



APPLICATION

FOR ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT-OF-WAY

An Encroachment Permit is required prior to placing privately-owned improvements (“Encroachment” or “Encumbrance”) in the public Right-of-Way (ROW). Only Encroachment Permit Applications in accordance with [Rules and Regulations](#) and [Permit Entrance Requirements](#) for Encroachments in the Public Right-of-Way will be considered by the Department of Transportation & Infrastructure (DOTI). **It is the City’s sole discretion whether to grant an Encroachment Permit based on any facts the City feels are relevant. Approval is not guaranteed.**

To apply, complete this application and submit together with required application materials in accordance with the [Permit Entrance Requirements](#) to DOTI.ER@denvergov.org. Please type or print clearly. If necessary, attach additional sheets to fully answer any of the following sections. Incomplete applications packages will not be accepted. Questions on this application or the process can be sent to DOTI.ER@denvergov.org.

ENCROACHMENT OWNER/ADJACENT PROPERTY OWNER:

The adjacent property owner will be the Encroachment Owner and Permittee and is the responsible party for the Encroachment in accordance with the Rules and Regulations, including all fees and annual billing.

Company Name: Denver 1920 Market, LLC
 Contact Name: Mike Sangaline
 Property Address: 1920 Market Street, Denver, CO 80202
 Billing Address: 1962 Blake Street, Suite 200, Denver, CO 80202
 Telephone Number: 720.299.4071 Email Address: mike@strudevelopment.com

OWNER REPRESENTATIVE: Check if the same as Adjacent Property Owner

Company Name: _____
 Contact Name: _____
 Address: _____
 Telephone Number: _____ Email Address: _____

ENCROACHMENT INFORMATION:

Project Name: 1920 Market
 Adjacent Property Address: 1920 Market Street, Denver, CO, 80202
 Coordinates (Lat/Long): Reference attached Exhibit A Land Description + Illustration
 Encroachment Area, in SF: 1300

City and County of Denver – Department of Transportation & Infrastructure
 Right-of-Way Services | Engineering & Regulatory
 201 West Colfax Ave. Dept. 507 | Denver, CO 80202
www.denvergov.org/doti
 Phone: 720-865-3003



Is this project associated with a LAND DEVELOPMENT REVIEW?

Yes No If 'Yes', provide Project Master, Site Plan and/or Concept Development Project Numbers:

2022PM0000031 / 1920 Market Street

Location Description: (e.g. Located on the South side of 23rd Ave, twenty (20) feet from face of curb, and ten (10) feet west of pavement on Private Drive.)

Located on the South side of Market Street, approximately one hundred feet from the corner of Market Street and 19th Street, ten feet from face of curb. Please see attached Exhibit A Land Description + Illustration for Exhibit A dated 08-17-22.

Description of Encroachment:

Describe the proposed encroachment, including the type, dimensions, and quantity of objects. If the space below is not enough space to describe the encroachment, attach the description as a sheet. Additionally, provide required application materials in accordance with the Permit Entrance Requirements. It is not acceptable to use "please see attached plans" or other vague descriptors.

The proposed Tier III Encroachment is for a patio with railings, an accessible ramp and stairs to be located within the right-of-way. The patio, stair and ramp are collectively approximately 99.5' long by 10.5' wide that occupies approximately 1040 square feet. The encroachment allows approximately 11 feet for right-of-way amenity zone and has a minimum 5' sidewalk width. The patio is anticipated to be concrete with metal railings.

Justification for Private Improvements in the Public ROW:

Private improvements should be located on private property. Only in cases where there are physical constraints that preclude the placement of private improvements on private property that an encroachment may be considered within the right-of-way. Make your case as to why this is a good use of the public right-of-way. It is not acceptable to use "you want/need it" or other vague descriptors.

The existing building that this encroachment is associated with is a historic building with an "loading dock" and stairs that currently extends 5'-0" into the right-of-way. Adjacent to the historic building, is a non-contributing Brother's building and ADA ramp. The proposed improvements will include reconstruction of this patio, the accessible ramp and a new staircase at the main entrance of the building. This new patio does not extend any further into the right-of-way than the existing adjacent patio of 1936 Market Street and 1942 Market Street for a continuous pedestrian street experience. Since this is an historic building, the stairs and ramp will be necessary to allow for safe access into the building (the finished floor will not be lowered with this project). This encroachment will still allow for safe travel along the sidewalk and will not negatively affect the adjacent property owners while providing enhanced visitor experiences.

FOR ER INTERNAL USE ONLY:

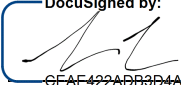
Tier Determination: _____ Project Number: _____ Initials: _____

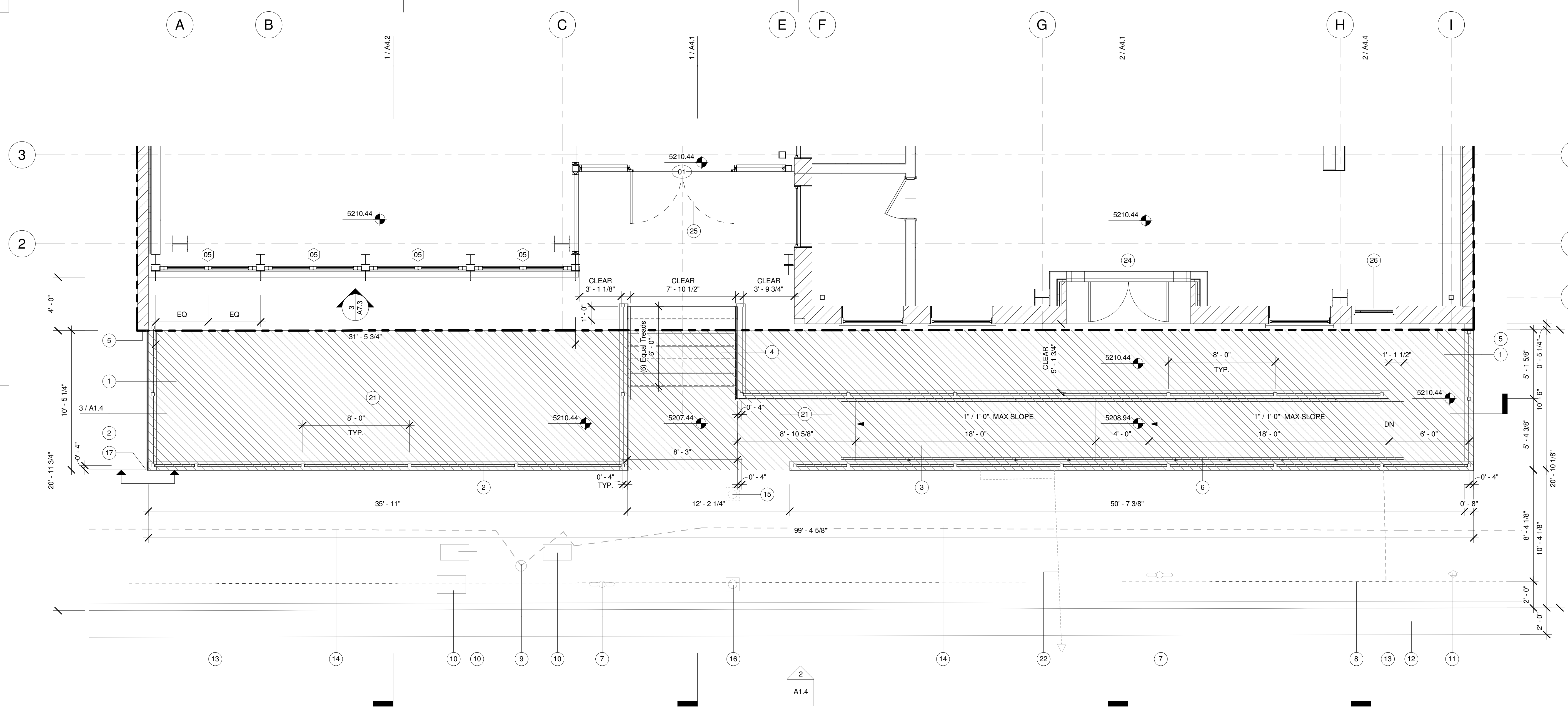


ATTESTATION:

By submitting this permit application and signing below, I understand and agree to the following:

