

**INTERGOVERNMENTAL AGREEMENT BETWEEN THE
HOUSING AUTHORITY OF THE CITY AND COUNTY OF DENVER
AND THE CITY AND COUNTY OF DENVER**

This Intergovernmental Agreement (this “IGA”) is made and entered into by and between the **HOUSING AUTHORITY OF THE CITY AND COUNTY OF DENVER**, a public body corporate and politic authorized by the laws of the State of Colorado (“DHA”) with its principal place of business located at 1035 Osage Street, Denver, Colorado 80204 and the **CITY AND COUNTY OF DENVER**, a municipal corporation of the State of Colorado whose address is 1437 Bannock, Denver, CO 80202 (“City”). City and DHA may be referred to herein together as the “Parties” or individually as a “Party”).

WITNESSETH:

WHEREAS, DHA owns and has redeveloped certain property generally located at 3210 N. Shoshone Street in the City and County of Denver, State of Colorado (the “Property”), as affordable housing, including 53 units of 1-, 2-, and 3-bedroom affordable housing units, below grade parking (53 stalls), and other resident amenities; and

WHEREAS, the City desires to support the redevelopment of the Property, particularly by advancing the reconstruction of the south side of the intersection at 32nd Ave. and Shoshone St. as specified in this IGA to provide safe and convenient routes and facilities for all modes of transportation in and around the 32nd and Shoshone intersection, as well as support the addition of green space, enhanced tree canopies, and the neighborhood experience (collectively, and as more particularly described in **Exhibit A** attached hereto and incorporated herein by this reference, the “Project”); and

WHEREAS, the City intends to directly fund or reimburse DHA for the design and construction cost of the Improvements, as further described herein, related to the Project, which is estimated to cost approximately \$900,000 (“Base Project Cost”) along with any additional Project-related costs in excess of Base Project Costs (collectively, “Total Actual Project Costs”) pursuant to the terms and conditions set forth herein; and

WHEREAS, pursuant to the City’s Charter, Article XIV, Section 18(2)(a) of the Colorado Constitution and Section 29-1-203, C.R.S., the City and DHA may cooperate or contract with each other to provide any function, service or facility lawfully authorized to each Party, including, among others, the funding and completion of the Improvements.

NOW, THEREFORE, in consideration of the mutual covenants contained herein, DHA and City agree as follows:

ARTICLE 1: CONSTRUCTION OF AND PAYMENT FOR IMPROVEMENTS

Section 1.01 Nature and Scope of the Improvements

The 32nd Avenue, Erie Street, and 18th Street intersection and right of way improvements to be installed by DHA (collectively, the “Improvements”) shall meet City specifications and

requirements, as further shown on the Scope of Work, Typical Sections and Plan View attached as **Exhibit A** (the “Scope of Work”), and shall include the following:

- a. Design, permitting, coordination, and construction of wet and dry utilities, grading, surveying, roadways, curb and gutter, retaining walls, landscaping, irrigation and other scopes of work for the improvements south of the 32nd Avenue centerline as approved by the City and included in DHA’s Transportation and Engineering Plan (and subsequent revisions) associated with Project # 2019-PROJMSTR-0000088.
- b. Construct infrastructure associated with items (a) above in this Section 1.01, all pursuant to the approvals required in Section 2 below;
- c. Comply with the City and County of Denver Standard Materials Management Plan; comply with all applicable environmental laws and demonstrate that soils meet the industrial standards set forth in the “EPA Regional Screening Level (RSL) Summary Table (TR=1E-06, HQ=1)” dated November 2019, as periodically updated or superseded (<https://semspub.epa.gov/work/HQ/199626.pdf>), or for arsenic, demonstrate that soils meet the average background concentration of 11 mg/kg as set forth in the “Colorado Department of Public Health & Environment’s Risk Management Guidance for Evaluating” dated July 2014 (<https://environmentalrecords.colorado.gov/HPRMWebDrawerHM/Recordview/403417>);
- d. Permitting and traffic control to construct the Improvements.

Where any discrepancy exists between the Improvements as outlined above in this IGA and as outlined and shown in **Exhibit A**, the requirements in **Exhibit A** take precedence.

Construction of and all activities related to the Improvements per the Scope of Work constitute the “Project” under this IGA.

Section 1.02 Construction Obligations

- a. DHA shall be solely responsible for the installation of the Improvements.
- b. DHA shall be solely responsible for assuring that all phases of the Scope of Work are properly contracted and performed and that the work done and the materials used are in conformance with all applicable laws (local, state, and federal) that govern the performance of the Scope of Work, including but not limited to the requirements of the federal Americans with Disabilities Act and any other federal or state laws requiring access for the disabled to public accommodations.
- c. In addition to compliance with the above-mentioned laws, all work by DHA required to complete the Scope of Work shall be governed and controlled by all limitations and provisions that are imposed on the City Department of Transportation and Infrastructure by the Charter or ordinances of the City. Specifically, such work shall be performed in compliance with the provisions:
 - i. for competitive procurement set forth in the Denver City Charter at 2.3.3(A)(i) and Section 20-56 of the Denver Revised Municipal Code (“DRMC”);

- ii. for payment of prevailing wages set forth in Sections 20-76 through 20-79, DRMC pertaining solely to the activities in the Scope of Work; and
 - iii. for small business enterprise, equal employment opportunity, and minority and women business enterprise participation that are contained, respectively, in Sections 28-31 through 28-91, DRMC, as the same may be amended or re-codified from time to time.
- d. DHA shall at all reasonable hours ensure right of entry to any City inspector or other authorized agent of the City to the work site to conduct tests and evaluations to determine that the work performed and materials used are of good quality and in conformance with the approved design plans and specifications for the Improvements. If the City determines that the work related to the Improvements is not otherwise being performed in accordance with this IGA, the Manager, defined in Section 2.01(A) below, shall give written notice of such default to DHA prior to material action being taken, including termination, and if DHA does not correct the issue, the City can order that DHA cease to conduct the work until there is satisfactory evidence that the work will be performed in accordance with this IGA or terminate the IGA.
- e. DHA or its contractors shall obtain the City standard right of way bond requirements or a letter of credit from DHA as accepted by the City.
- f. DHA and its contractors and subcontractors shall pay all applicable taxes, which may include sales and use taxes and occupational privilege taxes, levied by the State and the City on any tangible property built into or incorporated into the work. Upon request by the City, DHA shall request from the selected contractor and provide to the City an itemized and certified statement which shall include the names and addresses of the suppliers, the amount of such taxes owed or paid, and the dates of payment.
- g. Insurance Requirements.
 - i. Insurance: Each Party may be self-insured as required by Colorado law, or may acquire insurance to insure the activities undertaken in this IGA. The cost of any such insurance shall be borne exclusively by the Party obtaining such insurance and each Party shall determine what coverage if any is required. This obligation shall survive the termination of this IGA.
 - ii. Subcontractors and Subconsultants: DHA shall include all such subcontractors and subconsultants (“Subcontractors”) as additional insured under its policies (with the exception of Workers’ Compensation) or shall ensure that all such Subcontractors maintain the required coverages. DHA agrees to provide proof of insurance for all such Subcontractors upon request by the City. The insurance coverages specified in this IGA are the minimum requirements, and these requirements do not lessen or limit the liability of the Subcontractors. The Subcontractors shall maintain, at its own expense, any additional kinds or amounts of insurance that it may deem necessary to cover its obligations and liabilities under this IGA.

- iii. Additional Insureds: For Commercial General Liability and Auto Liability, the Subcontractor's insurer(s) shall include the City and County of Denver, its elected and appointed officials, employees and volunteers as additional insured.
- iv. Workers' Compensation/Employer's Liability Insurance: Subcontractors shall maintain the coverage as required by statute for each work location and shall maintain Employer's Liability insurance with limits of \$100,000 per occurrence for each bodily injury claim, \$100,000 per occurrence for each bodily injury caused by disease claim, and \$500,000 aggregate for all bodily injuries caused by disease claims.
- v. Commercial General Liability: Subcontractors shall maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$2,000,000 policy aggregate.
- vi. Business Automobile Liability: Subcontractors shall maintain Business Automobile Liability with limits of \$1,000,000 combined single limit applicable to all owned, hired and non-owned vehicles used in performing services under this IGA.

Section 1.03 Payment for the Improvements

a. DHA will facilitate the construction of the Improvements. The City will pay Total Actual Project Costs to DHA as described in Section 1.01, and as further defined in the Scope of Work attached as Exhibit A. Total Actual Project Costs eligible for City payment include design, construction, contracted services, environmental materials management and permit fees, all as related to the Scope of Work attached as Exhibit A and the Cost Break Out attached hereto as Exhibit B. Notwithstanding any term or provision of this IGA to the contrary, if the Total Actual Project Costs will exceed the Base Project Cost by an amount greater than ten percent (10%) of the Base Project Costs (the "Cost Overrun Amount"), the City's obligation to pay any portion of the Cost Overrun Amount shall be subject to the City receiving a discretionary supplemental appropriation to fund such Cost Overrun Amount as required by the Denver City Charter.

b. The procedure for payment made by the City to DHA for the Improvements shall be as follows:

- i. DHA shall provide the City with a monthly invoice in a format and with a level of detail acceptable to the City to monitor and determine the status of the Work and the costs incurred in connection with the completion of the project, including all supporting documentation required by the City. The City's Prompt Payment Ordinance, §§ 20-107 to 20-118, D.R.M.C., applies to invoicing and payment under this IGA.

- ii. Such documentation shall include periodic invoices evidencing the work performed and the payroll reporting requirements contained in DRMC Section 20-76(d) and pertaining solely to the activities in this IGA.

Section 1.04 Use of Allocated Funds

DHA shall provide any information regarding this Scope of Work, including regarding cost of construction, or installation of the Improvements to the City. DHA agrees that any funds received from the City under this IGA (“Allocated Funds”) may not be invested, if at all, at a rate greater than the rate to be provided by the City’s Finance Department at the time of disbursement of the Allocated Funds to DHA. DHA agrees to provide evidence of compliance with this responsibility at the time the investment, if any, occurs. DHA agrees to monitor the deposit and any investment of Allocated Funds pending disbursement to a third party and provide the City with copies of all bank statements relating to the investment and expenditure of such amounts.

ARTICLE 2: APPROVAL PROCESS FOR IMPROVEMENTS

Section 2.01 Coordination and Liaison

a. The City's DOTI Project Manager (the "Manager") is vested with the authority to act on behalf of the City in performing the City's obligations under this IGA. The Manager may designate someone to act on the Manager’s behalf as the authorized representative. The City may change its authorized representative at any time by providing written notice to DHA of such change.

b. Erin Clark, DHA’s Chief Real Estate Investment Officer, is DHA’s authorized representative under this IGA and, as such, is responsible for overseeing the satisfactory completion of the Project, in accordance with the terms and conditions of this IGA. DHA may change its authorized representative at any time by providing written notice to the City of such change. DHA’s authorized representative shall devote reasonable time and good faith efforts to such responsibility and in connection therewith shall not have personal liability with respect to the Project in the absence of the authorized representative’s gross negligence and willful neglect.

c. The Parties agree to work in partnership to complete the Improvements.

Section 2.02 Design Process

a. Design requirements. DHA shall plan, design, and construct the Improvements in accordance with the City’s standards, guidance, specifications, and all policies, criteria, and guidelines that may apply to the Improvements. This includes, but is not limited to, Denver Department of Transportation and Infrastructure Standards for Right-of-Way Construction, the Ultra Urban Green Infrastructure Guidelines, Denver Moves, Street Light Standards, and the City and County of Denver Standard Materials Management Plan. Plans for Right-of-Way construction shall be in accordance with Denver Public Works’ Transportation Engineering Plan (TEP) Review Submittal Requirements and per Right of Way Services’ Survey Control for Design of City Projects Guidelines. Variance requests shall be submitted by DHA to the City for any design elements that vary from the City’s standards DHA must also follow the requirements contained in Senate Bill 18-167 for Subsurface Utility Engineering.

b. Design approval. DHA shall submit plans or any proposed amendments to the approved plans referenced in Section 1.01 for the Improvements in accordance with the Denver Development Services E-permits process for review and approval by the City, which may include additional design plan submittals at the discretion of the City. Required submissions shall include submittals pursuant to request by Development Services, final plan submittals, and other requested submittals or supporting documentation as reasonably requested by the City.

c. Permits and approvals. DHA shall obtain the necessary approvals and permits from appropriate City entities. DHA and this project are exempt from certain permit fees per a cooperation agreement between DHA and the City.

Section 2.03 Construction Process

DHA shall conduct meetings as necessary to which at a minimum Development Services and Right-of-Way Services will be invited. The Manager or his or her designee will work with DHA to ensure the meetings include relevant City staff. Upon written notification by DHA that the Improvements are complete and the Scope of Work has been accomplished, the City shall inspect the Improvements and (at the City's discretion) may refer areas of new public improvements constructed in public Rights-of-Way to additional City personnel for review, and then notify DHA whether the City agrees that the Improvements are complete and the Scope of Work has been accomplished in whole or whether there are items to be addressed before the City agrees that the Improvements are complete and the Scope of Work has been accomplished. If the Improvements are completed consistent with the approved plans and the Scope of Work has been accomplished, the City shall issue a Letter of Final Acceptance to DHA.

Section 2.04 Project Completion and Acceptance

DHA shall use diligent efforts to cause the Improvements to be completed on or before July 1, 2023 (the "Target Completion Date"), and the City will use diligent efforts to cause required reviews of plans and approvals of required permits for the Improvements to help meet this target completion date. Failure to complete the Improvements by such date shall not constitute a material breach or event of default pursuant to this IGA.

Upon Final Completion of the Improvements as required in Exhibit A, DHA shall provide a Project Closeout Report, documenting the scope, schedule, final accounting of Total Actual Project Costs and expenditures of Allocated Funds, and photos of the Improvements' area before, during, and post-construction. DHA shall ensure that its contractors shall provide to the City a warranty as referenced in Exhibit A. After acceptance by the City of the Improvements eligible to be reimbursed by the Allocated Funds, the City shall be the sole and exclusive owner of the Improvements and shall be solely responsible for operations and maintenance of those Improvements, except as provided in Denver Revised Municipal Code section 49-551.1, which provides, in part, that the owner, occupant or lessee of any real property abutting a constructed right-of-way must provide for the continuing care, maintenance, repair and replacement of all improvements installed in any right-of-way area between their property line and the curb line adjoining their property.

ARTICLE 3 GENERAL PROVISIONS

Section 3.01 Annual Appropriation

The City's payment obligation, whether direct or contingent, extends only to funds appropriated annually by the Denver City Council, paid into the Treasury of the City, and encumbered for the purpose of this IGA. The City does not by this IGA irrevocably pledge present cash reserves for payment or performance in future fiscal years. This IGA does not and is not intended to create a multiple-fiscal year direct or indirect debt or financial obligation of the City.

Section 3.02 Electronic Signatures

DHA consents to the use of electronic signatures by the City. This IGA, and any other documents requiring a signature under this IGA, may be signed electronically by the City in the manner specified by the City, or by DHA in the manner specified by DHA. The Parties agree not to deny the legal effect or enforceability of the IGA solely because it is in electronic form or because an electronic record was used in its formation. The Parties agree not to object to the admissibility of the IGA in the form of an electronic record, or a paper copy of an electronic document, or a paper copy of a document bearing an electronic signature, on the ground that it is an electronic record or electronic signature or that it is not in its original form or is not an original.

Section 3.03 Term

The term of this IGA shall commence upon final execution by all parties and, consistent with the completion date stated in Section 1.02(a) above, shall terminate upon the completion of the Project, as indicated by the City's issuance to DHA of a Letter of Acceptance.

Section 3.04 Termination

- a. Neither Party to this IGA has a right to terminate without cause.
- b. Notwithstanding the preceding paragraph, the City may terminate the IGA if DHA or any of its officers or employees are convicted, plead nolo contendere, enter into a formal agreement in which they admit guilt, enter a plea of guilty or otherwise admit culpability to criminal offenses of bribery, kickbacks, collusive bidding, bid-rigging, antitrust, fraud, undue influence, theft, racketeering, extortion or any offense of a similar nature in connection with DHA's business. Termination for the reasons stated in this paragraph is effective upon receipt of notice.
- c. Upon termination of the IGA, with or without cause, DHA shall have no claim against the City by reason of, or arising out of, incidental or relating to termination, except for compensation for work duly requested and satisfactorily performed as described in the IGA.
- d. If the IGA is terminated, the City is entitled to and will take possession of all materials, equipment, tools and facilities it owns that are in DHA's possession, custody, or control by whatever method the City deems expedient. DHA shall deliver all documents in any form that were prepared under the IGA and all other items, materials and documents that have been paid for by the City to the City. These documents and materials are the property of the City.

DHA shall mark all copies of work product that are incomplete at the time of termination “DRAFT-INCOMPLETE”.

Section 3.05 When Rights and Remedies Not Waived

In no event will any payment or other action by the City constitute or be construed to be a waiver by the City of any breach of covenant or default that may then exist on the part of DHA. No payment, other action, or inaction by the City when any breach or default exists will impair or prejudice any right or remedy available to it with respect to any breach or default. No assent, expressed or implied, to any breach of any term of the IGA constitutes a waiver of any other breach.

Section 3.06 No Discrimination in Employment

In connection with the performance of work under this contract, DHA may not refuse to hire, discharge, promote or demote, or discriminate in matters of compensation against any person otherwise qualified, solely because of race, color, religion, national origin, gender, age, military status, sexual orientation, gender identity or gender expression, marital status, or physical or mental disability. DHA shall insert the foregoing provision in all subcontracts.

Section 3.07 Examination of Records and Audits

Any authorized agent of the City, including the City Auditor or his or her representative, has the right to access, and the right to examine, copy and retain copies, at City’s election in paper or electronic form, any pertinent books, documents, papers and records related to DHA’s performance pursuant to this IGA, provision of any goods or services to the City, and any other transactions related to this IGA. DHA shall cooperate with City representatives and City representatives shall be granted access to the foregoing documents and information during reasonable business hours and until the latter of three (3) years after the final payment under the IGA or expiration of the applicable statute of limitations. When conducting an audit of this IGA, the City Auditor shall be subject to government auditing standards issued by the United States Government Accountability Office by the Comptroller General of the United States, including with respect to disclosure of information acquired during the course of an audit. No examination of records and audits pursuant to this paragraph shall require DHA to make disclosures in violation of state or federal privacy laws. DHA shall at all times comply with D.R.M.C. 20-276.

Section 3.08 Enforcement

The Parties agree this IGA may be enforced in law or in equity for specific performance, injunctive, or other appropriate relief, including actual damages and attorney fees as may be available according to the laws and statutes of the state of Colorado; provided, however, the Parties hereby release any claims for incidental, consequential economic or punitive damages. It is specifically understood that, by executing this IGA, each Party commits itself to perform pursuant to these terms and conditions contained in this IGA, and that any failure to comply which results in any recoverable damages shall not cause the termination of any rights or obligations under this IGA.

Denver, Colorado 80204

To Denver: Department of Transportation & Infrastructure
Eric Osmundsen, Engineering Manager
201 W Colfax Avenue, Dept. 507
Denver, CO 80202

With a copy to: Office of the City Attorney
City and County of Denver
1437 Bannock Street, Room 353
Denver, CO 80202

Notices hand delivered or sent by overnight courier are effective upon delivery. Notices sent by certified mail are effective upon receipt. The Parties may designate substitute addresses where or persons to whom notices are to be mailed or delivered. However, these substitutions will not become effective until actual receipt of written notification.

Section 3.14 IGA as Complete Integration; Amendments

The IGA is the complete integration of all understandings between the parties as to the subject matter of the IGA. No prior, contemporaneous or subsequent addition, deletion, or other modification has any force or effect, unless embodied in the IGA in writing. No oral representation by any officer or employee of the City at variance with the terms of the IGA or any written amendment to the IGA will have any force or effect or bind the City.

Section 3.15 No Joint Venture

This IGA is not intended nor shall this IGA be construed to establish or constitute a joint venture between the Parties.

Section 3.16 Status of Parties

The Parties agree that the status of each Party shall be that of an independent governmental organization and it is not intended, nor shall it be construed, that either Party, or any Party's employee or contractor, is an employee, officer, or agent of the other Party under Chapter 18 of the Denver Revised Municipal Code, or any other law for purposes of unemployment compensation, workers' compensation, or for any purpose whatsoever.

Section 3.17 No Assignment

DHA shall not voluntarily or involuntarily assign any of its rights or obligations, or subcontract performance obligations, under this IGA without obtaining the Manager's prior written consent. Any assignment or subcontracting without such consent will be ineffective and void, and will be cause for termination of this IGA by the City. The Manager has sole and absolute discretion whether to consent to any assignment or subcontracting, or to terminate the IGA because of unauthorized assignment or subcontracting. In the event of any subcontracting or unauthorized

assignment: (i) DHA shall remain responsible to the City; and (ii) no contractual relationship shall be created between the City and any sub-consultant, subcontractor or assign. DHA may, however, contract and/or subcontract the installation of the Improvements as provided in this IGA.

Section 3.18 No Authority to Bind City to Contracts

DHA lacks any authority to bind the City on any contractual matters. Final approval of all contractual matters that purport to obligate the City must be executed by the City in accordance with the City's Charter and the Denver Revised Municipal Code.

Section 3.19 Severability

Except for the provisions of the IGA requiring appropriation of funds and limiting the total amount payable by the City, if a court of competent jurisdiction finds any provision of the IGA or any portion of it to be invalid, illegal, or unenforceable, the validity of the remaining portions or provisions will not be affected, if the intent of the parties can be fulfilled.

Section 3.20 Headings for Convenience

Headings and titles contained herein are intended for the convenience and reference of the Parties only and are not intended to combine, limit, or describe the proper scope or intent of any provision of this IGA.

Section 3.21 Authority

DHA represents and warrants that it possesses the legal authority, pursuant to any proper, appropriate and official motion, resolution or action passed or taken, to enter into the IGA. Each person signing and executing the IGA on behalf of DHA represents and warrants that he has been fully authorized by DHA to execute the IGA on behalf of DHA and to validly and legally bind DHA to all the terms, performances and provisions of the IGA. The City shall have the right, in its sole discretion, to either temporarily suspend or permanently terminate the IGA if there is a dispute as to the legal authority of either DHA or the person signing the IGA to enter into the IGA.

Section 3.22 Conflict of Interest

a. No employee of the City shall have any personal or beneficial interest in the services or property described in IGA. DHA shall not hire, or contract for services with, any employee or officer of the City that would be in violation of the City's Code of Ethics, D.R.M.C. §2-51, et seq. or the Charter §§ 1.2.8, 1.2.9, and 1.2.12.

b. DHA shall not engage in any transaction, activity or conduct that would result in a conflict of interest under the IGA. DHA represents that it has disclosed any and all current or potential conflicts of interest. A conflict of interest shall include transactions, activities or conduct that would affect the judgment, actions or work of DHA by placing DHA's own interests, or the interests of any party with whom DHA has a contractual arrangement, in conflict with those of the City. The City, in its sole discretion, will determine the existence of a conflict of interest and may terminate the IGA if it determines a conflict exists, after it has given DHA written notice describing the conflict.

Section 3.23 Colorado Governmental Immunity Act

The Parties agree that the Parties are relying upon, and have not waived, the monetary limitations and all other rights, immunities and protection provided by the Colorado Governmental Immunity Act, C.R.S. § 24-10-101, *et seq.*

Section 3.24 No Construction Against Drafting Party

DHA and the City acknowledge that each of them and their respective counsel have had the opportunity to review this IGA and that this IGA shall not be construed against any Party merely because this IGA or any of its provisions, have been prepared by a particular Party.

Section 3.25 Execution of IGA

This IGA shall not be or become effective or binding until it has been fully executed by all signatories of City and DHA, and if required by Charter, approved by the City Council.

Section 3.26 Use, Possession or Sale of Alcohol or Drugs

DHA shall cooperate and comply with the provisions of City Executive Order 94 and its Attachment A concerning the use, possession or sale of alcohol or drugs. Violation of these provisions or refusal to cooperate with implementation of the policy can result in contract personnel being barred from City facilities and from participating in City operations.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK.

SIGNATURE PAGE(S) FOLLOW]

Contract Control Number: DOTI-202265717-00
Contractor Name: HOUSING AUTHORITY OF THE CITY AND COUNTY OF DENVER, COLORADO

IN WITNESS WHEREOF, the parties have set their hands and affixed their seals at Denver, Colorado as of:

SEAL

CITY AND COUNTY OF DENVER:

ATTEST:

By:

APPROVED AS TO FORM:

REGISTERED AND COUNTERSIGNED:

Attorney for the City and County of Denver

By:

By:

By:

Contract Control Number:
Contractor Name:

DOTI-202265717-00
HOUSING AUTHORITY OF THE CITY AND COUNTY
OF DENVER, COLORADO

DocuSigned by:
By: Erin Clark
76D2E408999247A...

Name: Erin Clark
(please print)

Title: Chief Real Estate Investment Officer
(please print)

ATTEST: [if required]

By: _____

Name: _____
(please print)

Title: _____
(please print)

EXHIBIT A

Scope of Work

Transportation Engineering Plan (TEP)

2019-TRAN-0000120 - 2019PM0000088 - 32nd and Shoshone
(Improvements South of the Centerline of 32nd Avenue)

CCD TEP GENERAL NOTES

- 1. DES APPROVAL DOES NOT CONSTITUTE A NOTICE TO PROCEED...
2. IMPROVEMENTS MADE WITHIN THE PUBLIC ROW SHALL BE PERFORMED BY A LICENSED AND BONDED ROW CONTRACTOR...
3. ALL WORK SHALL CONFORM TO CURRENT CITY AND COUNTY OF DENVER SPECIFICATIONS...
4. CONSTRUCTION SHALL COMMENCE WITHIN ONE YEAR OF TEP APPROVAL...
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PROJECT PERMITS ASSOCIATED WITH CONSTRUCTION...
6. PERMITTEE SHALL NOTIFY THE CONSTRUCTION ENGINEERING INSPECTOR...
7. CONTRACTOR SHALL MAINTAIN AT LEAST ONE PRINTED COPY OF THE APPROVED PLANS...
8. CONTRACTOR IS RESPONSIBLE FOR BEING AWARE OF, NOTIFYING, COORDINATING AND SCHEDULING ALL INSPECTIONS REQUIRED FOR FINAL APPROVALS...
9. PRIOR TO FINAL ACCEPTANCE, ALL DISTURBED PORTIONS OF ROADWAY ROW SHALL BE CLEANED UP AND RESTORED TO THEIR ORIGINAL CONDITION...
10. ALL WORK, INCLUDING CORRECTION WORK, IS SUBJECT TO NOTIFICATION AND INSPECTION REQUIREMENTS...
11. ALL WORK SHALL BE PROPERLY BACKFILLED PRIOR TO THE END OF THE WORKDAY...
12. NO WORK SHALL BE PERMITTED AT NIGHT OR ON SATURDAYS, SUNDAYS, OR HOLIDAYS...
13. COORDINATE ALL STREET OCCUPANCY OR STREET CUT PERMITS WITH CONSTRUCTION ENGINEERING 2 WEEKS PRIOR TO COMMENCEMENT OF WORK...
14. IN THE EVENT THAT AN EMERGENCY REPAIR TO EXISTING FACILITIES IS NECESSARY...
15. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT...
16. CLOSURES OF ARTERIAL ROADS OR INTERSECTIONS SHALL REQUIRE SITE SPECIFIC TRAFFIC CONTROL PLANS...
17. ALL TRAFFIC CONTROL PLANS AND SCHEDULES MUST BE APPROVED BY CONSTRUCTION ENGINEERING PRIOR TO STREET OCCUPANCY...
18. THE DEVELOPER IS RESPONSIBLE FOR ANY MODIFICATIONS TO EXISTING PAVEMENT MARKINGS NECESSITATED BY THIS DEVELOPMENT...
19. OWNER MUST ACQUIRE A MGPEC COMPLIANT QUALITY CONTROL LABORATORY PRIOR TO STARTING CONSTRUCTION...
20. A MONUMENT RECORD MUST BE FILED WITH THE CITY AND COUNTY SURVEYOR'S OFFICE...
21. ALL RANGE POINTS, TIES, BENCHMARKS, OR OTHER CCD SURVEY CONTROL POINTS...
22. THE CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES AND CONSTRUCTION ENGINEERING THREE DAYS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION...
23. RELOCATION OF UTILITIES SUCH AS POWER POLES AND FIRE HYDRANTS THAT LIE WITHIN THE PUBLIC ROW...
24. PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY ADJACENT TO THE PUBLIC ROW...
25. THE DEVELOPER SHALL PAY XCEL ENERGY FOR THE CONSTRUCTION AND/OR RELOCATION OF STREET LIGHTS WITHIN THE PUBLIC ROW...

CCD TEP GENERAL NOTES CONTINUED

- 26. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION...
27. PATCH ASPHALT PAVING AS NECESSARY TO JOIN NEW GUTTERS WITH THE EXISTING PAVEMENT...
28. CONSTRUCTION OF ANY PORTION OF THE ROADWAY FACILITY, INCLUDING THE PAVEMENT STRUCTURE, SUBSURFACE SUPPORT, DRAINAGE, LANDSCAPING ELEMENTS...
29. WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL IS TO BE PLACED ON THE UPHILL SIDE OF TRENCHES...
30. ALL CONCRETE WORK REQUIRES FULL PANEL REPLACEMENT...
31. MATERIAL REMOVED FROM ANY PORTION OF THE ROADWAY PRISM MUST BE REPLACED IN LIKE KIND WITH EQUAL OR BETTER COMPACTION...
32. ANY EXISTING CURB, GUTTER, DRIVEWAYS, AND SIDEWALK THAT IS FAILING OR DAMAGED MUST BE REPAIRED OR REPLACED AT THE DIRECTION OF CONSTRUCTION ENGINEERING...
33. PROTECTION AND REPLACEMENTS OF STREET IMPROVEMENTS ARE THE RESPONSIBILITY OF THE OWNER UNTIL THESE IMPROVEMENTS ARE FULLY COMPLETED...
34. THE PERMITTEE SHALL NOT SPRAY, CUT, OR TRIM TREES OR OTHER LANDSCAPING ELEMENTS WITHIN ROW UNLESS SUCH WORK IS OTHERWISE SPECIFIED...
35. SEEDING, SODDING, AND PLANTING IN THE ROW SHALL BE AS SPECIFIED OR OTHERWISE APPROVED BY THE CITY AND COUNTY...
36. UNLESS STREETScape HAS BEEN APPROVED, THE DEVELOPER SHALL LANDSCAPE ALL ROW WITH SOD AND TREES...
37. THE PERMITTEE SHOULD REMOVE MATERIALS AND EQUIPMENT FROM THE ROADWAY ROW AT THE CLOSE OF DAILY OPERATIONS...
38. NO CLEATED OR TRACKED EQUIPMENT MAY WORK IN OR MOVE OVER PAVED SURFACES WITHOUT MATS...
39. STREET CUTS IN TO MORATORIUM STREETS WILL REQUIRE EITHER AN OVERLAY OR INFRA-RED PATCH...
40. WHERE THE USE, CONVENIENCE, AND/OR NECESSITY OF THE PUBLIC REQUIRE, THE MANAGER OF PUBLIC WORKS MAY REQUIRE THE OWNERS OR AGENTS OF THE PROPERTY SERVED...
41. WHERE THE USE, CONVENIENCE, AND/OR NECESSITY OF THE PUBLIC REQUIRE, THE MANAGER OF PUBLIC WORKS MAY MODIFY, REMOVE, OR ADD TRAFFIC SIGNS...
42. PRIOR TO THE SOLICITATION OF BIDS OR PROPOSALS FROM GENERAL CONTRACTORS...
43. ANY SAW CUTS AND PATCHING SHOWN IN THIS TEP ARE APPROXIMATE...
44. THE PERMITTEE SHOULD REMOVE MATERIALS AND EQUIPMENT FROM THE ROADWAY ROW AT THE CLOSE OF DAILY OPERATIONS...

UNDERGROUND UTILITY NOTE

- 1. IF AN UNKNOWN UTILITY IS ENCOUNTERED DURING EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEVELOPER'S RESIDENT ENGINEER OR THE DEVELOPER'S REPRESENTATIVE IN WRITING AND WILL NOT PROCEED WITH CONSTRUCTION UNTIL FURTHER NOTICE.

CCD TEP SITE SPECIFIC NOTES

- 1. A SEWER USE AND DRAINAGE PERMIT, ISSUED BY PUBLIC WORKS PERMIT OPERATIONS (PWPO), MUST BE OBTAINED FOR CONSTRUCTION INVOLVING SANITARY OR STORM SEWER FACILITIES...
2. A PERMIT MUST BE OBTAINED FOR PRIVATE IMPROVEMENTS CONSTRUCTED WITHIN THE PUBLIC RIGHT-OF-WAY...
3. WHERE RIGHT-OF-WAY FENCES NEED TO BE REMOVED OR CUT TO FACILITATE CONSTRUCTION...
4. IF LIVESTOCK ARE PRESENT IN AREA OF FENCE REMOVAL, A TEMPORARY FENCE (EQUIVALENT TO THE EXISTING) SHALL BE REQUIRED TO CONTAIN LIVESTOCK UNTIL NEW FENCE IS IN PLACE...

CCD TEP PEDESTRIAN LIGHT SPECIFIC NOTES

- 1. THE ADJACENT PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL UTILITY CHARGES RELATING TO THE PEDESTRIAN LIGHTS AS SHOWN ON THIS SITE DEVELOPMENT PLAN...
2. THE ADJACENT PROPERTY OWNER SHALL MAINTAIN, REPAIR AND REPLACE THE PEDESTRIAN LIGHTS IN LIKE KIND AS NECESSARY...
3. ALL PEDESTRIAN LIGHT WORK WITHIN THE ROW SHALL BE PERFORMED WITH ALL APPROPRIATE ROW PERMITS...
4. IN THE EVENT THE ADJACENT PROPERTY OWNER FAILS TO MAINTAIN THE PEDESTRIAN LIGHTS SHOWN ON THIS SITE DEVELOPMENT PLAN...

CCD TEP STREET/TRAFFIC/PARKING SIGN SPECIFIC NOTES

- 1. STREET, TRAFFIC, AND PARKING SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH DENVER STANDARDS...
2. PARKING SIGNS SHALL BE COORDINATED WITH DENVER PUBLIC WORKS CURBSIDE & PARKING...
3. ALL WORK AND EXPENSES RELATED TO STREET, TRAFFIC, AND PARKING SIGNS SHALL BE CONTRACTOR RESPONSIBILITY.

CCD TEP PARKING METER SPECIFIC NOTES

- 1. ALL PARKING METERS SHALL BE INSTALLED PER CURRENT DENVER STANDARDS...
2. CONTACT DENVER PUBLIC WORKS TRANSPORTATION AND MOBILITY PRIOR TO ORDERING OR INSTALLATION OF PARKING METER POLES...
3. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND/OR REMOVAL OF THE PARKING METER POSTS...
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXPENSES RELATED TO PARKING METER INSTALLATION EXCEPT FOR THE METER HEAD.

CCD TEP TRAFFIC SIGNAL SPECIFIC NOTES

- 1. ALL TRAFFIC SIGNALS SHALL BE INSTALLED PER CURRENT DENVER STANDARDS...
2. ALL WORK RELATED TO THE TRAFFIC SIGNALS POLES SHALL BE PERFORMED BY XCEL ENERGY...
3. THE CONTRACTOR SHALL CALL XCEL ENERGY'S BUILDERS CALL LINE...
4. BE AWARE THAT THERE IS A MINIMUM 4-6 MONTH LEAD TIME WHEN ORDERING TRAFFIC SIGNAL MATERIALS FROM XCEL.

CCD TEP STREET LIGHT SPECIFIC NOTES

- 1. ALL STREET LIGHTS, INCLUDING POLES, FOUNDATIONS, CONDUIT, ELECTRICAL CABINETS AND BOXES SHALL BE INSTALLED TO CURRENT DENVER STANDARDS...
2. ALL WORK RELATED TO STREET LIGHTS, UTILITY POLES AND ELECTRICAL CABINETS OR BOXES SHALL BE PERFORMED BY XCEL ENERGY...
3. THE CONTRACTOR SHALL CALL XCEL ENERGY'S BUILDERS CALL LINE...
4. BE AWARE THAT THERE IS A MINIMUM OF 2-MONTH LEAD TIME WHEN ORDERING STREET LIGHT MATERIALS...

MATERIAL LEGEND

Legend showing material swatches: PROPOSED CONCRETE (PEDESTRIAN) PER CCD STD. DWG. NO. 5.2A; PROPOSED ASPHALT PER CCD STD. DWG. NO. 12.0; PROPOSED DRIVABLE CONCRETE - STANDARD MULTI FAMILY CURB CUT PER CCD STD DWG. 6.1

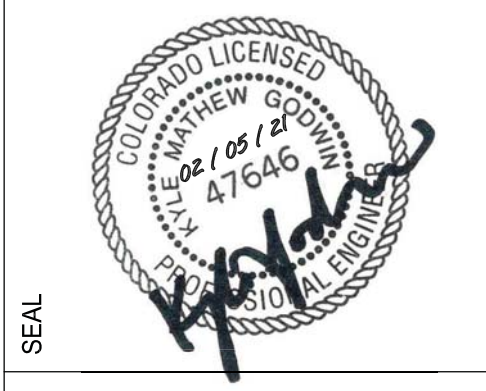
ABBREVIATIONS

Table mapping abbreviations to full names: ADA APPROX AVE BLVD BOC BOS BOW BOWBOW BOWC BOWD BOWE BOWF BOWG BOWH BOWI BOWJ BOWK BOWL BOWM BOWN BOWO BOWP BOWQ BOWR BOWS BOWT BOWU BOWV BOWW BOWX BOWY BOWZ; AMERICANS WITH DISABILITIES ACT APPROXIMATE OR APPROXIMATELY AVENUE BOULEVARD BACK OF CURB BOTTOM OF STAIRS BOTTOM OF WALL CITY AND COUNTY OF DENVER CENTER CIRCLE CENTERLINE CLEAR CONCRETE CONSTRUCTION CONTINUED OR CONTINUOUS DIAMETER DEVELOPMENT ENGINEERING SERVICES DRIVE DRAWING EAST OR EASTING EACH ELEVATION EDGE OF PAVEMENT EXISTING FIRE HYDRANT FLOWLINE FOOTFEET GRADE BREAK HIGH POINT HORIZONTAL HORIZONTAL CONTROL LINE LINEAR FEET LEFT LOW POINT MAXIMUM MANHOLE MIDDLE OR MIDPOINT MINIMUM NORTH OR NORTHING NUMBER NOT TO SCALE ON CENTER PROPOSED PROFILE GRADE LINE PLACE OR PROPERTY LINE PAVEMENT PUBLIC WORKS RADIUS RECEPTION REFERENCE REQUIRED REVISION RIGHT OF WAY SOUTH SQUARE STREET STATION STANDARD SIDEWALK TRANSPORTATION ENGINEERING PLAN TOP OF CURB THICKNESS TOP OF STAIRS TOP OF WALL TYPICAL UNDERGROUND VERTICAL WEST WITH

2019PM000088
2020-TRAN-0000271

WILSON & COMPANY ENGINEER
1675 BROADWAY, SUITE 200
DENVER, COLORADO 80202
PHONE: 303-737-2976
PHONE: 303-737-2693
WWW.WILSONCO.COM

DENVER HOUSING AUTHORITY
1035 OSAGE STREET
DENVER, CO 80204
PHONE: 303-890-9874
WEBSITE: DENVERHOUSING.ORG



32ND AND SHOSHONE RESIDENTIAL
3210 SHOSHONE ST.
DENVER, CO 80211

Table with 4 columns: PROJECT NAME, DESCRIPTION, DATE, REV. (Empty table for project details)

PROJECT NO: 19-600-410-00
DESIGNED BY: EMRT/GW
DRAWN BY: EMRT/GW
CHECKED BY: JMG/KMG
DATE: JANUARY 18, 2021

SHEET TITLE
TEP - NOTES SHEET

SHEET NO: C5.02

City and County of Denver Development Services Site Engineering
DS PROJECT NO. 2019PM000088
PROJECT NAME: 32ND AND SHOSHONE RESIDENTIAL TRANSPORTATION ENGINEERING PLANS
DESIGNED BY: EMR DATE: 01/18/2021 DATE ISSUED: JANUARY 2021 DRAWING NO. C5.02
DRAWN BY: EMR DATE: 01/18/2021
CHECKED BY: JMG/KMG DATE: 01/18/2021 SHEET: 2 OF 27 SHEETS



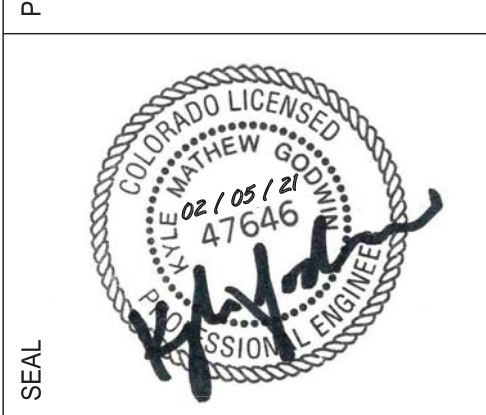
BENCHMARKS
THE BENCHMARK IS A 2" CITY AND COUNTY OF DENVER BRASS CAP #499A AT THE SOUTHEAST CORNER OF PECOS ST AND 32ND AVE ON THE EAST END OF THE INLET AT THE TOP BACK OF CURB, ELEVATION=5212.45, NAVD88.

