increases in the proposed current production operation, ownership AND/OR increases in the process area requiring additional equipment AND/or space is considered a change in the mode of current operations. A supplemental Sewer Use & Drainage Permit will be required for such work.

12 An approved sampling cleanout/chamber shall be installed downstream from the exterior sand/oil interceptor and upstream from the line containing domestic sanitary waste for sample collection representing all process wastes. Domestic waste is NOT allowed to be routed to the sampling point. Permanent increases in the proposed current production operation AND/OR increases in the process area requiring additional equipment AND/OR space is considered a change in the mode of current operations and a supplemental Sewer Use & Drainage Permit will be required for such work. The properly licensed Plumbing Contractor must call DOTI Permit Operations at 303-446-3759 or email DOTIPERMITOPERATIONS@denvergov.org with valid license and permit numbers, no later than 3:30 P.M. on the previous business day, to schedule inspections.

13 No exterior storm sewer construction and no ground water discharge is authorized under the terms of this permit. All storm work to be permitted, inspected, and approved by Commerce City only.

There shall be no storm water drainage from the ground surface, roof leaders, catch basin, or any other source; or subsurface drainage or ground water discharge into the sanitary sewer.

14 All construction activities associated with this permit are subject to the conditions and requirements of Erosion & Sediment Control / Construction Activities Stormwater Discharge as approved and issued by Commerce City only.

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FLOODPLAIN PERMIT CONDITIONS:

Number: Condition:

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Standard Comments and Condition:

Conditions:

Anytime an existing domestic water tap is reactivated or increased in pipe size, or a new domestic water tap is added, a Sewer Use & Drainage permit must be obtained from Development Services.

PLEASE NOTE: The owner/developer is responsible for improvements/repairs in the right-of-way adjacent to this site. No Certificate of Occupancy will be validated by Public Works Construction until these improvements/repairs are complete. Contact the DES Construction Inspector PRIOR to starting construction. Call 303-446-3469 for the name and number of the inspector. Any work within the public right-of-way will require a Street Cut, Construction, and/or Street Occupancy Permit(s) from Public Works Permit Operations, located at 2000 W. 3rd Ave., Room 107, phone number 303-446-3759. It is the Licensed Contractor's responsibility to obtain the proper permit(s).

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