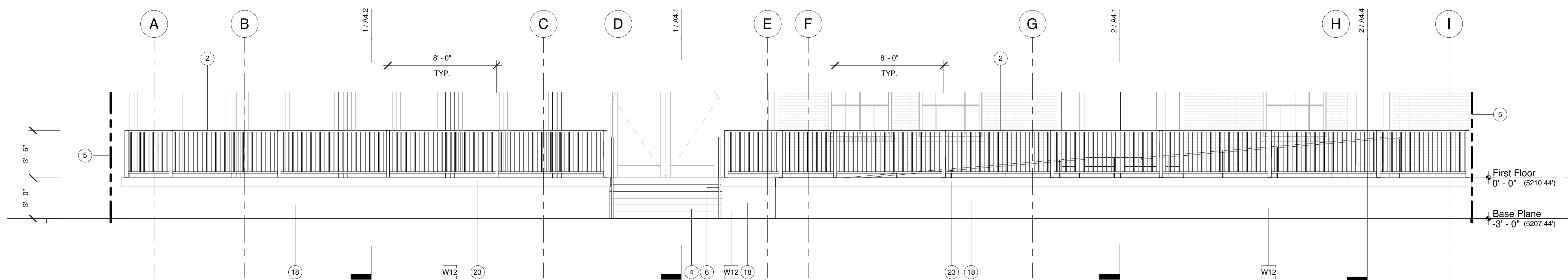
1. That I am the property owner adjacent to the Encroachment Area, or the authorized representative of a Special District, that is responsible for the placement, maintenance, repair, replacement, removal, site restoration, ownership, or is otherwise responsible for the Encroachment in accordance with the Rules & Regulations for Encroachments and Encumbrances in the Public Right-of-Way.
2. That it is the City's sole discretion to classify the Tier of an Encroachment and whether to grant an Encroachment Permit based on any facts the City feels are relevant. The issuance of an Encroachment Permit confers no rights to the Right-of-Way, the Encroachment Permit is revocable and DOTI can order the removal of the Encroachment and restoration of the Encroachment Area for any reason the City feels relevant.
3. Permittee agrees to defend, indemnify, reimburse and hold harmless the City, its appointed and elected officials, agents and employees for, from and against all liabilities, claims, judgments, suits or demands for damages to persons or property arising out of, resulting from, or relating to an Encroachment Permit and the Encroachment ("Claims"). This indemnity shall be interpreted in the broadest possible manner to indemnify City for any acts or omissions of Permittee or its subcontractors either passive or active, irrespective of fault, including City's negligence whether active or passive.
4. Permittee's duty to defend and indemnify City shall arise at the time written notice of the Claim is first provided to City regardless of whether claimant has filed suit on the Claim. Permittee's duty to defend and indemnify City shall arise even if City is the only party sued by claimant and/or claimant alleges that City's negligence or willful misconduct was the sole cause of claimant's damages.
5. Permittee will defend any and all Claims which may be brought or threatened against City and will pay on behalf of City any expenses incurred by reason of such Claims including, but not limited to, court costs and attorney fees incurred in defending and investigating such Claims or seeking to enforce this indemnity obligation. Such payments on behalf of City shall be in addition to any other legal remedies available to City and shall not be considered City's exclusive remedy.
6. Insurance coverage requirements specified in an Encroachment Permit shall in no way lessen or limit the liability of Permittee under the terms of this indemnification obligation. Permittee shall obtain, at its own expense, any additional insurance that it deems necessary for the City's protection.
7. This defense and indemnification obligation shall survive the expiration or termination of any issued Encroachment Permit.
8. Permittee is fully responsible for all costs to install, maintain, repair, replace, remove, and restore the Encroachment Area, including annual City Encroachment Permit Fees. A lien will be placed on the Permittee's property for failure to remove a revoked or abandoned Encroachment for cost incurred by CCD to remove the Encroachment and restore the Encroachment Area on behalf of the Permittee.
9. Indemnity and Insurance for Tier I and Tier II Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier I or Tier II Encroachment, the Owner of such Tier I or Tier II Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier I or Tier II Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$2,000,000 policy aggregate. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.
10. Indemnity and Insurance for Tier III Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier III Encroachment, the Owner of such Tier III Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier III Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$5,000,000 policy aggregate. A combination of primary and excess coverage may be used to meet the aggregate limit. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.

ADJACENT PROPERTY OWNER SIGNATURE:	DocuSigned by:  CEAE422ADB3D4AG...	DATE:	8/23/2022
PRINT NAME:	Sam Lee	TITLE:	GP
COMPANY:	Denver 1920 Market, LLC		



1 Enlarged ROW Plan

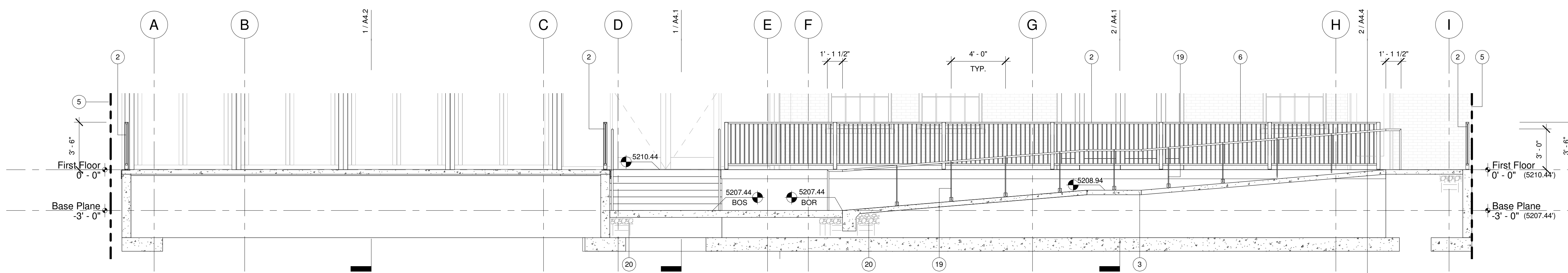
Scale: 1/4" = 1'-0"



2 ROW Patio Elevation

Scale: 1/4" = 1'-0"

Ref: A1.4



3 Cross-Section - Ramp

Scale: 1/4" = 1'-0"

Ref: A1.4

Keynotes:

- 1 EXTERIOR PATIO, TIER III ENCROACHMENT PERMIT, RECEPTION #
- 2 PAINTED METAL GUARDRAIL, TSSK3 POSTS, TST-5X1.5 TOP AND BOTTOM RAIL, TS 34X3/4 PICKETS @ MAXIMUM 4' O.C.
- 3 ADA COMPLIANT RAMP AND LANDING
- 4 CIP CONCRETE STAIR
- 5 ZONE LOT BOUNDARY (REFERENCE A.L.T.A. SURVEY)
- 6 ADA COMPLIANT HANDRAIL
- 7 EXISTING DUAL-HEAD PARKING METER TO REMAIN
- 8 STEP-OUT ZONE
- 9 COMMUNICATION POLE
- 10 SUBGRADE UTILITY BOX
- 11 PARKING METER TO REMAIN
- 12 2' WIDE CONCRETE PAN
- 13 5' WIDE CONCRETE CURB
- 14 UNDERGROUND ELECTRIC LINE LOCATED BY OTHERS
- 15 EXISTING LIGHT POLE
- 16 EXISTING LIGHT POLE TO BE RELOCATED WITHIN STEP-OUT ZONE
- 17 NEW PROPOSED PATIO, RAMP, AND STAIRS TO ALIGN WITH ADJACENT 1936 MARKET STREET PATIO
- 18 8" CIP CONCRETE STEM WALL
- 19 STEEL BALUSTERS, FINISH TO MATCH HANDRAILS
- 20 4" ABS ON COMPACT FILL
- 21 TIER III ENCROACHMENT PATIO FOOTPRINT SQUARE FOOTAGE: APPROXIMATELY 1,040 S.F. (REFERENCE TIER III ENCROACHMENT EXHIBIT A LAND DESCRIPTION + ILLUSTRATION BY HARRIS KOCHER SMITH DATED 08.17.22 FOR COMPLETE EXTENTS)
- 22 UNDERGROUND WATER LINE LOCATED BY OTHERS
- 23 WELDED STEEL ANGLE, PAINT TO MATCH GUARDRAIL
- 24 NEW PROPOSED DOUBLE DOOR TO REPLACE THE NON-HISTORIC EXISTING GARAGE DOORS
- 25 MAIN ENTRY, EXTRUDED ALUMINUM STOREFRONT DOUBLE DOORS WITH CLEAR 1" LOW-E IGU
- 26 EXISTING NON-HISTORIC MAN DOOR TO REMAIN LOCKED DURING HOURS OF OPERATION, NOT A MEANS OF EGRESS

System Notes:

Reference Sheet A0.0 - System Schedule for Additional Info

Walls:

- W1 EXISTING MASONRY WALL, REPOINT ALL EXISTING MASONRY
- W2 EXISTING MASONRY PARTY WALL, REPOINT ALL EXISTING MASONRY
- W3 (1-HR. EXT. WALL) CONT. INSULATION SYSTEM (CI) TYPE T-3 (EXT.), OVER EXT. GRADE GWB TYPE B-2 (EXT.), 8" MTL STUD @ 16" O.C. (CORE), W/ 5/8" GWB TYPE F-1 (INT.)
- W4 (INT.) 8" MTL STUD @ 16" O.C. (CORE), W/ 5/8" GWB TYPE F-1 (BOTH SIDES)
- W5 (INT.) 8" MTL STUD @ 16" O.C. W/ 5/8" GWB
- W6 16" MTL STUD (CORE) PLUMBING WALL; 6" MTL STUDS STAGGERED AT 16" O.C. W/ 5/8" GWB (BOTH SIDES)
- W7 8" C.I.P. CONCRETE WALL
- W13 (UL L419) (INT.) 8" DOUBLE MTL STUD (14 1/2" CAVITY) @ 16" O.C. W/ 5/8" GWB TYPE F-1 (BOTH SIDES)
- W14 (INT.) 10" MTL STUD @ 16" O.C. W/ 5/8" GWB, ROOF DRAIN LEADER - MEDIA WALL
- W16 (INT.) 8" MTL STUD @ 16" O.C. W/ CLOSED CELL SPRAY FOAM INSULATION, 5/8" TYPE-X GWB INT. FACE
- W17 (UL L419) (INT.) 8" DOUBLE MTL STUD (16" CAVITY) @ 16" O.C. W/ 5/8" GWB TYPE F-1 (BOTH SIDES)
- W18 (INT.) 3 5/8" MTL STUD @ 16" O.C. W/ CLOSED CELL SPRAY FOAM INSULATION (REFERENCE PLANS INSULATION FOR LOCATIONS), 5/8" TYPE-X GWB INT. FACE
- W19 (INT.) 6" MTL STUD @ 16" O.C. W/ 5/8" GWB TYPE F-1 (BOTH SIDES)
- W20 12" CAST-IN-PLACE REINFORCED CONCRETE FOUNDATION WALL
- W21 (EXT.) 26" MTL STUD CAVITY W/ STUDS @ 16" O.C. W/ 5/8" GWB EXT.
- W22 (UL L419) (EXT.) 2" CI (EXT.), 8" DOUBLE MTL STUD (14 1/2" CAVITY) @ 16" O.C. W/ 5/8" GWB TYPE F-1 (BOTH SIDES)
- W23 1-HR (INT.) 8" MTL STUD @ 16" O.C. W/ (2) LAYERS OF 5/8" GWB TYPE F-1 (ONE SIDE)
- W24 (1-HR. EXT. WALL) CONT. INSULATION SYSTEM (CI) TYPE T-3 (EXT.) OVER EXT. GRADE GWB TYPE B-2 (EXT.), 6" MTL STUD @ 16" O.C. (CORE), W/ 5/8" GWB TYPE F-1 (INT.)
- W25 (1-HR. EXT. WALL) CONT. INSULATION SYSTEM (CI) TYPE T-3 (EXT.) OVER EXT. GRADE GWB TYPE B-2 (EXT.), 3 5/8" MTL STUD @ 16" O.C. (CORE), W/ 5/8" GWB TYPE F-1 (INT.)
- W26 (INT.) 12" MTL STUD @ 16" O.C. W/ 5/8" GWB TYPE F-1 (BOTH SIDES)
- W29 (EXT.) 8" MTL STUD @ 16" O.C. W/ 5/8" GWB TYPE F-1 (BOTH SIDES), 1/4" EXT. GRADE PLYWOOD, 7/8" VERTICAL HAT CHANNELS, 7/8" HORIZONTAL HAT CHANNELS

Roofs:

- R1 TPO ROOFING SYSTEM TYPE T-1, OVER 1/2" COVERBOARD, OVER TAPERED RIGID INSULATION MIN. 5" THICKNESS, OVER 2" METAL DECKING
- R2 <varies>
- R3 TPO ROOFING SYSTEM OVER 1/2" COVERBOARD OVER TAPERED INSULATION TYPE T-5 CRICKET SLOPED TO DRAIN
- R5 ROOFING AT STOREFRONT, METAL ROOFING PANELS TYPE T-1, OVER WATERPROOFING MEMBRANE, OVER 1/2" COVERBOARD, OVER RIGID INSULATION 5" THICKNESS, OVER 1 1/2" METAL DECK
- R-4 ROOFING AT CLERESTORY, TPO ROOFING SYSTEM TYPE T-1, OVER 1/2" COVERBOARD, OVER TAPERED RIGID INSULATION MIN. 5" THICKNESS, OVER 5/8" GWB, 6" MTL STUDS, 5/8" GWB (INT.)

Floors:

- G1 (EXT.) 4" CAST-IN-PLACE CONCRETE SLAB
- G2 REINFORCED LG CONCRETE ON GRADE, 5" TOTAL DEPTH
- G3 REINFORCED LG CONCRETE ON 1.5 METAL DECK, 5" TOTAL DEPTH
- G4 OUTDOOR TERRACE PERMEABLE FLOORING, 1" FINISH FLOORING, 1" STRUCTURAL PLASTIC GRATING OVER VARIABLE PEDESTALS
- G5 6" CIP CONCRETE BOTTOM STAIR LANDING

Legend:

- TIER III ENCROACHMENT PATIO FOOTPRINT SQUARE FOOTAGE: 1,040 S.F. (REFERENCE EXHIBIT A LAND DESCRIPTION + ILLUSTRATION BY HARRIS KOCHER SMITH DATED: 08.17.22 FOR COMPLETE TIER III ENCROACHMENT EXTENTS)

Sheet Notes:

UNLESS NOTED OTHERWISE, ALL FLOOR PLAN DIMENSIONS ARE MEASURED FROM:
 OUTSIDE FACE OF MASONRY, CONCRETE OR METAL FRAME, U.N.O.
 CENTERLINE OF WINDOWS AND DOORS AT METAL FRAME.
 CENTERLINE OF COLUMNS.
 CENTERLINE OF INTERIOR METAL STUD WALLS.

G.W.B. PANELS ARE SCHEDULED AND NOTED.
 ALL EXPOSED INTERIOR GYP. BD. TO BE SANDED AND TAPED.

ALL MASONRY DIMENSIONS ARE NOMINAL.
 REFER TO EXTERIOR ELEVATIONS AND SYSTEMS & FINISH SCHEDULE FOR FINISHES.

ALL BUILDING MATERIALS INTENDED TO REMAIN EXPOSED SHALL BE FREE FROM MARKINGS, UNSIGHTLY BLEMISHES OR OTHER FLAWS - COORDINATE WITH ARCHITECT.

ELEVATION HEIGHTS REFERENCE DISTANCE ABOVE OR BELOW FINISH FLOOR ELEVATION
 (FFE: 0'-0") 5210.44 (USGS) REF: CIVIL DWGS + ALTA SURVEY

NOTE: TEMPERED GLASS LOCATIONS FOR TEMPERED GLAZING LOCATIONS REFERENCE DOOR & WINDOW SCHEDULE AND ELEVATIONS.

ALL SITE AND BUILDING ACCESSIBILITY SHALL COMPLY AND BE CONSTRUCTED IN ACCORDANCE WITH THE 2010 AMERICANS WITH DISABILITIES ACT STANDARDS AND ITS AMENDMENTS. PER THE UNITED STATES ACCESS BOARD: "THE ADA STANDARDS AND ALL APPLICABLE STATE AND LOCAL REQUIREMENTS MUST BE SATISFIED. WHERE THERE IS A DIFFERENCE, THE STANDARD THAT PROVIDES GREATER ACCESSIBILITY MUST BE FOLLOWED. REFER ALSO TO SHEET G06 GENERAL ACCESSIBILITY FOR TYPICAL ADA DETAILS."

Revision

Revision	Description

Circle West Architects, P.C. expressly disclaims any responsibility from any unauthorized use of these plans, drawings and notes. Any authorization must be in writing. This drawing may have been reproduced at a size different than originally drawn. The owner and architect assume no responsibility for use of incorrect scale. Drawings are not to be scaled. Not Published - all rights reserved.