BASIS OF BEARING:
FOR THE PURPOSE OF THIS DESCRIPTION THE BEARINGS ARE BASED ON THE WEST LINE OF SAID LOT 2, BLOCK 2, H. WITTER'S NORTH DENVER ADDITION AS MONUMENTED BY A NAIL WITH A 1" BRASS TAG LS 23689 AT A 18.5' OFFSET TO THE NORTH-WEST CORNER OF SAID LOT 2 AND BY A #5 REBAR W/ 1-1/4" ORANGE PLASTIC CAP STAMPED LS 38026 AT THE SOUTH END AND BEARS SOUTH 0°04'23" EAST.

2019PM0000088
2020-TRAN-0000271

WILSON & COMPANY
ENGINEER
16375 BROADWAY, SUITE 200
DENVER, COLORADO 80202
PHONE: 303-297-2976
FAX: 303-297-2693
www.wilsonco.com

PROPERTY OWNERS
DENVER HOUSING AUTHORITY
1035 OSAGE STREET
DENVER, COLORADO 80204



PROJECT NAME
32ND & SHOSHONE INTERSECTION
W 32ND AVE. & SHOSHONE ST.
DENVER, CO 80211

NOTE TO CONTRACTOR

VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL POTENTIAL CONFLICTING UTILITIES PRIOR TO CONSTRUCTION OF RIGHT-OF-WAY IMPROVEMENTS.

ABBREVIATIONS

- PL = PROPERTY LINE ELEV
- BOC = BACK OF CURB ELEV
- FL = FLOWLINE ELEV
- ME = MATCH EXISTING
- EL = PROPOSED ELEVATION
- CL = CENTERLINE
- EOW = EDGE OF SIDEWALK
- EX = EXISTING
- PED = PEDESTRIAN
- N = NORTHING
- E = EASTING
- PT = POINT OF TANGENCY
- PI = POINT OF INTERSECTION

LEGEND

1. ELEMENTS WITHIN THE RIGHT OF WAY TO BE REMOVED (SEE NOTE ON THIS SHEET AND CALLOUTS ON THIS PLAN FOR ADDITIONAL INFORMATION).

REPLACEMENT OF PUBLIC IMPROVEMENTS

1. ASPHALT REMOVAL SHALL BE SAW CUT STRAIGHT LINES WITH AS MINIMAL ASPHALT REMOVAL AS POSSIBLE. THE LIMITS OF ALL SAW CUTS SHALL BE DETERMINED BY THE R.O.W. INSPECTOR IN THE FIELD.
2. ALL PROPOSED SIDEWALKS AND CROSSPANS SHALL BE CONSTRUCTED PER CITY AND COUNTY OF DENVER STANDARDS.
3. ALL ASPHALT PATCHING WITHIN THE R.O.W. IS TO BE REPLACED PER CCD STD DWG 12.0 WITH A MINIMUM OF 9" DEPTH OR AT A DEPTH OF THE EXISTING ASPHALT, PLUS ONE INCH (1"), WHICHEVER IS GREATER.

SAWCUT NOTE

1. CONTRACTOR SHALL SAWCUT TO FULL DEPTH USING STRAIGHT LINES ONLY. REMOVE AND REPLACE DISTURBED ASPHALT PER CCD STD DWGS NO. 12.5A AND 12.6.

R.O.W. NOTE

1. R.O.W. INSPECTOR TO DETERMINE IF ADDITIONAL R.O.W. FEATURES WILL NEED TO BE REMOVED AND REPLACED.
2. ANY DAMAGED OR SUBSTANDARD CURB, GUTTER, SIDEWALK, OR AMENITY ZONE SHALL BE REPLACED AS DIRECTED BY THE ROW INSPECTOR.

CONCRETE REPLACEMENT NOTE

1. CURB AND GUTTER, SIDEWALK, AND ROADWAY REPLACEMENT MUST BE TO THE NEAREST CONCRETE JOINT AND THEREFORE THE LIMITS OF CONCRETE REMOVAL/REPLACEMENT ARE ONLY APPROXIMATE.

City and County of Denver
Development Services
Site Engineering

DS PROJECT NO. 2019PM0000088 2020-TRAN-0000271

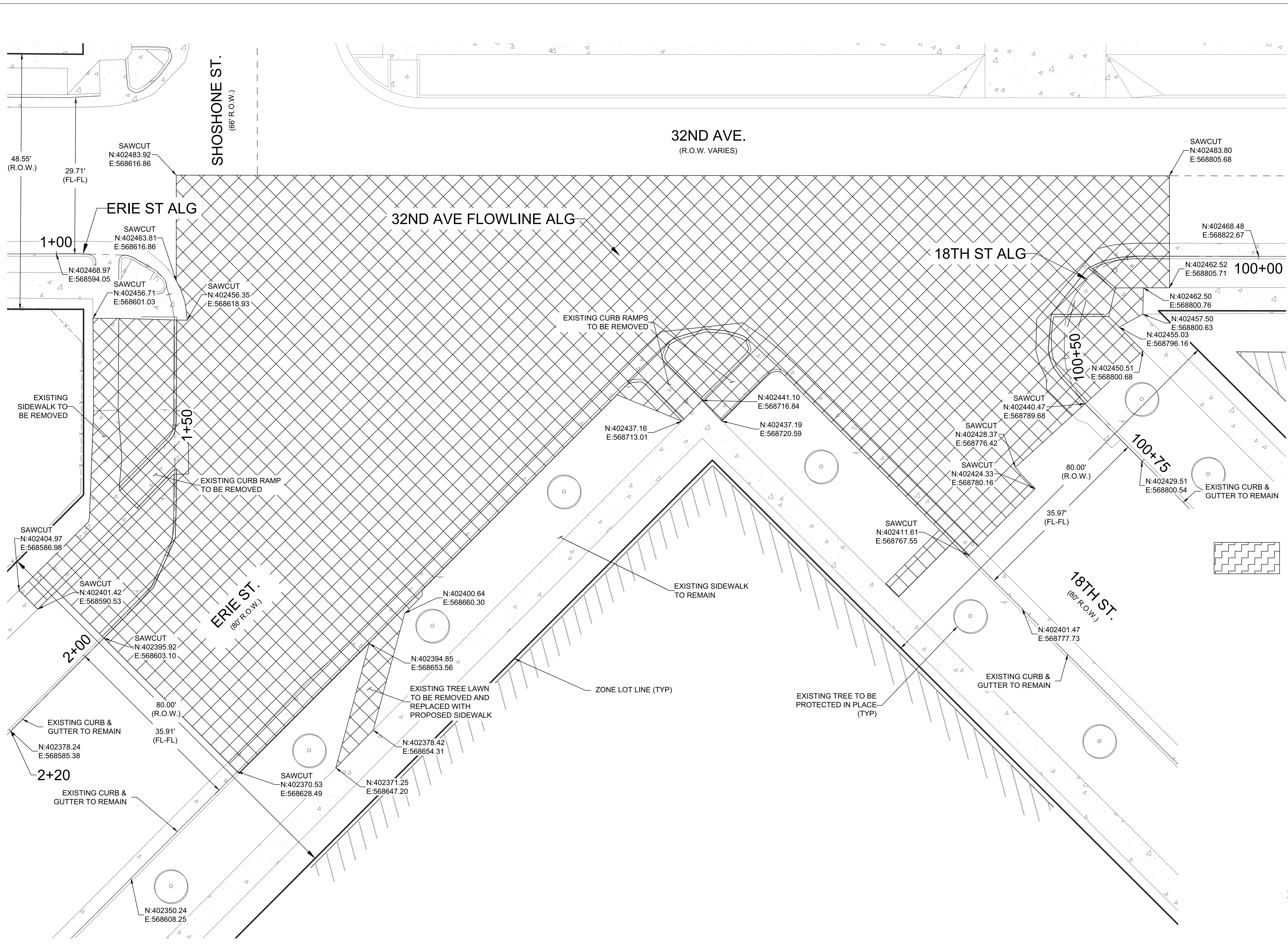
PROJECT NAME:
32ND & SHOSHONE INTERSECTION TRANSPORTATION ENGINEERING PLANS

DESIGNED BY	EMR	DATE	01/18/2021	DATE ISSUED	JANUARY 2021	DRAWING NO.	C5.03A
DRAWN BY	EMR	DATE	01/18/2021				
CHECKED BY	JMG/KMG	DATE	01/18/2021				
				SHEET	4 OF 27 SHEETS		

PROJECT NO:	19-600-412-07
DESIGNED BY:	EMR/TGW
DRAWN BY:	EMR/TGW
CHECKED BY:	JMG/KMG
DATE:	JANUARY 18, 2021

SHEET TITLE
TEP DEMO SHEET (SOUTH SIDE)

DRAWING NO:
C5.03A



BENCHMARK
CITY AND COUNTY OF DENVER BENCHMARK VM3, BEING AN CITY COUNTY OF DENVER BRASS CAP, IN CONCRETE FILLED POST IN THE NORTHEAST CORNER OF PARKING LOT AT CORNER OF 16TH STREET AND BOULDER STREET, HAVING AN ELEVATION OF 5249.83 FEET (NAVD 88).

BASIS OF BEARING:
BEARINGS USED HEREIN ARE BASED ON A 20' RANGE LINE ON WEST 32ND AVE BETWEEN SHOSHONE ST. AND QUIVAS ST., BEING S89°57'36"E USING THE CITY AND COUNTY OF DENVER CONTROL COORDINATES, AS MONUMENTED AT THE WEST ON 32ND AVE AND SHOESHONE ST. BY A FOUND 2" ALUM IN RANGE BOX AZTEC LS38291. AND MONUMENTED AT THE EAST AT 32ND AVE AND QUIVAS AVE AND 14TH AVE BY FOUND 2" ALUM IN RANGE BOX AZTEC LS32428'

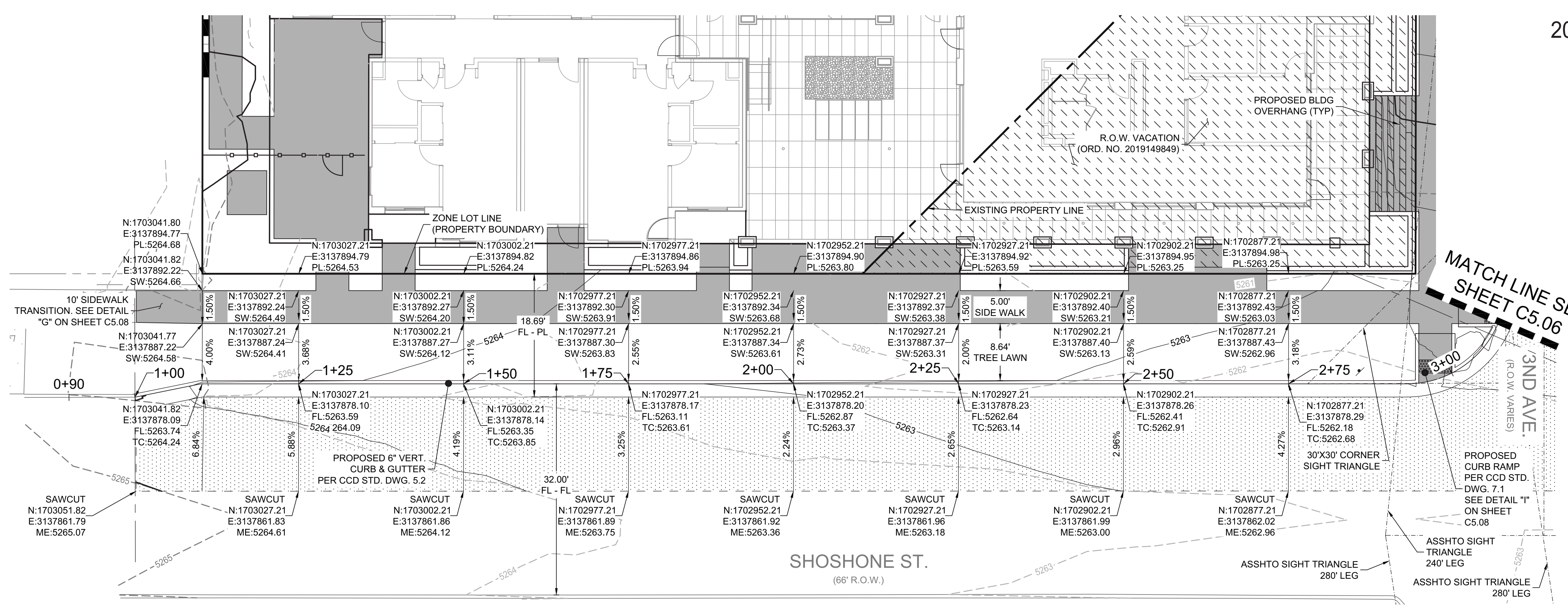
2019PM000088 2020-TRAN-0000271

WILSON & COMPANY
 ENGINEER
 1675 BROADWAY, SUITE 200
 DENVER, COLORADO 80202
 PHONE: 303-297-2976
 FAX: 303-297-2693
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32ND AND SHOSHONE RESIDENTIAL
 PROJECT NAME
 3210 SHOSHONE ST.
 DENVER, CO 80211



A SHOSHONE STREET - PLAN VIEW
 SCALE H: 1" = 10'

NOTE TO CONTRACTOR

VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL POTENTIAL CONFLICTING UTILITIES PRIOR TO CONSTRUCTION OF RIGHT-OF-WAY IMPROVEMENTS.

- ABBREVIATIONS**
- PL = PROPERTY LINE ELEV
 - BOC = BACK OF CURB ELEV
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 - N = NORTHING
 - E = EASTING
 - PT = POINT OF TANGENCY
 - PI = POINT OF INTERSECTION

REPLACEMENT OF PUBLIC IMPROVEMENTS

- ASPHALT REMOVAL SHALL BE SAW CUT STRAIGHT LINES WITH AS MINIMAL ASPHALT REMOVAL AS POSSIBLE. THE LIMITS OF ALL SAW CUTS SHALL BE DETERMINED BY THE R.O.W. INSPECTOR IN THE FIELD.
- ALL PROPOSED SIDEWALKS AND CROSSPANS SHALL BE CONSTRUCTED PER CITY AND COUNTY OF DENVER STANDARDS.
- ALL ASPHALT PATCHING WITHIN THE R.O.W. IS TO BE REPLACED PER CCD STD DWG 12.0 WITH A MINIMUM OF 9" DEPTH OR AT A DEPTH OF THE EXISTING ASPHALT, PLUS ONE INCH (1"), WHICHEVER IS GREATER.

SAWCUT NOTE

- CONTRACTOR SHALL SAWCUT TO FULL DEPTH USING STRAIGHT LINES ONLY. REMOVE AND REPLACE DISTURBED ASPHALT PER CCD STD DWGS NO. 12.5A AND 12.6.

SIGHT TRIANGLE NOTES

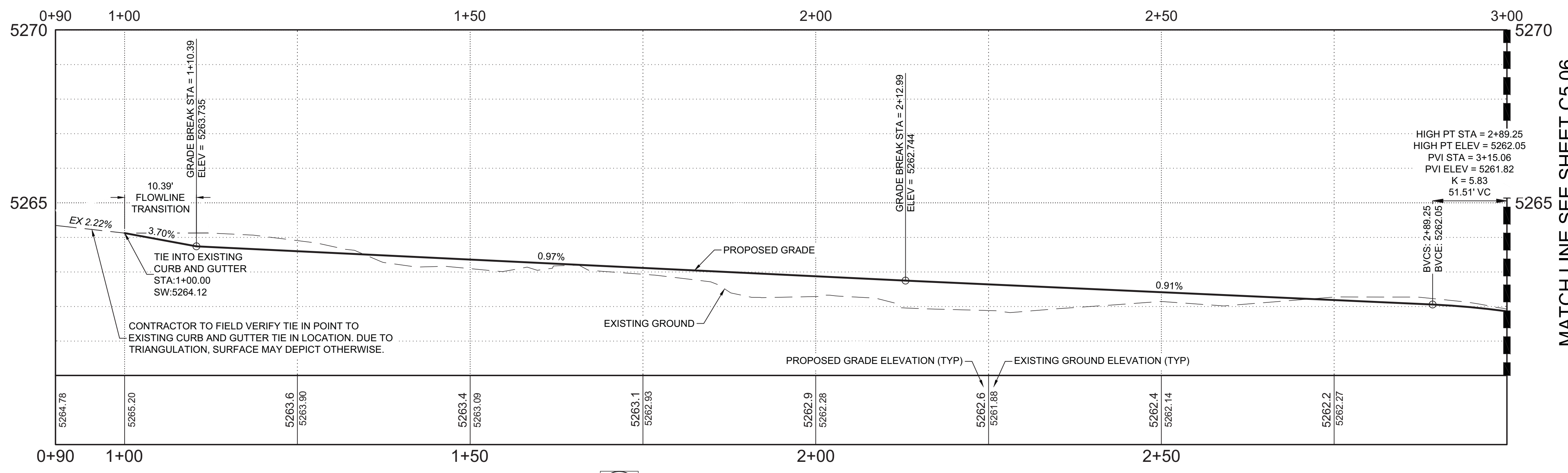
- ROADWAY SIGHT TRIANGLES - NO ITEMS THAT ARE WIDER THAN 18" MAY BE TALLER THAN 30" WITHIN THE ROADWAY SIGHT TRIANGLES EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT
- CORNER SIGHT TRIANGLES - NO ITEMS TALLER THAN 30" MAY BE PLACED WITHIN THE CORNER SIGHT TRIANGLE EXCEPT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT.

R.O.W. NOTE

- R.O.W. INSPECTOR TO DETERMINE IF ADDITIONAL R.O.W. FEATURES WILL NEED TO BE REMOVED AND REPLACED.
- ANY DAMAGED OR SUBSTANDARD CURB, GUTTER, SIDEWALK, OR AMENITY ZONE SHALL BE REPLACED AS DIRECTED BY THE ROW INSPECTOR.

CONCRETE REPLACEMENT NOTE

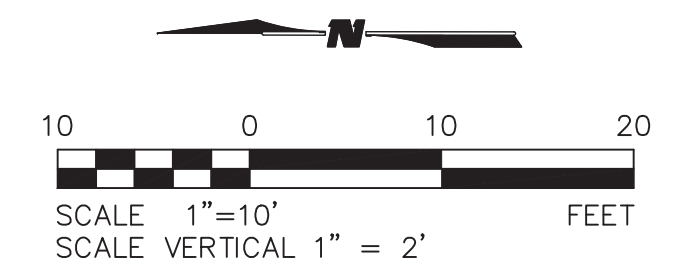
- CURB AND GUTTER, SIDEWALK, AND ROADWAY REPLACEMENT MUST BE TO THE NEAREST CONCRETE JOINT AND THEREFORE THE LIMITS OF CONCRETE REMOVAL/REPLACEMENT ARE ONLY APPROXIMATE.



B SHOSHONE STREET - PROFILE VIEW
 SCALE H: 1" = 10'

MATERIAL LEGEND

- PROPOSED CONCRETE (PEDESTRIAN) PER CCD STD. DWG. NO. 5.2A
- PROPOSED ASPHALT PER CCD STD. DWG. NO. 12.0
- PROPOSED DRIVABLE CONCRETE - STANDARD MULTI FAMILY CURB CUT PER CCD STD DWG. 6.1



MATCH LINE SEE SHEET C5.06

City and County of Denver
 Development Services
 Site Engineering

DS PROJECT NO. 2019PM000088 2020-TRAN-0000271

PROJECT NAME:
32ND AND SHOSHONE RESIDENTIAL TRANSPORTATION ENGINEERING PLANS

DESIGNED BY: EMR DATE: 01/18/2021 DATE ISSUED: JANUARY 2021 DRAWING NO. C5.04

DRAWN BY: EMR DATE: 01/18/2021

CHECKED BY: JMG/KMG DATE: 01/18/2021 SHEET 5 OF 27 SHEETS

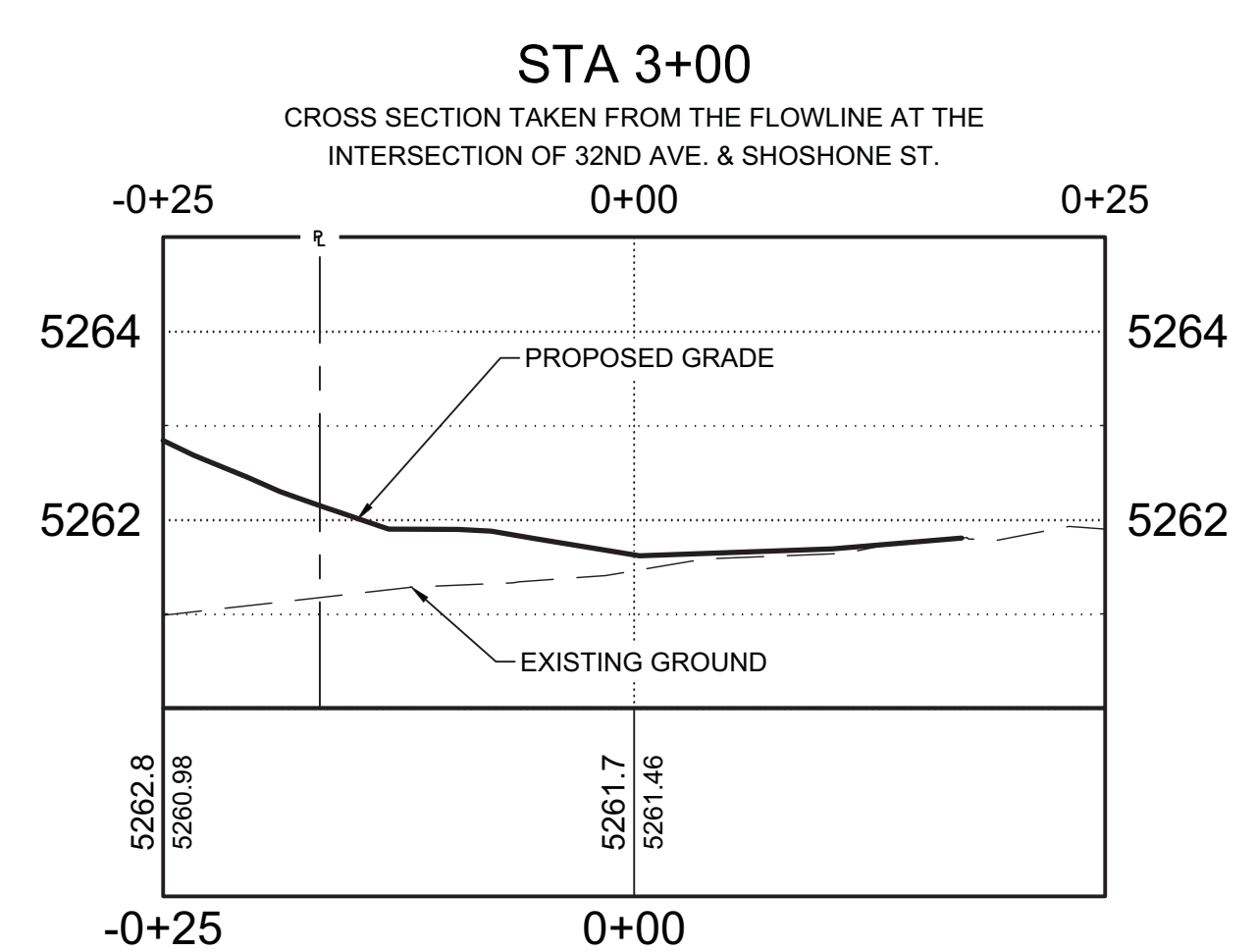
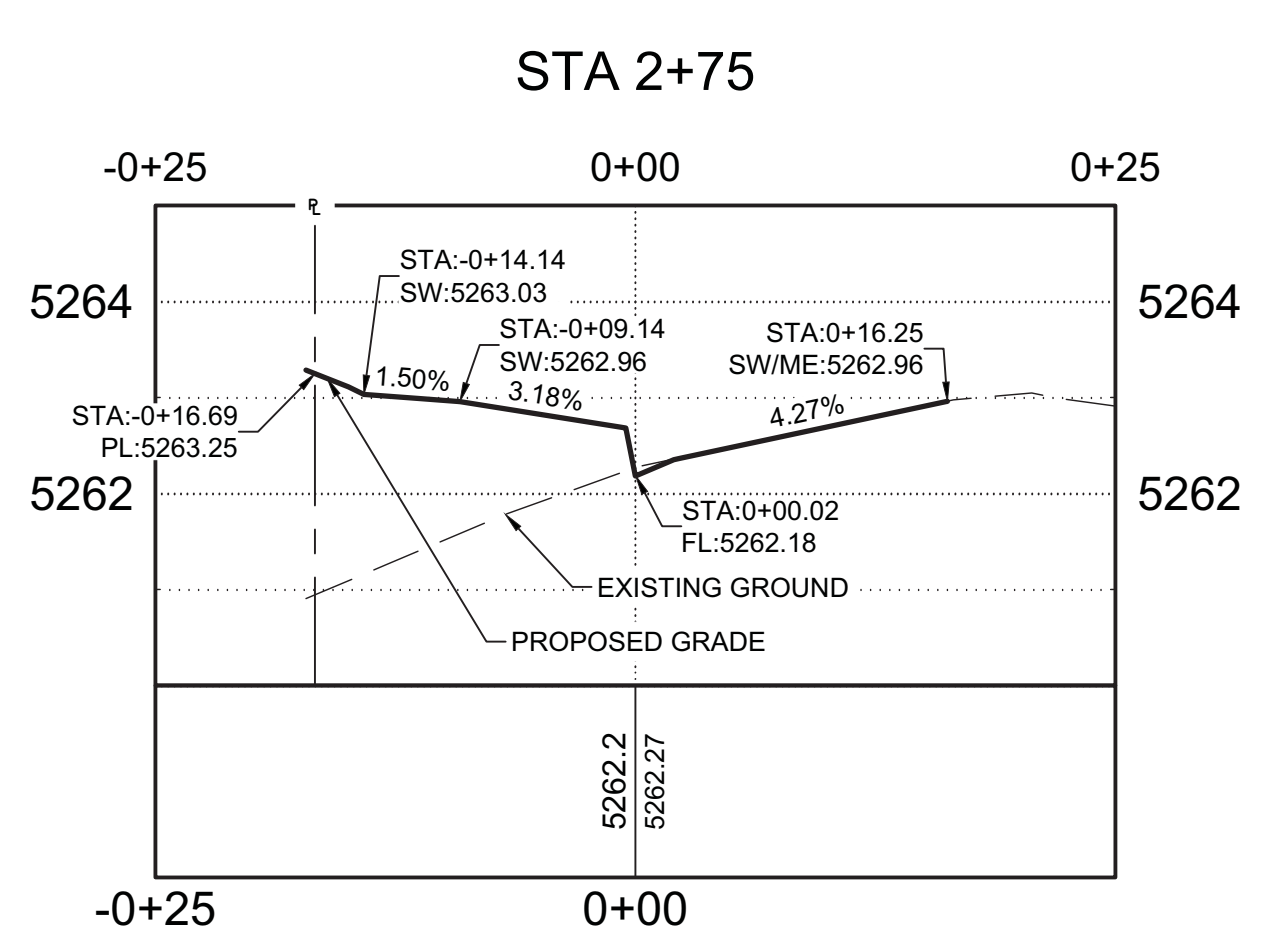
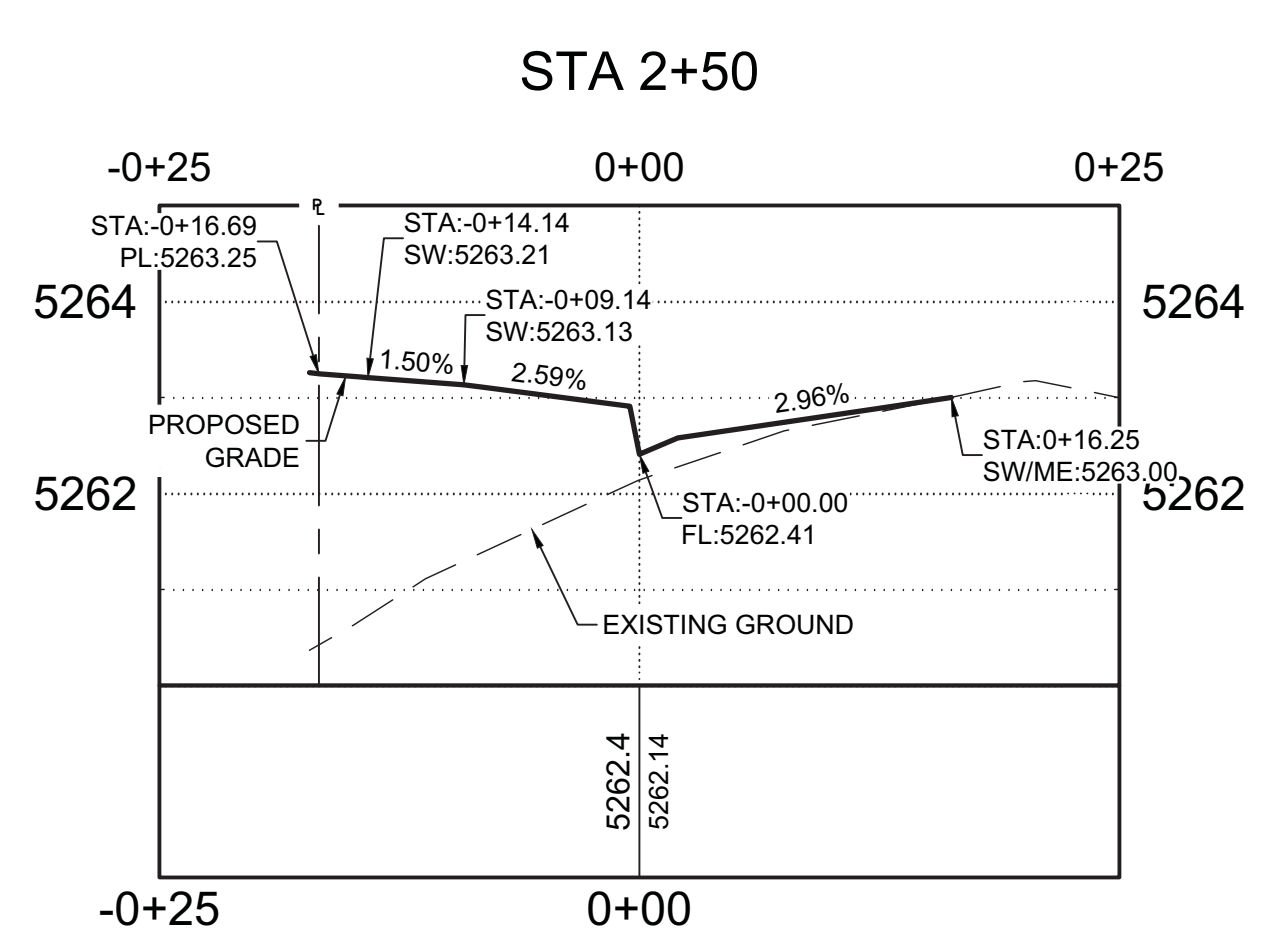
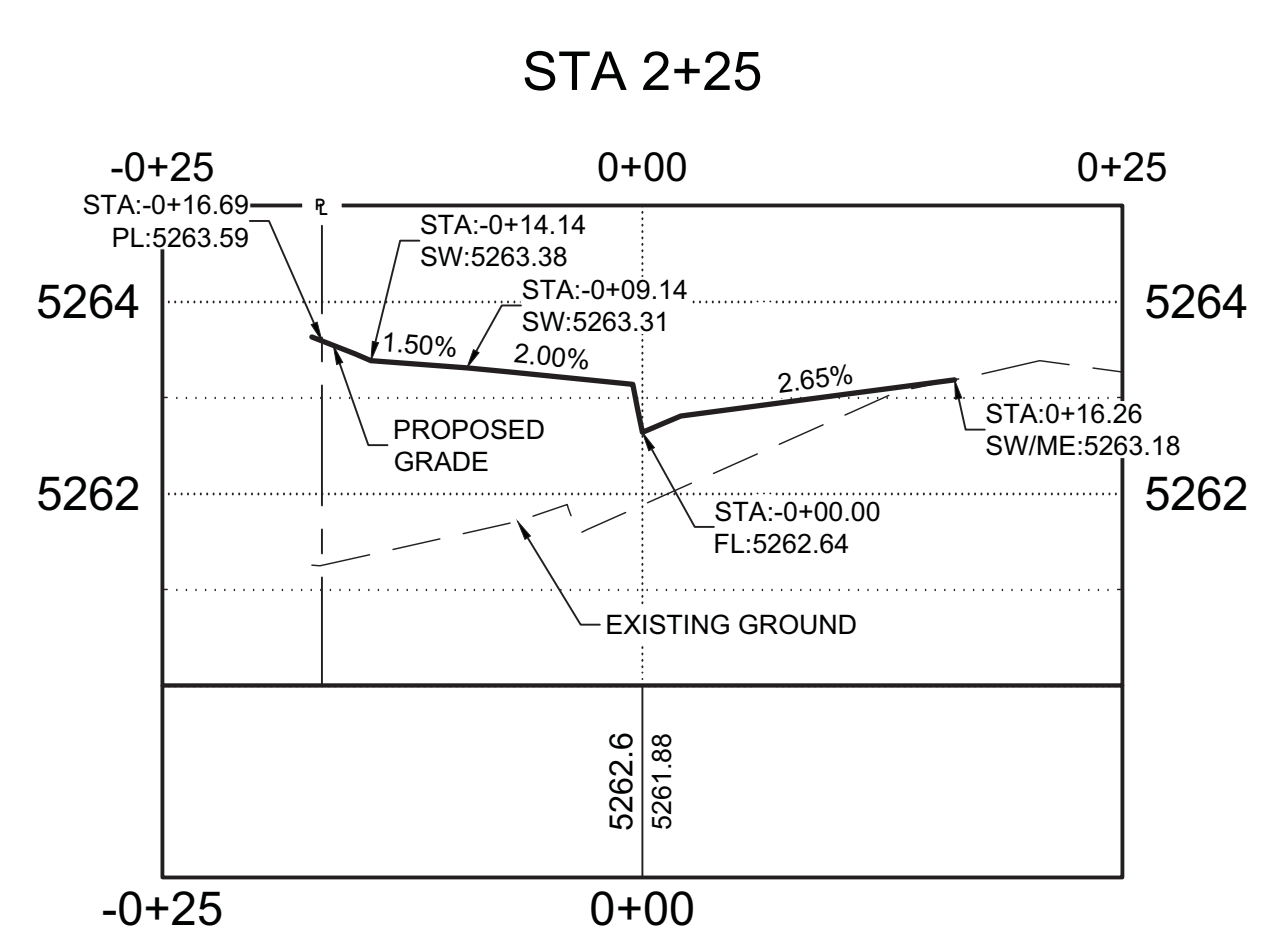
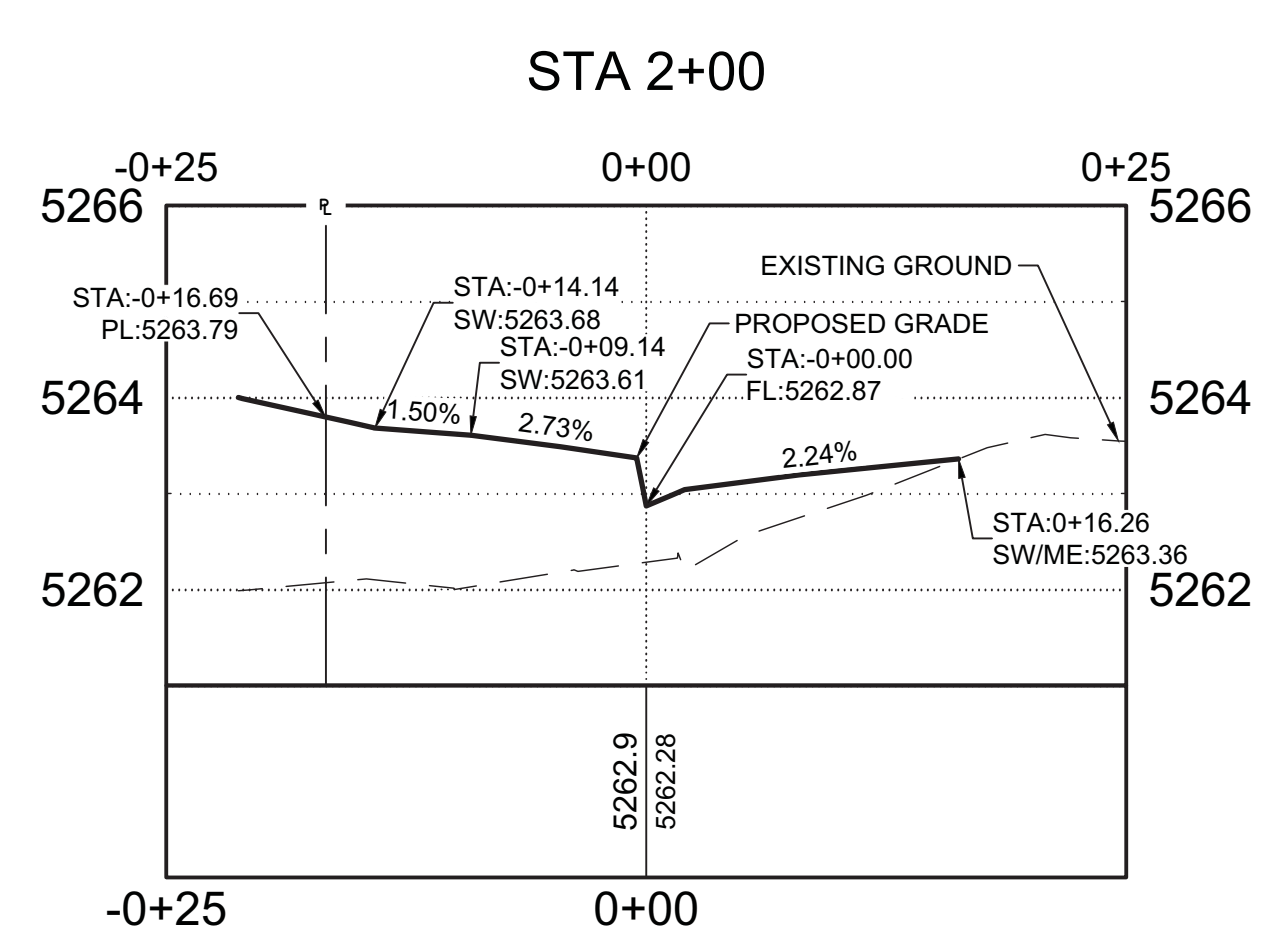
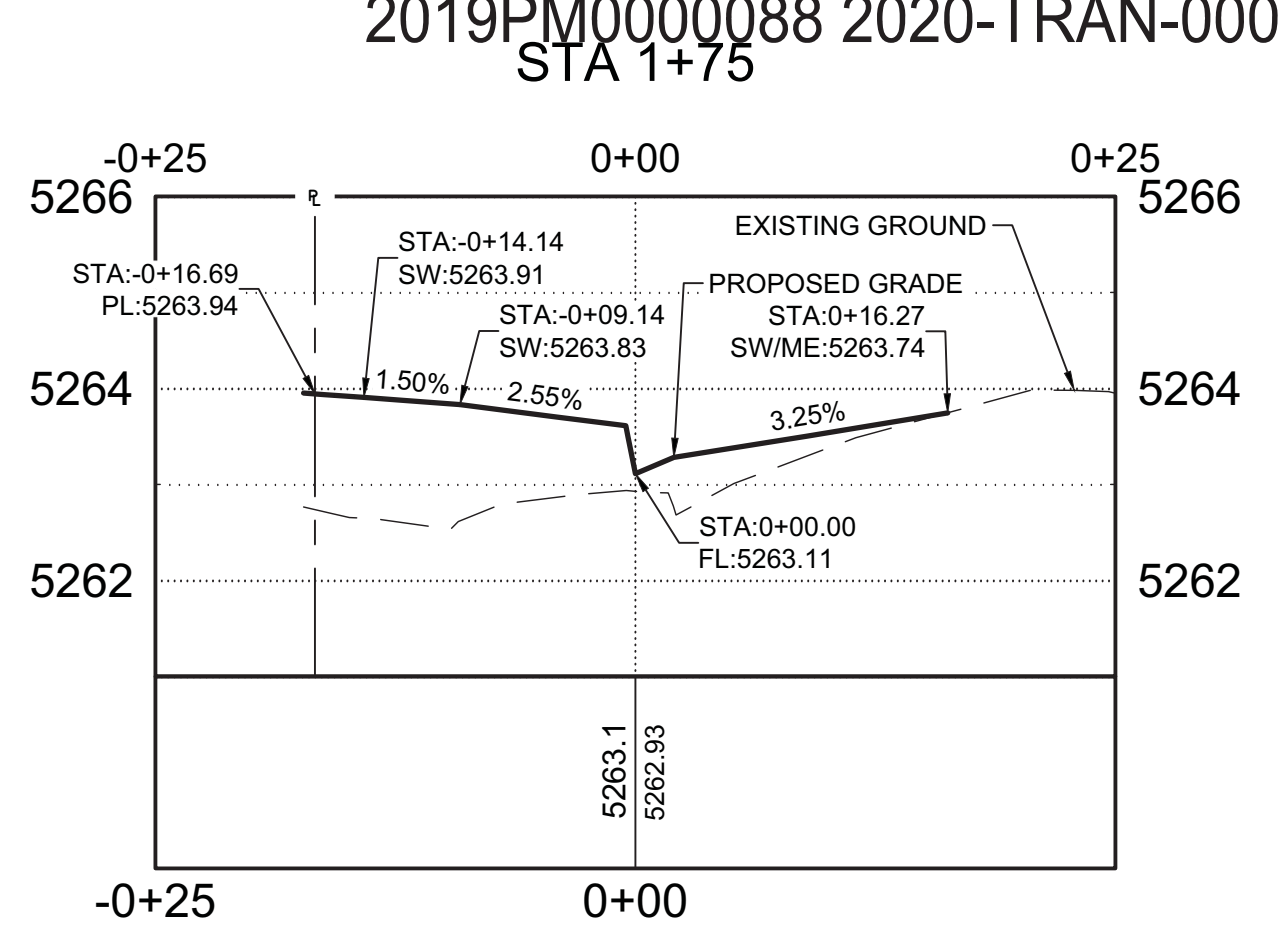
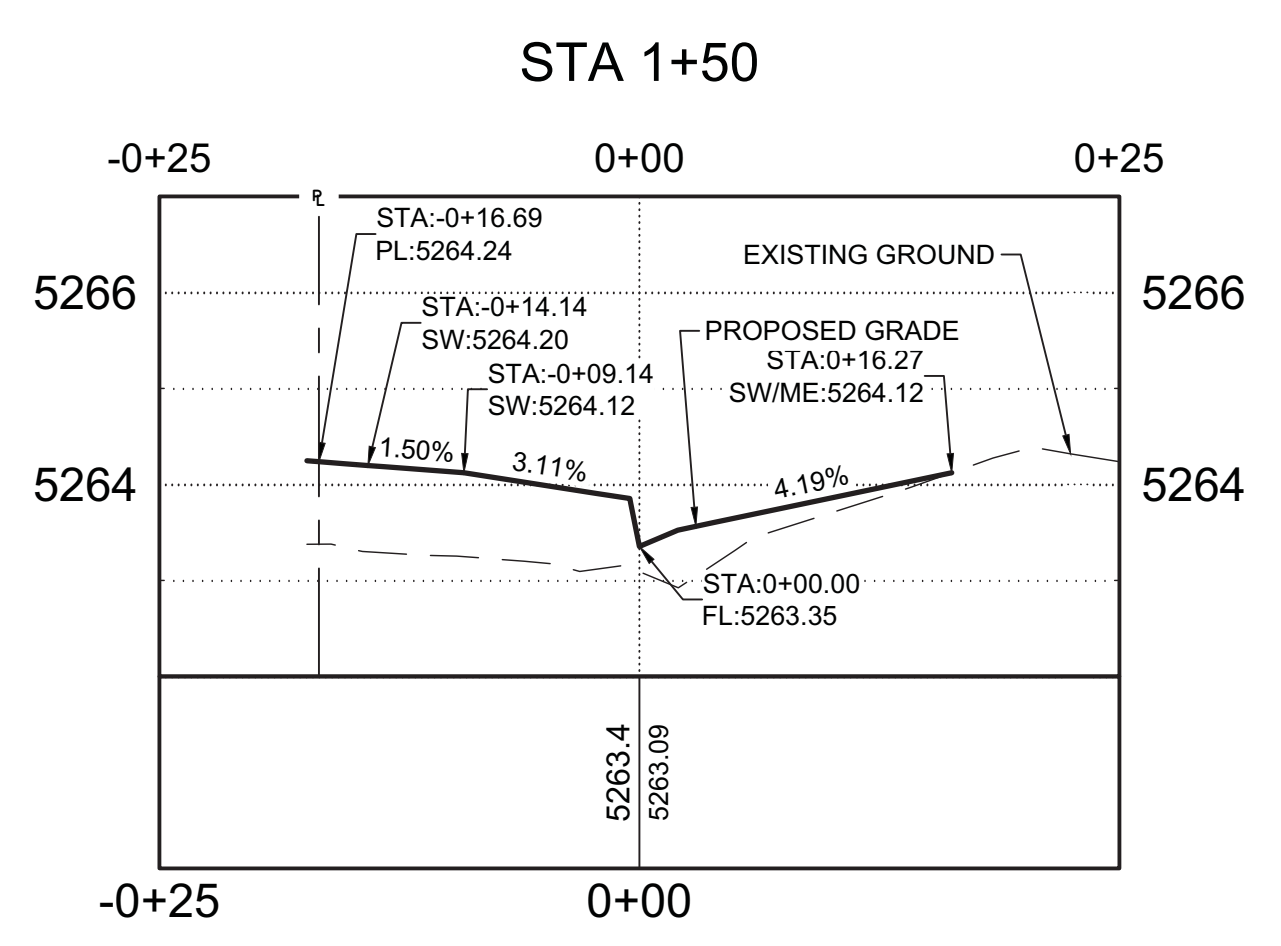
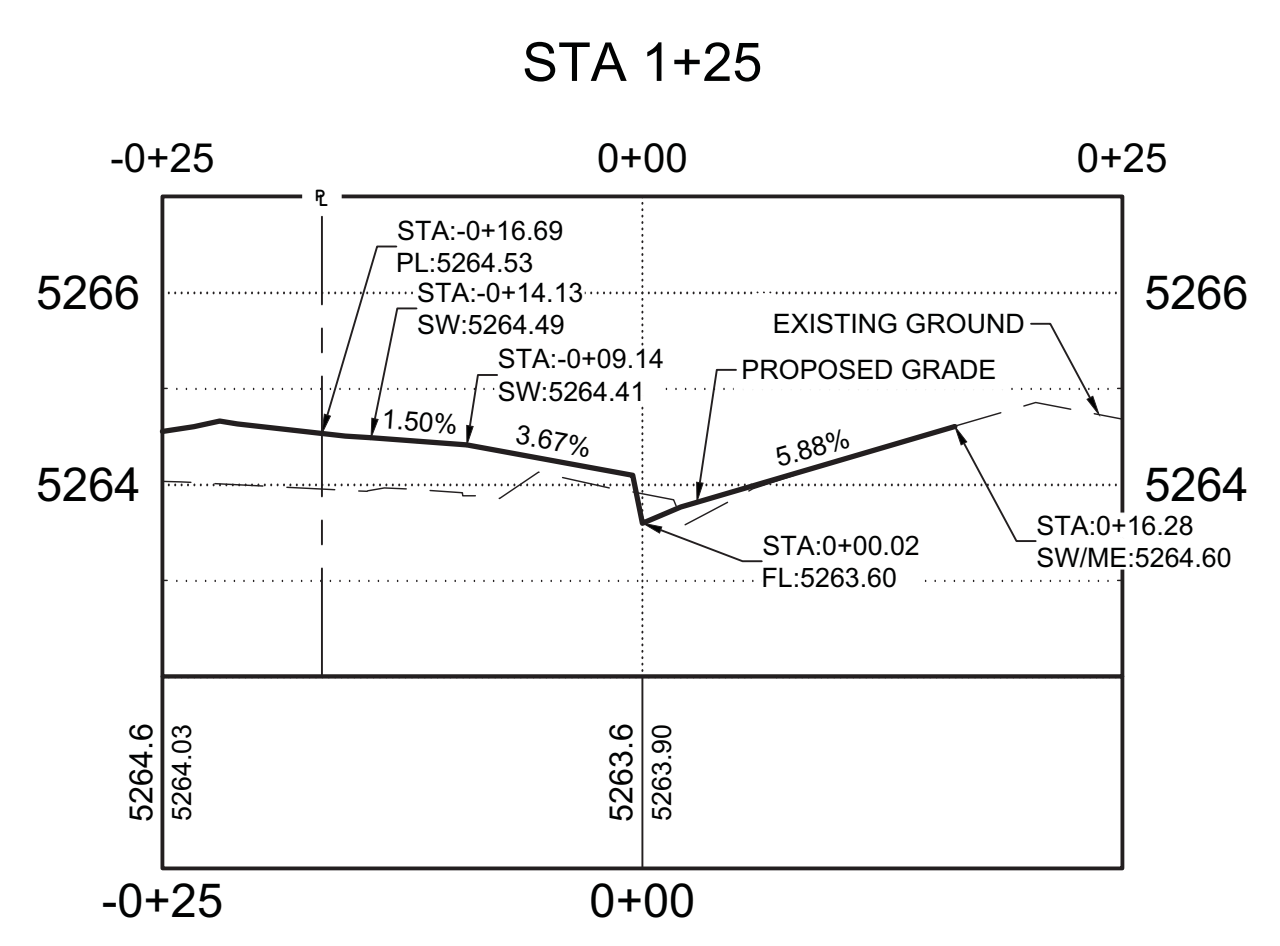
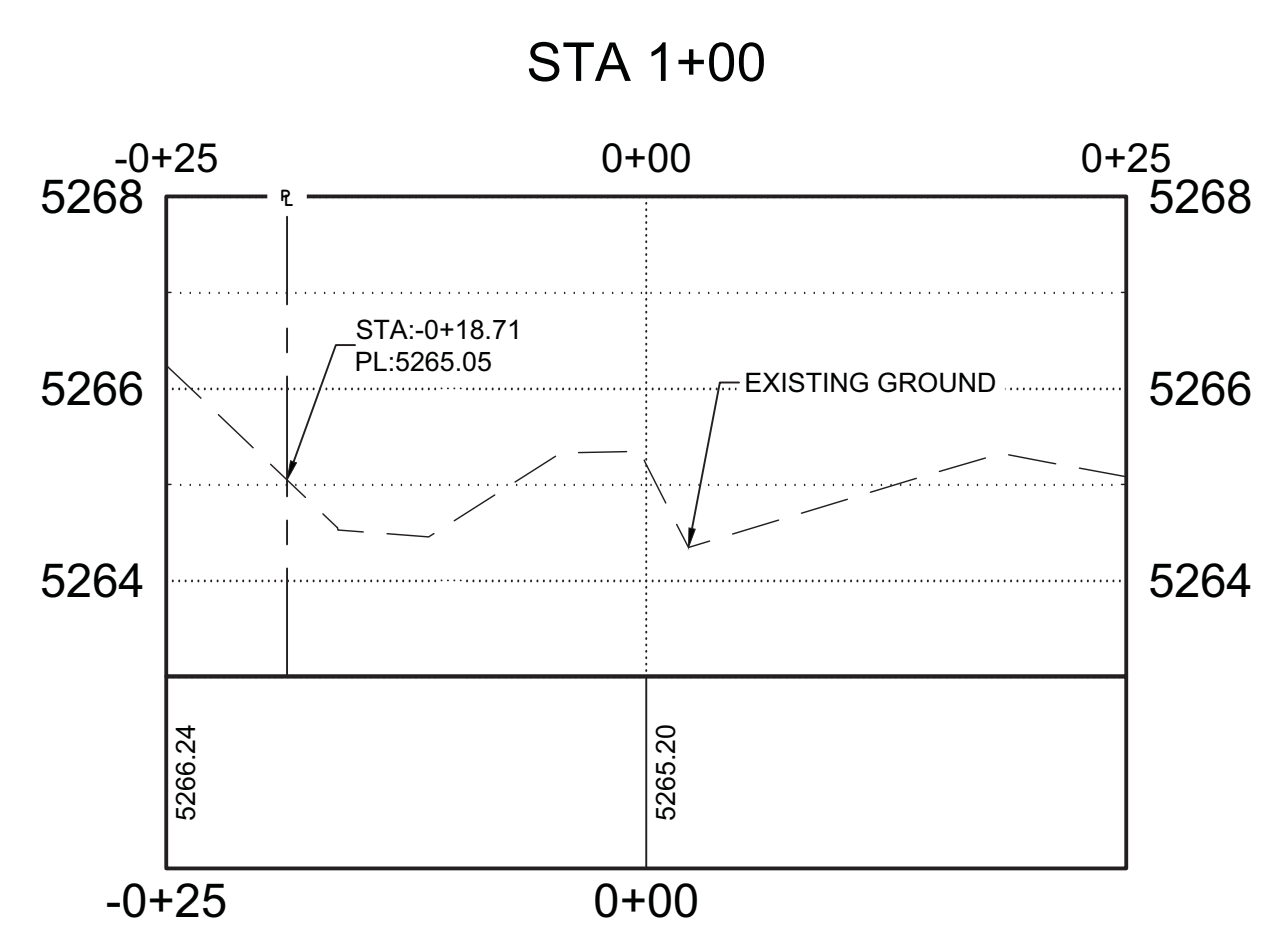
PROJECT NO.	19-600-410-00
DESIGNED BY:	EMR/TGW
DRAWN BY:	EMR/TGW
CHECKED BY:	JMG/KMG
DATE:	JANUARY 18, 2021
SHEET TITLE	TEP - SHOSHONE PLAN VIEW
SHEET NO.	C5.04