CIRCLE WEST ARCHITECTS

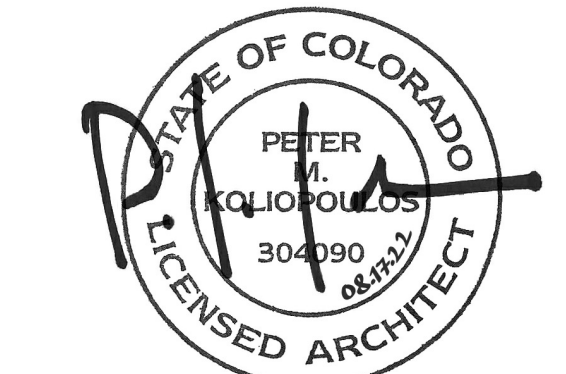
4148 NORTH ARCADIA DRIVE PHOENIX, ARIZONA 85018

TELEPHONE 720.319.7031

WEBSITE CIRCLEWEST.NET

Riot Hospitality Group
 7525 East Camelback Road Suite #100 Scottsdale, Arizona 85251

1920 Market Street Denver, Colorado 80202



Expires 12.31.20

- SCHEMATIC DESIGN
- DESIGN REVIEW
- DESIGN DEVELOPMENT
- PERMITTING + CONSTRUCTION
- RECORD DRAWINGS

Project No. 22002

Plan Check No.

Design Review No.

Checked By PK

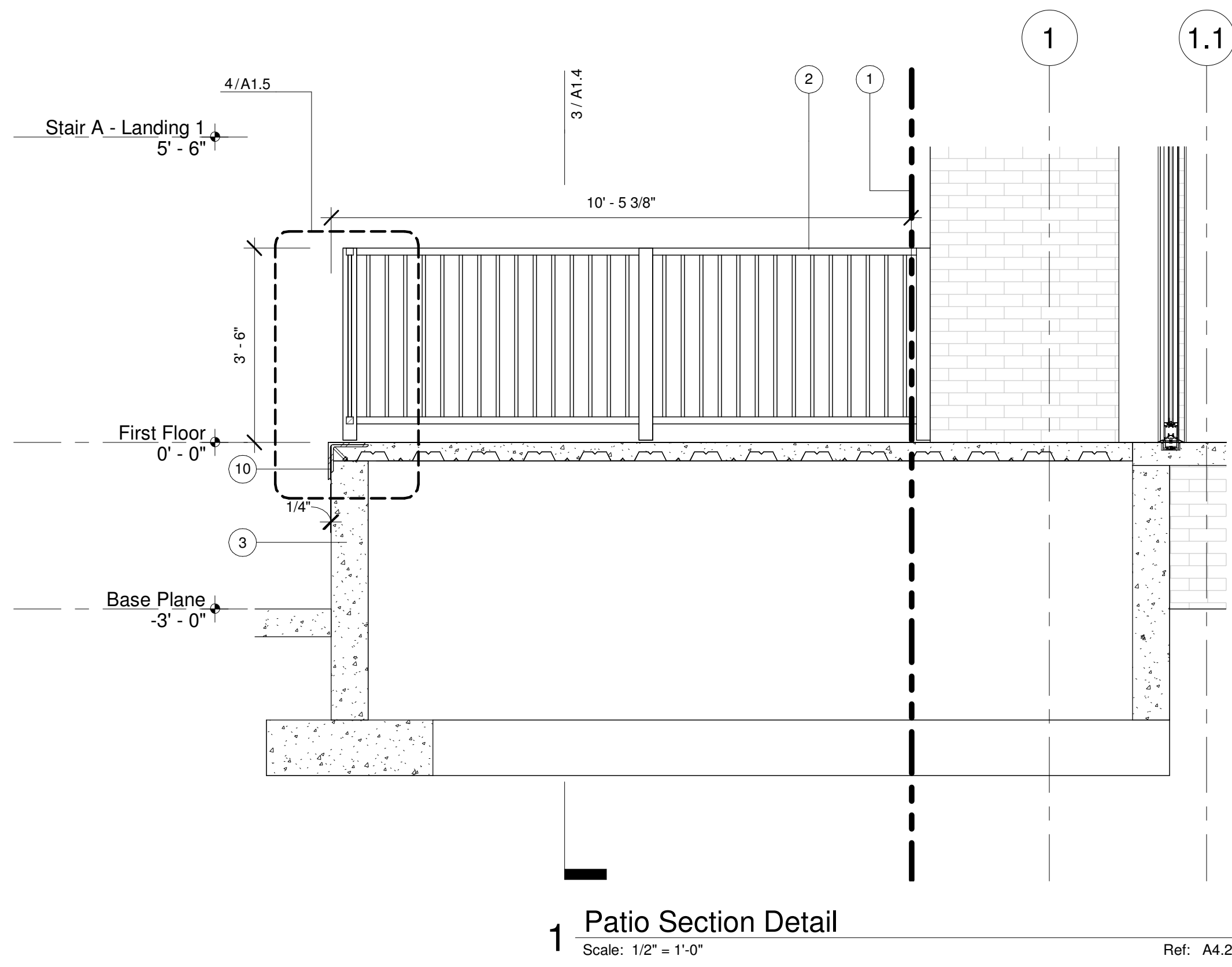
Drawn By SA

Date 08.17.22

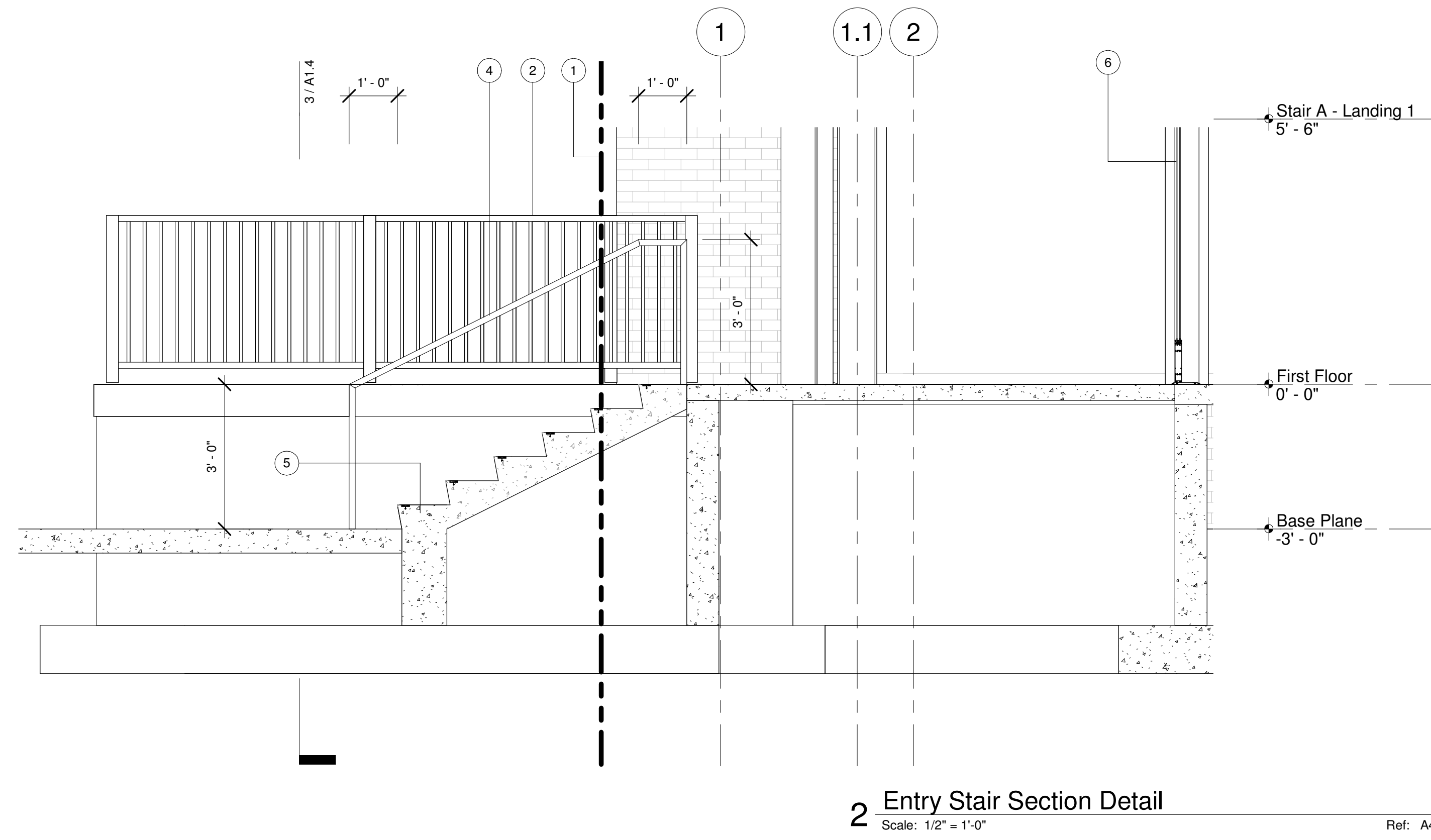
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Site Details