BENCHMARKS
 THE BENCHMARK IS A 2" CITY AND COUNTY OF DENVER BRASS CAP #499A AT THE SOUTHEAST CORNER OF PECOS ST AND 32ND AVE ON THE EAST END OF THE INLET AT THE TOP BACK OF CURB, ELEVATION=5212.45, NAVD88.

BASIS OF BEARING:
 FOR THE PURPOSE OF THIS DESCRIPTION THE BEARINGS ARE BASED ON THE WEST LINE OF SAID LOT 2, BLOCK 2, H. WITTER'S NORTH DENVER ADDITION AS MONUMENTED BY A NAIL WITH A 1" BRASS TAG LS 23689 AT A 18.5' OFFSET TO THE NORTHWEST CORNER OF SAID LOT 2 AND BY A #5 REBAR W/ 1-1/4" ORANGE PLASTIC CAP STAMPED LS 38026 AT THE SOUTH END AND BEARS SOUTH 0°04'23" EAST.

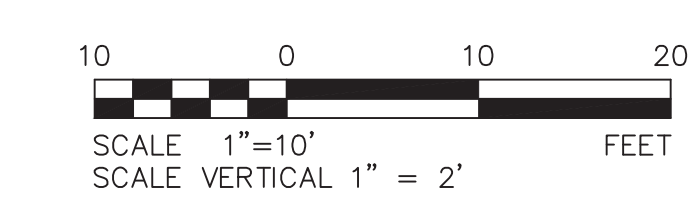
2019PM0000088 2020-TRAN-0000271
STA 1+75



C SHOSHONE - CROSS SECTIONS
SCALE H: 1" = 10'

MATERIAL LEGEND

- PROPOSED CONCRETE (PEDESTRIAN) PER CCD STD. DWG. NO. 5.2A
- PROPOSED ASPHALT PER CCD STD. DWG. NO. 12.0
- PROPOSED DRIVABLE CONCRETE - STANDARD MULTI FAMILY CURB CUT PER CCD STD DWG. 6.1



BASIS OF BEARING:

FOR THE PURPOSE OF THIS DESCRIPTION THE BEARINGS ARE BASED ON THE WEST LINE OF SAID LOT 2, BLOCK 2, H. WITTER'S NORTH DENVER ADDITION AS MONUMENTED BY A NAIL WITH A 1" BRASS TAG LS 23689 AT A 18.5' OFFSET TO THE NORTHWEST CORNER OF SAID LOT 2 AND BY A #6 REBAR W/ 1-1/4" ORANGE PLASTIC CAP STAMPED LS 38026 AT THE SOUTH END AND BEARS SOUTH 0°04'23" EAST.

BENCHMARKS

THE BENCHMARK IS A 2" CITY AND COUNTY OF DENVER BRASS CAP #499A AT THE SOUTHEAST CORNER OF PECOS ST AND 32ND AVE ON THE EAST END OF THE INLET AT THE TOP BACK OF CURB, ELEVATION=5212.45, NAVD88.



WILSON & COMPANY
ENGINEER
1675 BROADWAY, SUITE 200
DENVER, CO 80202
PHONE: 303-297-2976
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PROJECT NAME
32ND AND SHOSHONE RESIDENTIAL
3210 SHOSHONE ST.
DENVER, CO 80211

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-410-00
DESIGNED BY: EMR/TGW
DRAWN BY: EMR/TGW
CHECKED BY: JMG/KMG
DATE: JANUARY 18, 2021

City and County of Denver
Development Services
Site Engineering

DS PROJECT NO. 2019PM0000088 2020-TRAN-0000271

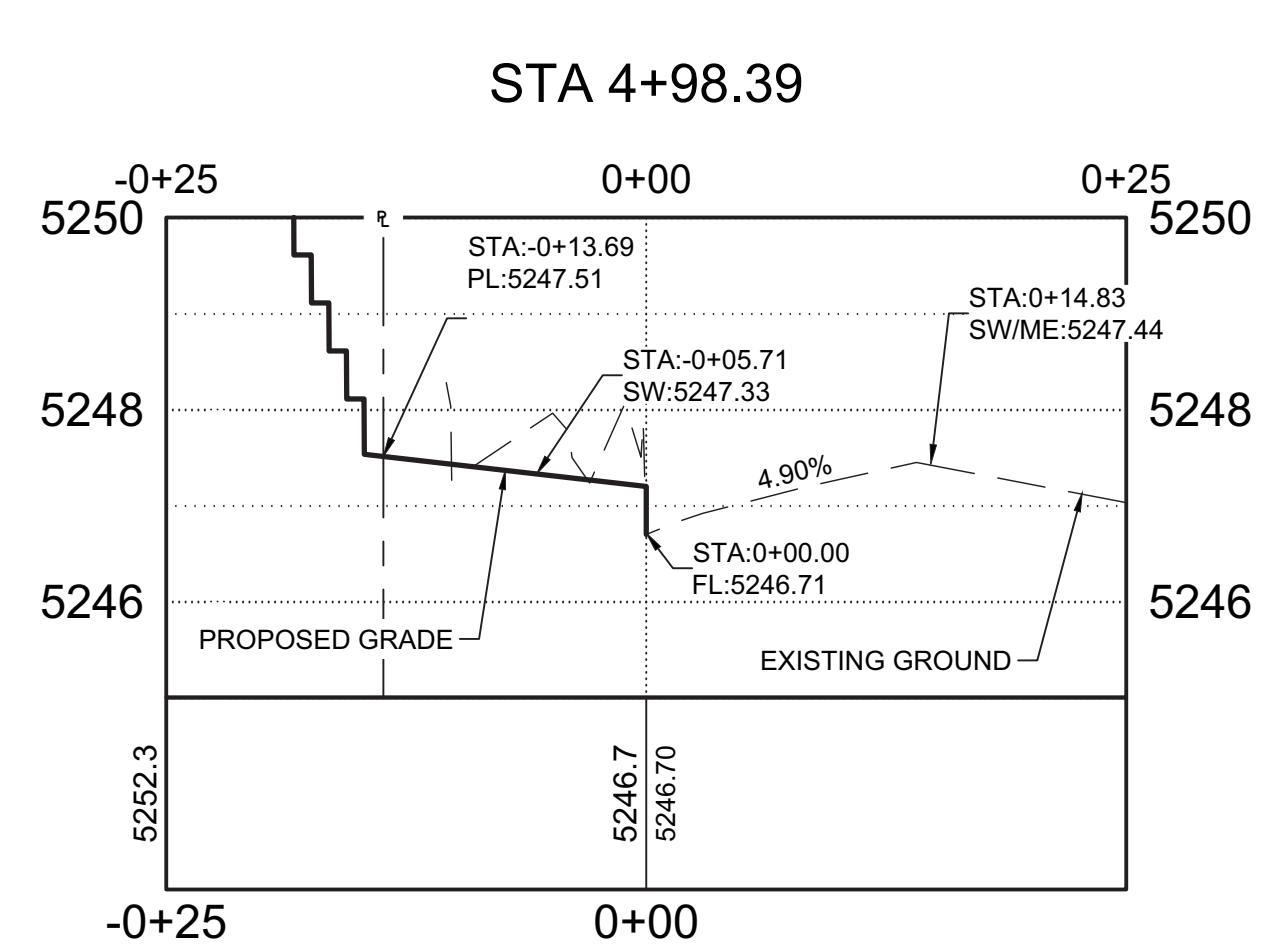
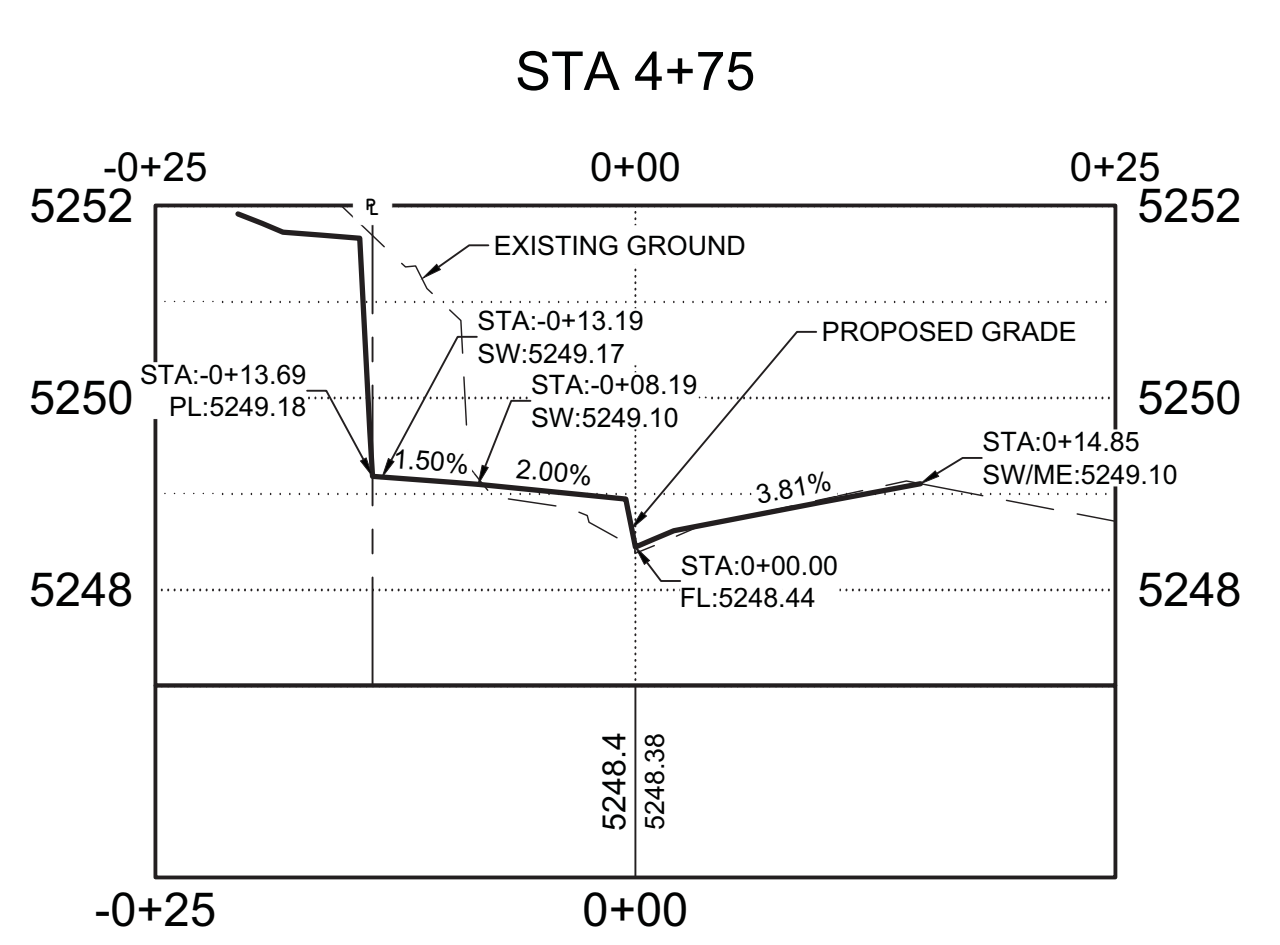
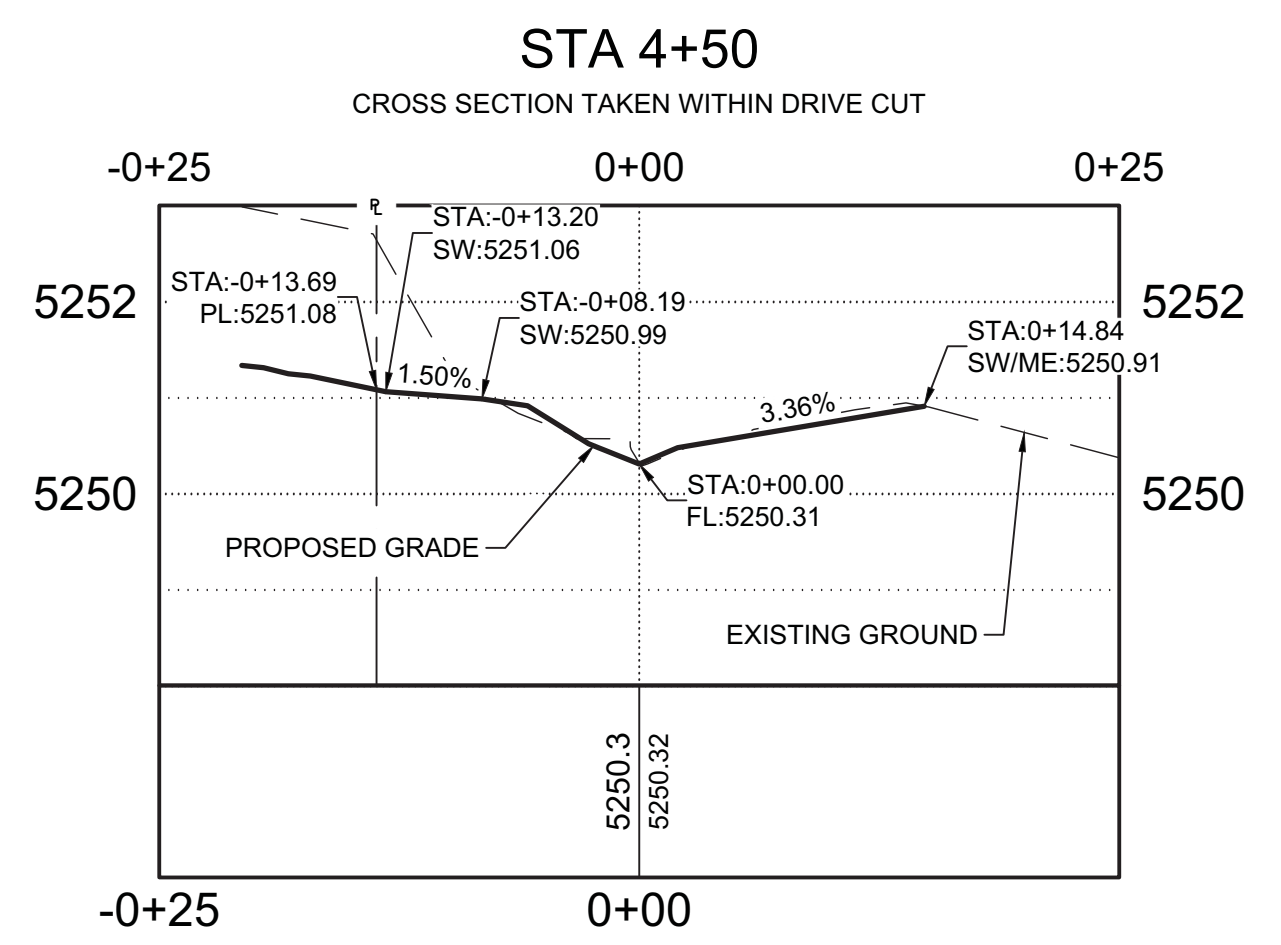
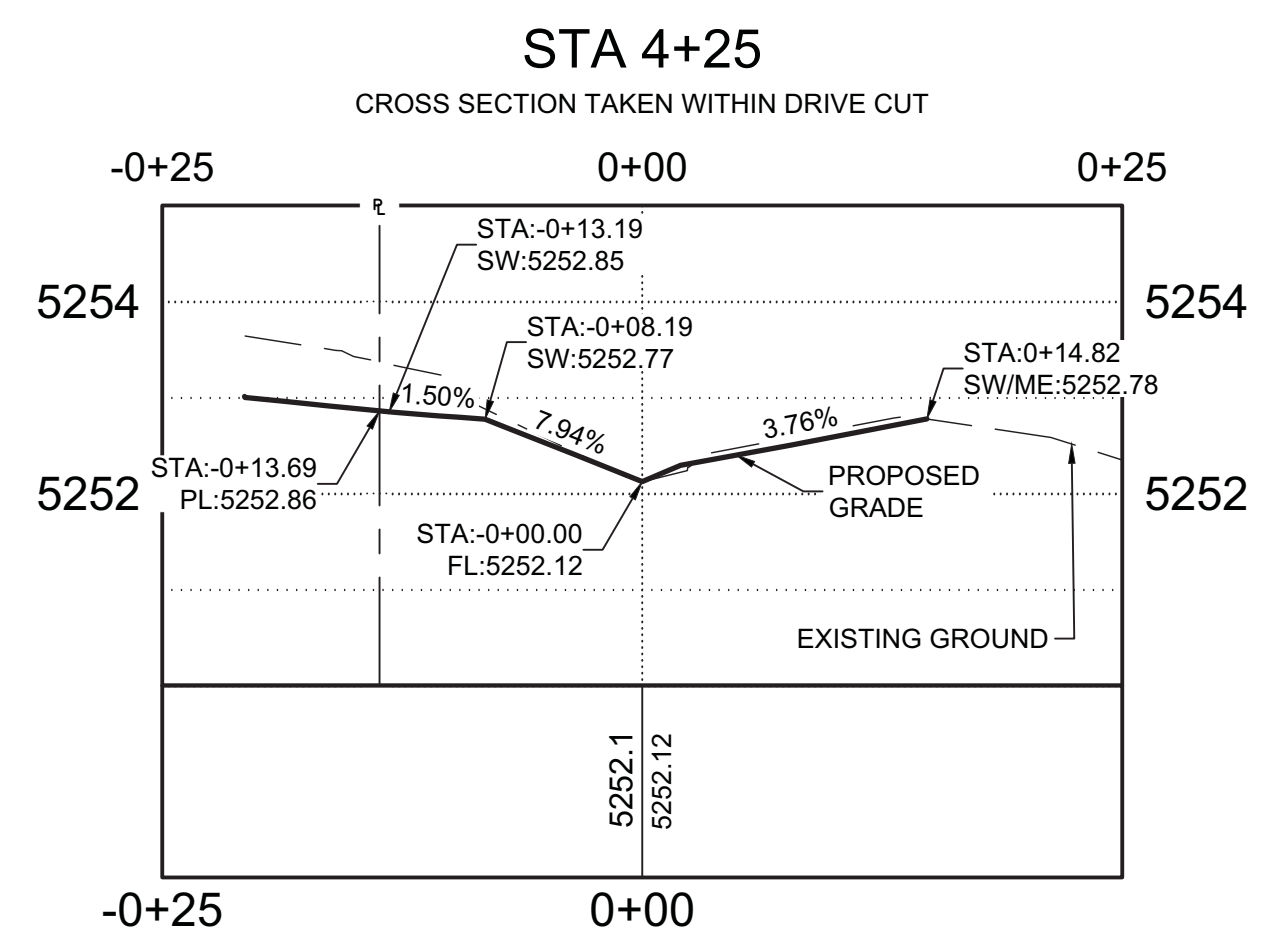
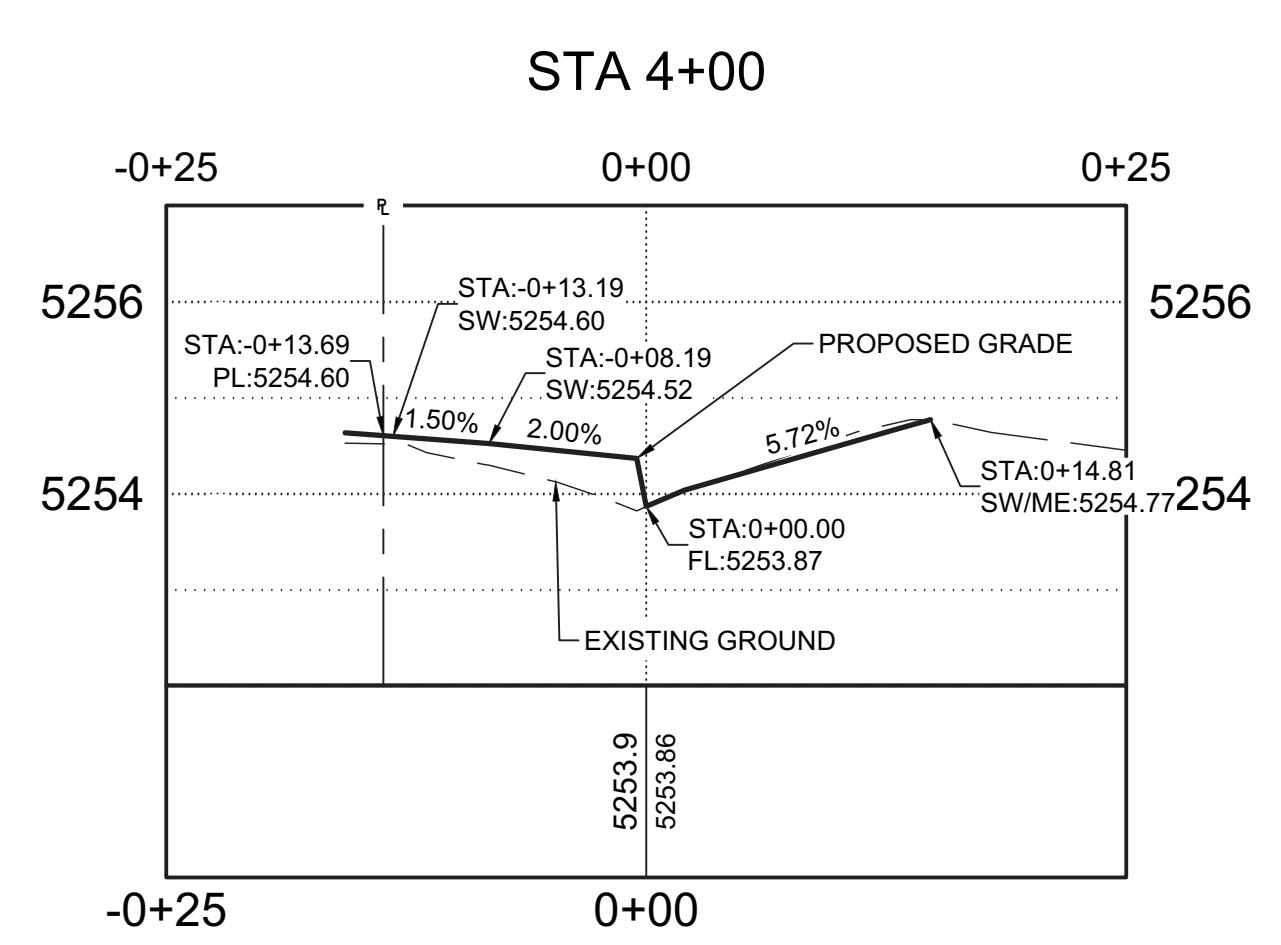
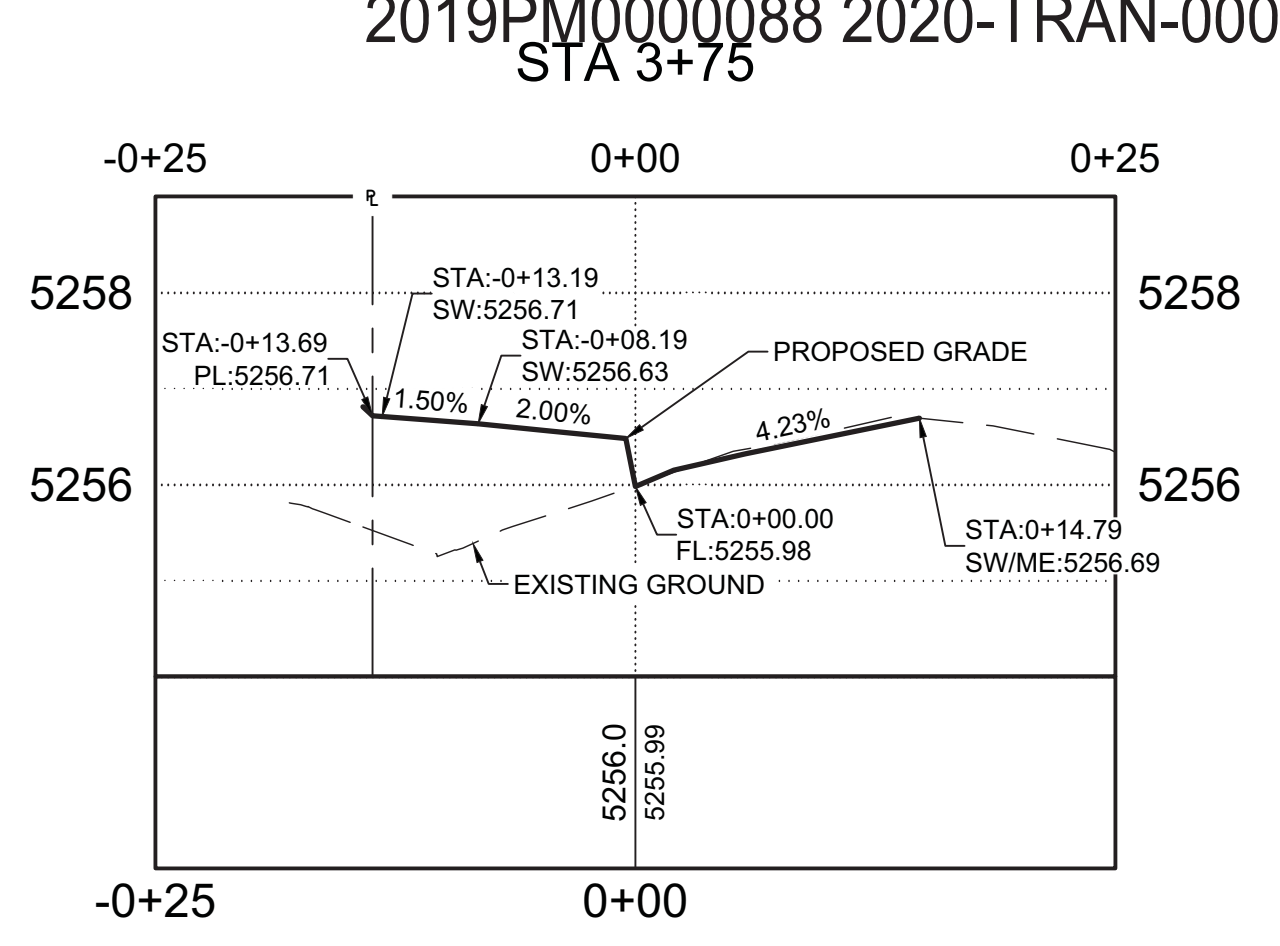
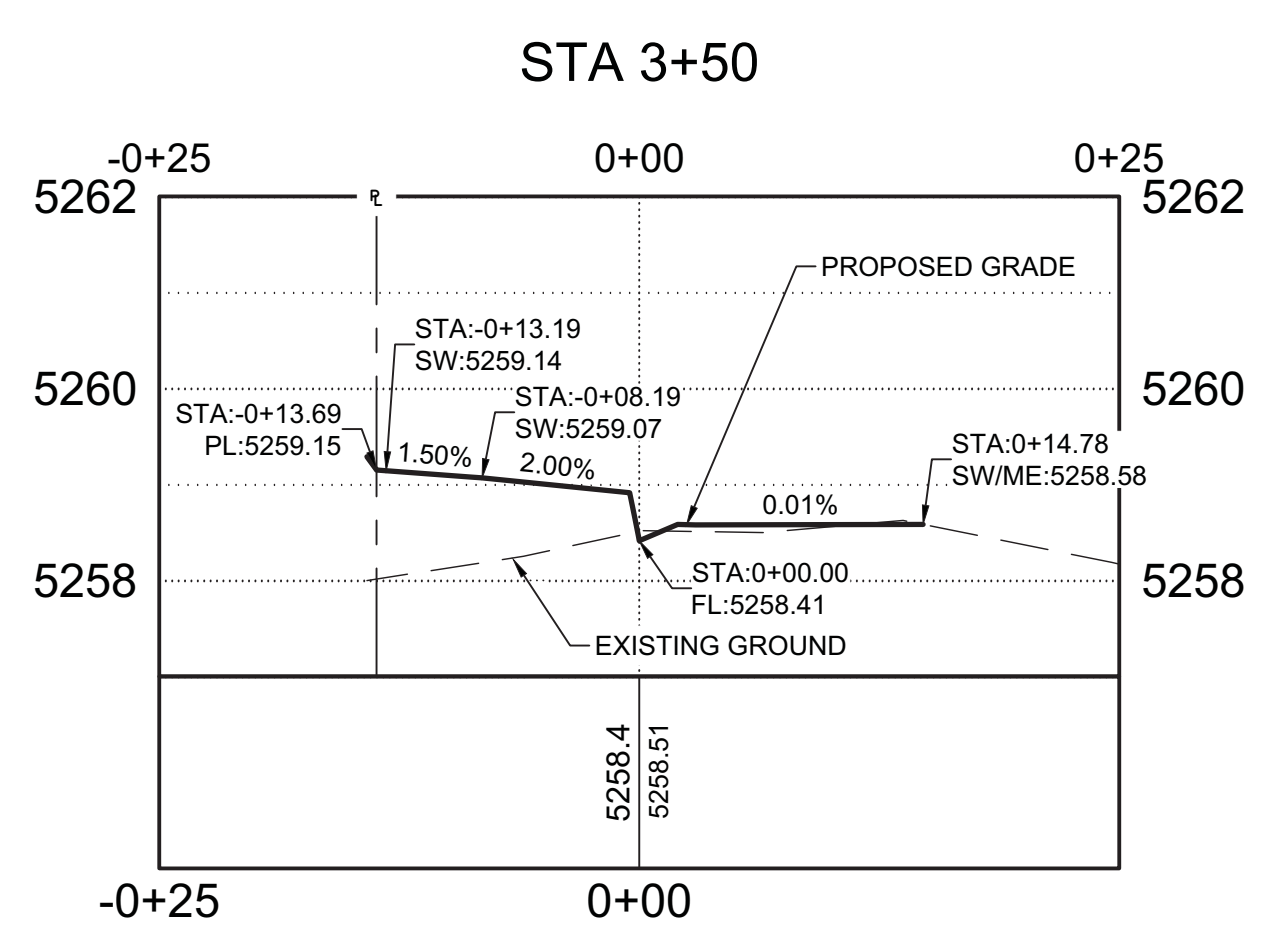
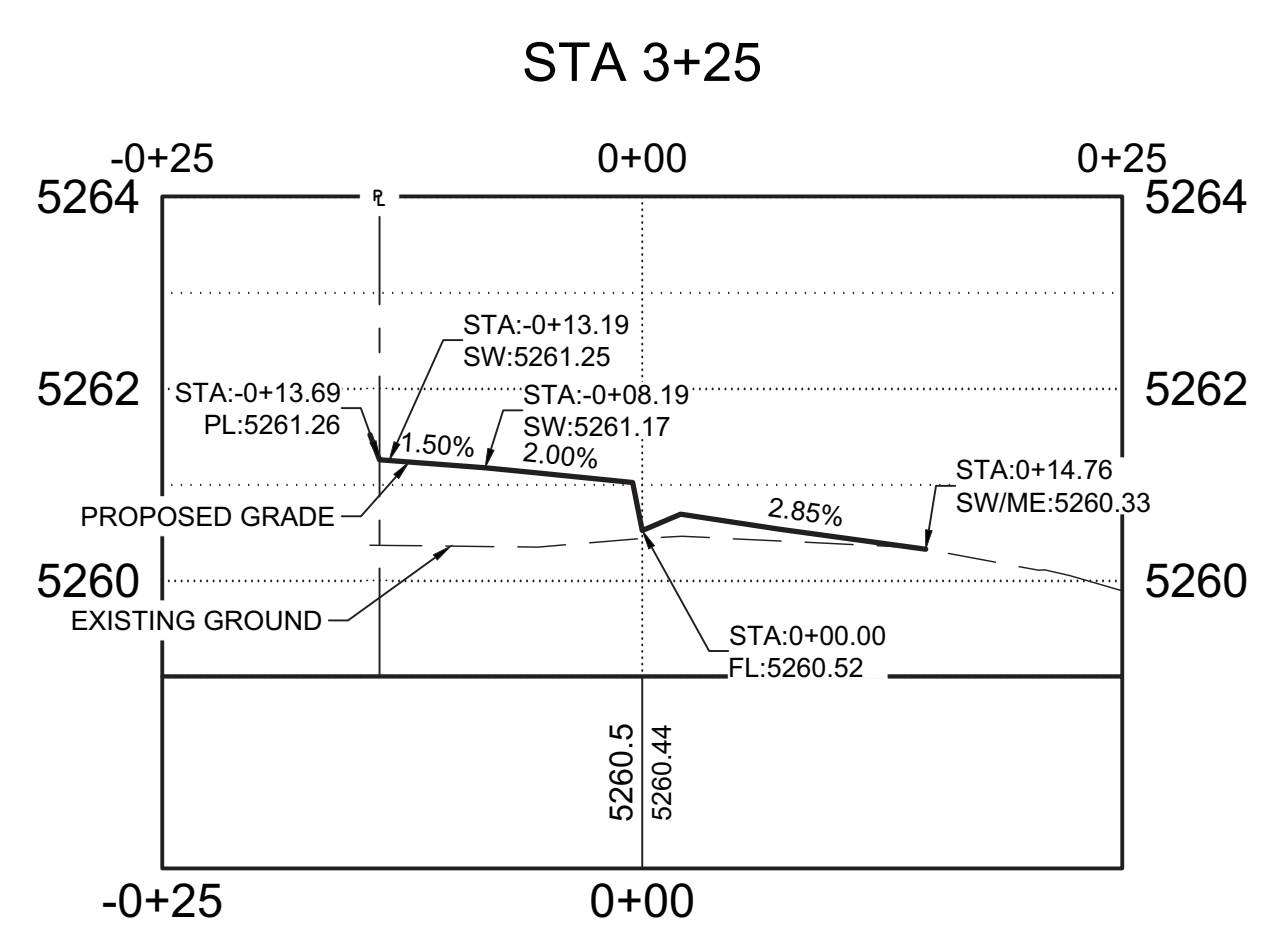
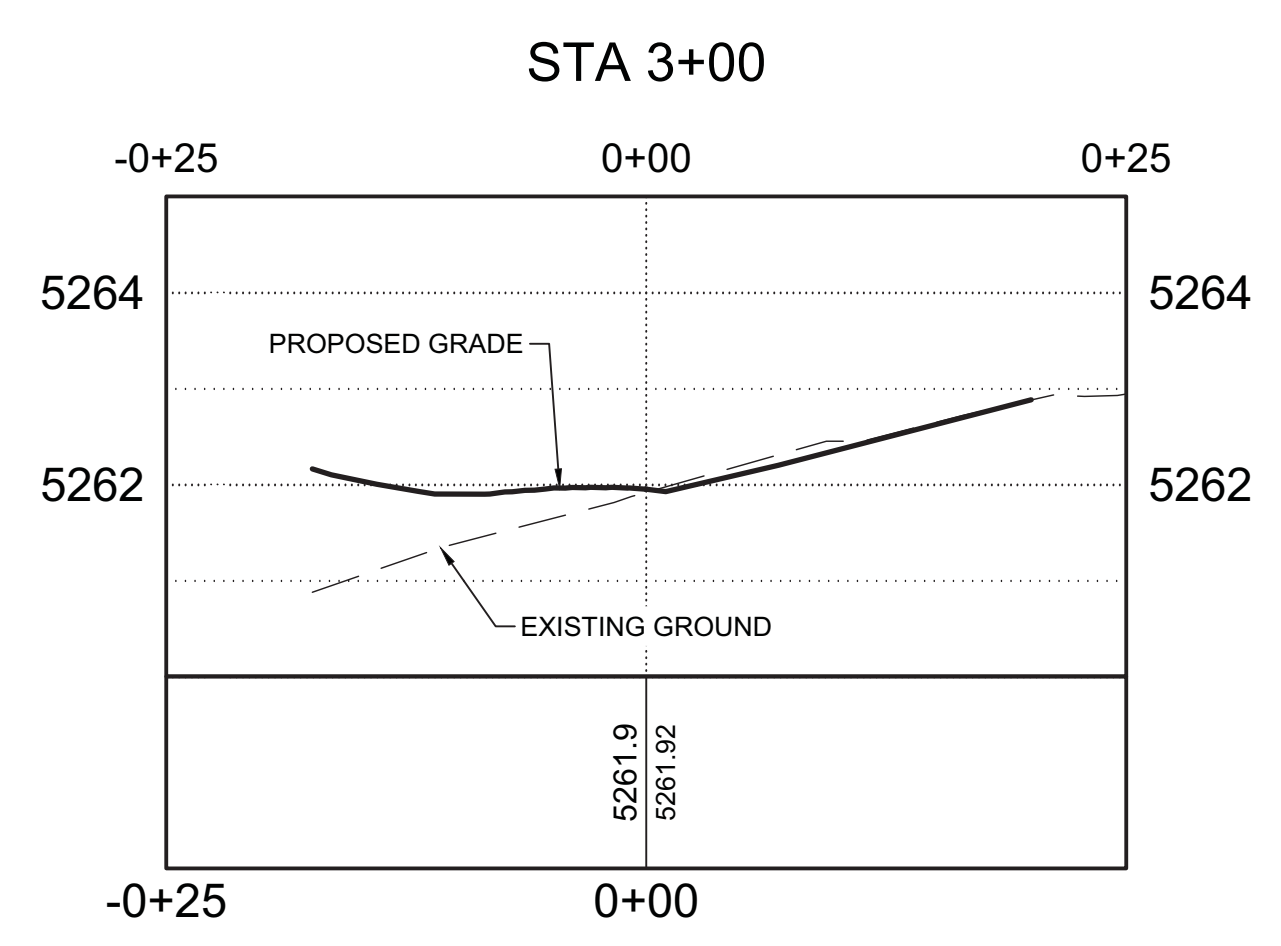
PROJECT NAME:
32ND AND SHOSHONE RESIDENTIAL TRANSPORTATION ENGINEERING PLANS