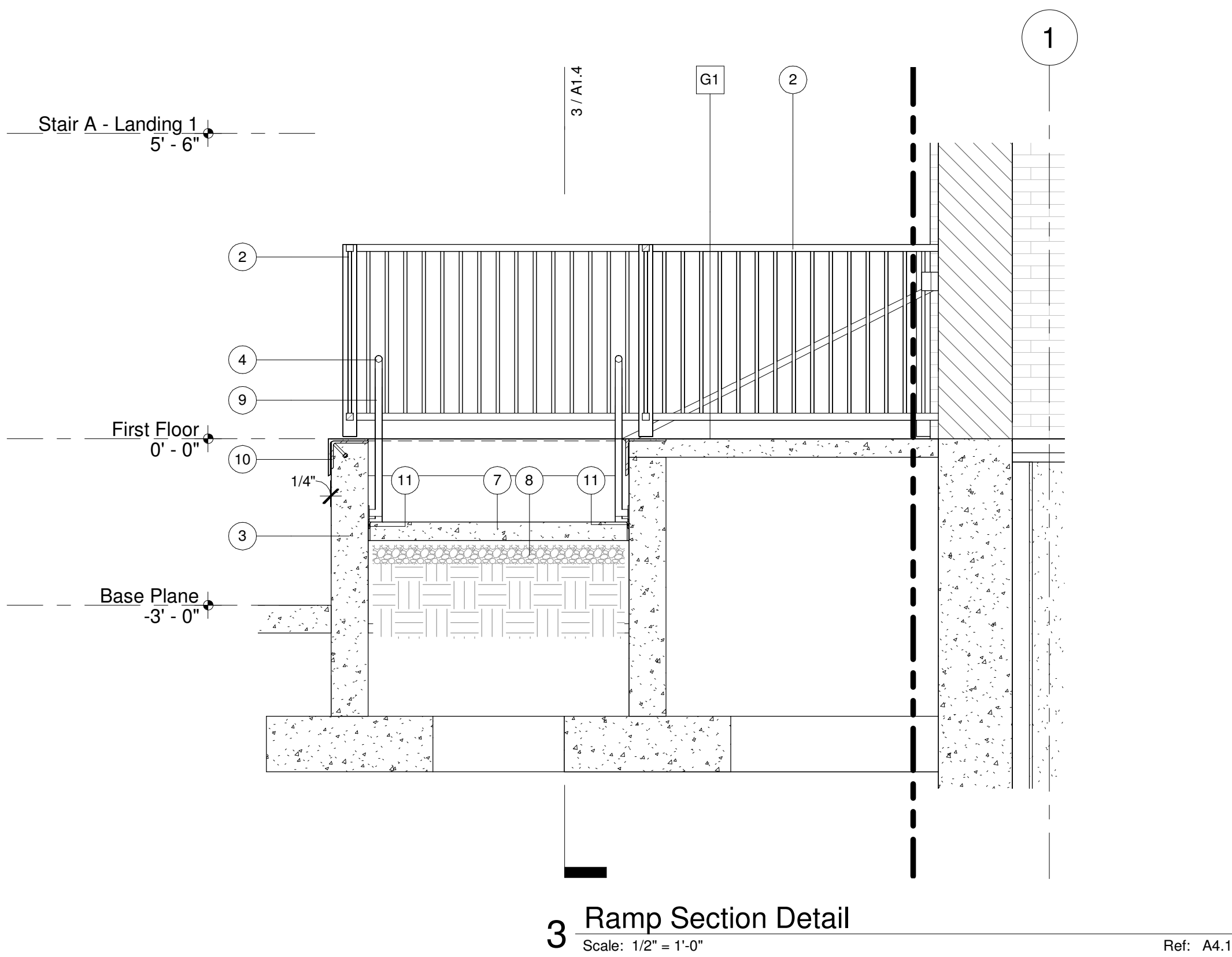
Sheet No. A1.4



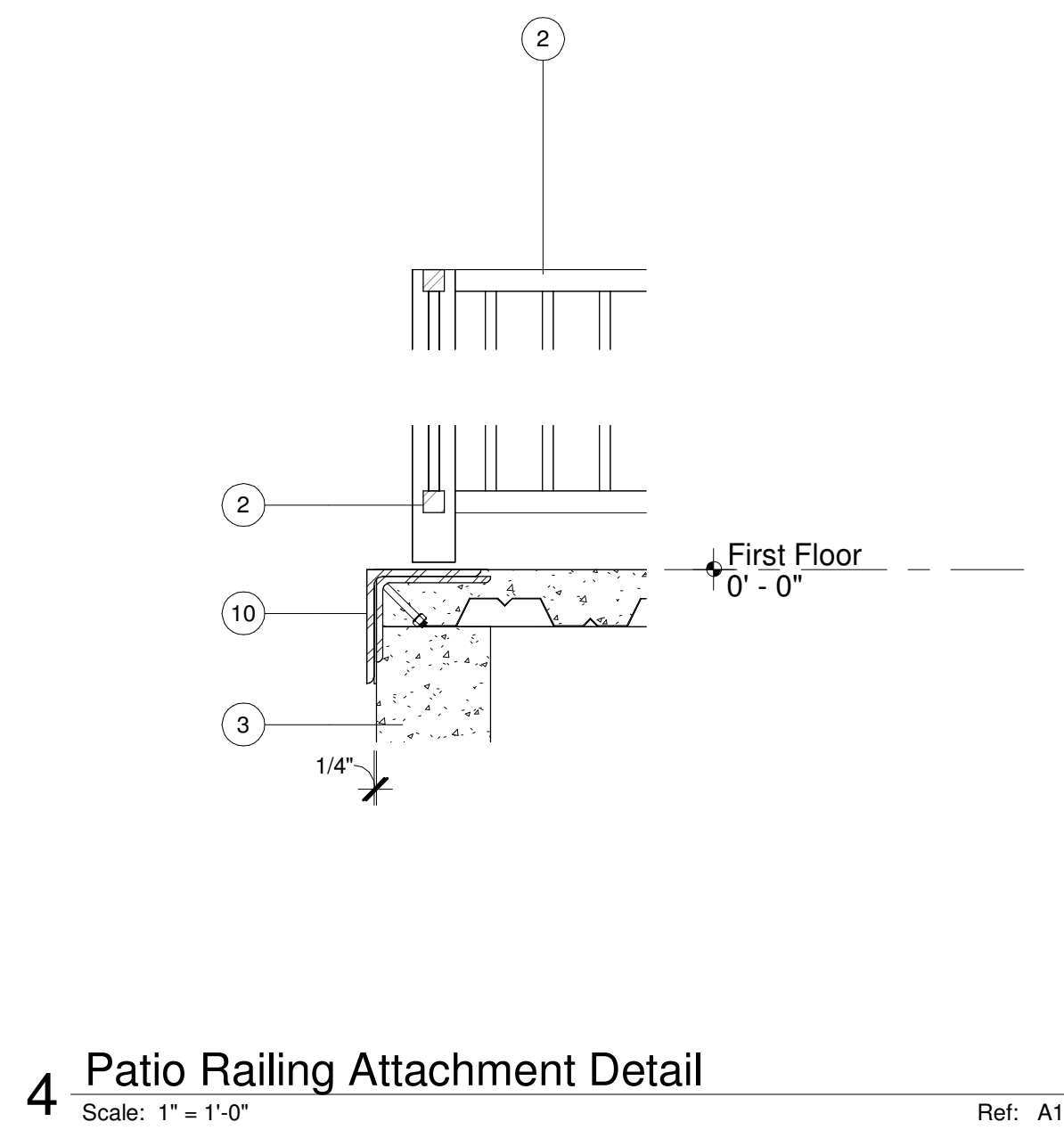
1 Patio Section Detail
Scale: 1/2" = 1'-0"
Ref: A4.2



2 Entry Stair Section Detail
Scale: 1/2" = 1'-0"
Ref: A4.1



3 Ramp Section Detail
Scale: 1/2" = 1'-0"
Ref: A4.1



4 Patio Railing Attachment Detail
Scale: 1/2" = 1'-0"
Ref: A4.5

Keynotes:

- 1 ZONE LOT BOUNDARY (REFERENCE A.L.T.A. SURVEY)
- 2 PAINTED METAL GUARDRAIL, TSX33 POSTS, TS1.5X1.5 TOP AND BOTTOM RAIL, TS 3/4X3/4 PICKETS @ MAXIMUM 4" O.C.
- 3 8" CIP CONCRETE STEIN WALL
- 4 ADA COMPLIANT HANDRAIL
- 5 CIP CONCRETE STAIR
- 6 MAIN ENTRY, EXTRUDED ALUMINUM STOREFRONT DOUBLE DOORS WITH CLEAR 1" LOW E IGU
- 7 ADA COMPLIANT RAMP AND LANDING
- 8 4" ABS ON COMPACT FILL
- 9 STEEL BALUSTERS, FINISH TO MATCH HANDRAILS
- 10 WELDED STEEL ANGLE, PAINT TO MATCH GUARDRAIL
- 11 3/8" CONT. BACKER ROD + SEALANT

System Notes:

Reference Sheet A4.0 - System Schedule for Additional Info

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Roofs:

- R1 TPO ROOFING SYSTEM TYPE T-1, OVER 1/2" COVERBOARD, OVER TAPERED RIGID INSULATION MIN. 5" THICKNESS, OVER 2" METAL DECKING
- R2 <varies>
- R3 TPO ROOFING SYSTEM OVER 1/2" COVERBOARD OVER TAPERED INSULATION TYPE T-5 CRICKET SLOPED TO DRAIN
- R5 ROOFING AT STOREFRONT, METAL ROOFING PANELS TYPE T-1, OVER WATERPROOFING MEMBRANE, OVER 1/2" COVERBOARD, OVER RIGID INSULATION 5" THICKNESS, OVER 1 1/2" METAL DECK
- R4 ROOFING AT CLERESTORY, TPO ROOFING SYSTEM TYPE T-1, OVER 1/2" COVERBOARD, OVER TAPERED RIGID INSULATION MIN. 5" THICKNESS, OVER 5/8" GWB, 6" MTL STUDS, 5/8" GWB (INT.)

Floors:

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- G2 REINFORCED LG CONCRETE ON GRADE, 5" TOTAL DEPTH
- G3 REINFORCED LG CONCRETE ON 1.5 METAL DECK, 5" TOTAL DEPTH
- G4 OUTDOOR TERRACE PERMEABLE FLOORING, 1" FINISH FLOORING, 1" STRUCTURAL PLASTIC GRATING OVER VARIABLE PEDESTALS
- G5 6" CIP CONCRETE BOTTOM STAIR LANDING

Sheet Notes:

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- CENTERLINE OF WINDOWS AND DOORS AT METAL FRAME.
- CENTERLINE OF COLUMNS.
- CENTERLINE OF INTERIOR METAL STUD WALLS.

G.W.B. PANELS ARE SCHEDULED AND NOTED.
ALL EXPOSED INTERIOR GYP. BD. TO BE SANDED AND TAPED.

ALL MASONRY DIMENSIONS ARE NOMINAL.

REFER TO EXTERIOR ELEVATIONS AND SYSTEMS & FINISH SCHEDULE FOR FINISHES.

ALL BUILDING MATERIALS INTENDED TO REMAIN EXPOSED SHALL BE FREE FROM MARKINGS, UNSIGHTLY BLEMISHES OR OTHER FLAWS - COORDINATE WITH ARCHITECT.

ELEVATION HEIGHTS REFERENCE DISTANCE ABOVE OR BELOW FINISH FLOOR ELEVATION (FFE: 0'-0") S210.44' (USGS) REF: CIVIL DWGS + ALTA SURVEY

NOTE: TEMPERED GLASS LOCATIONS FOR TEMPERED GLAZING LOCATIONS REFERENCE DOOR & WINDOW SCHEDULE AND ELEVATIONS.

ALL SITE AND BUILDING ACCESSIBILITY SHALL COMPLY AND BE CONSTRUCTED IN ACCORDANCE WITH THE 2010 AMERICANS WITH DISABILITIES ACT STANDARDS AND ITS AMENDMENTS. PER THE UNITED STATES ACCESS BOARD: "THE ADA STANDARDS AND ALL APPLICABLE STATE AND LOCAL REQUIREMENTS MUST BE SATISFIED. WHERE THERE IS A DIFFERENCE, THE STANDARD THAT PROVIDES GREATER ACCESSIBILITY MUST BE FOLLOWED. REFER ALSO TO SHEET G06 GENERAL ACCESSIBILITY FOR TYPICAL ADA DETAILS.

Revision

Circle West Architects, P.C. expressly disclaims any responsibility from any unauthorized use of these plans, drawings and notes. Any authorization must be in writing. This drawing may have been reproduced at a size different than originally drawn. The owner and architect assume no responsibility for use of incorrect scale. Drawings are not to be scaled. Not Published - all rights reserved.

CIRCLE WEST ARCHITECTS

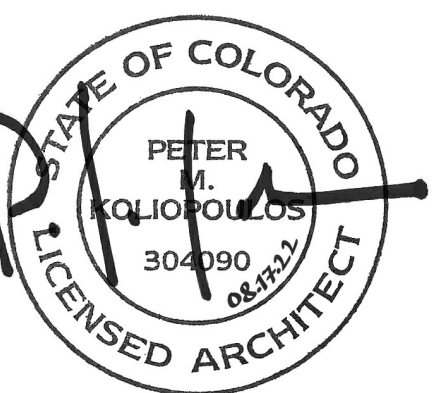
4148 NORTH ARCADIA DRIVE PHOENIX, ARIZONA 85018

TELEPHONE 720.319.7031

WEBSITE CIRCLEWEST.NET

Riot Hospitality Group
7525 East Camelback Road Suite #100 Scottsdale, Arizona 85251

1920 Market Street Denver, Colorado 80202



Expires 12.31.20

- SCHEMATIC DESIGN
- DESIGN REVIEW
- DESIGN DEVELOPMENT
- PERMITTING + CONSTRUCTION
- RECORD DRAWINGS

Project No. 22002

Plan Check No.

Design Review No.

Checked By PK

Drawn By SA

Date 08.17.22

Title

Site Details

Sheet No. A1.5

EXHIBIT A
LAND DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF MARKET STREET RIGHT-OF-WAY ADJOINING BLOCK 50, EAST DENVER, SITUATED IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST CORNER OF SAID BLOCK 50;
THENCE NORTH 44°59'13" EAST ALONG THE NORTHWEST LINE OF SAID BLOCK 50, A DISTANCE OF 98.30 FEET TO THE POINT OF BEGINNING;
THENCE NORTH 45°06'13" WEST, A DISTANCE OF 12.50 FEET;
THENCE NORTH 44°59'13" EAST PARALLEL WITH SAID NORTHWEST LINE, A DISTANCE OF 104.00 FEET;
THENCE SOUTH 45°06'13" EAST, A DISTANCE OF 12.50 FEET TO A POINT ON SAID NORTHWEST LINE;
THENCE SOUTH 44°59'13" WEST ALONG SAID NORTHWEST LINE, A DISTANCE OF 104.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 1,300 SQUARE FEET OF 0.03 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE 20-FOOT RANGE LINE IN MARKET STREET BETWEEN 19TH STREET AND 20TH STREET. SAID LINE ASSUMED AS BEARING NORTH 44°59'13" EAST.

PREPARED BY: AARON MURPHY
 PLS 38162
ON BEHALF OF: HARRIS KOCHER SMITH
 1120 LINCOLN ST, SUITE 1000
 DENVER, CO 80205

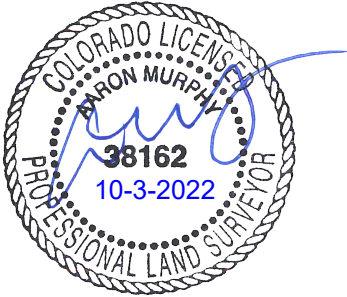
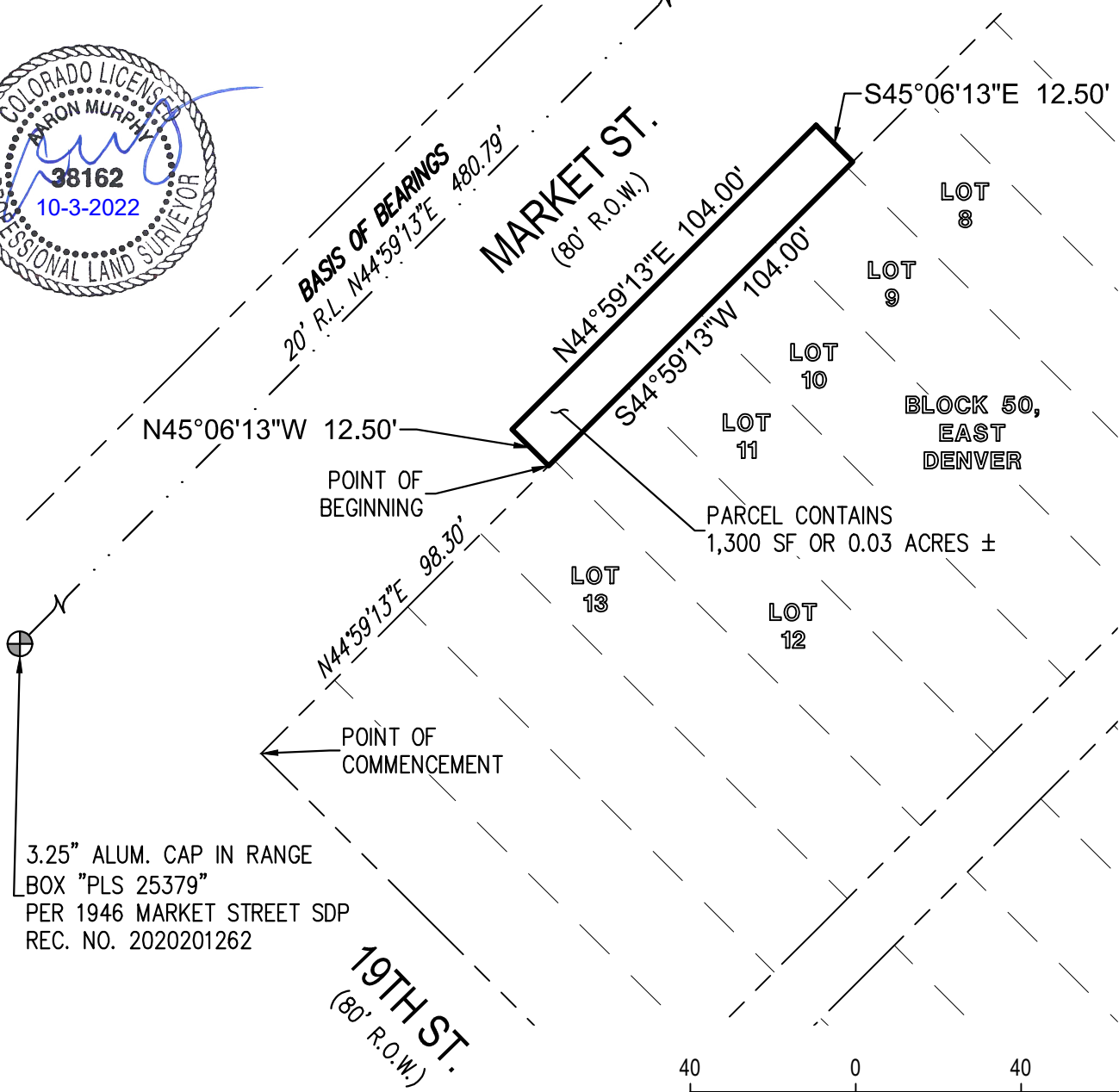


ILLUSTRATION FOR EXHIBIT A

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 34,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY AND COUNTY OF DENVER, STATE OF COLORADO



ILLEGIBLE 3.25" CDOT ALUM.
CAP IN RANGE BOX
PER 1946 MARKET STREET SDP
REC. NO. 2020201262



Plotted: MON 10/03/22 12:05:48P By: Tom Grubestic Filepath: k:\220708survey\trway encr.dwg Layout: layout1

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

3.25" ALUM. CAP IN RANGE
BOX "PLS 25379"
PER 1946 MARKET STREET SDP
REC. NO. 2020201262

PARCEL CONTAINS
1,300 SF OR 0.03 ACRES ±



SCALE: 1" = 40'

NOTE:
THIS EXHIBIT DOES NOT REPRESENT A MONUMENTED LAND SURVEY.
IT IS INTENDED TO DEPICT ONLY THE ATTACHED DESCRIPTION.

HKS **HARRIS KOCHER SMITH**
 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

ILLUSTRATION FOR
EXHIBIT A

PROJECT #: 220708
CHECKED BY: AWM
DRAWN BY:
SHEET NUMBER
2
2 OF 2

Tier III 1920 Market St - Patio - Ramp - Stairs

02/07/2023

Master ID: 2022-PROJMSTR-0000031 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000076 **Review Phase:**
Location: **Review End Date:** 09/20/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: DS Transportation Review

Review Status: Approved

Reviewers Name: Mindy Christensen
Reviewers Email: Mindy.Christensen@denvergov.org

Status Date: 02/07/2023
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000076 - Tier III 1920 Market St - Patio - Ramp - Stairs
Reviewing Agency/Company: City & County of Denver/DOTI DES Transportation
Reviewers Name: Mindy Christensen
Reviewers Phone: 7208653216
Reviewers Email: mindy.christensen@denvergov.org
Approval Status: Approved

Comments:

Status Date: 10/20/2022
Status: Approved w/Conditions
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000076 - Tier III 1920 Market St - Patio - Ramp - Stairs
Reviewing Agency/Company: City & County of Denver
Reviewers Name: Mindy Christensen
Reviewers Phone: 7208653216
Reviewers Email: mindy.christensen@denvergov.org
Approval Status: Approved with conditions

Comments:

DES Transportation will allow the frontage for 1920 Market to match that of the neighboring property at 1946 Market. The includes:

The encroachment permit must be approved by all stakeholders.

An 8' public sidewalk along the frontage is required. This is consistent with DOTI standards for public sidewalk along arterial roadways and frontages with a FL to PL dimension of 21'.

Any reduction to the amenity zone width which impacts the ability to plant trees must be coordinated with Forestry.

Any reduction of the amenity zone will need to be coordinated with the placement of parking meters, signs, any tree grates.

Status Date: 09/01/2022
Status: Denied
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000076 - Tier III 1920 Market St - Patio - Ramp - Stairs
Reviewing Agency/Company: City & County of Denver
Reviewers Name: Mindy Christensen
Reviewers Phone: 7208653216
Reviewers Email: mindy.christensen@denvergov.org
Approval Status: Denied

Comment Report

Tier III 1920 Market St - Patio - Ramp - Stairs

02/07/2023

Master ID: 2022-PROJMSTR-0000031 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000076 **Review Phase:**
Location: **Review End Date:** 09/20/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Comments:
Steps may not encroachment more than 5' into the ROW.
Steps may not exceed 30" in height above adjacent grade.
An 8' wide accessible route is required around the steps.

Reviewing Agency: DS Project Coordinator Review Review Status: Approved - No Response

Reviewers Name: Sarah Kaplan
Reviewers Email: Sarah.Kaplan@denvergov.org

Status Date: 09/21/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Survey Review Review Status: Approved

Reviewers Name: Thomas Savich
Reviewers Email: Thomas.Savich@denvergov.org

Status Date: 10/13/2022
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000076 - Tier III 1920 Market St - Patio - Ramp - Stairs
Reviewing Agency/Company: DOTI/ROWS/SURVEY
Reviewers Name: Thomas Savich
Reviewers Phone: 818.809.8753
Reviewers Email: thomas.savich@denvergov.org
Approval Status: Approved

Comments:
All 6 required Item are in the Legal Descriptions- APPROVED folder and uploaded herein as well.

Attachment: a-Approved-SitePlan-001.pdf

Attachment: b-Approved-Vesting Deed-001.pdf

Attachment: c-Approved-Title Policy-001.pdf

Attachment: d-Approved-Vestind Deed Description-001.docx

Attachment: e-Description and Illustration-002.pdf

Attachment: f-Description and Illustration-002.docx

Status Date: 09/19/2022
Status: Denied
Comments: Survey comments are in the Comments folder.

REDLINES uploaded to E-review webpage

Reviewing Agency: DES Wastewater Review Review Status: Approved

Comment Report

Tier III 1920 Market St - Patio - Ramp - Stairs

02/07/2023

Master ID: 2022-PROJMSTR-0000031 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000076 **Review Phase:**
Location: **Review End Date:** 09/20/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewers Name: Jack Kasprzak
Reviewers Email: Jack.Kasprzak@denvergov.org

Status Date: 08/31/2022
Status: Approved
Comments: Wastewater has no objections or comments on the proposed patio/ramp/stairs encroaching into the ROW.

Reviewing Agency: City Council Referral **Review Status:** Approved - No Response

Status Date: 09/21/2022
Status: Approved - No Response
Comments:

Reviewing Agency: CenturyLink Referral **Review Status:** Approved - No Response

Status Date: 09/21/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Xcel Referral **Review Status:** Approved w/Conditions

Status Date: 01/26/2023
Status: Approved w/Conditions
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000076 - Tier III 1920 Market St - Patio - Ramp - Stairs
Reviewing Agency/Company: Public Service Company of Colorado dba Xcel Energy
Reviewers Name: Donna George
Reviewers Phone: 3035713306
Reviewers Email: donna.l.george@xcelenergy.com
Approval Status: Approved with conditions

Comments:
It is acknowledged that the current access to the gas meter will be maintained with the updated patio/ramp. Please contact Colorado 811 before excavating. Use caution and hand dig when excavating within 18-inches of each side of the marked facilities. Please be aware that all risk and responsibility for this request are unilaterally that of the Applicant/Requestor.