DESIGNED BY: EMR	DATE: 01/18/2021	DATE ISSUED: JANUARY 2021	DRAWING NO. C5.05
DRAWN BY: EMR	DATE: 01/18/2021	SHEET 6 OF 27 SHEETS	
CHECKED BY: JMG/KMG	DATE: 01/18/2021		

SHEET TITLE
TEP - SHOSHONE CROSS SECTIONS

SHEET NO:
C5.05

2019PM0000088 2020-TRAN-0000271
STA 3+75



F WEST 32ND AVENUE - CROSS SECTIONS
SCALE H: 1" = 10' V: 1" = 2'

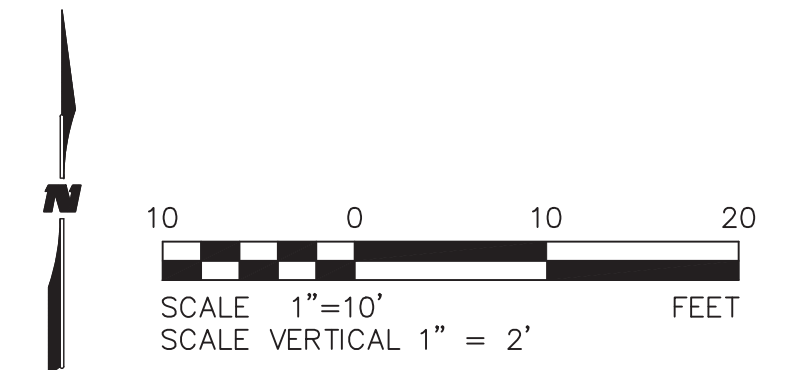


BENCHMARKS
THE BENCHMARK IS A 2" CITY AND COUNTY OF DENVER BRASS CAP #499A AT THE SOUTHEAST CORNER OF PECOS ST AND 32ND AVE ON THE EAST END OF THE INLET AT THE TOP BACK OF CURB, ELEVATION=5212.45, NAVD88.

BASIS OF BEARING:
FOR THE PURPOSE OF THIS DESCRIPTION THE BEARINGS ARE BASED ON THE WEST LINE OF SAID LOT 2, BLOCK 2, H. WITTER'S NORTH DENVER ADDITION AS MONUMENTED BY A NAIL WITH A 1" BRASS TAG LS 23689 AT A 18.5' OFFSET TO THE NORTHWEST CORNER OF SAID LOT 2 AND BY A #6 REBAR W/ 1-1/4" ORANGE PLASTIC CAP STAMPED LS 38026 AT THE SOUTH END AND BEARS SOUTH 0°04'23" EAST.

NOTE TO CONTRACTOR

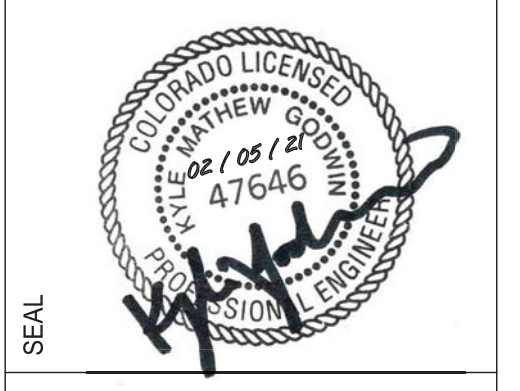
VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL POTENTIAL CONFLICTING UTILITIES PRIOR TO CONSTRUCTION OF RIGHT-OF-WAY IMPROVEMENTS.



City and County of Denver Development Services Site Engineering			
DS PROJECT NO.	2019PM0000088 2020-TRAN-0000271		
PROJECT NAME:	32ND AND SHOSHONE RESIDENTIAL TRANSPORTATION ENGINEERING PLANS		
DESIGNED BY	EMR	DATE 01/18/2021	DATE ISSUED: JANUARY 2021
DRAWN BY	EMR	DATE 01/18/2021	DRAWING NO. C5.07
CHECKED BY	JMG/KMG	DATE 01/18/2021	SHEET 8 OF 27 SHEETS

WILSON & COMPANY
ENGINEER
1675 BROADWAY, SUITE 200
DENVER, CO 80202
PHONE: 303-297-2976
FAX: 303-297-2693
WWW.WILSONCO.COM

PROPERTY OWNERS
DENVER HOUSING AUTHORITY
1035 OSAGE STREET
DENVER, CO 80202
PHONE: 303-890-9874
WEBSITE: DENVERHOUSING.ORG

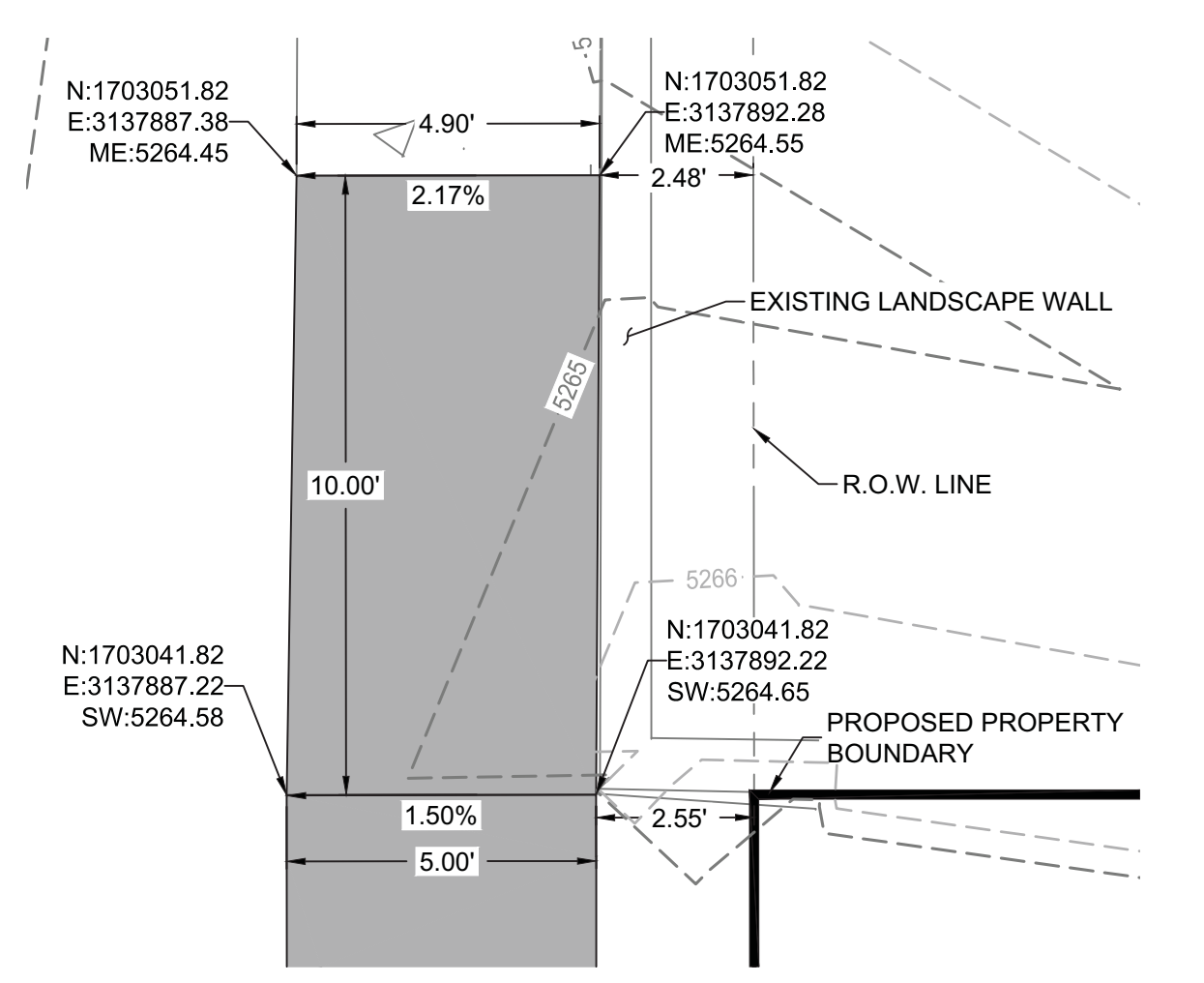


PROJECT NAME
32ND AND SHOSHONE RESIDENTIAL
3210 SHOSHONE ST.
DENVER, CO 80211

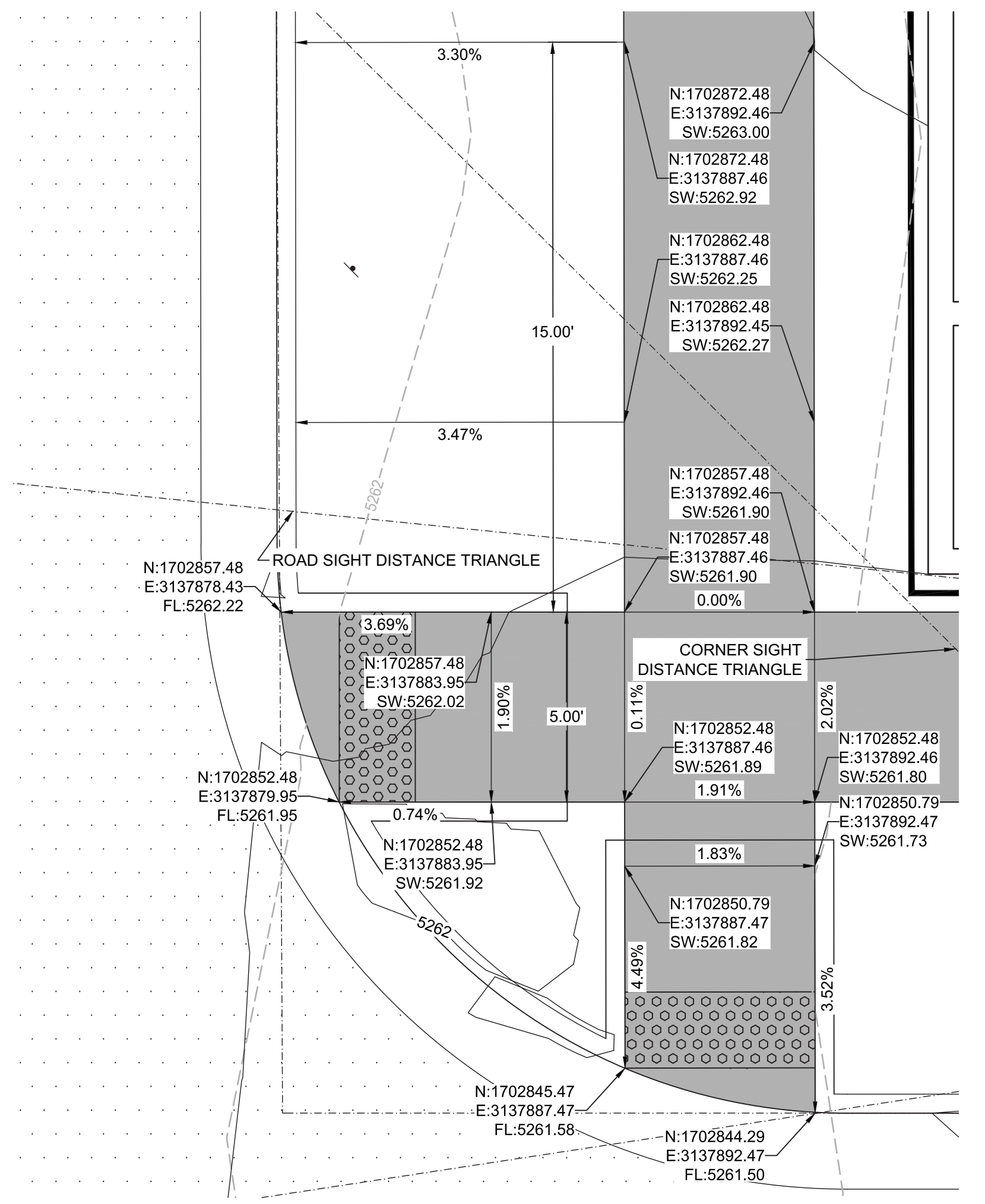
REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-410-00
DESIGNED BY: EMR/TGW
DRAWN BY: EMR/TGW
CHECKED BY: JMG/KMG
DATE: JANUARY 18, 2021
SHEET TITLE
TEP - 32ND STREET CROSS SECTIONS
SHEET NO:
C5.07

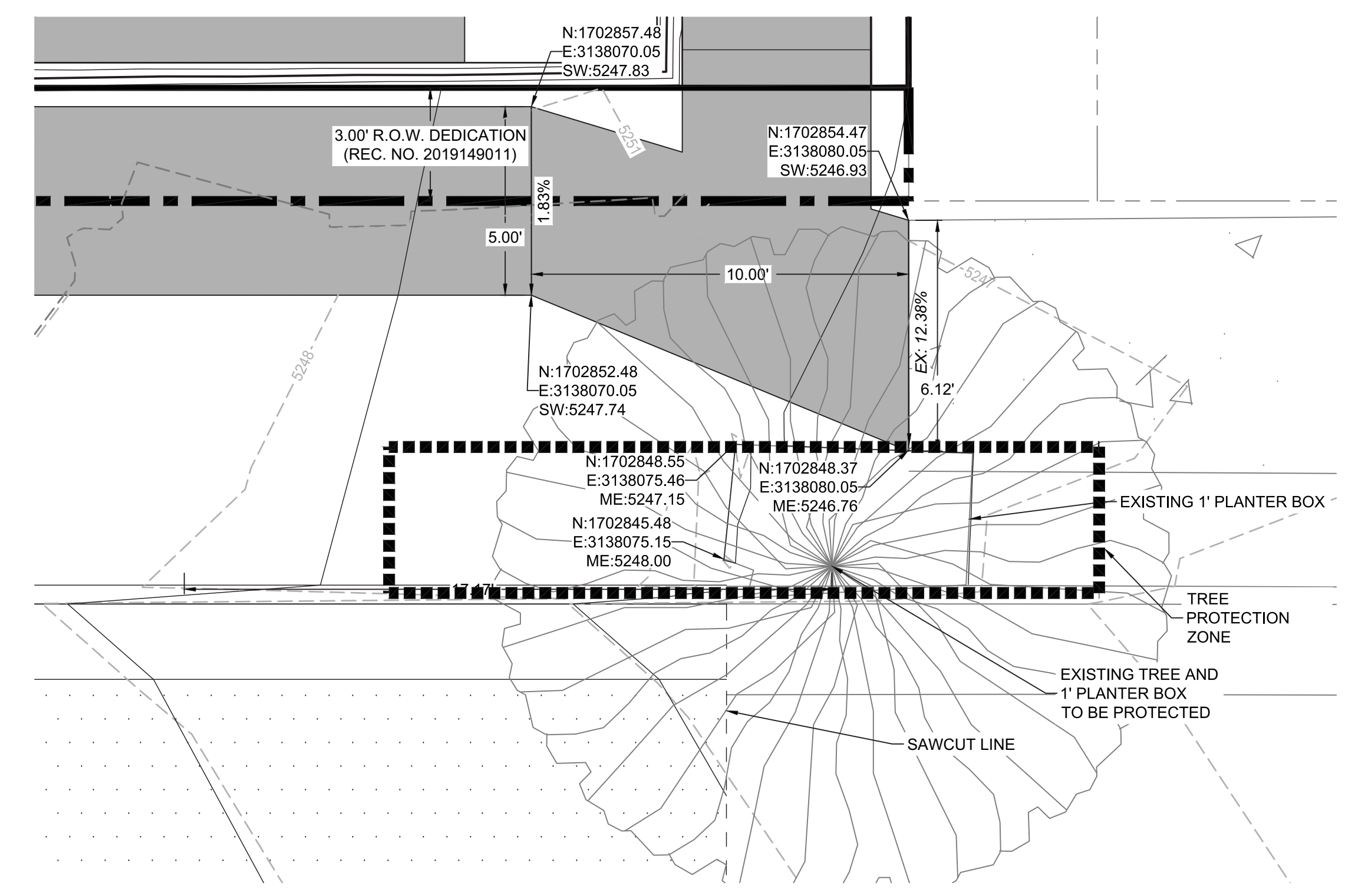
2019PM000088 2020-TRAN-000271



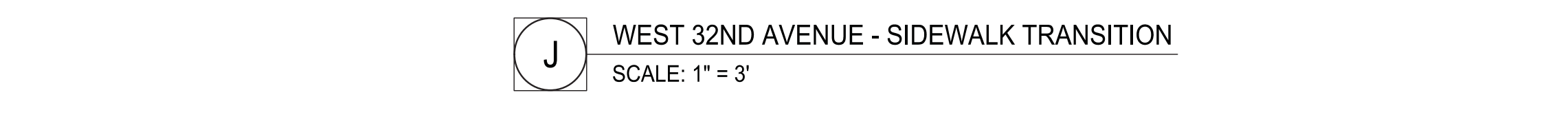
G SHOSHONE STREET - SIDEWALK TRANSITION
SCALE: 1" = 3'



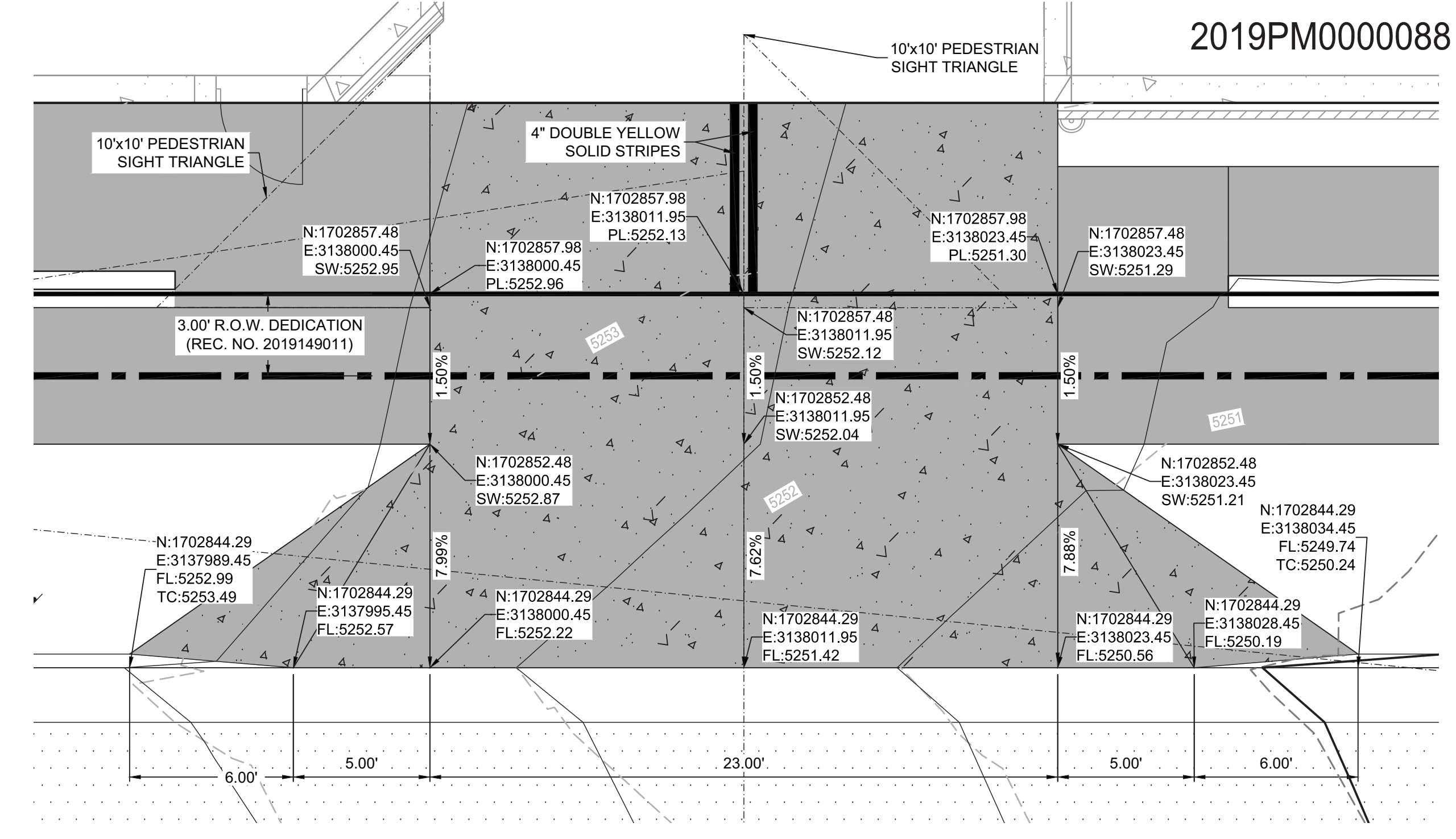
H WEST 32ND AVENUE DRIVE CUT - CCD STD DWG 6.1
SCALE: 1" = 4'



I ADA CURB RAMP DETAIL - CCD STD DWG 7.1
SCALE: 1" = 3'



J WEST 32ND AVENUE - SIDEWALK TRANSITION
SCALE: 1" = 3'



NOTE TO CONTRACTOR

VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL POTENTIAL CONFLICTING UTILITIES PRIOR TO CONSTRUCTION OF RIGHT-OF-WAY IMPROVEMENTS.

MATERIAL LEGEND

	PROPOSED CONCRETE (PEDESTRIAN) PER CCD STD. DWG. NO. 5.2A
	PROPOSED ASPHALT PER CCD STD. DWG. NO. 12.0
	PROPOSED DRIVABLE CONCRETE - STANDARD MULTI FAMILY CURB CUT PER CCD STD DWG. 6.1

City and County of Denver
Development Services
Site Engineering

DS PROJECT NO.	2019PM000088 2020-TRAN-0000271		
PROJECT NAME:	32ND AND SHOSHONE RESIDENTIAL TRANSPORTATION ENGINEERING PLANS		
DESIGNED BY:	EMR	DATE:	01/18/2021
DRAWN BY:	EMR	DATE:	01/18/2021
CHECKED BY:	JMG/KMG	DATE:	01/18/2021
		SHEET	9 OF 27 SHEETS
		DRAWING NO.	C5.08

WILSON & COMPANY
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1675 BROADWAY, SUITE 200
DENVER, CO 80202
PHONE: 303-297-2976
FAX: 303-297-2693
www.wilsonco.com

DENVER HOUSING AUTHORITY
PROPERTY OWNERS
1035 OSAGE STREET
DENVER, CO 80202
PHONE: 303-890-9874
WEBSITE: DENVERHOUSING.ORG



32ND AND SHOSHONE RESIDENTIAL
PROJECT NAME
3210 SHOSHONE ST.
DENVER, CO 80211

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-410-00
DESIGNED BY: EMR/TGW
DRAWN BY: EMR/TGW
CHECKED BY: JMG/KMG
DATE: JANUARY 18, 2021
SHEET TITLE

TEP - DETAILS SHEET

SHEET NO: **C5.08**



BENCHMARKS
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2019PM0000088 2020-TRAN-0000271

ENGINEER
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 1675 BROADWAY, SUITE 200
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 PHONE: 303-297-2976
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PROPERTY OWNERS
DENVER HOUSING AUTHORITY
 1035 OSCAR STREET
 DENVER, CO 80204
 PHONE: 303-890-9874
 WEBSITE: DENVERHOUSING.ORG



PROJECT NAME
32ND AND SHOSHONE RESIDENTIAL
 3210 SHOSHONE ST.
 DENVER, CO 80211

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-410-00
 DESIGNED BY: EMRTGW
 DRAWN BY: EMRTGW
 CHECKED BY: JMG/KMG
 DATE: JANUARY 18, 2021
 SHEET TITLE

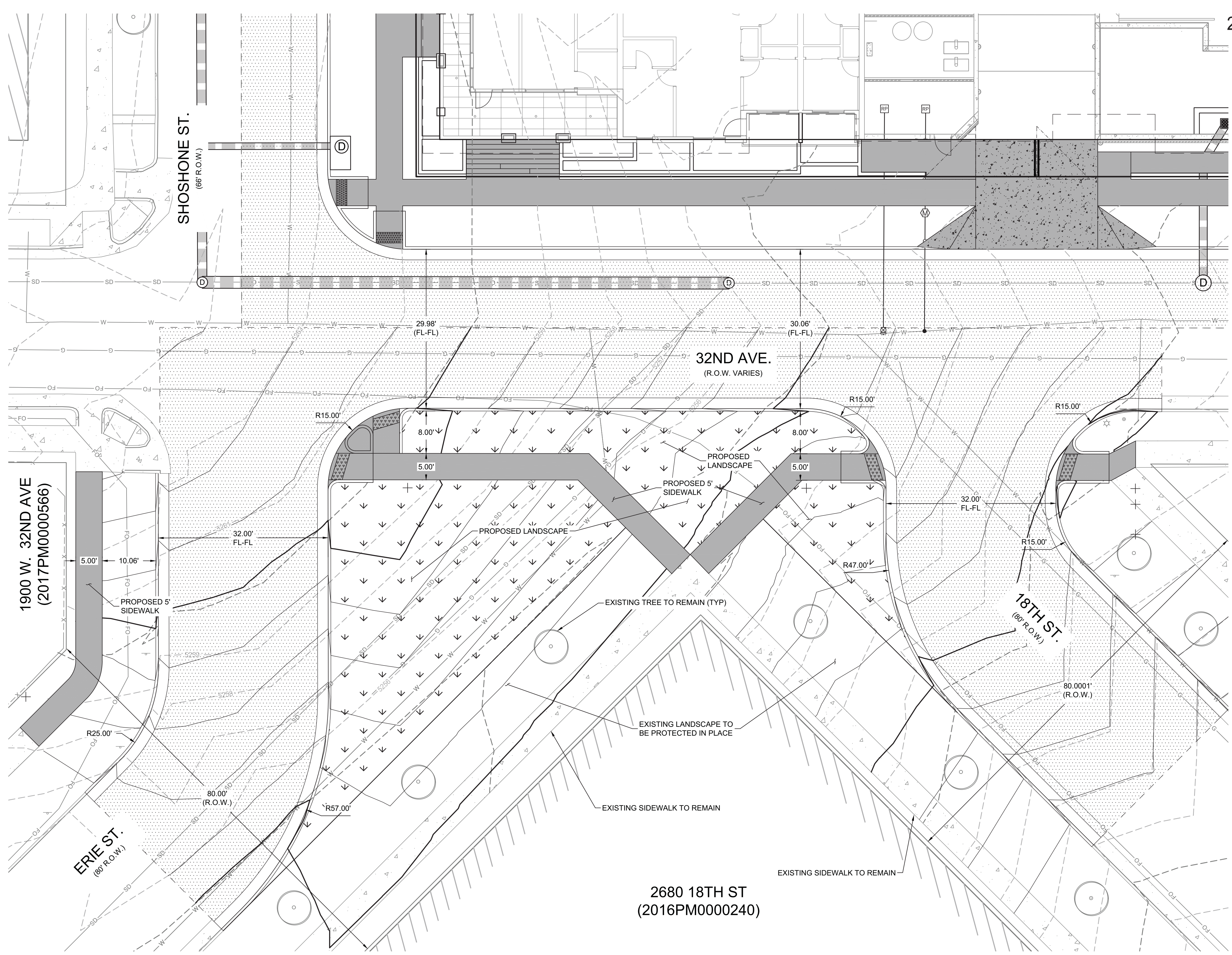
TEP - 32ND & SHOSHONE INTERSECTION

SHEET NO: **C5.09**

- LEGEND**
- PROPOSED CATCH CURB
 - PROPOSED SPILL CURB
 - PROPOSED MAJOR CONTOURS
 - PROPOSED MINOR CONTOURS
 - EXISTING MAJOR CONTOURS
 - EXISTING MINOR CONTOURS
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING GAS LINE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING STORM DRAIN LINE
 - PROPOSED LANDSCAPE

PUBLIC R.O.W. IMPROVMENTS

PUBLIC RIGHT OF WAY IMPROVEMENTS SHOWN AT THE ERIE & 18TH STREET INTERSECTION ON THE SOUTH SIDE OF 32ND AVE. ARE SHOWN FOR INFORMATION ONLY. THE CURRENT DESIGN OF THESE IMPROVEMENTS IS BEING PREPARED IN CONJUNCTION WITH THE CITY AND COUNTY OF DENVER AT THIS TIME. ALL IMPROVEMENTS ON THE SOUTH SIDE OF 32ND AVE. MUST BE CONSTRUCTED AND APPROVED BY THE CITY AND COUNTY OF DENVER PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. TEMPORARY CERTIFICATE OF OCCUPANCY SHALL BE GRANTED PRIOR TO IMPROVEMENTS BEING COMPLETE. (RE: C5.03A, C5.10-C5.28)

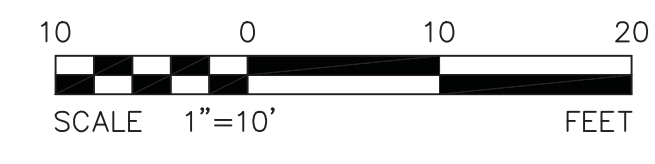


BENCHMARKS
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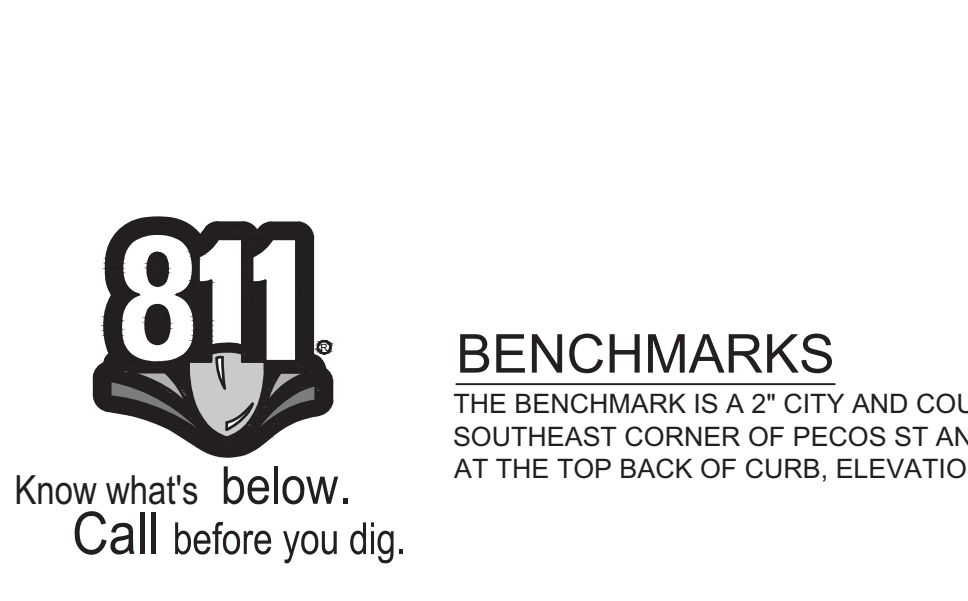
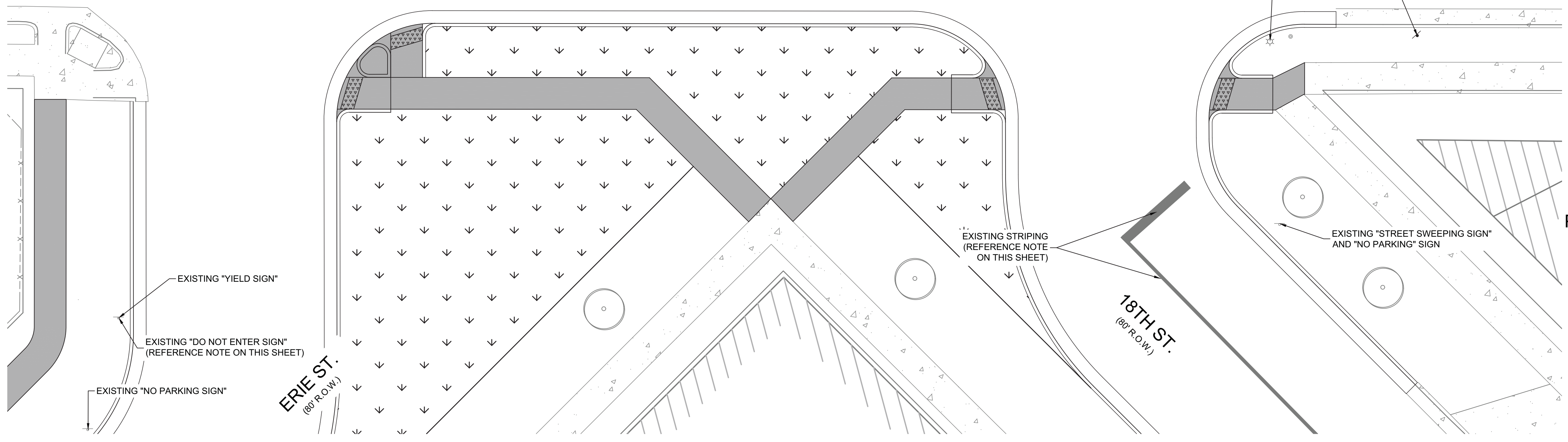
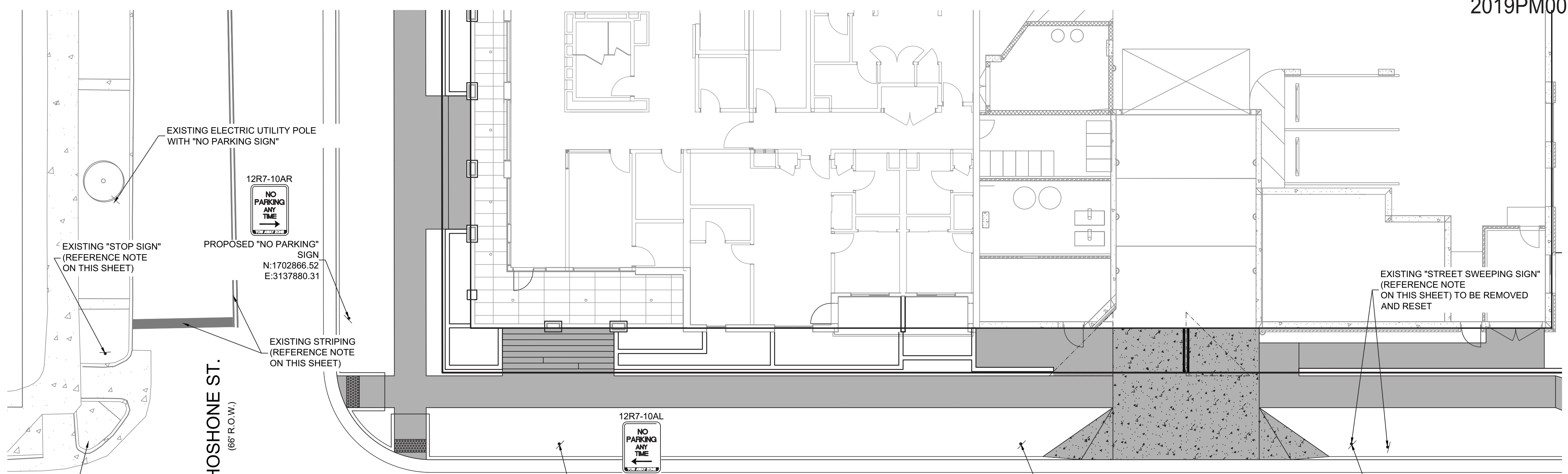
NOTICE TO CONTRACTOR

PROPOSED SPOT ELEVATIONS ARE BASED ON WILSON & COMPANY'S SURVEY FOR THE DESIGN OF THE REFUGE ISLAND FOR PEDESTRIANS IN LIEU OF SURVEY'S SYSTEMS SURVEY INFORMATION.



City and County of Denver Development Services Site Engineering			
DS PROJECT NO.	2019PM0000088 2020-TRAN-0000271		
PROJECT NAME: 32ND AND SHOSHONE RESIDENTIAL TRANSPORTATION ENGINEERING PLANS			
DESIGNED BY	EMR	DATE	01/18/2021
DRAWN BY	EMR	DATE	01/18/2021
CHECKED BY	JMG/KMG	DATE	01/18/2021
DATE ISSUED		JANUARY 2021	
DRAWING NO.			C5.09
SHEET 10 OF 27 SHEETS			

2019PM0000088 2020-TRAN-0000271



CCD TEP STREET/TRAFFIC/ PARKING SIGN SPECIFIC NOTES

1. STREET, TRAFFIC, AND PARKING SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH DENVER STANDARDS.
2. PARKING SIGNS SHALL BE COORDINATED WITH DENVER PUBLIC WORKS CURBSIDE & PARKING, AS REQUIRED (PARKING.OPERATIONS@DENVERGOV.ORG).
3. ALL WORK AND EXPENSES RELATED TO STREET, TRAFFIC, AND PARKING SIGNS SHALL BE CONTRACTOR RESPONSIBILITY.

SIGNAGE AND STRIPING NOTE

1. ALL SIGNAGE MUST CONFORM TO MANUAL OF TRAFFIC CONTROL DEVICES (MUTCD) AND CURRENT STATE OF COLORADO ADOPTED REFLECTIVITY STANDARDS
2. ALL PROPOSED PAVEMENT MARKINGS SHALL MEET OR EXCEED CDOT 708.05 FOR WHITE AND YELLOW PAVEMENT PIGMENTS

NOTE

ALL EXISTING STRIPING FOR THE INTERSECTION OF 32ND AVENUE AND AND SHOSHONE STREET IS BASED ON AERIAL IMAGERY. NO STRIPING INFORMATION HAS BEEN PROVIDED ON THE EXISTING SURVEY. CONTRACTOR TO VERIFY.

PUBLIC R.O.W. IMPROVMENTS

PUBLIC RIGHT OF WAY IMPROVEMENTS SHOWN AT THE ERIE & 18TH STREET INTERSECTION ON THE SOUTH SIDE OF 32ND AVE. ARE SHOWN FOR INFORMATION ONLY. THE CURRENT DESIGN OF THESE IMPROVEMENTS IS BEING PREPARED IN CONJUNCTION WITH THE CITY AND COUNTY OF DENVER AT THIS TIME. ALL IMPROVEMENTS ON THE SOUTH SIDE OF 32ND AVE. MUST BE CONSTRUCTED AND APPROVED BY THE CITY AND COUNTY OF DENVER PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. TEMPORARY CERTIFICATE OF OCCUPANCY SHALL BE GRANTED PRIOR TO IMPROVEMENTS BEING COMPLETE. (RE: C5.21)

WILSON & COMPANY
ENGINEER
16376 BROADWAY, SUITE 200
DENVER, COLORADO 80202
PHONE: 303-297-2976
FAX: 303-297-2693
www.wilsonco.com

PROPERTY OWNERS
DENVER HOUSING AUTHORITY
1035 OSAGE STREET
DENVER, CO 80204
PHONE: 303-859-9874
WEBSITE: DENVERHOUSING.ORG



PROJECT NAME
32ND AND SHOSHONE RESIDENTIAL
3210 SHOSHONE ST.
DENVER, CO 80211

REV.	DATE	DESCRIPTION	BY

PROJECT NO:	19-600-410-00
DESIGNED BY:	EMR/TGW
DRAWN BY:	EMR/TGW
CHECKED BY:	JMG/KMG
DATE:	JANUARY 18, 2021

SHEET TITLE
TEP - SIGNING AND STRIPING

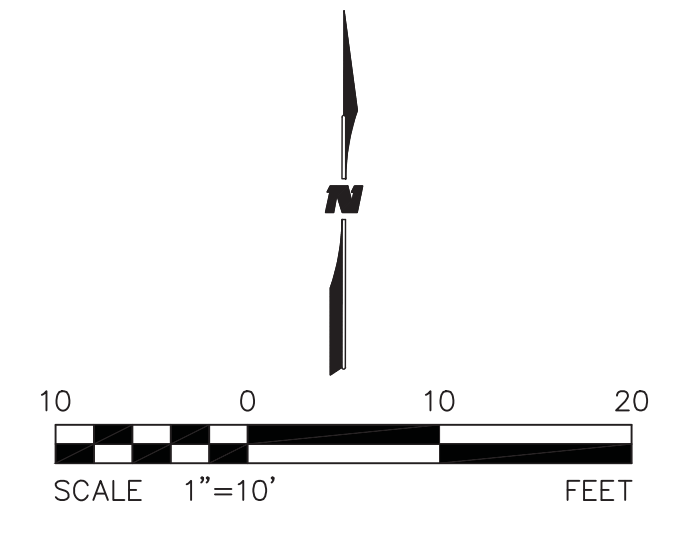
SHEET NO:
C5.10

City and County of Denver
Development Services
Site Engineering

DS PROJECT NO. 2019PM0000088 2020-TRAN-0000271

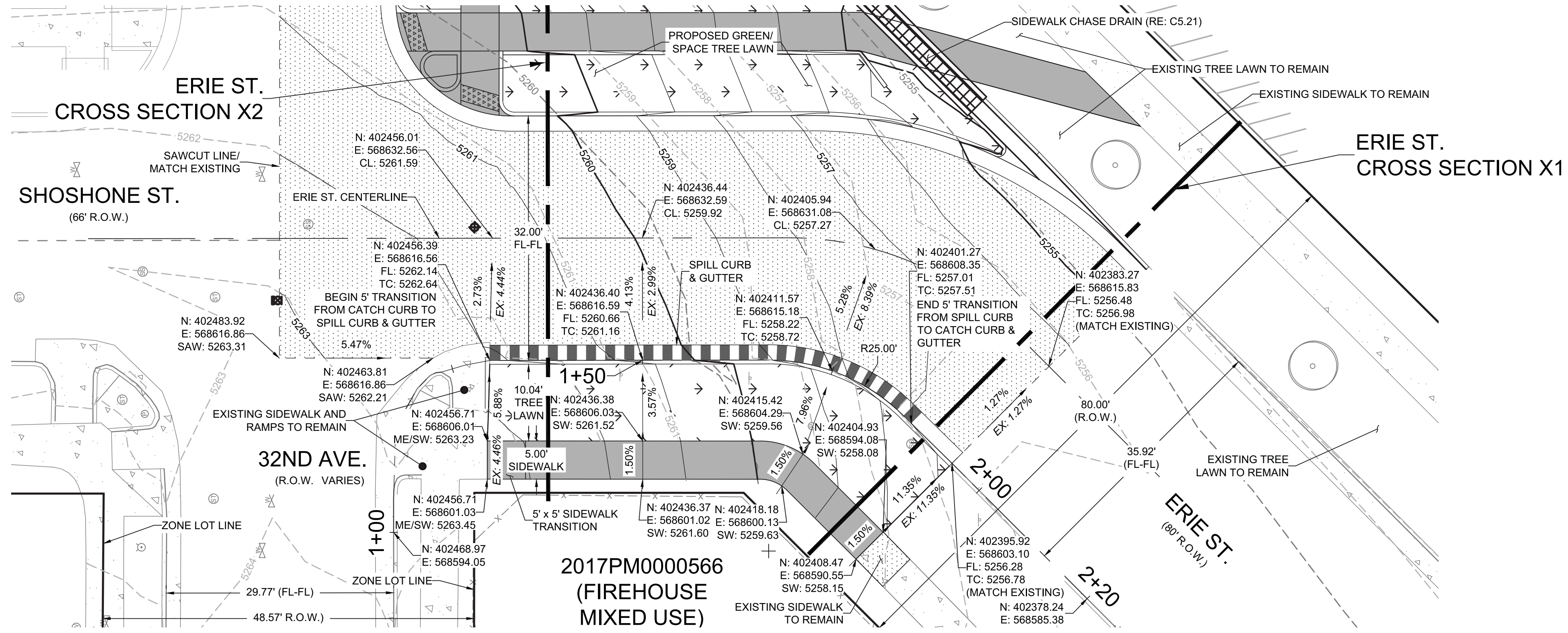
PROJECT NAME:
32ND AND SHOSHONE RESIDENTIAL TRANSPORTATION ENGINEERING PLANS

DESIGNED BY	EMR	DATE	01/18/2021	DATE ISSUED	JANUARY 2021	DRAWING NO.	C5.10
DRAWN BY	EMR	DATE	01/18/2021	SHEET 11 OF 27 SHEETS		C5.10	
CHECKED BY	JMG/KMG	DATE	01/18/2021	SHEET 11 OF 27 SHEETS			

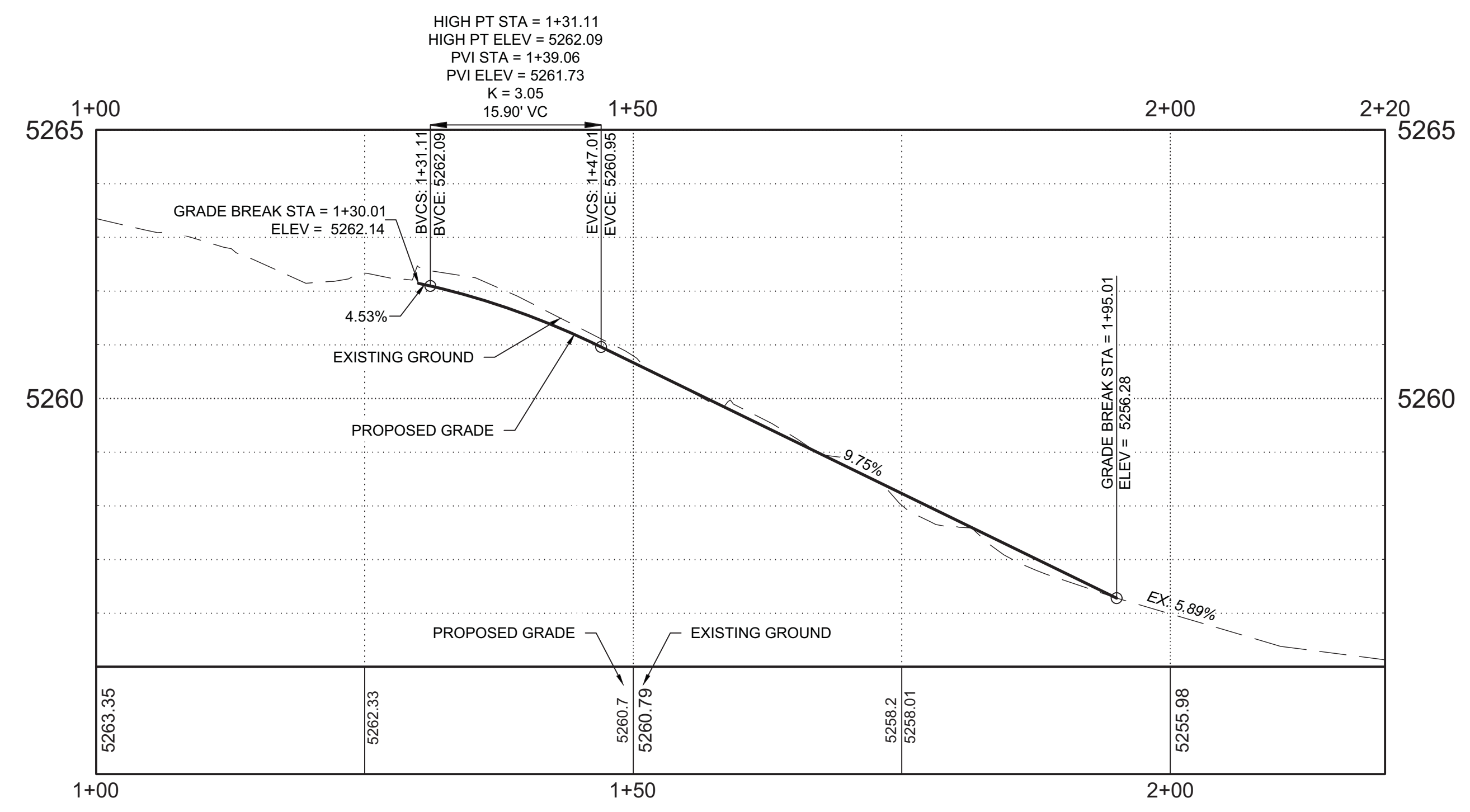


BENCHMARKS
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2017PM0000566 (FIREHOUSE MIXED USE)
 PLAN VIEW - ERIE ST. FLOWLINE - STA 1+00 TO 2+20
 SCALE: 1"=10'



PROFILE VIEW - ERIE ST. FLOWLINE - STA 1+00 TO 2+20
 SCALE: H:1"=10' V:1"=2'

BASIS OF BEARING:
 BEARINGS USED HEREIN ARE BASED ON A 20' RANGE LINE ON WEST 32ND AVE BETWEEN SHOSHONE ST. AND QUIVAS ST., BEING S89°57'36"E USING THE CITY AND COUNTY OF DENVER CONTROL COORDINATES, AS MONUMENTED AT THE WEST ON 32ND AVE AND SHOESHONE ST. BY A FOUND 2" ALUM IN RANGE BOX AZTEC LS38291, AND MONUMENTED AT THE EAST AT 32ND AVE AND QUIVAS AVE AND 14TH AVE BY FOUND 2" ALUM IN RANGE BOX AZTEC LS32428'

2019PM0000088
 2020-TRAN-0000271

NOTE TO CONTRACTOR

VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL POTENTIAL CONFLICTING UTILITIES PRIOR TO CONSTRUCTION OF RIGHT-OF-WAY IMPROVEMENTS.

ABBREVIATIONS

- PL = PROPERTY LINE
- TC = TOP BACK OF CURB
- FL = FLOWLINE
- ME = MATCH EXISTING
- EL = PROPOSED ELEVATION
- CL = CENTERLINE
- SW = EDGE OF SIDEWALK
- EX = EXISTING
- N = NORTHING
- E = EASTING
- PG = PROPOSED GRADE

REPLACEMENT OF PUBLIC IMPROVEMENTS

1. ASPHALT REMOVAL SHALL BE SAW CUT STRAIGHT LINES WITH AS MINIMAL ASPHALT REMOVAL AS POSSIBLE. THE LIMITS OF ALL SAW CUTS SHALL BE DETERMINED BY THE R.O.W. INSPECTOR IN THE FIELD.
2. ALL PROPOSED SIDEWALKS SHALL BE CONSTRUCTED PER CITY AND COUNTY OF DENVER STANDARDS.
3. ALL ASPHALT PATCHING WITHIN THE R.O.W. IS TO BE REPLACED PER CCD STD DWG 12.0 WITH A MINIMUM OF 3" DEPTH OR AT A DEPTH OF THE EXISTING ASPHALT, PLUS ONE INCH (1"), WHICHEVER IS GREATER.

SAWCUT NOTE

1. CONTRACTOR SHALL SAWCUT TO FULL DEPTH USING STRAIGHT LINES ONLY. REMOVE AND REPLACE DISTURBED ASPHALT PER CCD STD DWGS NO. 12.5A AND 12.6.

R.O.W. NOTE

1. R.O.W. INSPECTOR TO DETERMINE IF ADDITIONAL R.O.W. FEATURES WILL NEED TO BE REMOVED AND REPLACED.
2. ANY DAMAGED OR SUBSTANDARD CURB, GUTTER, SIDEWALK, OR AMENITY ZONE SHALL BE REPLACED AS DIRECTED BY THE ROW INSPECTOR.

CONCRETE REPLACEMENT NOTE

1. CURB AND GUTTER, SIDEWALK, AND ROADWAY REPLACEMENT MUST BE TO THE NEAREST CONCRETE JOINT AND THEREFORE THE LIMITS OF CONCRETE REMOVAL/REPLACEMENT ARE ONLY APPROXIMATE.

WILSON & COMPANY
 ENGINEER
 1675 BROADWAY, SUITE 200
 DENVER, COLORADO 80202
 PHONE: 303-297-2976
 FAX: 303-297-2693
 www.wilsonco.com

PROPERTY OWNERS
DENVER HOUSING AUTHORITY
 1035 OSAGE STREET
 DENVER, COLORADO 80204



PROJECT NAME
32ND & SHOSHONE INTERSECTION
 W 32ND AVE. & SHOSHONE ST.
 DENVER, CO 80211

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-412-07
 DESIGNED BY: EMRTGW
 DRAWN BY: EMRTGW
 CHECKED BY: JMG/KMG
 DATE: JANUARY 18, 2021

SHEET TITLE
TEP - ERIE ST. PLAN AND PROFILE

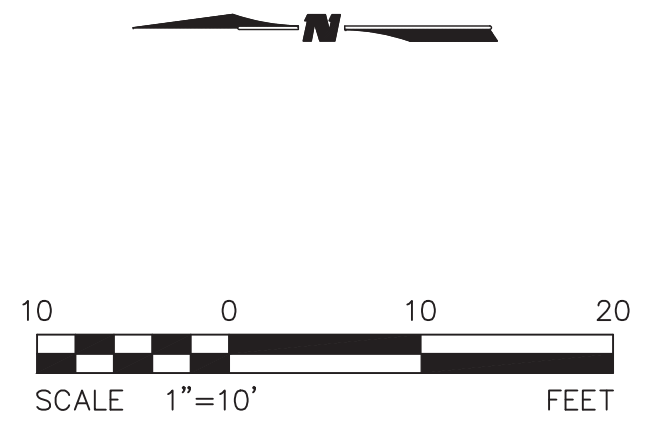
SHEET NO:
C5.11

City and County of Denver
 Development Services
 Site Engineering

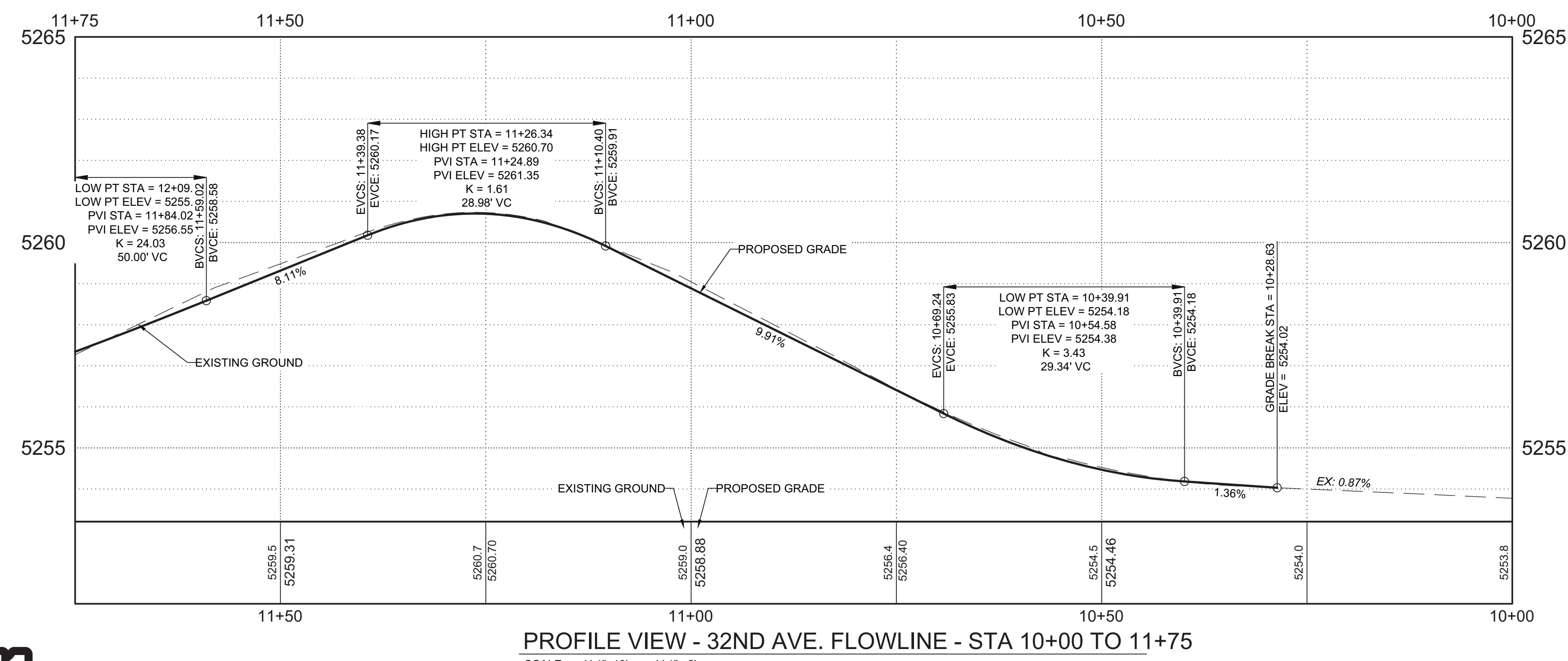
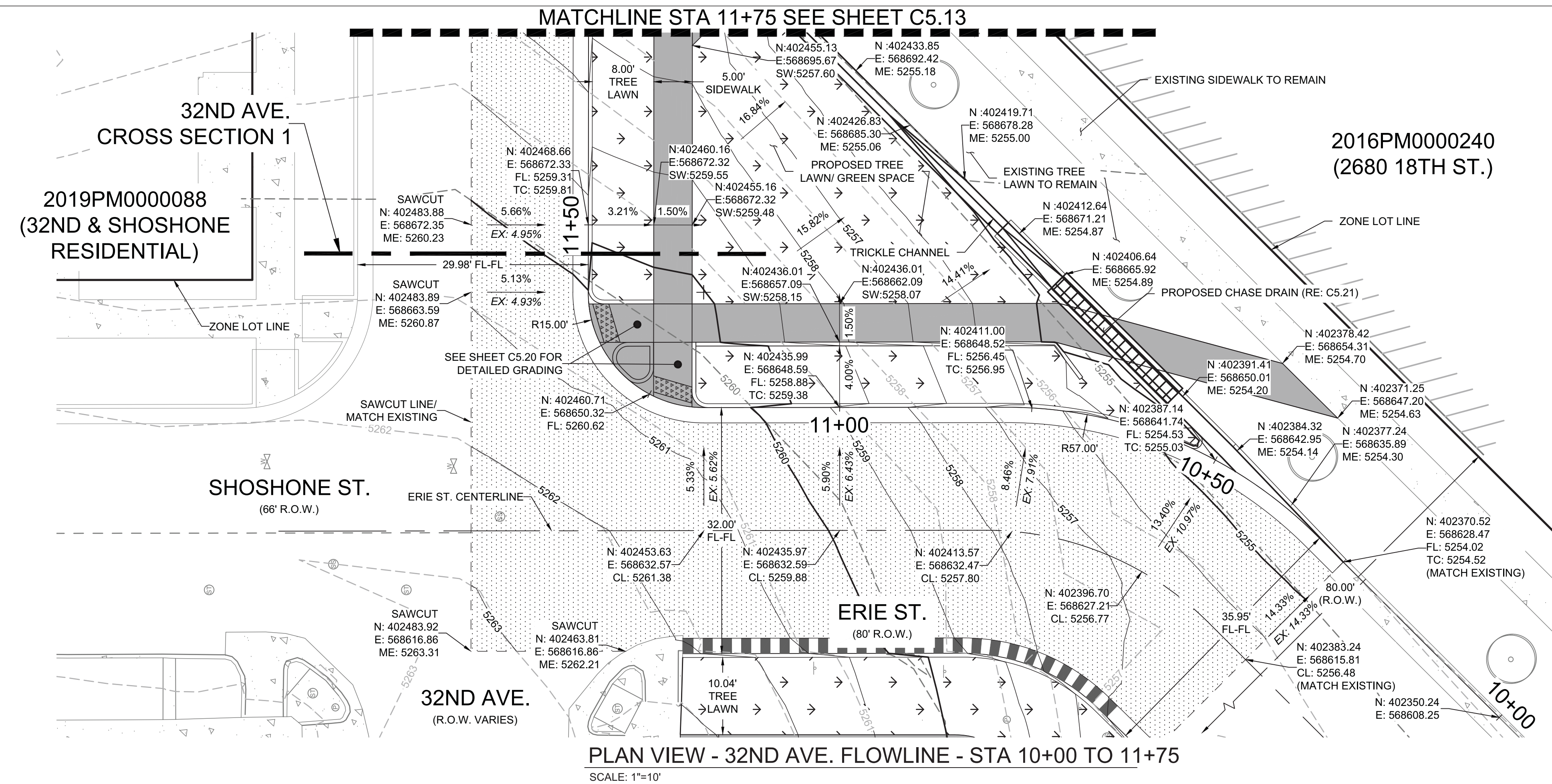
DS PROJECT NO: 2019PM0000088 2020-TRAN-0000271

PROJECT NAME:
32ND & SHOSHONE INTERSECTION TRANSPORTATION ENGINEERING PLANS

DESIGNED BY: EMR	DATE: 01/18/2021	DATE ISSUED: JANUARY 2021	DRAWING NO. C5.11
DRAWN BY: EMR	DATE: 01/18/2021	SHEET 12 OF 27 SHEETS	
CHECKED BY: JMG/KMG	DATE: 01/18/2021		



BENCHMARK
 CITY AND COUNTY OF DENVER BENCHMARK VM3, BEING AN CITY COUNTY OF DENVER BRASS CAP, IN CONCRETE FILLED POST IN THE NORTHEAST CORNER OF PARKING LOT AT CORNER OF 16TH STREET AND BOULDER STREET, HAVING AN ELEVATION OF 5249.83 FEET (NAVD 88).



2019PM0000088
2020-TRAN-0000271

NOTE TO CONTRACTOR

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PROPERTY OWNERS
DENVER HOUSING AUTHORITY
1035 OSAGE STREET
DENVER, COLORADO 80204

SEAL
Professional Engineer
402.0812000
47646

PROJECT NAME
32ND & SHOSHONE INTERSECTION
W 32ND AVE. & SHOSHONE ST.
DENVER, CO 80211

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-412-07
DESIGNED BY: EMRT/GW
DRAWN BY: EMRT/GW
CHECKED BY: JMG/KMG
DATE: JANUARY 18, 2021

SHEET TITLE
TEP - 32ND AVE. PLAN AND PROFILE - STA 10+00 TO 11+75

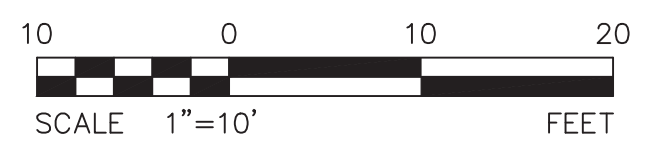
SHEET NO:
C5.12

City and County of Denver
Development Services
Site Engineering

DS PROJECT NO: 2019PM0000088 2020-TRAN-0000271

PROJECT NAME:
TRANSPORTATION ENGINEERING PLANS

DESIGNED BY: EMR	DATE: 01/18/2021	DATE ISSUED: JANUARY 2021	DRAWING NO. C5.12
DRAWN BY: EMR	DATE: 01/18/2021	CHECKED BY: JMG/KMG	SHEET 13 OF 27 SHEETS



811
Know what's below.
Call before you dig.

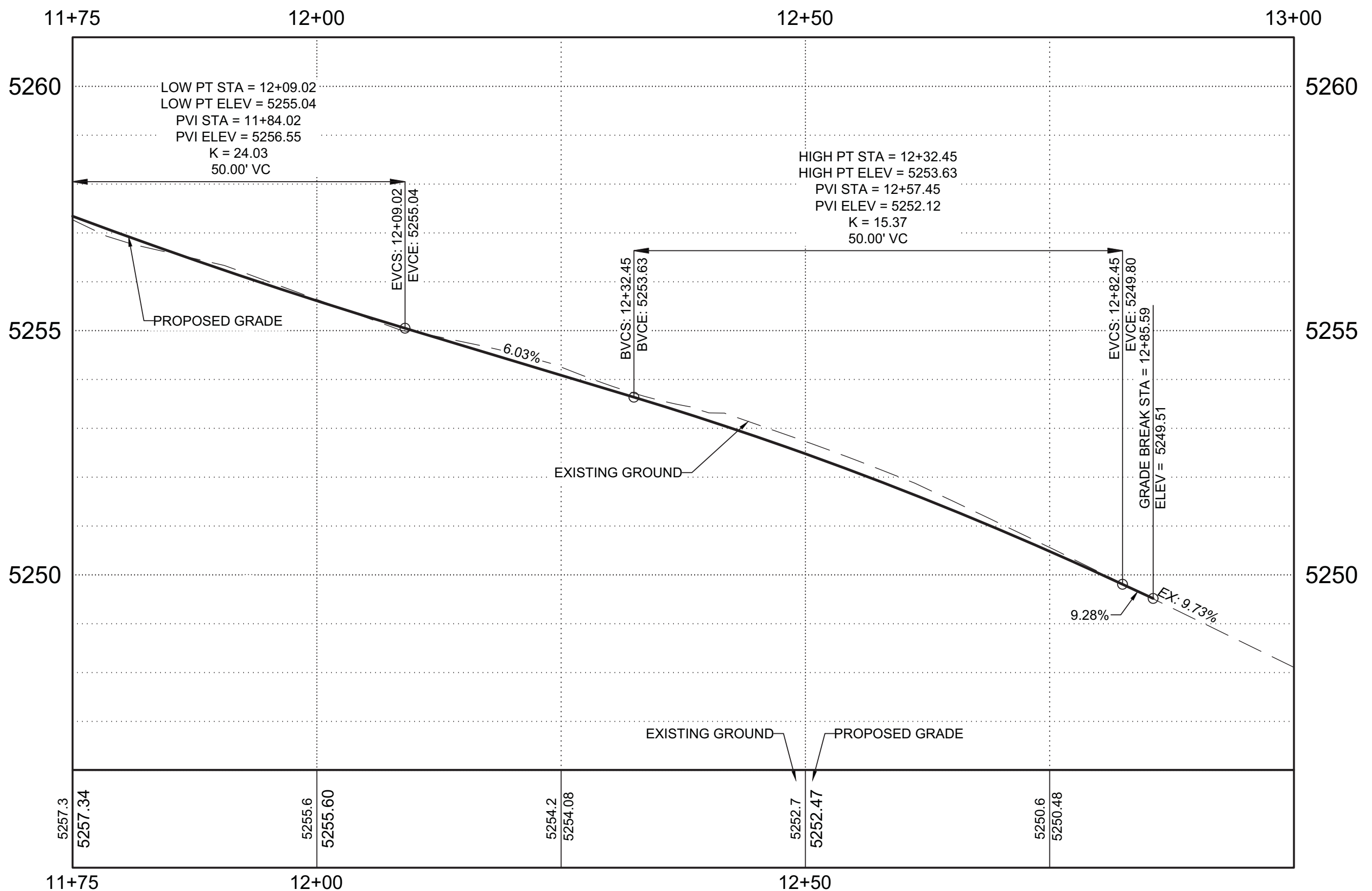
BENCHMARK
CITY AND COUNTY OF DENVER BENCHMARK VM3, BEING AN CITY COUNTY OF DENVER BRASS CAP, IN CONCRETE FILLED POST IN THE NORTHEAST CORNER OF PARKING LOT AT CORNER OF 16TH STREET AND BOULDER STREET, HAVING AN ELEVATION OF 5249.83 FEET (NAVD 88).

BASIS OF BEARING:
BEARINGS USED HEREIN ARE BASED ON A 20' RANGE LINE ON WEST 32ND AVE BETWEEN SHOSHONE ST. AND QUIVAS ST., BEING S89°57'36"E USING THE CITY AND COUNTY OF DENVER CONTROL COORDINATES, AS MONUMENTED AT THE WEST ON 32ND AVE AND SHOESHONE ST. BY A FOUND 2" ALUM IN RANGE BOX AZTEC LS38291, AND MONUMENTED AT THE EAST AT 32ND AVE AND QUIVAS AVE AND 14TH AVE BY FOUND 2" ALUM IN RANGE BOX AZTEC LS32428'

2019PM0000088
(32ND & SHOSHONE
RESIDENTIAL)

32ND AVE.
CROSS SECTION 2

PLAN VIEW - 32ND AVE. FLOWLINE - STA 11+75 TO 13+00
SCALE: 1"=10'



PROFILE VIEW - 32ND AVE. FLOWLINE - STA 11+75 TO 13+00

SCALE: H:1"=10' V:1"=2'
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2019PM0000088
2020-TRAN-0000271

NOTE TO CONTRACTOR

VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL POTENTIAL CONFLICTING UTILITIES PRIOR TO CONSTRUCTION OF RIGHT-OF-WAY IMPROVEMENTS.

ABBREVIATIONS

- PL = PROPERTY LINE
- TC = TOP BACK OF CURB
- FL = FLOWLINE
- ME = MATCH EXISTING
- EL = PROPOSED ELEVATION
- CL = CENTERLINE
- SW = EDGE OF SIDEWALK
- EX = EXISTING
- N = NORTHING
- E = EASTING
- PG = PROPOSED GRADE

REPLACEMENT OF PUBLIC IMPROVEMENTS

- ASPHALT REMOVAL SHALL BE SAW CUT STRAIGHT LINES WITH AS MINIMAL ASPHALT REMOVAL AS POSSIBLE. THE LIMITS OF ALL SAW CUTS SHALL BE DETERMINED BY THE R.O.W. INSPECTOR IN THE FIELD.
- ALL PROPOSED SIDEWALKS SHALL BE CONSTRUCTED PER CITY AND COUNTY OF DENVER STANDARDS.
- ALL ASPHALT PATCHING WITHIN THE R.O.W. IS TO BE REPLACED PER CCD STD DWG 12.0 WITH A MINIMUM OF 3" DEPTH OR AT A DEPTH OF THE EXISTING ASPHALT, PLUS ONE INCH (1"), WHICHEVER IS GREATER.

SAWCUT NOTE

- CONTRACTOR SHALL SAWCUT TO FULL DEPTH USING STRAIGHT LINES ONLY. REMOVE AND REPLACE DISTURBED ASPHALT PER CCD STD DWGS NO. 12.5A AND 12.6.

R.O.W. NOTE

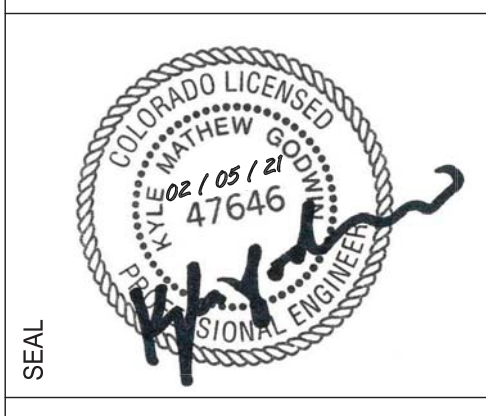
- R.O.W. INSPECTOR TO DETERMINE IF ADDITIONAL R.O.W. FEATURES WILL NEED TO BE REMOVED AND REPLACED.
- ANY DAMAGED OR SUBSTANDARD CURB, GUTTER, SIDEWALK, OR AMENITY ZONE SHALL BE REPLACED AS DIRECTED BY THE ROW INSPECTOR.

CONCRETE REPLACEMENT NOTE

- CURB AND GUTTER, SIDEWALK, AND ROADWAY REPLACEMENT MUST BE TO THE NEAREST CONCRETE JOINT AND THEREFORE THE LIMITS OF CONCRETE REMOVAL/REPLACEMENT ARE ONLY APPROXIMATE.

WILSON & COMPANY
 ENGINEER
 1675 BROADWAY, SUITE 200
 DENVER, COLORADO 80202
 PHONE: 303-297-2976
 FAX: 303-297-2693
 www.wilsonco.com

PROPERTY OWNERS
DENVER HOUSING AUTHORITY
 1035 OSAGE STREET
 DENVER, COLORADO 80204



PROJECT NAME
32ND & SHOSHONE INTERSECTION
 W 32ND AVE. & SHOSHONE ST.
 DENVER, CO 80211

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-412-07
 DESIGNED BY: EMRTGW
 DRAWN BY: EMRTGW
 CHECKED BY: JMG/KMG
 DATE: JANUARY 18, 2021

SHEET TITLE
TEP - 32ND AVE. PLAN AND PROFILE - STA 11+75 TO 13+00

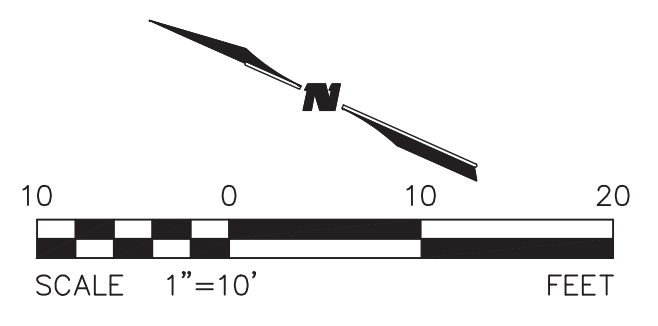
SHEET NO:
C5.13

City and County of Denver
 Development Services
 Site Engineering

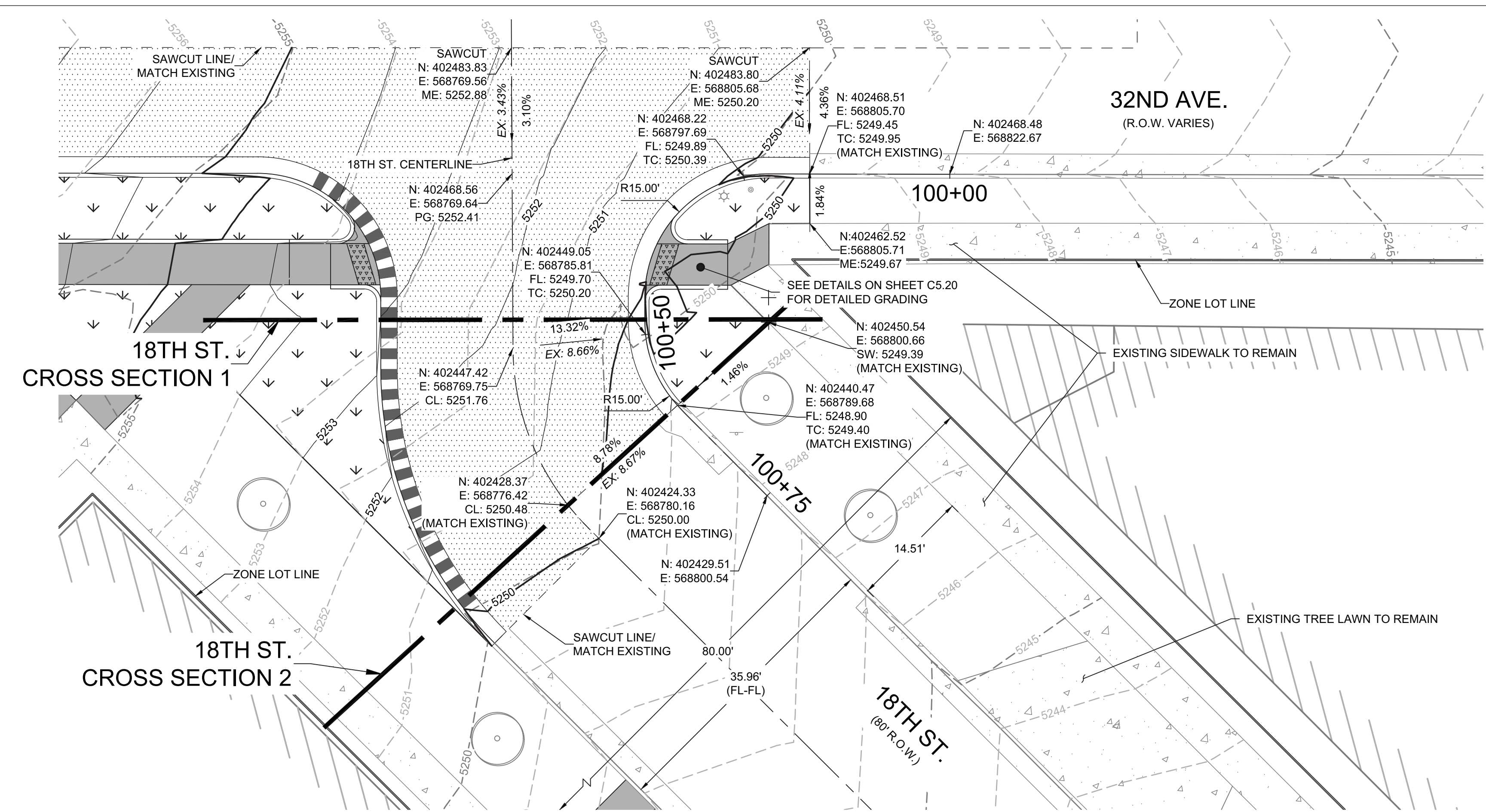
DS PROJECT NO. 2019PM0000088 2020-TRAN-0000271

PROJECT NAME:
 TRANSPORTATION ENGINEERING PLANS

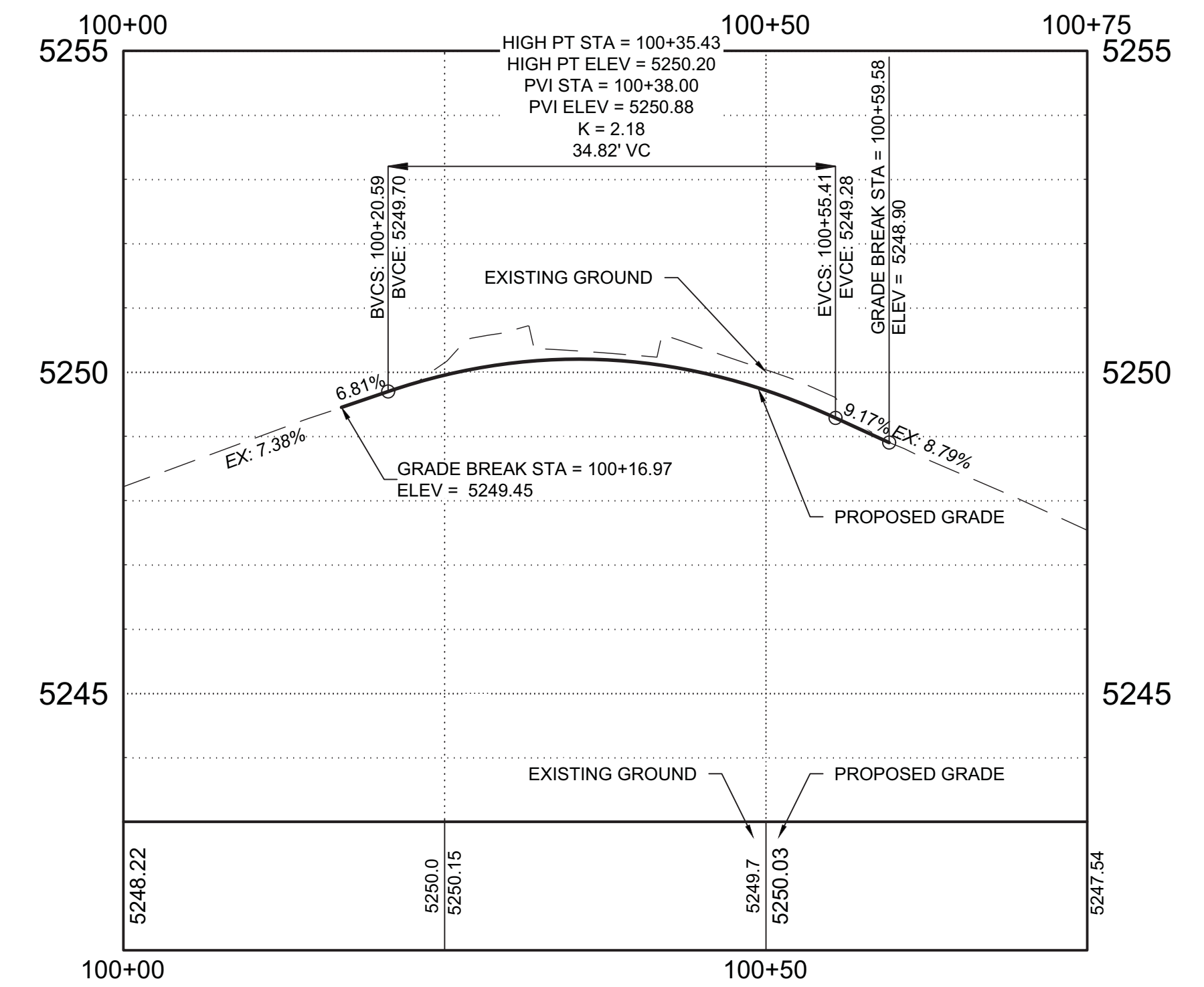
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PLAN VIEW - 18TH ST. FLOWLINE - STA 100+00 TO 100+75
SCALE: 1"=10'



PROFILE VIEW - 18TH ST. FLOWLINE - STA 100+00 TO 100+75
SCALE: H: 1" = 10' V: 1" = 2'

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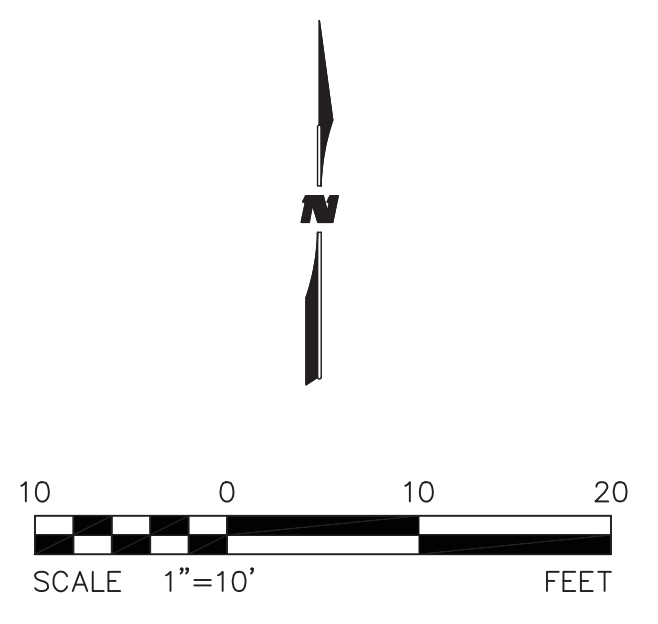
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TEP - 18TH ST. PLAN AND PROFILE

SHEET NO:
C5.14

City and County of Denver Development Services Site Engineering			
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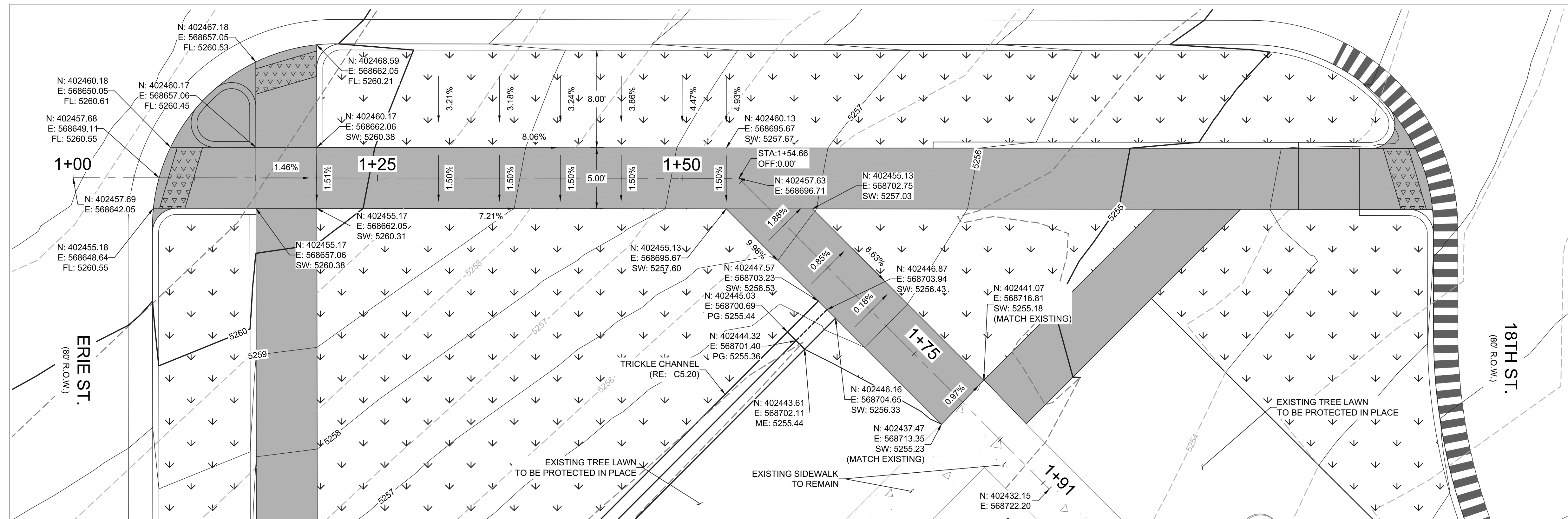
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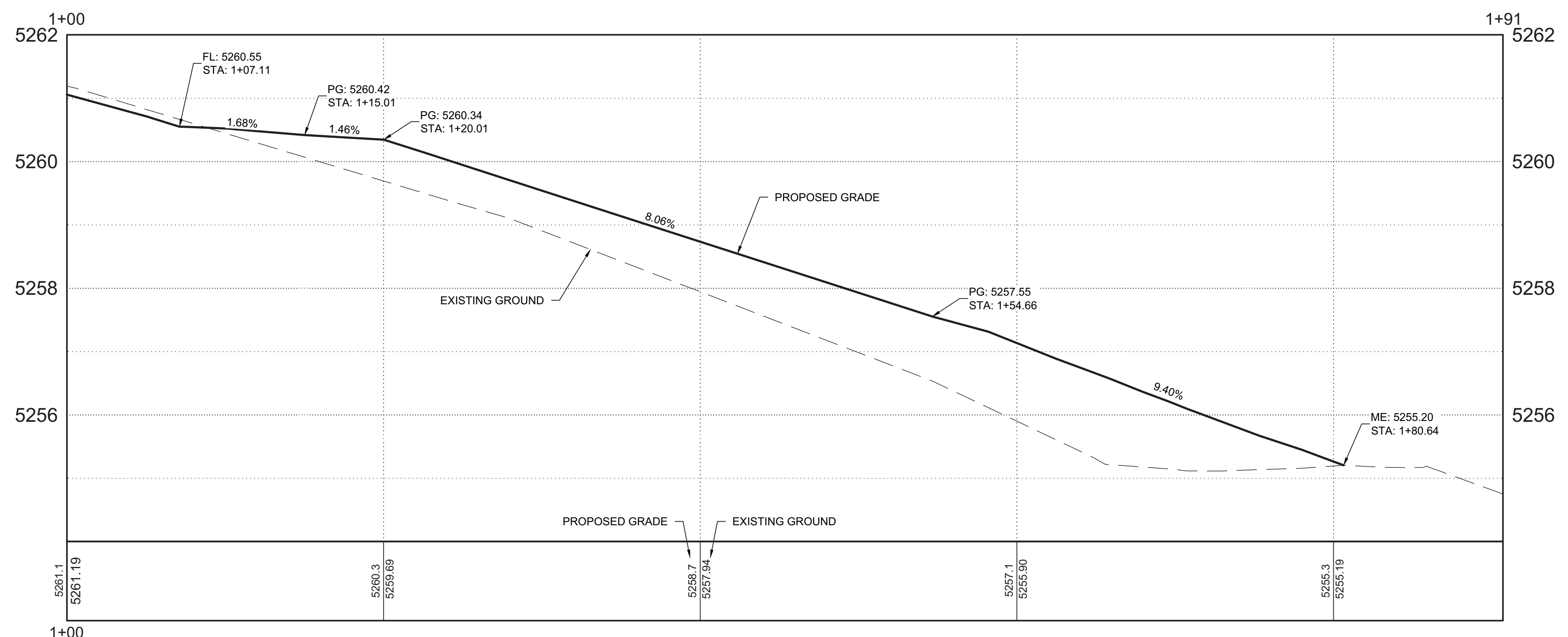
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SHEET TITLE
TEP - WEST SIDEWALK - PLAN AND PROFILE

SHEET NO:
C5.16



PLAN VIEW - WEST SIDEWALK STA 1+00 TO 1+91
SCALE: 1"=5'

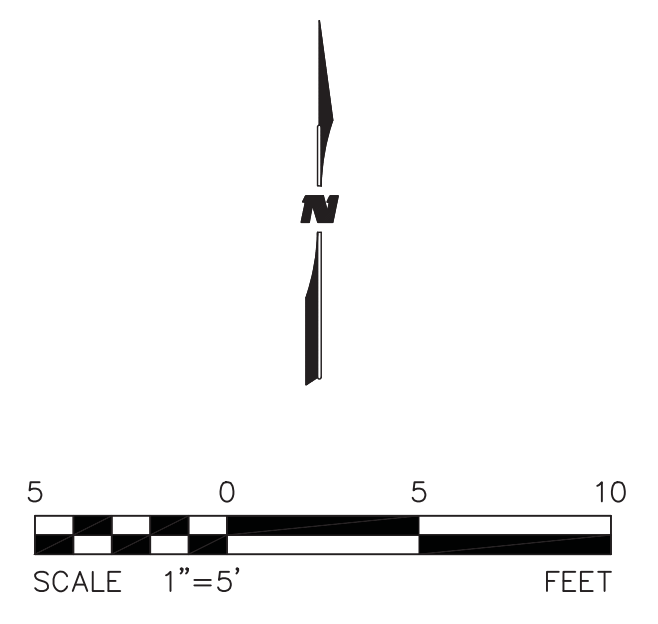


PROFILE VIEW - WEST SIDEWALK STA 1+00 TO 1+91
SCALE: H: 1"=5' V: 1"=1.25'

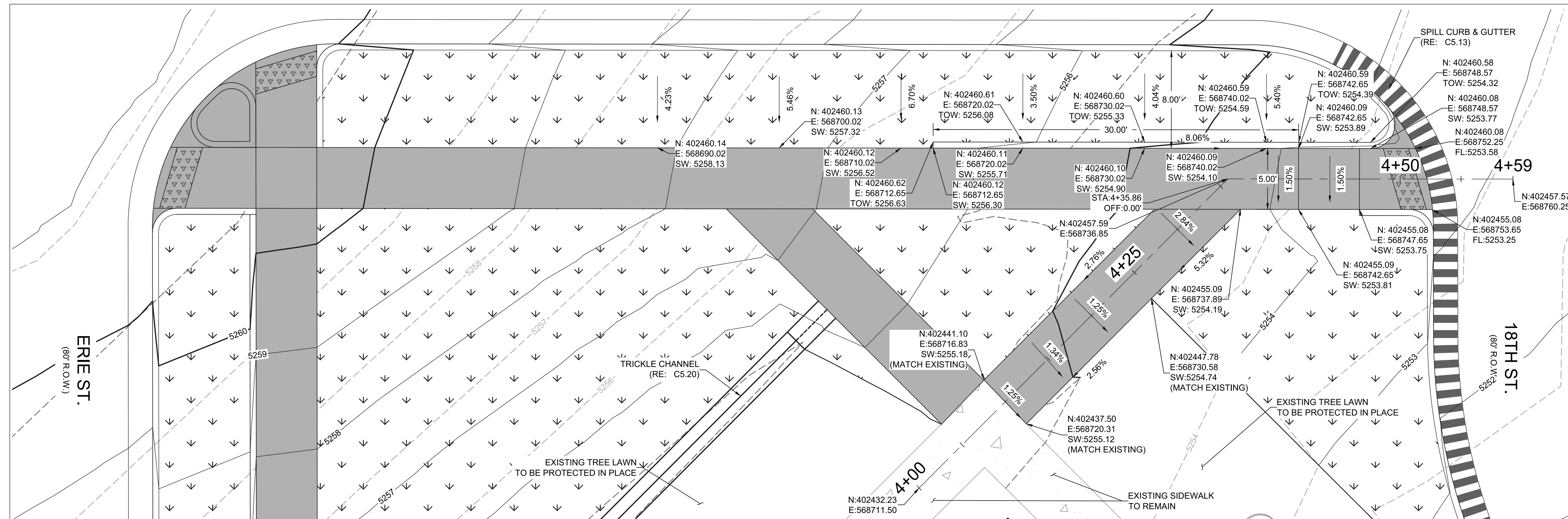


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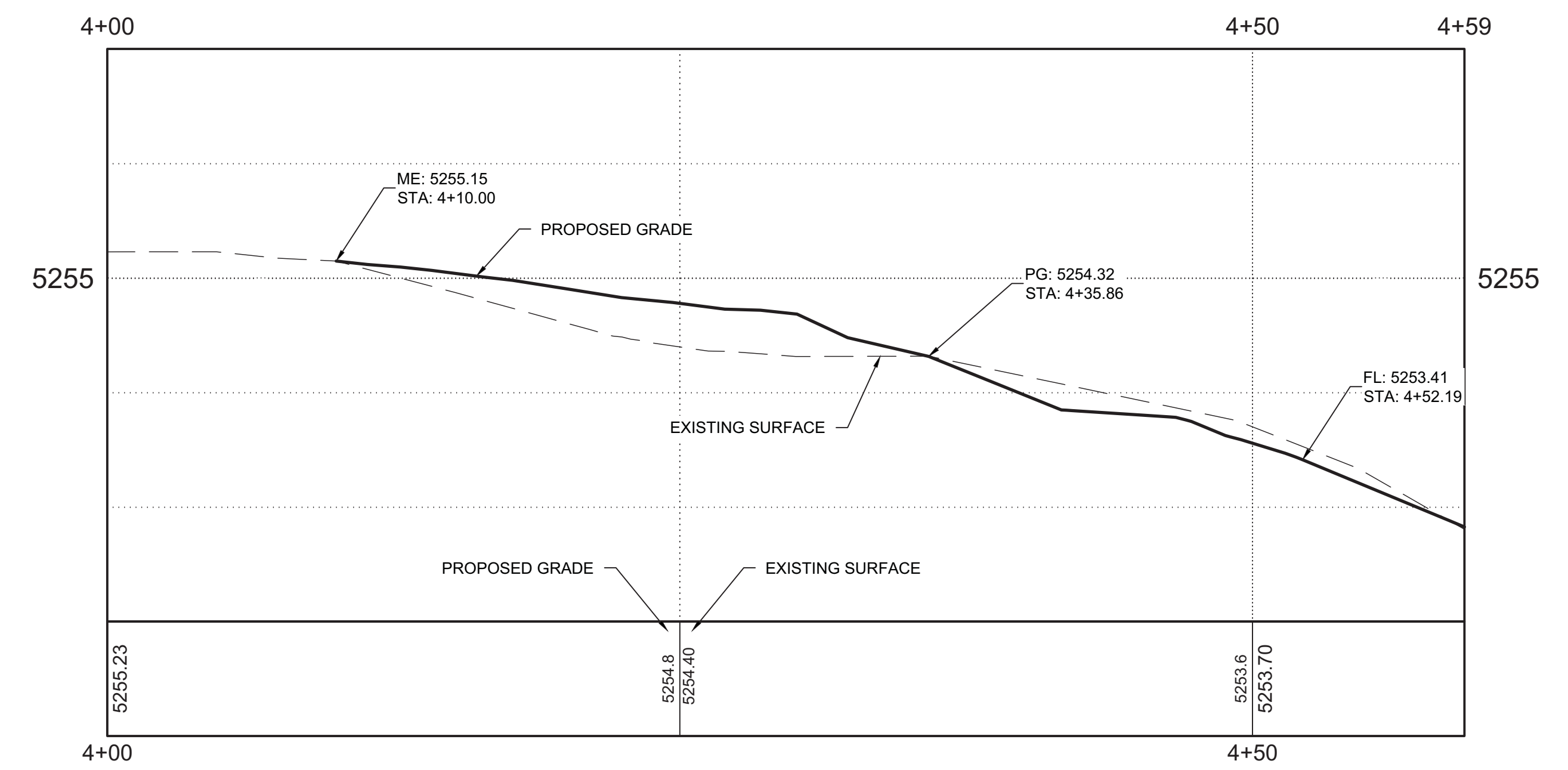
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CHECKED BY	JMG/KMG	DATE 01/18/2021	SHEET 17 OF 27 SHEETS



PLAN VIEW - EAST SIDEWALK STA 4+00 TO 4+59
SCALE: 1"=5'



PROFILE VIEW - EAST SIDEWALK STA 4+00 TO 4+59
SCALE: 1"=5'

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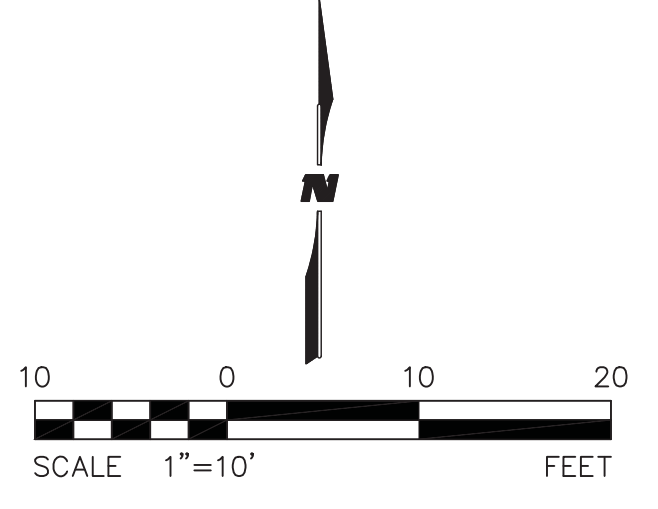
SHEET TITLE
TEP - EAST SIDEWALK - PLAN AND PROFILE

SHEET NO:
C5.17



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DATE: JANUARY 18, 2021

SHEET TITLE
TEP - SIGNING & STRIPING
SHEET NO:
C5.21

City and County of Denver
Development Services
Site Engineering

DS PROJECT NO. 2019PM0000088 2020-TRAN-0000271

PROJECT NAME:
32ND & SHOSHONE INTERSECTION TRANSPORTATION ENGINEERING PLANS

DESIGNED BY: EMR	DATE: 01/18/2021	DATE ISSUED: JANUARY 2021	DRAWING NO. C5.21
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CHECKED BY: JMG/KMG	DATE: 01/18/2021	SHEET 22 OF 27 SHEETS	

CCD TEP STREET/TRAFFIC/PARKING SIGN SPECIFIC NOTES

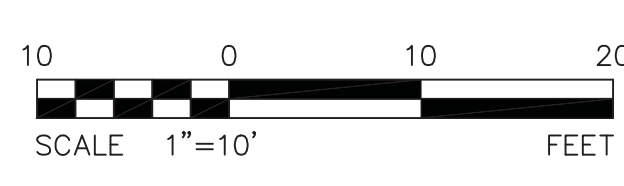
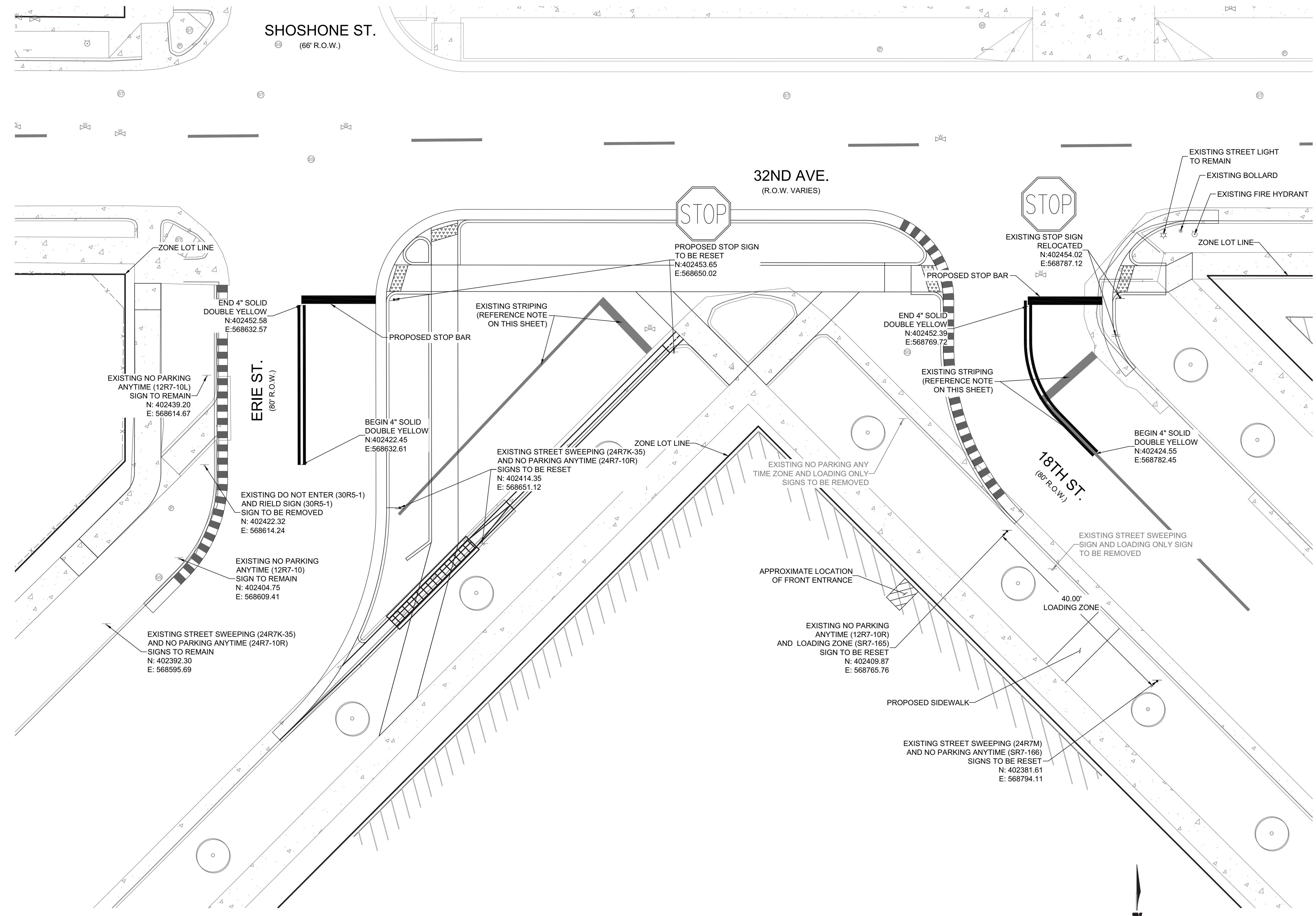
- STREET, TRAFFIC, AND PARKING SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH DENVER STANDARDS.
- PARKING SIGNS SHALL BE COORDINATED WITH DENVER PUBLIC WORKS CURBSIDE & PARKING, AS REQUIRED (PARKING.OPERATIONS@DENVERGOV.ORG).
- ALL WORK AND EXPENSES RELATED TO STREET, TRAFFIC, AND PARKING SIGNS SHALL BE CONTRACTOR RESPONSIBILITY.

SIGNAGE AND STRIPING NOTE

- ALL SIGNAGE MUST CONFORM TO MANUAL OF TRAFFIC CONTROL DEVICES (MUTCD) AND CURRENT STATE OF COLORADO ADOPTED REFLECTIVITY STANDARDS
- ALL PROPOSED PAVEMENT MARKINGS SHALL MEET OR EXCEED CDOT 708.05 FOR WHITE AND YELLOW PAVEMENT PIGMENTS

NOTE

ALL EXISTING STRIPING FOR THE INTERSECTION OF 32ND AVENUE AND SHOSHONE STREET IS BASED ON AERIAL IMAGERY. NO STRIPING INFORMATION HAS BEEN PROVIDED ON THE EXISTING SURVEY. CONTRACTOR TO VERIFY.



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GENERAL PLANTING NOTES

- Landscape Contractor shall be responsible for becoming familiar with all underground utilities, pipes and structures. The Landscape Contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines prior to any excavation. The Landscape Contractor shall take sole responsibility for any cost incurred due to damage of said utilities. Call 811 Before You Dig.
- Do not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the General Contractor and Owner's Representative. The Landscape Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- If conflicts arise between actual size of areas and plan size areas, Landscape Contractor to contact Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in Contractor's liability to relocate materials.
- Landscape Contractor shall notify Owner's Representative 72 hours prior to commencement of work to coordinate project inspection schedules.
- Landscape Contractor shall provide per unit costs for every size of plant material, and by type as called out on the Landscape Plan. Unit cost to include the plant material installed including all labor, equipment, amendments, fertilizers, and other materials as detailed and specified for each size.
- All plant material shall be acclimated to local conditions for a minimum of 8 months before planting.
- Landscape Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
- Landscape Contractor shall be responsible for furnishing plant material free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Landscape Contractor and be certified pest and disease free.
- Landscape Contractor to obtain an agricultural suitability analysis of the site soil from an accredited soils laboratory at the contractors cost. The analysis shall verify the suitability of the existing soils, analyze the existing soil texture and recommend additional soil amendments beyond those specified. Additional amendments recommended by the analysis beyond those specified shall be an additional cost. A minimum of two (2) samples shall be taken from the site. Location to be determined by the Owner's Representative. The soil amendments currently specified will be the minimum incorporated. Test Agency: Colorado State University Soil Testing Lab, A319-NESB, Fort Collins, CO 80523-1120 or other reputable lab.
- Final location of all plant material shall be subject to the approval of the Owner's Representative.
- Landscape Contractor is responsible for weed control in all planting beds and regular mowing of turf areas until final acceptance.
- Landscape Contractor is responsible for staking/guying of all trees as per the planting details for a period of one year.
- Landscape Contractor's warranty all plant material for two years after final acceptance.

PLANT LEGEND

Symbol	Quantity	Botanical Name/Common Name	Size	Spacing	Hydrozone (1-4)
<u>Deciduous Shade Trees</u>					
CK	1	Cladrastis kentukea American Yellowwood	2-1/2" cal.		2-3
QR	1	Quercus robur x macrocarpa 'Clemons' Heritage Oak	2-1/2" cal.		2-3
QI	1	Quercus imbricaria Shingle Oak	2-1/2" cal.		2-3
<u>Ornamental Trees</u>					
CC	3	Cercis Chinensis 'Avondale' Avondale Redbud	2-1/2" cal.		2-3
<u>Ornamental Grasses</u>					
ICR	21	Imperata cylindrica Japanese Blood Grass	1 gal.	24" o.c.	2-3
HMA	208	Hakonechloa macra 'All Gold' All Gold Japanese Forest Grass	1 gal.	18" o.c.	2-3
<u>Groundcovers</u>					
VMC	268	Vinca minor 'Bowles' Bowles' Common Periwinkle	2 1/2" pot.	18" o.c.	2-3
TCA	56	Thymus x citrodorus 'Aureus' Golden Lemon Thyme	1 gal.	18" o.c.	2-3

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SEAL

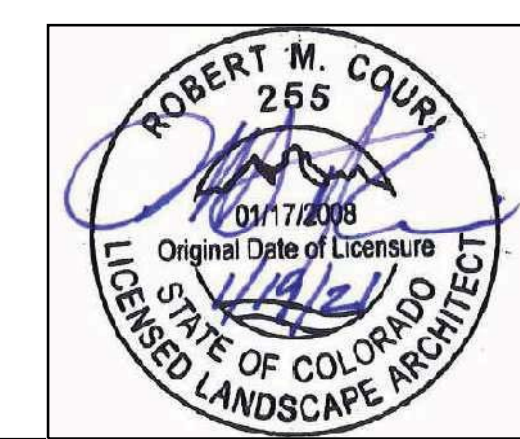
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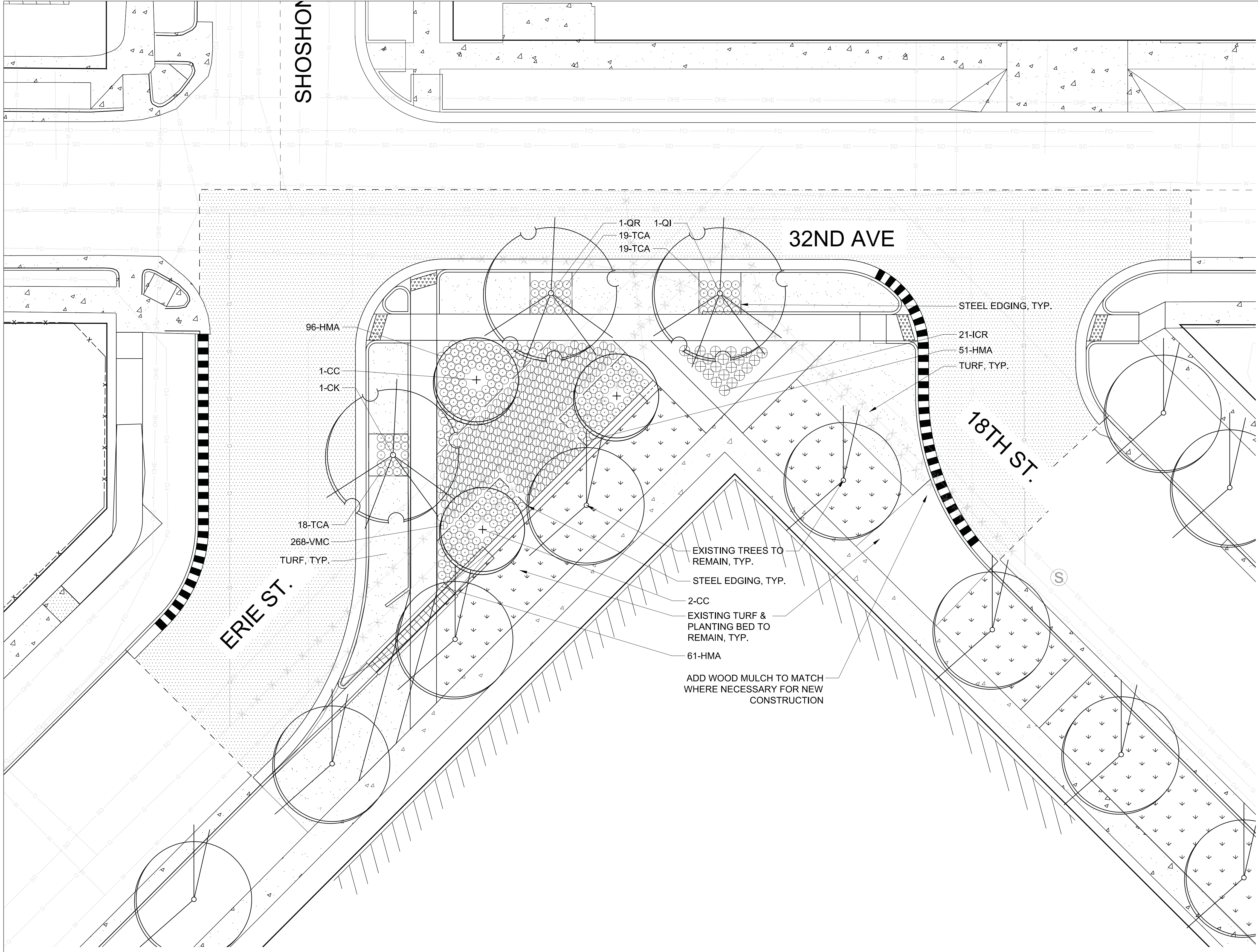
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 SHEET TITLE

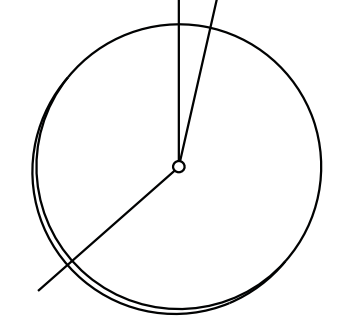
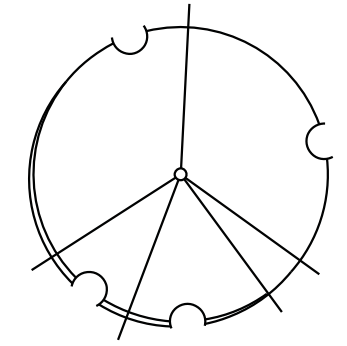
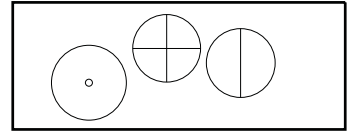
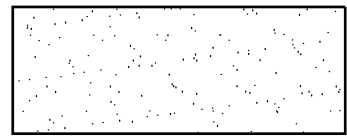
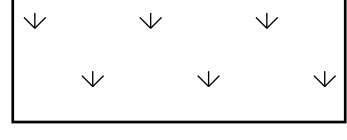
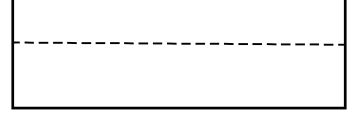
LANDSCAPE NOTES & LEGEND

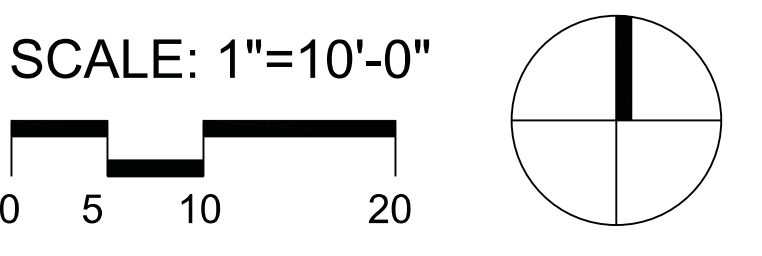
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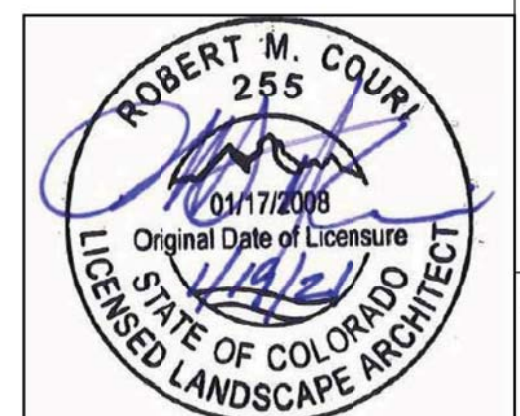


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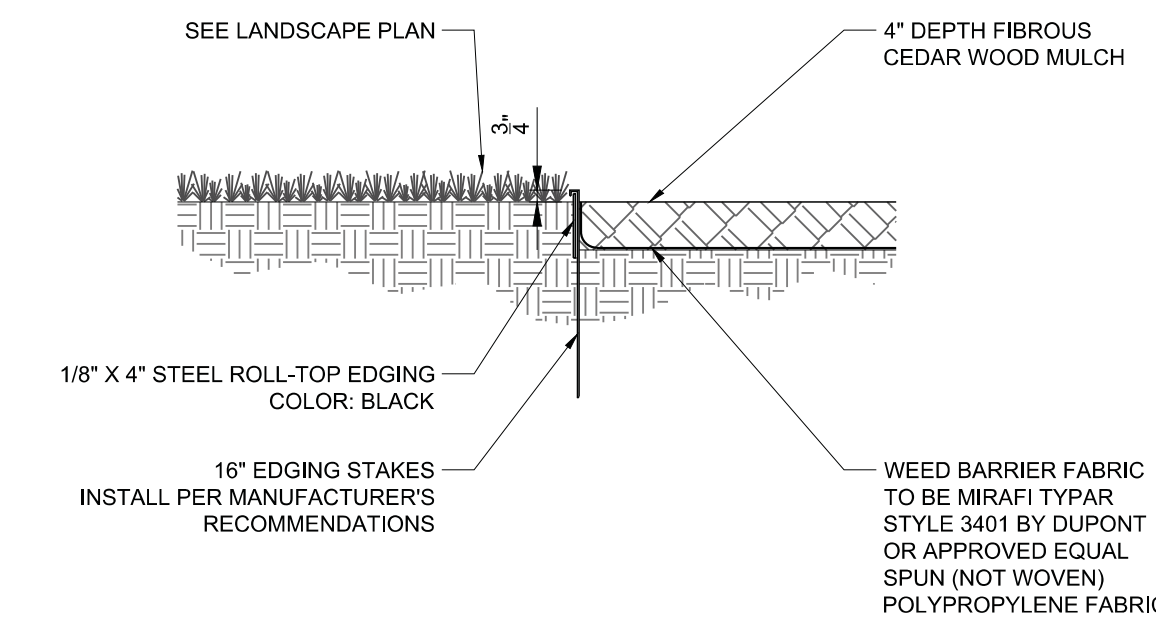
-  EXISTING DECIDUOUS SHADE TREE
-  DECIDUOUS SHADE TREE
-  SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES
-  TURF
-  EXISTING TURF TO REMAIN
-  EDGING



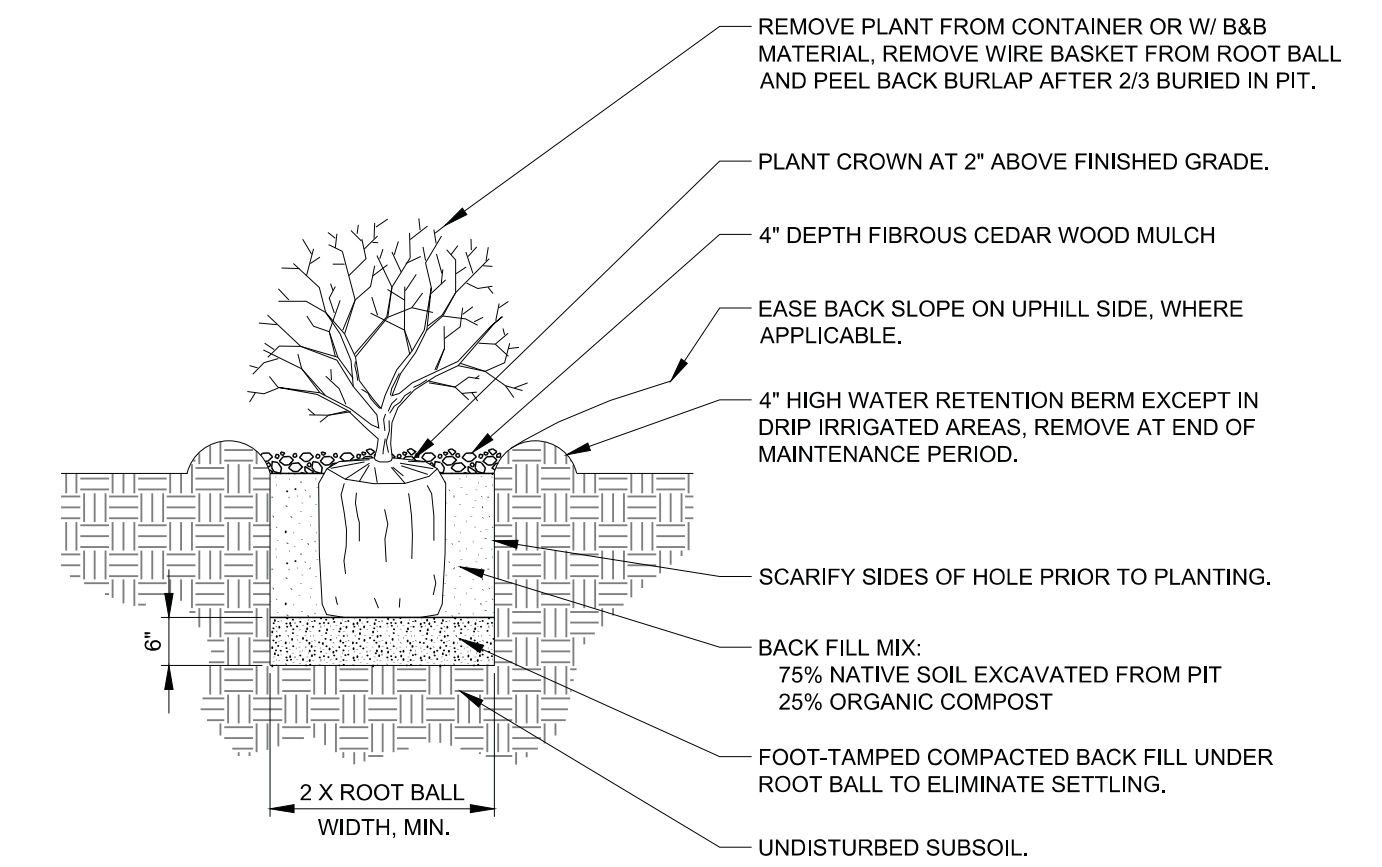
<p>ENGINEER</p> <p>WILSON & COMPANY</p> <p>1675 BROADWAY, SUITE 200 DENVER, COLORADO 80202 PHONE: 303-297-2976 FAX: 303-297-2693 www.wilsonco.com</p>	<p>PROPERTY OWNERS</p> <p>DENVER HOUSING AUTHORITY</p> <p>1035 OSAGE STREET DENVER, COLORADO 80204</p>	<p>SEAL</p>	<p>PROJECT NAME</p> <p>32ND & SHOSHONE INTERSECTION</p> <p>W 32ND AVE. & SHOSHONE ST. DENVER, CO 80211</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table> <p>PROJECT NO: 19-608-412-07</p> <p>DESIGNED BY: MS</p> <p>DRAWN BY: MS</p> <p>CHECKED BY: RMC</p> <p>DATE: JANUARY 18, 2021</p> <p>SHEET TITLE</p> <p>LANDSCAPE PLAN</p> <p>DRAWING NO: L-2</p>	REV.	DATE	DESCRIPTION	BY																																								
REV.	DATE	DESCRIPTION	BY																																													



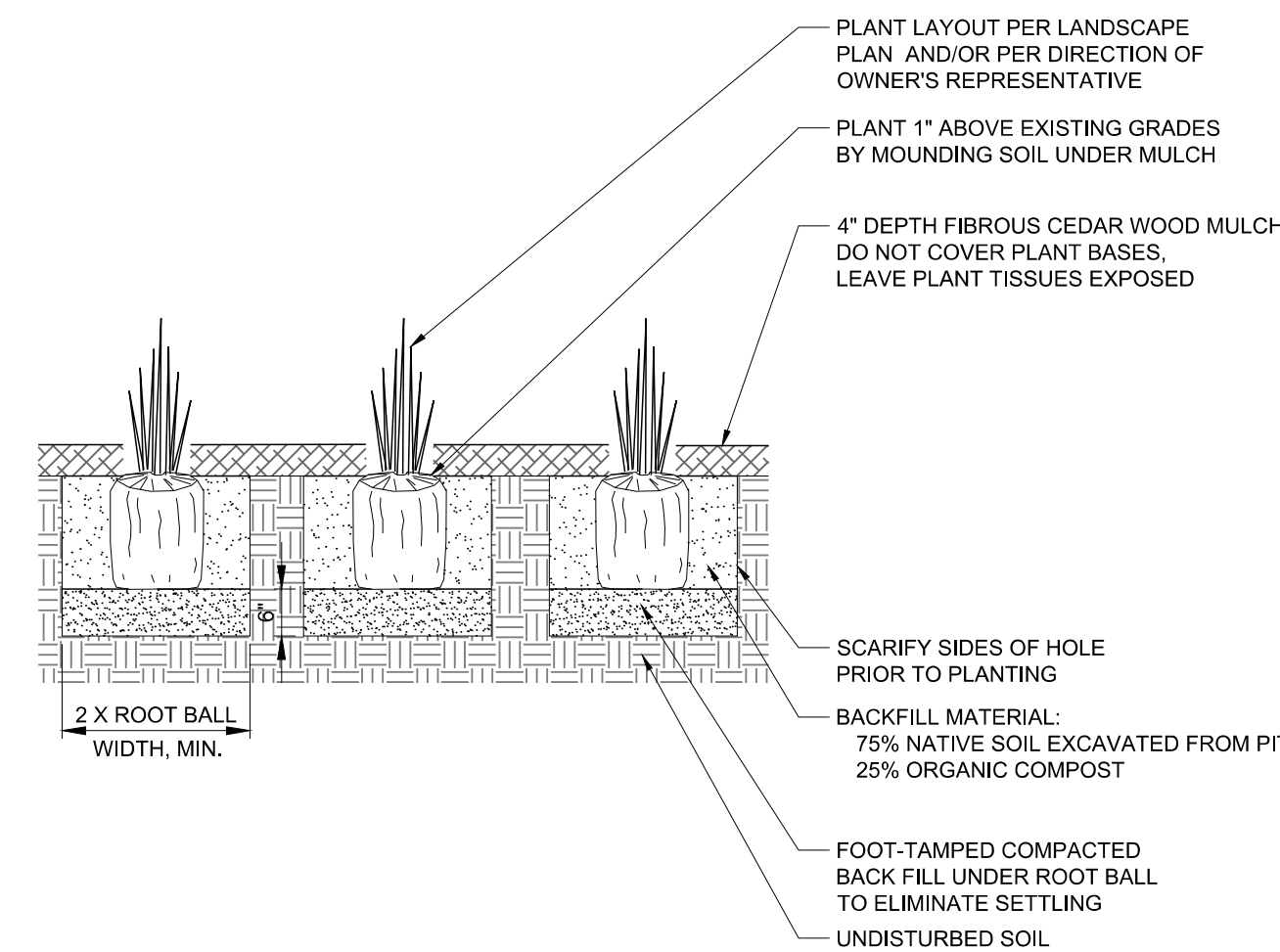
- NOTES:
1. FINISHED GRADE FOR SOD TO BE 3/4" BELOW TOP OF EDGING.
 2. TAMPER MULCH AT EDGING SO THAT IT DOES NOT SPILL INTO TURF.



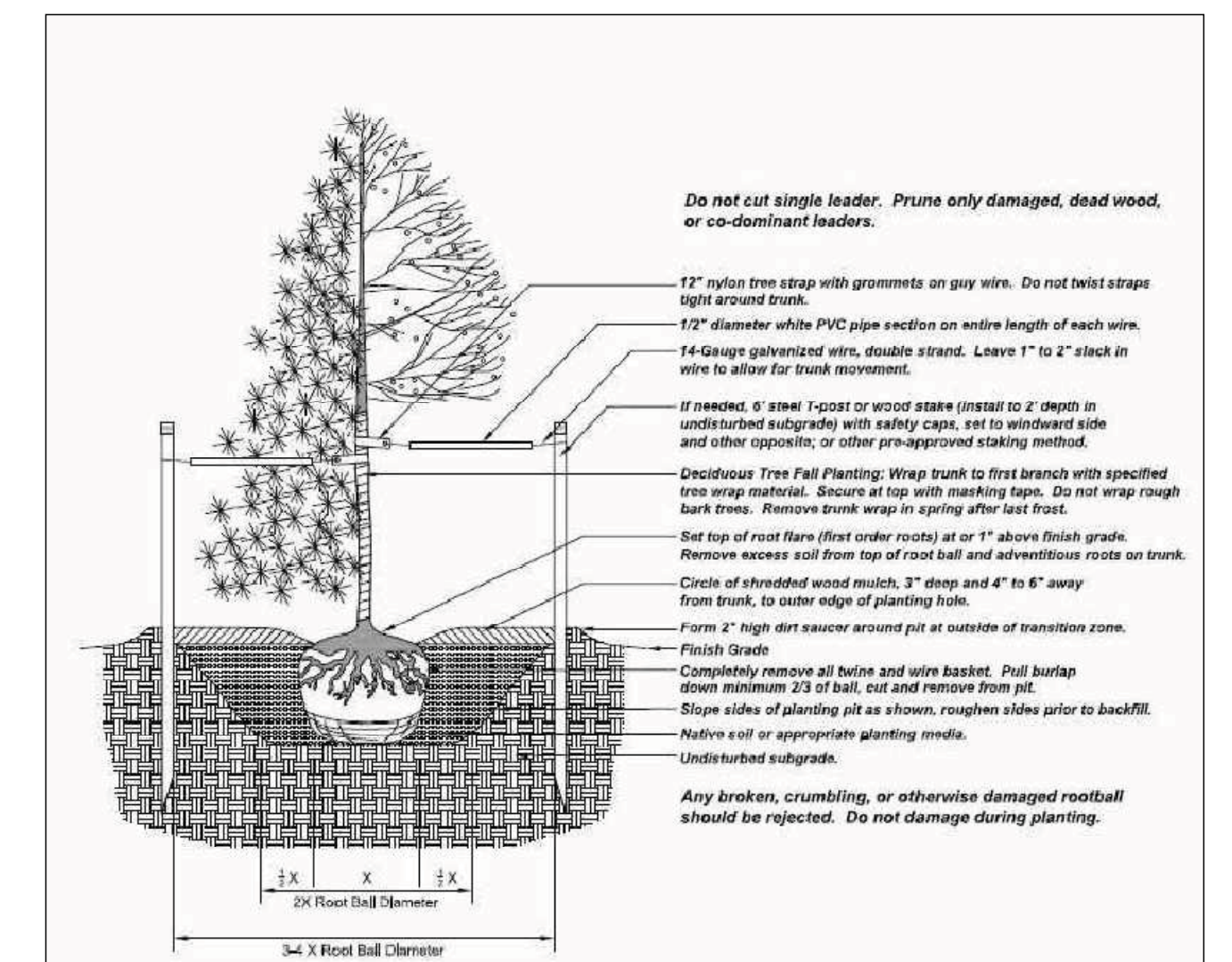
4 STEEL EDGING
SCALE: 1"=1'-0"



2 SHRUB PLANTING
SCALE: 1/2"=1'-0"



3 PERENNIAL & ORNAMENTAL GRASS PLANTING
SCALE: 1/2"=1'-0"



1 DENVER FORESTRY STANDARD TREE PLANTING DETAIL
NOT TO SCALE

ENGINEER
WILSON & COMPANY
1675 BROADWAY, SUITE 200
DENVER, COLORADO 80202
PHONE: 303-297-2976
FAX: 303-297-2693
www.wilsonco.com

PROPERTY OWNERS
DENVER HOUSING AUTHORITY
1035 OSAGE STREET
DENVER, COLORADO 80204

SEAL

PROJECT NAME
32ND & SHOSHONE INTERSECTION
W 32ND AVE. & SHOSHONE ST.
DENVER, CO 80211

REV.	DATE	DESCRIPTION	BY

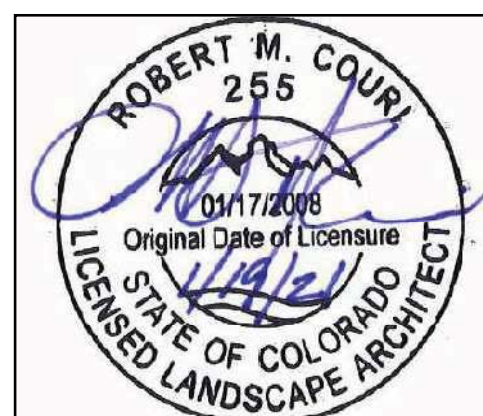
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DESIGNED BY: MS
DRAWN BY: MS
CHECKED BY: RMC
DATE: JANUARY 18, 2021
SHEET TITLE

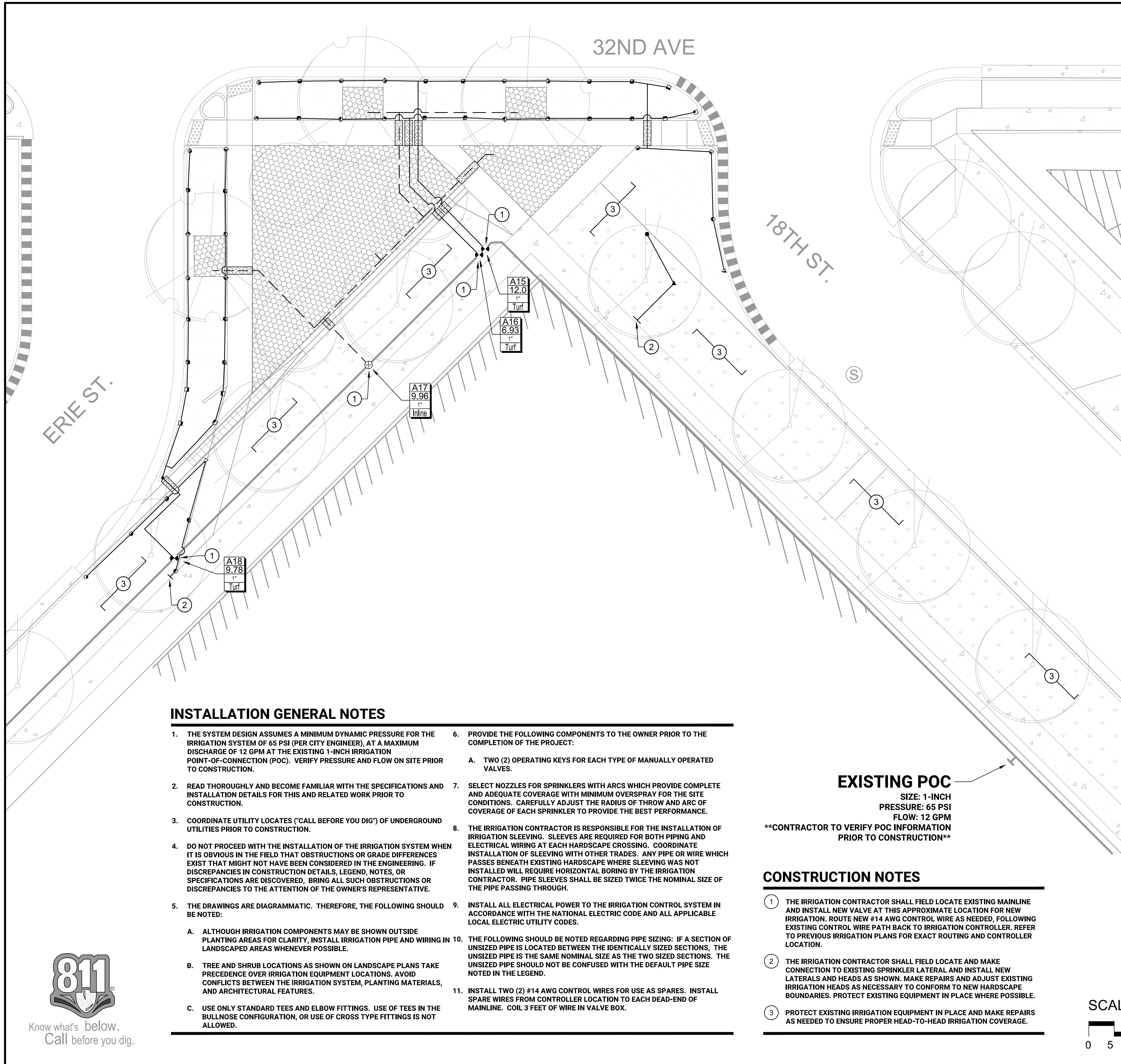
LANDSCAPE DETAILS

DRAWING NO: **L-3**



Know what's below.
Call before you dig.





IRRIGATION LEGEND

- SLEEVES: CLASS 200 PVC
- POINT-OF-CONNECTION ASSEMBLY
- EXISTING MAINLINE PIPE: CLASS 200 PVC CONTRACTOR TO VERIFY SIZE DURING CONSTRUCTION
- LATERAL PIPE TO SPRINKLERS: CLASS 200 PVC 1-INCH SIZE UNLESS OTHERWISE INDICATED
- LATERAL PIPE TO INLINE DRIP HEADER: CLASS 200 PVC 1-INCH SIZE UNLESS OTHERWISE INDICATED
- INLINE DRIP TUBING: NETAFIM TLCV4-12 WITH RAINBIRD XQF DRIPLINE HEADER
- REMOTE CONTROL VALVE ASSEMBLY FOR SPRINKLER LATERALS: HUNTER ICV (SIZED PER PLAN)
- REMOTE CONTROL DRIP VALVE ASSEMBLY: NETAFIM LVCZ-10075
- QUICK COUPLING VALVE ASSEMBLY: RAIN BIRD 44-LRC
- UNCONNECTED PIPE CROSSING
- INDICATES CONTROLLER AND STATION NUMBER
- INDICATES LATERAL DISCHARGE (GPM)
- INDICATES VALVE SIZE (INCHES)
- INDICATES LANDSCAPE APPLICATION
- EXISTING IRRIGATION CONTROLLER UNIT (NOT SHOWN): HUNTER I-CORE-M LOCATED ON BUILDING LOADING DOCK
- POP-UP SPRAY SPRINKLER: HUNTER PROS-06-PRS30-CV W/8 SERIES NOZZLE PRESSURE: 30 PSI RADIUS: 8 FEET FLOW (GPM): Q-0.24 H-0.47 F-0.97
- POP-UP SPRAY SPRINKLER: HUNTER PROS-06-PRS30-CV W/10 SERIES NOZZLE PRESSURE: 30 PSI RADIUS: 10 FEET FLOW (GPM): Q-0.42 H-0.88 F-1.59
- POP-UP SPRAY SPRINKLER: HUNTER PROS-06-PRS30-CV W/12 SERIES NOZZLE PRESSURE: 30 PSI RADIUS: 12 FEET FLOW (GPM): Q-0.67 H-1.30 F-2.70
- POP-UP SPRAY SPRINKLER: HUNTER PROS-06-PRS30-CV W/15 SERIES NOZZLE PRESSURE: 30 PSI RADIUS: 15 FEET FLOW (GPM): Q-0.97 H-1.86 F-3.75
- POP-UP SPRAY SPRINKLER: HUNTER PROS-06-PRS30-CV W/ ADJUSTABLE NOZZLE PRESSURE: 30 PSI RADIUS: 8 FEET TO 15 FEET FLOW (GPM): 08A-0.44 10A-0.50 12A-0.32 15A-0.47
- POP-UP SPRAY SPRINKLER: HUNTER PROS-06-PRS30-CV W/15SS SERIES NOZZLE PRESSURE: 30 PSI RADIUS: 5 FEET X 15 FEET FLOW (GPM): ES515-0.65 SS530-1.30

IRRIGATION PIPE SCHEDULE

SIZE	FLOW (GPM)
1-INCH	0-15
1.25-INCH	16-25
1.5-INCH	26-35
2-INCH	36-55
2.5-INCH	56-80
3-INCH	81-110
4-INCH	111-200

IF THERE IS A DISCREPANCY BETWEEN PIPE SIZES SHOWN ON THE DRAWINGS AND THIS PIPE SCHEDULE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE IRRIGATION DESIGNER FOR CLARIFICATION.

INSTALLATION GENERAL NOTES

- THE SYSTEM DESIGN ASSUMES A MINIMUM DYNAMIC PRESSURE FOR THE IRRIGATION SYSTEM OF 65 PSI (PER CITY ENGINEER), AT A MAXIMUM DISCHARGE OF 12 GPM AT THE EXISTING 1-INCH IRRIGATION POINT-OF-CONNECTION (POC). VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION.
- READ THOROUGHLY AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
- COORDINATE UTILITY LOCATES ("CALL BEFORE YOU DIG") OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- DO NOT PROCEED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IF DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED, BRING ALL SUCH OBSTRUCTIONS OR DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- THE DRAWINGS ARE DIAGRAMMATIC. THEREFORE, THE FOLLOWING SHOULD BE NOTED:
 - ALTHOUGH IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE PLANTING AREAS FOR CLARITY, INSTALL IRRIGATION PIPE AND WIRING IN LANDSCAPED AREAS WHENEVER POSSIBLE.
 - TREE AND SHRUB LOCATIONS AS SHOWN ON LANDSCAPE PLANS TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT LOCATIONS. AVOID CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ARCHITECTURAL FEATURES.
 - USE ONLY STANDARD TEES AND ELBOW FITTINGS. USE OF TEES IN THE BULLNOSE CONFIGURATION, OR USE OF CROSS TYPE FITTINGS IS NOT ALLOWED.
- PROVIDE THE FOLLOWING COMPONENTS TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT:
 - TWO (2) OPERATING KEYS FOR EACH TYPE OF MANUALLY OPERATED VALVES.
- SELECT NOZZLES FOR SPRINKLERS WITH ARCS WHICH PROVIDE COMPLETE AND ADEQUATE COVERAGE WITH MINIMUM OVERSPRAY FOR THE SITE CONDITIONS. CAREFULLY ADJUST THE RADIUS OF THROW AND ARC OF COVERAGE OF EACH SPRINKLER TO PROVIDE THE BEST PERFORMANCE.
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF IRRIGATION SLEEVING. SLEEVES ARE REQUIRED FOR BOTH PIPING AND ELECTRICAL WIRING AT EACH HARDSCAPE CROSSING. COORDINATE INSTALLATION OF SLEEVING WITH OTHER TRADES. ANY PIPE OR WIRE WHICH PASSES BENEATH EXISTING HARDSCAPE WHERE SLEEVING WAS NOT INSTALLED WILL REQUIRE HORIZONTAL BORING BY THE IRRIGATION CONTRACTOR. PIPE SLEEVES SHALL BE SIZED TWICE THE NOMINAL SIZE OF THE PIPE PASSING THROUGH.
- INSTALL ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES.
- THE FOLLOWING SHOULD BE NOTED REGARDING PIPE SIZING: IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN THE IDENTICALLY SIZED SECTIONS, THE UNSIZED PIPE IS THE SAME NOMINAL SIZE AS THE TWO SIZED SECTIONS. THE UNSIZED PIPE SHOULD NOT BE CONFUSED WITH THE DEFAULT PIPE SIZE NOTED IN THE LEGEND.
- INSTALL TWO (2) #14 AWG CONTROL WIRES FOR USE AS SPARES. INSTALL SPARE WIRES FROM CONTROLLER LOCATION TO EACH DEAD-END OF MAINLINE. COIL 3 FEET OF WIRE IN VALVE BOX.

EXISTING POC

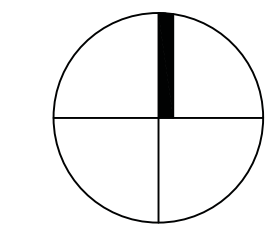
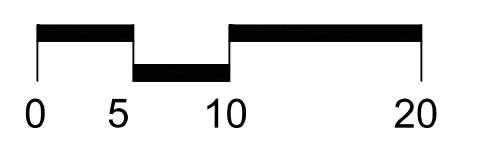
SIZE: 1-INCH
PRESSURE: 65 PSI
FLOW: 12 GPM

CONTRACTOR TO VERIFY POC INFORMATION PRIOR TO CONSTRUCTION

CONSTRUCTION NOTES

- THE IRRIGATION CONTRACTOR SHALL FIELD LOCATE EXISTING MAINLINE AND INSTALL NEW VALVE AT THIS APPROXIMATE LOCATION FOR NEW IRRIGATION. ROUTE NEW #14 AWG CONTROL WIRE AS NEEDED, FOLLOWING EXISTING CONTROL WIRE PATH BACK TO IRRIGATION CONTROLLER. REFER TO PREVIOUS IRRIGATION PLANS FOR EXACT ROUTING AND CONTROLLER LOCATION.
- THE IRRIGATION CONTRACTOR SHALL FIELD LOCATE AND MAKE CONNECTION TO EXISTING SPRINKLER LATERAL AND INSTALL NEW LATERALS AND HEADS AS SHOWN. MAKE REPAIRS AND ADJUST EXISTING IRRIGATION HEADS AS NECESSARY TO CONFORM TO NEW HARDSCAPE BOUNDARIES. PROTECT EXISTING EQUIPMENT IN PLACE WHERE POSSIBLE.
- PROTECT EXISTING IRRIGATION EQUIPMENT IN PLACE AND MAKE REPAIRS AS NEEDED TO ENSURE PROPER HEAD-TO-HEAD IRRIGATION COVERAGE.

SCALE: 1"=10'-0"



Hines Inc
SITE WATER ENGINEERING SERVICES
323 W. DRAKE RD, SUITE 204
FORT COLLINS, COLORADO 80526
Telephone: 970.282.1800
Web: www.hinesinc.com

WILSON & COMPANY
ENGINEER
1675 BROADWAY, SUITE 200
DENVER, COLORADO 80202
PHONE: 303-297-7696
FAX: 303-297-7693
www.wilsonco.com

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1035 OSAGE STREET
DENVER, COLORADO 80204



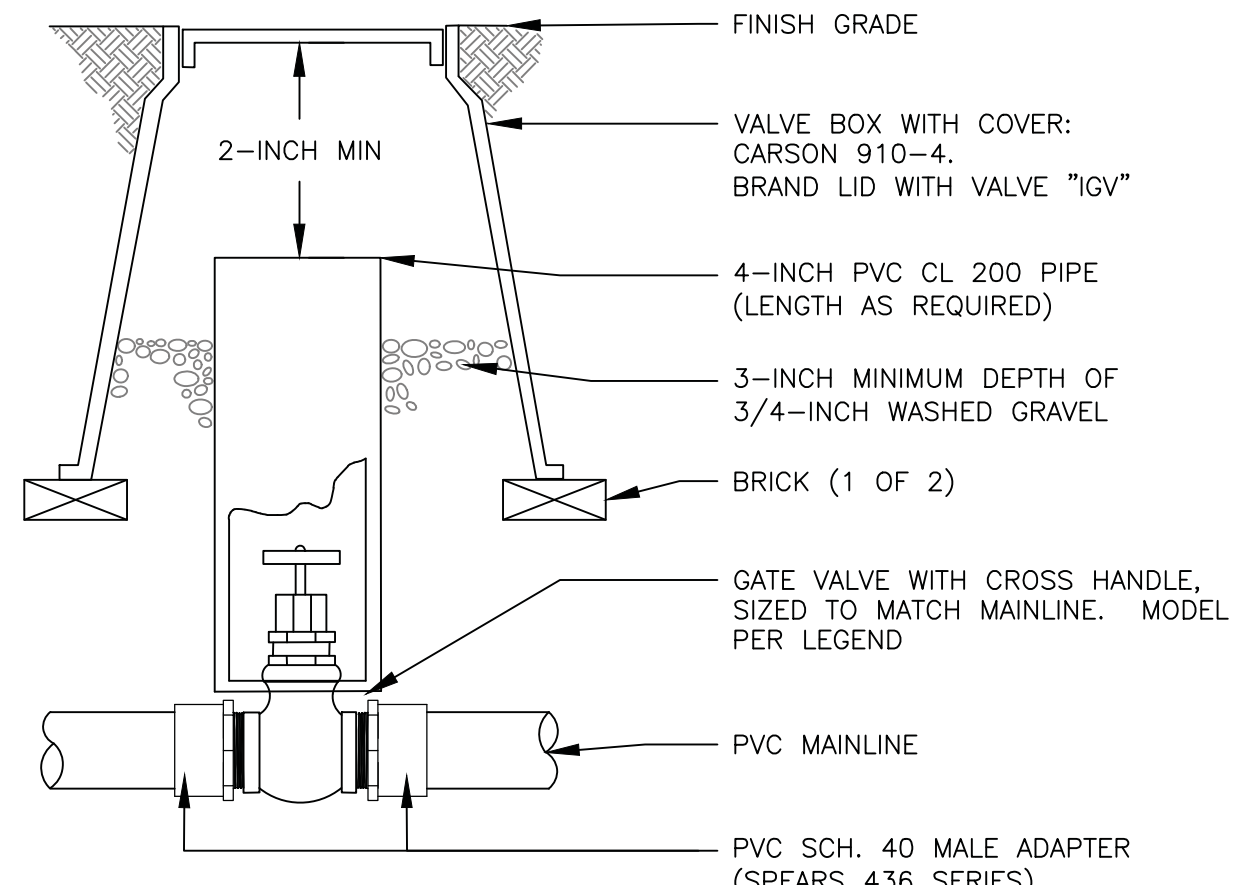
PROJECT NAME
32ND & SHOSHONE INTERSECTION
W 32ND AVE. & SHOSHONE ST.
DENVER, CO 80211

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-412-07
DESIGNED BY: BI
DRAWN BY: BI
CHECKED BY: EW
DATE: JANUARY 18, 2021

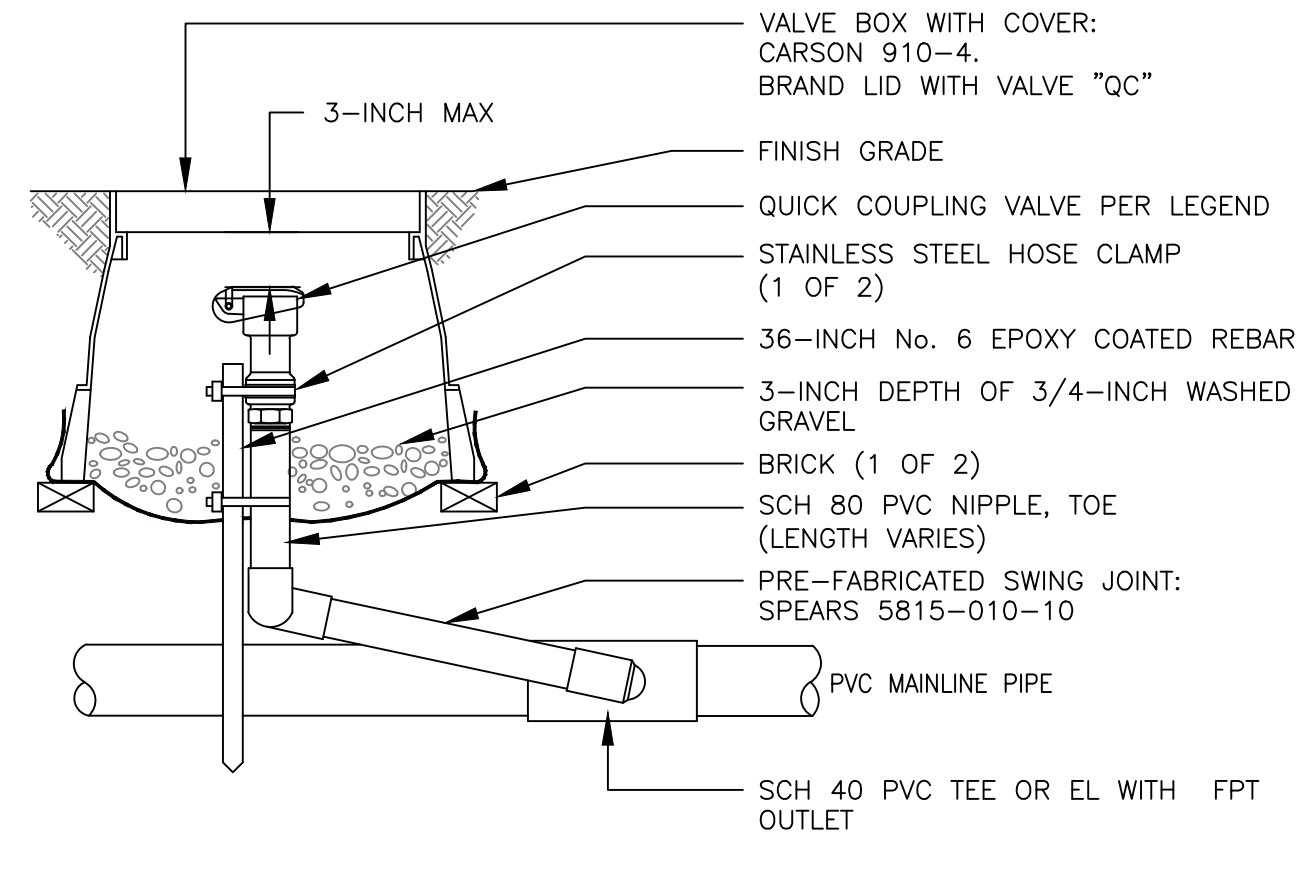
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IRRIGATION PLAN
DRAWING NO:
IR1.00



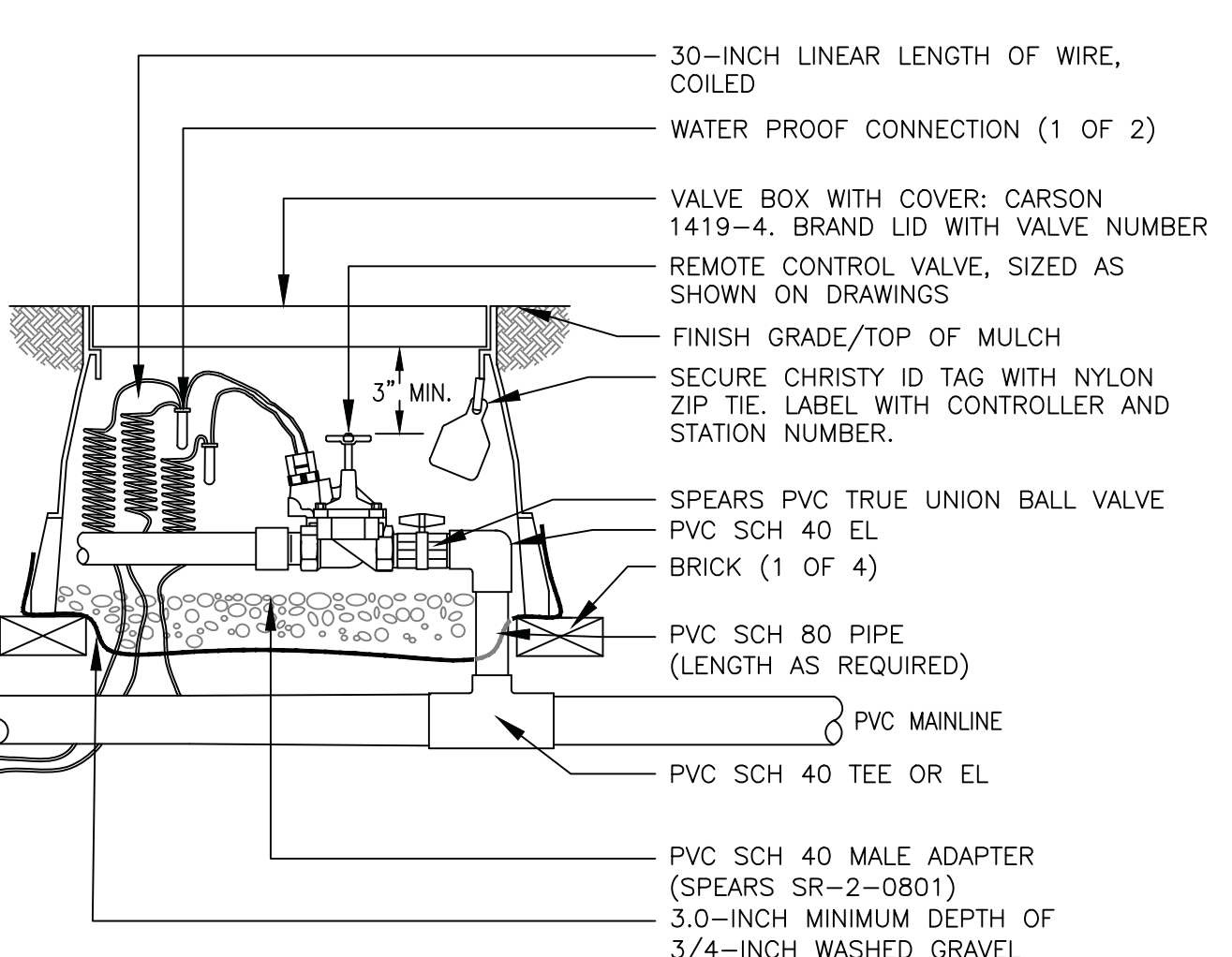


NOTES:
1. NOMINAL SIZE OF GATE VALVE TO MATCH NOMINAL MAINLINE SIZE.

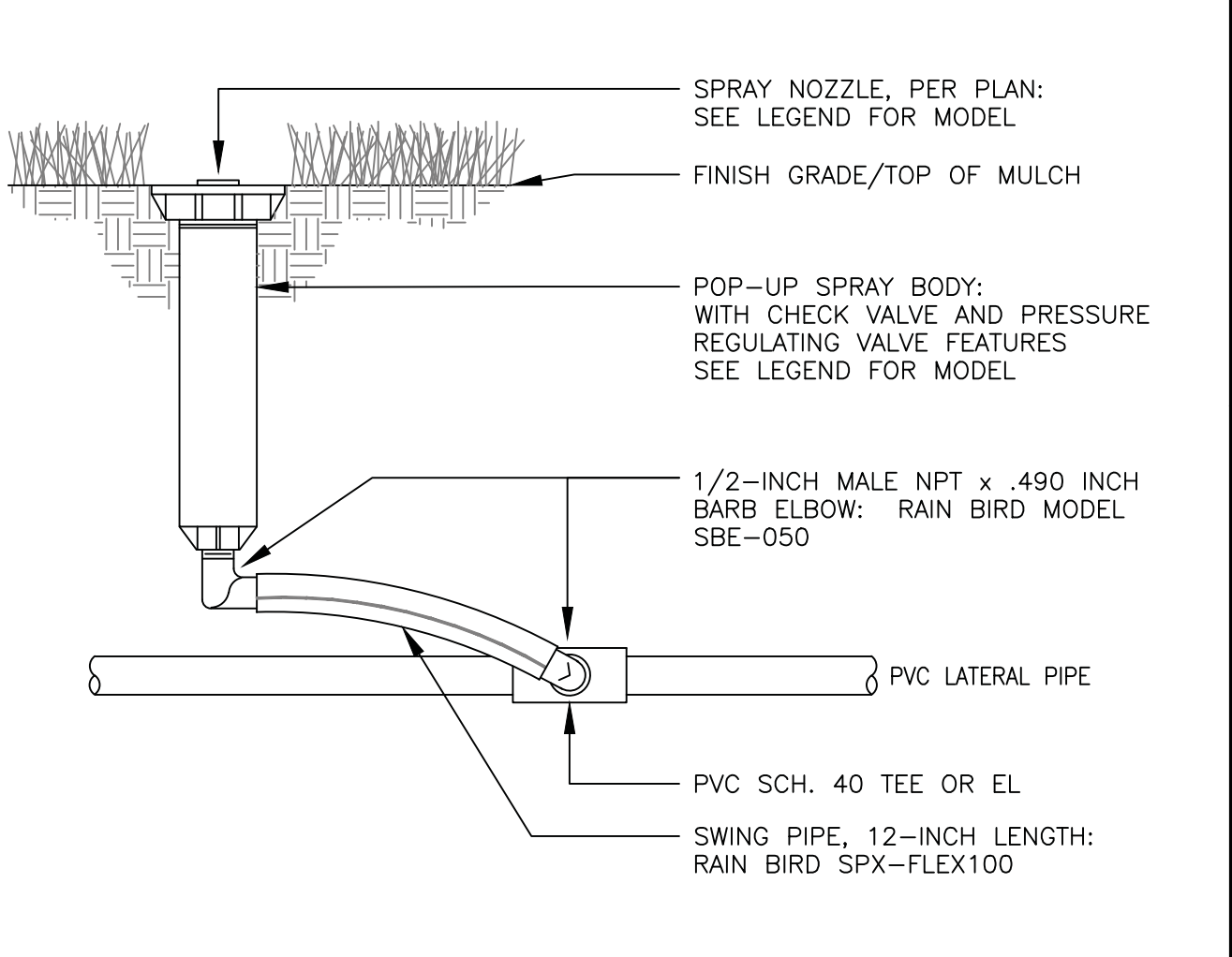
1 ISOLATION GATE VALVE ASSEMBLY
2.5-INCH MAINLINE AND SMALLER



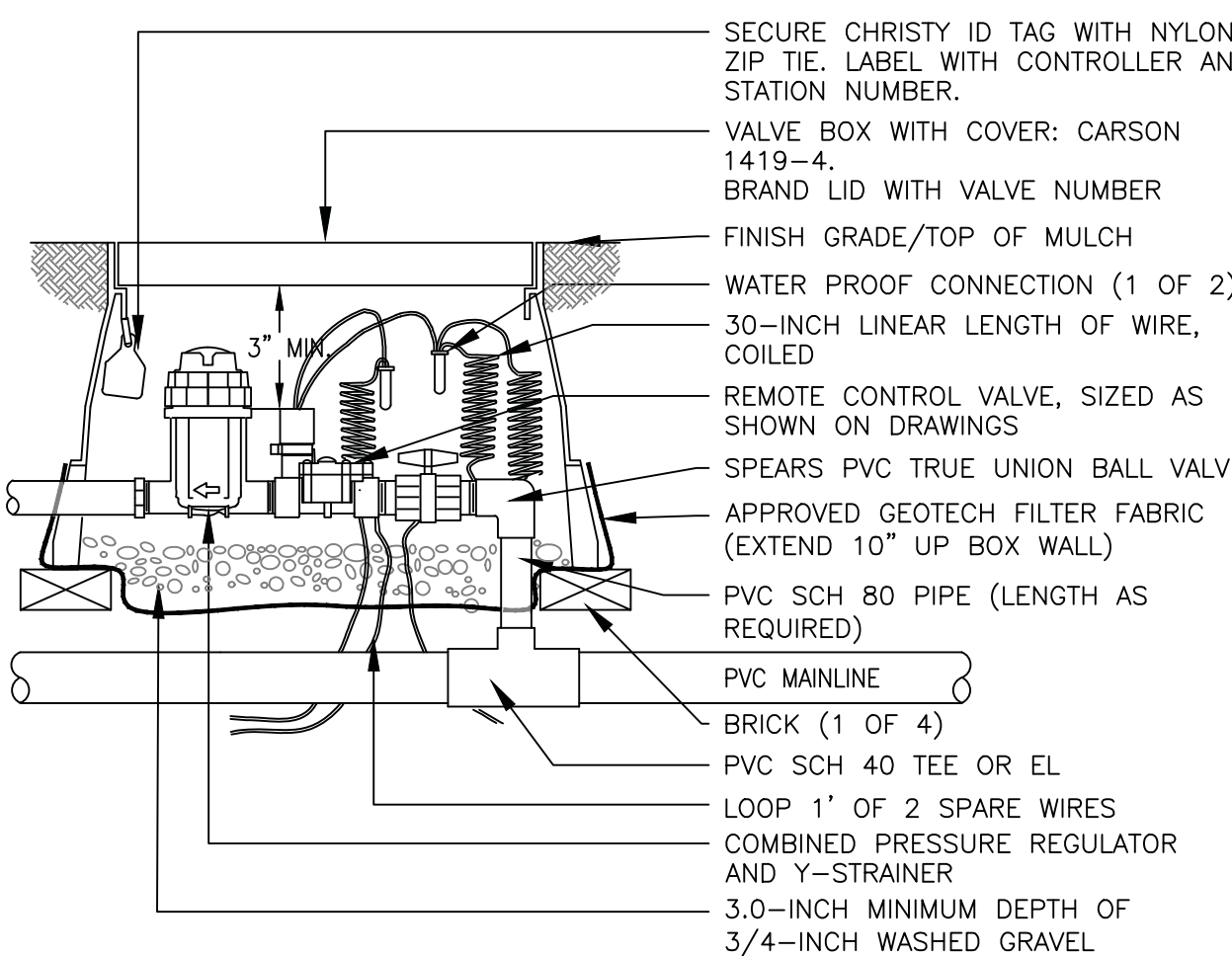
2 QUICK COUPLING VALVE ASSEMBLY



3 REMOTE CONTROL TURF VALVE ASSEMBLY

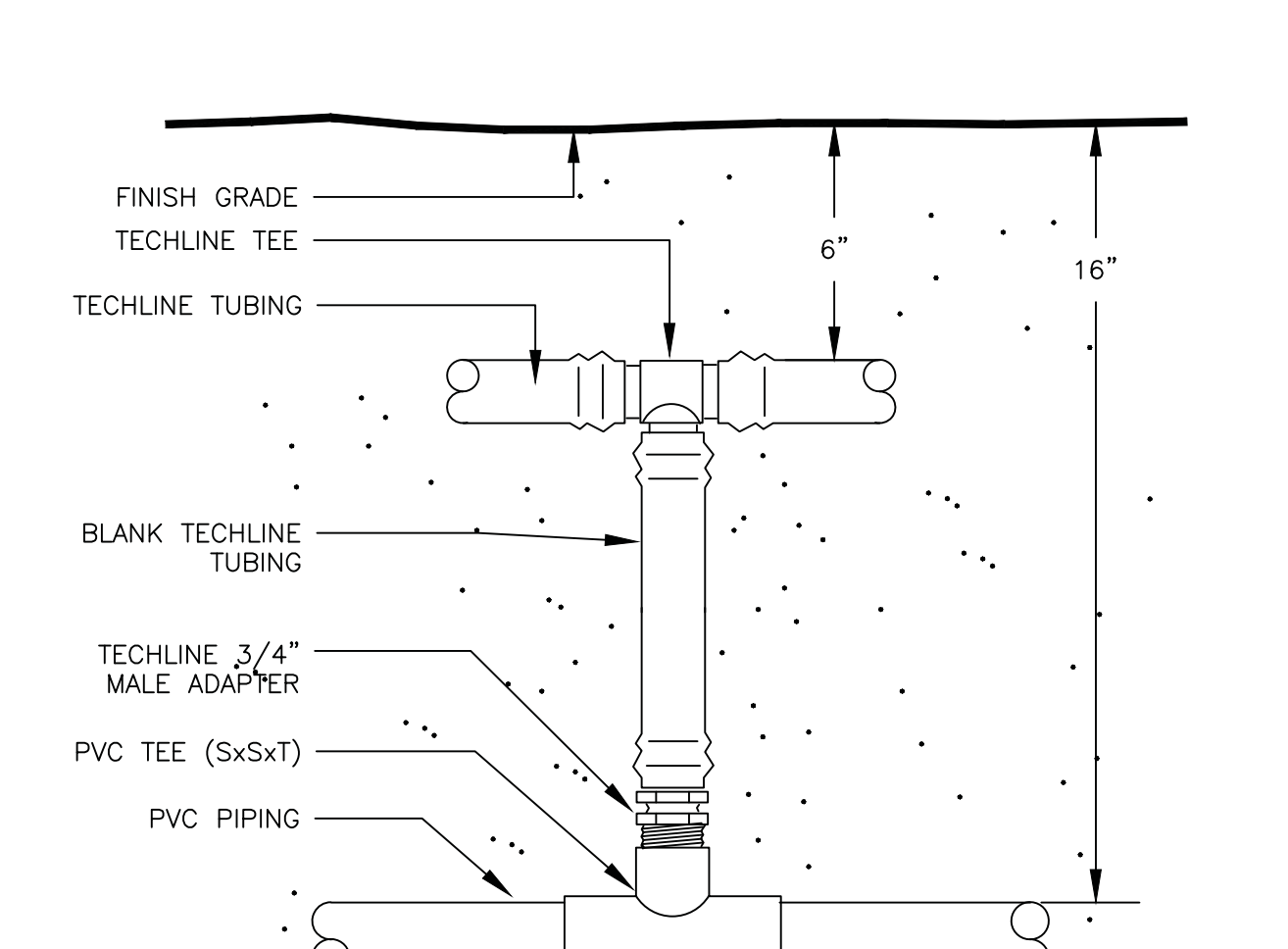


4 6-INCH POP UP SPRAY SPRINKLER ASSEMBLY

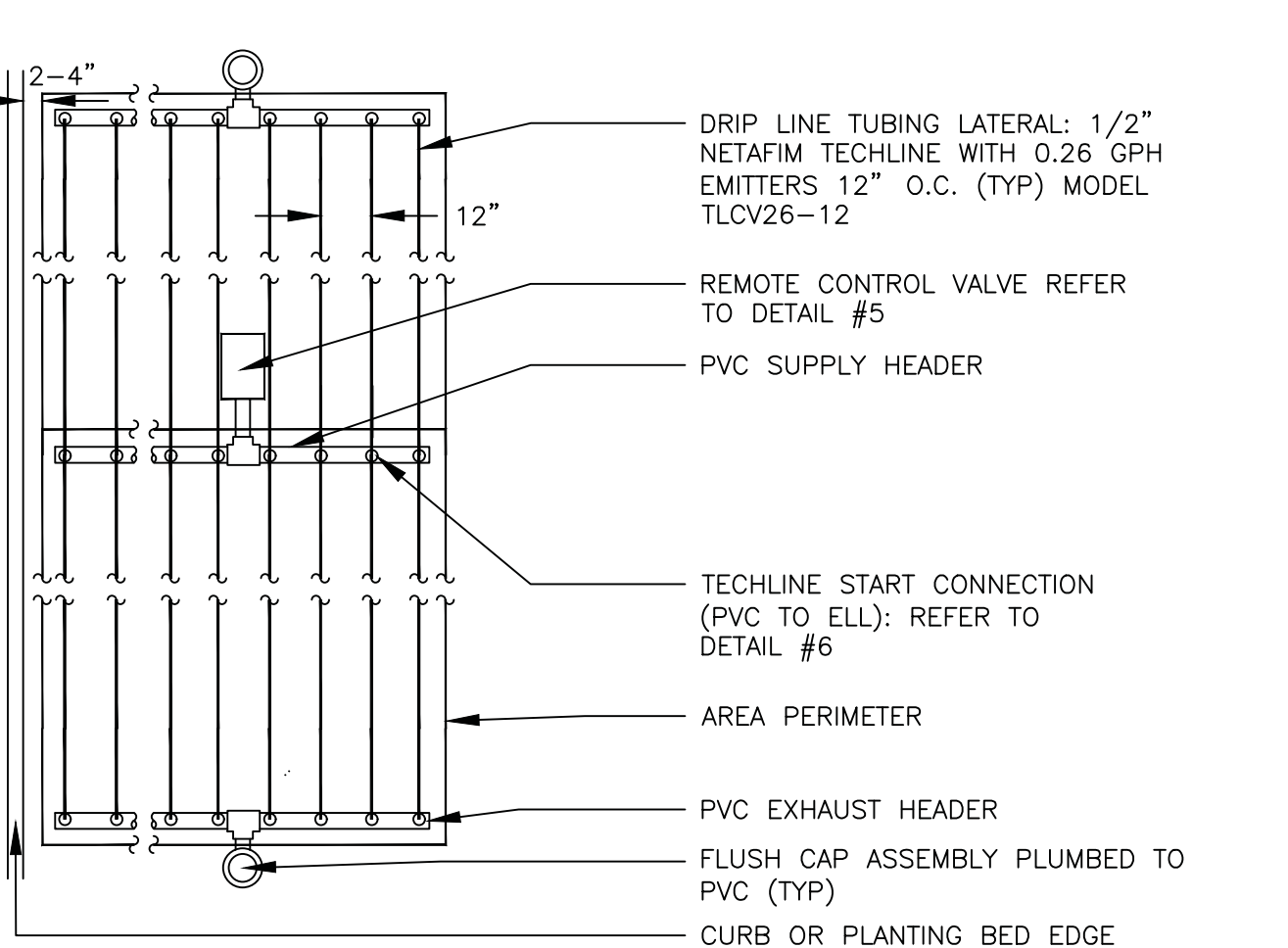


NOTE:
1. USE BARBED INSERT FITTINGS ON DRIP LATERAL PIPE WITH STAINLESS STEEL HOSE CLAMPS. PLACE CLAMPS ON DRIP TUBING DIRECTLY OVER BARBED AREA OF FITTING. PINCH CLAMPS ARE NOT ACCEPTABLE.

5 REMOTE CONTROL DRIFT VALVE ASSEMBLY

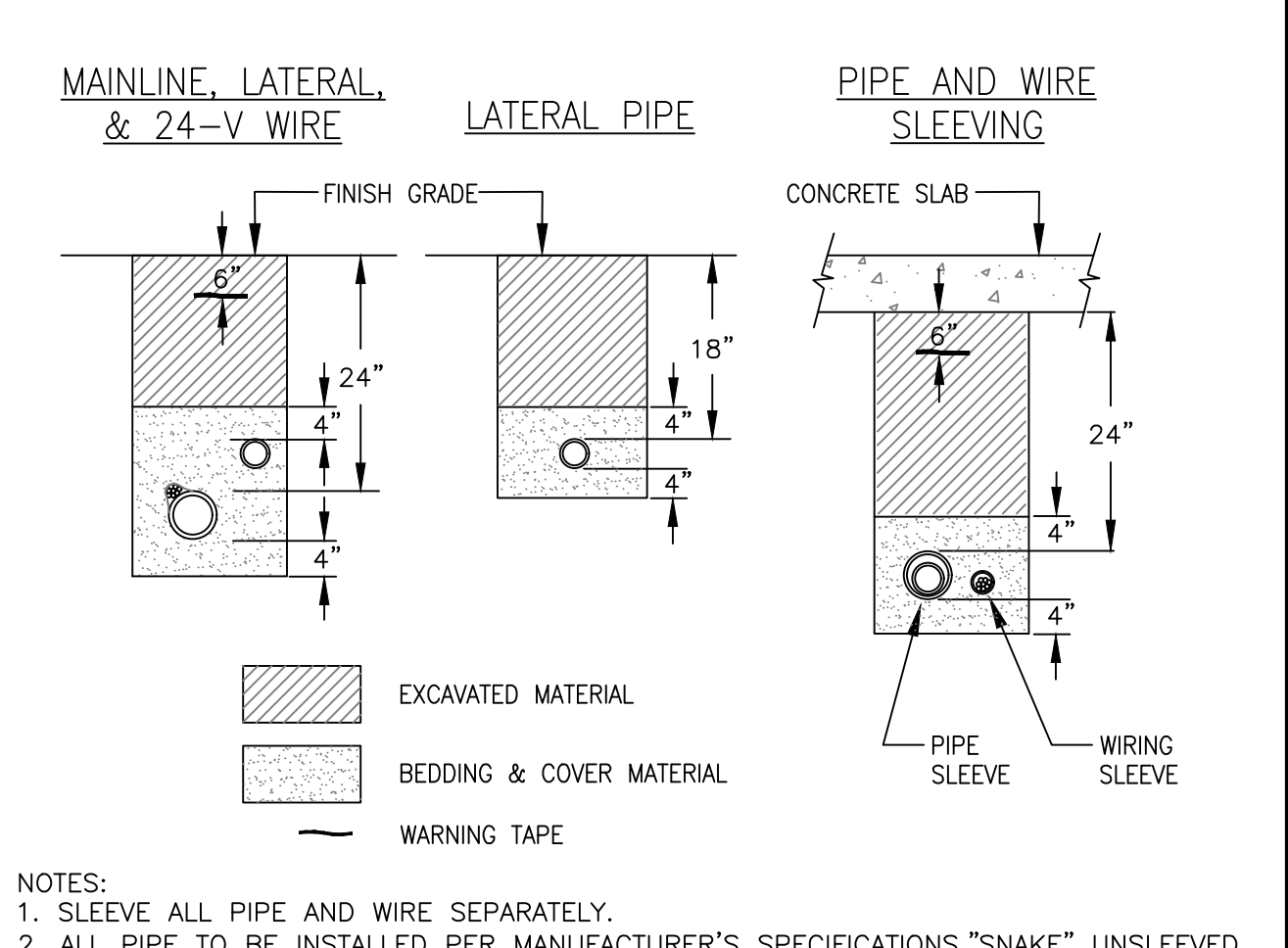


6 PVC TECHLINE CONNECTION



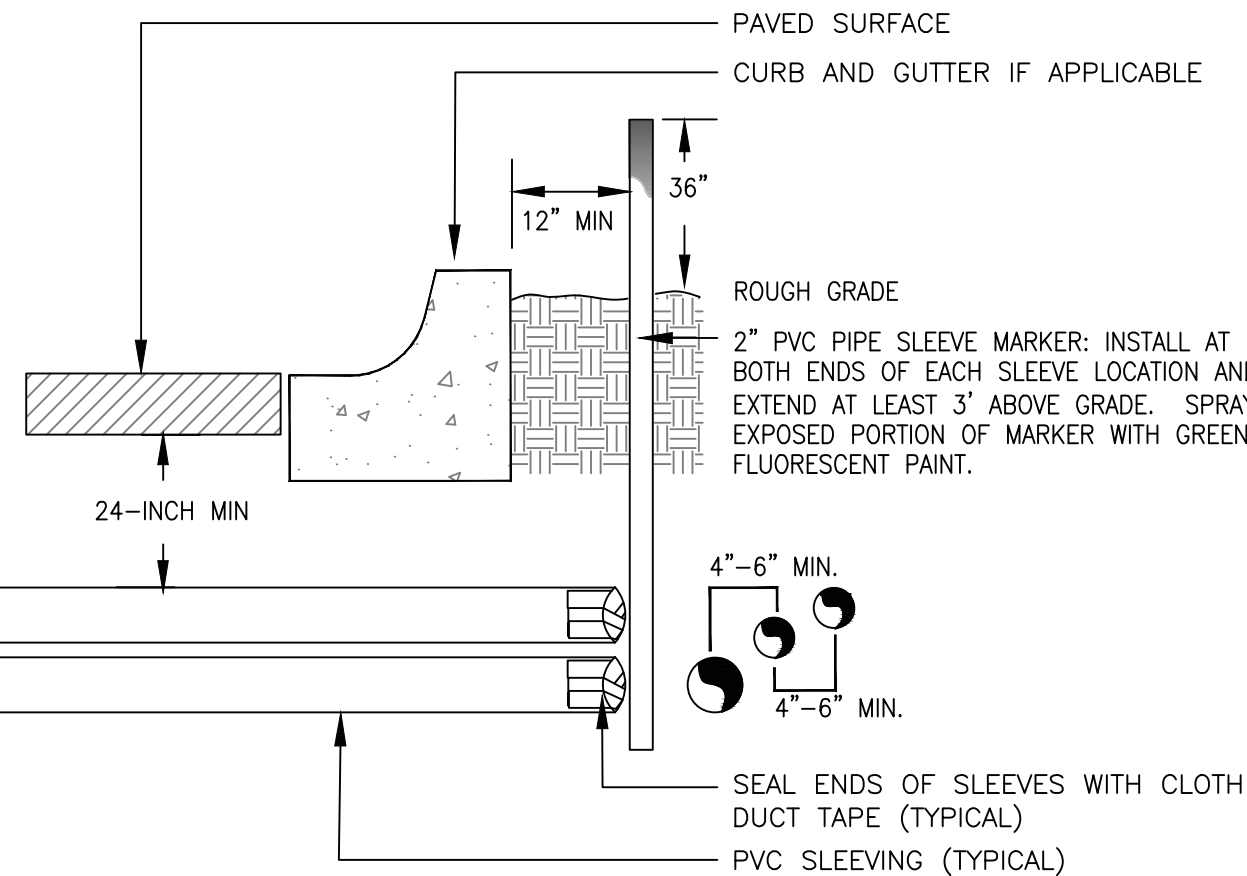
NOTES:
1. INSTALL SYSTEM PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR EQUIPMENT APPLICATION AND INSTALLATION.
2. MAXIMUM FLOW FOR 1-INCH REMOTE CONTROL VALVE ASSEMBLY IS 10 GPM.
3. INSTALL AT A DEPTH OF 4"-6" IN UNIFORM SOIL.

7 SUBSURFACE DRIFT ASSEMBLY IN SHRUB BEDS



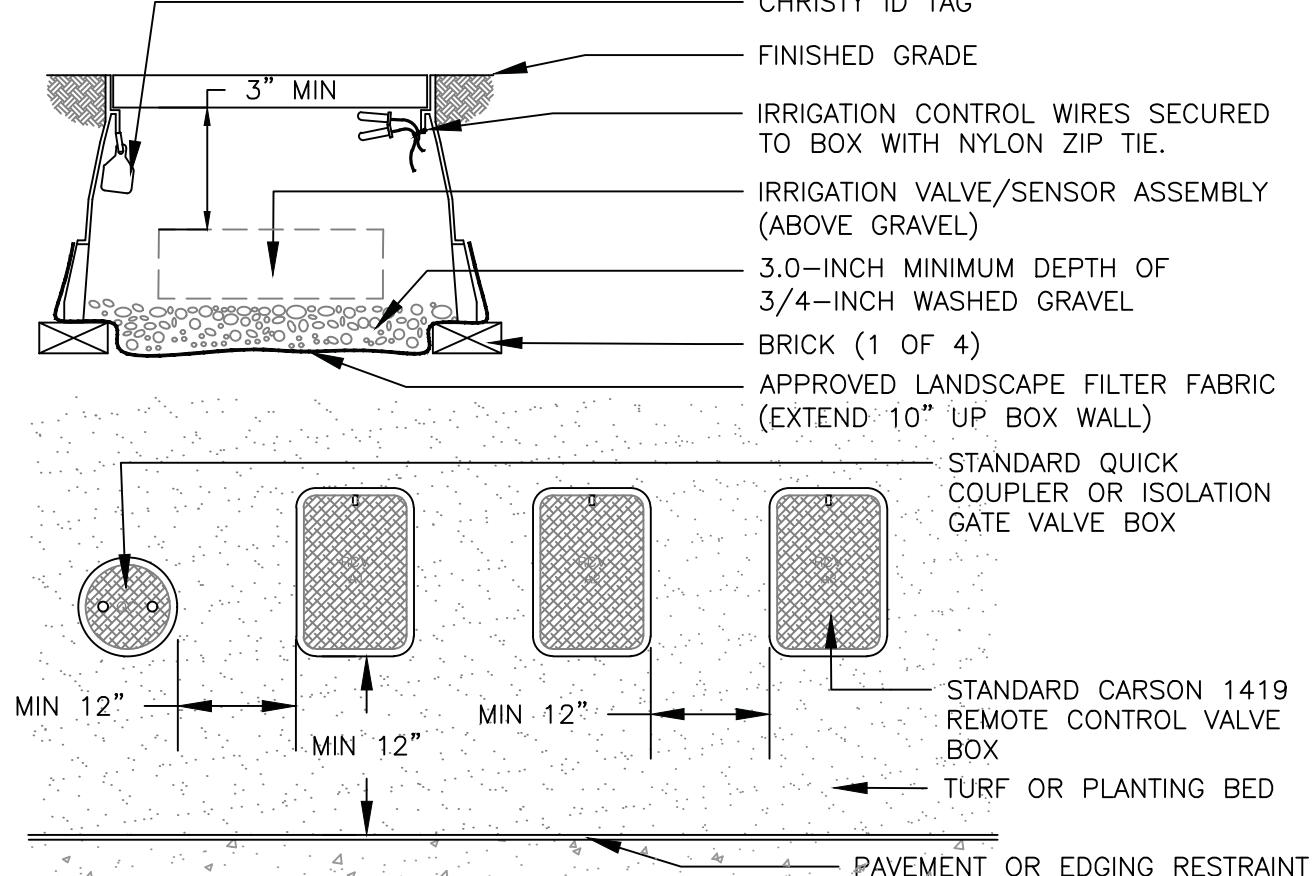
NOTES:
1. SLEEVE ALL PIPE AND WIRE SEPARATELY.
2. ALL PIPE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. "SNAKE" UNSLEEVED PLASTIC PIPE IN TRENCH. PROVIDE A MINIMUM OF 2" CLEARANCE TO SIDE OF TRENCH AND BETWEEN PIPES.
3. ALL 120-V WIRING SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS. TAPE AND BUNDLE 24-V WIRE EVERY 10' AND PROVIDE LOOSE 20" LOOP AT ALL CHANGES OF DIRECTION OVER 30 DEGREES.

8 TYPICAL TRENCHING DETAIL



NOTE:
1) ALL SLEEVING TO BE CLASS 200 BE PVC, SIZED AS NOTED.
2) INSTALL SLEEVES IN SIDE-BY-SIDE CONFIGURATION WHERE MULTIPLE SLEEVES ARE TO BE INSTALLED. SPACE SLEEVES 4" TO 6" APART. DO NOT STACK SLEEVES VERTICALLY.

9 TYPICAL SLEEVING DETAIL



NOTES:
1. INSTALL ONLY ONE RCV TO VALVE BOX. LOCATE AT LEAST 12-INCHES FROM AND ALIGN WITH NEARBY WALLS OR EDGES OF PAVED AREAS. GROUP RCV ASSEMBLIES TOGETHER WHERE PRACTICAL.
2. GROUP RCV ASSEMBLIES TOGETHER WHERE PRACTICAL, BUT AVOID GROUPING MORE THAN THREE (3) STANDARD VALVE BOXES TOGETHER IN A SERIES.
3. ARRANGE GROUPED VALVE BOXES IN RECTANGULAR PATTERNS.

10 TYPICAL VALVE BOX INSTALLATION

ENGINEER

WILSON & COMPANY

1675 BROADWAY, SUITE 200
DENVER, COLORADO 80202
PHONE: 303-297-2696
FAX: 303-297-2693
www.wilsonco.com

PROPERTY OWNERS

DENVER HOUSING AUTHORITY

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DENVER, COLORADO 80204



PROJECT NAME

32ND & SHOSHONE INTERSECTION

W 32ND AVE. & SHOSHONE ST.
DENVER, CO 80211

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 19-600-412-07

DESIGNED BY: BI

DRAWN BY: BI

CHECKED BY: EW

DATE: JANUARY 18, 2021

SHEET TITLE

IRRIGATION DETAILS

DRAWING NO: IR2.00

Hines Inc

SITE WATER ENGINEERING SERVICES
323 W. DRAKE RD, SUITE 204
FORT COLLINS, COLORADO 80526
Telephone: 970.282.1800
Web: www.hinesinc.com

EXHIBIT B



1675 Broadway, Suite 200
 Denver, CO 80202
 303.297.2976 p
 303.297.2693 f
 wilsonco.com

32nd & Shoshone Intersection Redesign
 BID Cost Estimate

CONTRACTOR BID FORMS

OVERALL PROJECT DEMO

Description	Units	Quantity	Unite Price	Total
SAW CUT	LF	301	\$ 4.21	\$ 1,267.21
REMOVAL OF ASPHALT	SY	1201	\$ 7.88	\$ 9,463.88
REMOVAL OF CURB & GUTTER	LF	304	\$ 1.67	\$ 507.68
REMOVAL OF SIDEWALK	SY	88	\$ 20.50	\$ 1,804.00
REMOVAL OF TREE LAWN	SY	130	\$ 34.68	\$ 4,508.40
REMOVAL OF ADA RAMP	EA	4	\$ 445.50	\$ 1,782.00
TOTAL DEMO:				\$ 19,333.17

OVERALL PROJECT CONSTRUCTION

Description	Units	Quantity	Unite Price	Total
EARTHWORK (ALLOWANCE)	CY	500	\$ 33.00	\$ 16,500.00
SUB-BASE PREPARATION	SY	750	\$ 4.99	\$ 3,742.50
FULL DEPTH ASPHALT (8")	TON	400	\$ 121.00	\$ 48,400.00
SIDEWALK	SY	180	\$ 84.70	\$ 15,246.00
SIDEWALK 6" CURB	LF	35	\$ 30.80	\$ 1,078.00
SIDEWALK TRANSITION	SY	9	\$ 130.90	\$ 1,178.10
PROPOSED LANDSCAPE WALL	LF	53	\$ 201.40	\$ 10,674.20
ADA RAMPS	EA	4	\$ 3,217.50	\$ 12,870.00
TRICKLE CHANNEL	LF	90	\$ 52.31	\$ 4,707.90
SIDEWALK CHASE	LF	22	\$ 483.00	\$ 10,626.00
TREE LAWN	SY	437	\$ 15.35	\$ 6,707.95
6" CURB & 2" SPILL GUTTER	LF	116	\$ 43.12	\$ 5,001.92
6" CURB & 2" CATCH GUTTER	LF	253	\$ 43.12	\$ 10,909.36
TOTAL CONSTRUCTION:				\$ 147,641.93

OVERALL PROJECT SIGNING AND STRIPING & UTILITIES

Description	Units	Quantity	Unite Price	Total
REMOVAL EXISTING 6" WATER LINE	LF	123	\$ 223.58	\$ 27,500.34
PROPOSED 10" x 6" TAPPING SLEEVE	SY	1	\$ 4,400.00	\$ 4,400.00
PROPOSED 6" 45° BEND	EA	2	\$ 2,750.00	\$ 5,500.00
PROPOSED 6" WATER MAIN	LF	102	\$ 464.21	\$ 47,349.42
TAP INTO EXISTING WATER MAIN	EA	2	\$ 5,500.00	\$ 11,000.00
REST SIGN	EA	2	\$ 550.00	\$ 1,100.00
4" SINGLE YELLOW STRIPING	LF	50	\$ 33.00	\$ 1,650.00
STOP BAR	EA	2	\$ 1,375.00	\$ 2,750.00
TOTAL SINNING & STRIPING:				\$ 101,249.76

OVERALL PROJECT - LANDSCAPING

Description	Units	Quantity	Unite Price	Total
SHADE TREES, 2.5" CAL.	EA	3	\$ 999.17	\$ 2,997.51
ORNAMENTAL TREES, 2.5" CAL	EA	3	\$ 999.17	\$ 2,997.51
ORNAMENTAL GRASSES, 1GAL. CONT.	EA	229	\$ 35.05	\$ 8,026.45
GROUNDCOVERS, 32 CT. FLATS	EA	9	\$ 360.80	\$ 3,247.20
GROUNDCOVERS, 1 GAL. CONT.	EA	56	\$ 35.97	\$ 2,014.32
TURF SOD, INCLUDING SOIL PREPARATION	SF	1982	\$ 2.26	\$ 4,479.32
WOOD MULCH	SF	1505	\$ 3.43	\$ 5,162.15
STEEL EDGING	LF	133	\$ 6.33	\$ 841.89
TOTAL LANDSCAPING:				\$ 29,766.35

OVERALL PROJECT - IRRIGATION

Description	Units	Quantity	Unite Price	Total
IRRIGATION TO SOD AREAS	SF	1982	\$ 4.35	\$ 8,621.70
IRRIGATION TO PLANTING BED AREAS	SF	1505	\$ 4.40	\$ 6,622.00
EXCAVATION/CONNECTION TO EXISTING SYSTEM	EA	6	\$ 412.50	\$ 2,475.00
TOTAL IRRIGATION:				\$ 17,718.70

SUBTOTAL:				\$ 315,709.91
Contractor overhead items, permits, construction survey, testing, mobilization and traffic control			LUMP SUM	\$ 519,824.09
TOTAL:				\$ 835,534.00