Status Date: 09/21/2022
Status: Denied
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000076 - Tier III 1920 Market St - Patio - Ramp - Stairs
Reviewing Agency/Company: Public Service Company of Colorado dba Xcel Energy
Reviewers Name: Donna George
Reviewers Phone: 3035713306
Reviewers Email: donna.l.george@xcelenergy.com
Approval Status: Denied

Comments:
.
The patio must allow access to the existing natural gas meter – please verify meter location and access, and show the meter and gas service line on the plan.

Status Date: 09/21/2022

Comment Report

Tier III 1920 Market St - Patio - Ramp - Stairs

02/07/2023

Master ID: 2022-PROJMSTR-0000031 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000076 **Review Phase:**
Location: **Review End Date:** 09/20/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status: Approved - No Response
Comments:

Reviewing Agency: RTD Referral Review Status: Approved

Status Date: 09/21/2022
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000076 - Tier III 1920 Market St - Patio - Ramp - Stairs
Reviewing Agency/Company: RTD
Reviewers Name: C. Scott Woodruff
Reviewers Phone: 303-299-2943
Reviewers Email: clayton.woodruff@rtd-denver.com
Approval Status: Approved

Comments:

Status Date: 09/21/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Comcast Referral Review Status: Approved - No Response

Status Date: 09/21/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Metro Wastewater Referral Review Status: Approved - No Response

Status Date: 09/21/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Street Maintenance Referral Review Status: Approved - No Response

Status Date: 09/21/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Office of Emergency Management Referral Review Status: Approved - No Response

Status Date: 09/21/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Building Department Review Review Status: Approved

Reviewers Name: Keith Peetz
Reviewers Email: keith.peetz@denvergov.org

Status Date: 09/16/2022
Status: Approved
Comments: In addition to obtaining Encroachment Permit approval the applicant must submit, via a separate submittal, construction

2022-ENCROACHMENT-0000076

Comment Report

Tier III 1920 Market St - Patio - Ramp - Stairs

02/07/2023

Master ID: 2022-PROJMSTR-0000031 **Project Type:** Tier III Encroachment Resolution

Review ID: 2022-ENCROACHMENT-0000076 **Review Phase:**

Location: **Review End Date:** 09/20/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

documents and structural calculations for the elevated exterior plaza, exterior stairway, and ramp to the building department for review and approval; and obtain a Commercial Construction permit.

Reviewing Agency: Division of Real Estate Referral

Review Status: Approved

Reviewers Name: Jason Clements

Reviewers Email: jason.clements@denvergov.org

Status Date: 09/06/2022

Status: Approved

Comments:

Reviewing Agency: Denver Fire Department Review

Review Status: Approved

Reviewers Name: Richard Tenorio

Reviewers Email: richard.tenorio@denvergov.org

Status Date: 09/20/2022

Status: Approved

Comments: Denver Fire Dept. Approved - RT

Reviewing Agency: Denver Water Referral

Review Status: Approved

Status Date: 02/07/2023

Status: Approved

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000076 - Tier III 1920 Market St - Patio - Ramp - Stairs

Reviewing Agency/Company: Denver Water

Reviewers Name: Kela Naso

Reviewers Phone: 13036286302

Reviewers Email: kela.naso@denverwater.org

Approval Status: Approved

Comments:

Status Date: 09/21/2022

Status: Approved w/Conditions

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000076 - Tier III 1920 Market St - Patio - Ramp - Stairs

Reviewing Agency/Company: Denver Water

Reviewers Name: Kela Naso

Reviewers Phone: 13036286302

Reviewers Email: kela.naso@denverwater.org

Approval Status: Approved with conditions

Comments:

New patio and staircase must maintain a minimum clearance of 5' from the second valve on the fireline/ domestic combination service for this building.

Status Date: 09/21/2022

Status: Approved - No Response

Comments:

Reviewing Agency: Parks and Recreation Review

Review Status: Approved

Comment Report

Tier III 1920 Market St - Patio - Ramp - Stairs

02/07/2023

Master ID: 2022-PROJMSTR-0000031 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000076 **Review Phase:**
Location: **Review End Date:** 09/20/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewers Name: Jennifer Cervera
Reviewers Email: Jennifer.Cervera@denvergov.org

Status Date: 09/20/2022
Status: Approved
Comments:

Reviewing Agency: Policy and Planning Referral **Review Status:** Approved - No Response

Status Date: 09/21/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Denver Office of Disability Rights Referral **Review Status:** Approved

Status Date: 09/21/2022
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000076 - Tier III 1920 Market St - Patio - Ramp - Stairs
Reviewing Agency/Company: DODR
Reviewers Name: Juan Pasillas
Reviewers Phone: 720-913-3309
Reviewers Email: juan.pasillas@denvergov.org
Approval Status: Approved

Comments:
*Approved.

*Final construction (including any later modifications to the current design) shall continue to adhere with all applicable accessibility requirements of this review (2010 Americans with Disabilities Act "ADA").

Status Date: 09/21/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Construction Engineering Review **Review Status:** Approved

Reviewers Name: Porames Saejiw
Reviewers Email: Joe.Saejiw@denvergov.org

Status Date: 09/15/2022
Status: Approved

Comments: 1. Prior to the solicitation of bids or proposals from general contractors, the developer of this project is strongly encouraged to schedule an office meeting with the Right-of-Way Services Construction Inspections team (303) 446-3469 to discuss the project's impact to city traffic, streets, roads, alleys and sidewalks, and the associated ROW permit fees that will need to be paid by the selected general contractor.

Reviewing Agency: TES Sign and Stripe Review **Review Status:** Approved - No Response

Reviewers Name: Brittany Price
Reviewers Email: Brittany.Price@denvergov.org

Comment Report

Tier III 1920 Market St - Patio - Ramp - Stairs

02/07/2023

Master ID: 2022-PROJMSTR-0000031 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000076 **Review Phase:**
Location: **Review End Date:** 09/20/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status Date: 09/21/2022
Status: Approved - No Response
Comments:

Reviewing Agency: City Forester Review Review Status: Approved

Reviewers Name: Erin Hatch
Reviewers Email: Erin.Hatch@denvergov.org

Status Date: 01/25/2023
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000076 - Tier III 1920 Market St - Patio - Ramp - Stairs
Reviewing Agency/Company: Forestry (OCF)
Reviewers Name: Erin Hatch
Reviewers Phone: (720) 913 - 0643
Reviewers Email: Erin.Hatch@denvergov.org
Approval Status: Approved

Comments:

Status Date: 09/21/2022
Status: Denied
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000076 - Tier III 1920 Market St - Patio - Ramp - Stairs
Reviewing Agency/Company: Forestry (OCF)
Reviewers Name: Erin Hatch
Reviewers Phone: (720) 913 - 0643
Reviewers Email: Erin.Hatch@denvergov.org
Approval Status: Denied

Comments:

Denied. Coordinate approval with approval of SDP. Forestry requests planting of new tree during conceptual review, encroachment as designed in this submittal would not allow adequate width to accommodate both necessary walk width and 5x15 tree.

Status Date: 09/21/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Landmark Review Review Status: Approved

Reviewers Name: Brittany Bryant
Reviewers Email: Brittany.Bryant@denvergov.org

Status Date: 09/15/2022
Status: Approved
Comments:

Reviewing Agency: CDOT Referral Review Status: Approved

Status Date: 09/21/2022

Comment Report

Tier III 1920 Market St - Patio - Ramp - Stairs

02/07/2023

Master ID: 2022-PROJMSTR-0000031 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000076 **Review Phase:**
Location: **Review End Date:** 09/20/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000076 - Tier III 1920 Market St - Patio - Ramp - Stairs
Reviewing Agency/Company: CDOT Region 1 ROW/survey
Reviewers Name: dane courville
Reviewers Phone: 7206720231
Reviewers Email: dane.courville@state.co.us
Approval Status: Approved

Comments:
Does not affect CDOT on-system ROW. Proposed effort is approved as the location does not affect CDOT ROW.

Status Date: 09/21/2022
Status: Approved - No Response
Comments:

Reviewing Agency: ERA Review Review Status: Approved - No Response

Reviewers Name: Shari Bills
Reviewers Email: Shari.Bills@denvergov.org

Status Date: 09/21/2022
Status: Approved - No Response
Comments: