



## Denver Zoning Code Text Amendment Downtown Golden Triangle (D-GT)

### LAND USE, TRANSPORTATION, AND INFRASTRUCTURE COMMITTEE DRAFT – 06/03/2021

This document contains the draft of a proposed text amendment to the Denver Zoning Code to revise the Downtown Golden Triangle (D-GT) zone district. This zone district update is a major step in the implementation of the Golden Triangle Neighborhood Plan (2014), Blueprint Denver (2019), Housing an Inclusive Denver (2018), and other adopted citywide plans and policies. The zoning update will be concurrent with an amendment to Denver Revised Municipal Code, Chapter 27, Article VI to enable affordable housing incentives. The creation of the Downtown Urban Design Standards and Guidelines to apply to Golden Triangle, as well as Arapahoe Square (D-AS-12+/20+) and CPV-Auraria (D-CPV-T/R/C) districts, is also included in the regulatory updates.

The zoning approach represents the culmination of more than two years of outreach and discussion and is intended to:

1. Implement the recommendations of the Golden Triangle Neighborhood Plan (2014) that support the vision for an eclectic, inclusive, and engaging community.
2. Modernize outdated code standards that date back to 1994.
3. Support citywide land use, equity, open space, and mobility goals found in Blueprint Denver (2019) and other adopted plans.

This Land Use, Transportation, and Infrastructure Committee review draft includes proposed amendments to Articles 8, 10, 11, 12, and 13.

#### Review Draft Document Conventions

- Text in red underline is proposed new language.
- Text in ~~red strikethrough~~ is proposed deleted language.
- Text in ~~blue strikethrough~~ is being moved from one section/location to another.
- Text in blue, no strikethrough, has been moved from another section/location.
- Only pages with changes relevant to this text amendment are included in the review file. You may wish to look at other sections for additional context.
- While efforts are made to ensure document quality, cross-referenced section numbers, figure numbers, page numbers, and amendment numbers may appear incorrect since both new and old text appears in a draft. These will be corrected in the final, “clean” version of the text amendment that is filed for adoption by City Council.
- Additionally, please note that coordination will continue throughout the process to ensure consistency of approach and administration with other ongoing text amendments. If other ongoing text amendments are adopted after the Land Use, Transportation, and Infrastructure Committee draft, the final, “clean” version of the text amendment that is filed for adoption by City Council will be updated to reflect the other adopted text amendments.

Visit [www.denvergov.org/textamendments](http://www.denvergov.org/textamendments) to learn more about this proposed text amendment. Please send any questions or comments to Kristofer Johnson at [kristofer.johnson@denvergov.org](mailto:kristofer.johnson@denvergov.org).

**ALL INTERESTED PERSONS AND ORGANIZATIONS SHOULD EXPRESS THEIR CONCERNS OR SUPPORT  
AT THE PUBLIC HEARING BEFORE CITY COUNCIL.**

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## DIVISION 8.2 DISTRICTS (D-C, D-TD, D-LD, D-CV, D-GT, D-AS-, D-CPV-)

### SECTION 8.2.1 DISTRICTS ESTABLISHED

To carry out the provisions of this Article, the following zone districts have been established in the Downtown Context and are applied to property as set forth on the Official Map.

#### Downtown Neighborhood Context

D-C	Downtown Core District
D-TD	Downtown Theater District
D-LD	Lower Downtown (LoDo) District
D-CV	Downtown Civic District
D-GT	Downtown Golden Triangle District
D-AS	Downtown Arapahoe Square District
D-AS-12+	Downtown Arapahoe Square 12+ District
D-AS-20+	Downtown Arapahoe Square 20+ District
D-CPV-T	Downtown Central Platte Valley - Auraria Transition District
D-CPV-R	Downtown Central Platte Valley - Auraria River District
D-CPV-C	Downtown Central Platte Valley - Auraria Center District

### SECTION 8.2.2 DOWNTOWN DISTRICTS

#### 8.2.2.1 General Purpose

The purpose of the Downtown Neighborhood Context Districts is to provide building use, building form, and design standards for this central Denver area. Each of the Downtown Districts is specific to and uniquely applies to a single area within the Downtown Context.

#### 8.2.2.2 Specific Intent

##### A. Downtown Core District (D-C)

The Downtown Core District is and must remain Denver's most prominent public environment; an urban center that is at once comfortable, exciting, and without question the business, entertainment and urban lifestyle center of the region.

##### B. Downtown Theater District (D-TD)

The Downtown Theater District is specific to an area of the Central Business District associated with the Denver Performing Arts Center, and which specifically enables over-scale, lively, and dynamic billboards and signage to promote Denver's preeminent entertainment district.

##### C. Lower Downtown (LoDo) District (D-LD)

The Lower Downtown District is specific to the Lower Downtown Historic District.

##### D. Downtown Civic District (D-CV)

The Downtown Civic District includes primarily public buildings surrounding and in the vicinity of the Civic Center park, and is intended to promote and continue the signature civic architecture and urban design of buildings and public spaces within the district.

##### E. Downtown Golden Triangle District (D-GT)

The Golden Triangle (D-GT) is a neighborhood ~~with a mixture of housing, office, commercial, and retail that encourages a wide range of uses including housing, office, civic, and retail, with an emphasis on active uses at the ground floor.~~ It is a cohesive and well-connected neighborhood ~~of~~ with active pedestrian-oriented tree-lined streets, ~~and~~ mixed-use development, and a strong association with art and culture. Typical building heights range from 3 to approximately 20 stories, with the General building form intended to provide architectural variety and flex-

ibility for all uses, and the Point Tower building form that provides an opportunity for building heights of more than 20 stories in a slender tower. Historic buildings as well as a diversity of contemporary structures of different scales and detail contribute to designed with human scale and detail are a part of the district's unique eclectic character and emphasize human scaled massing at the street level.

**F. Downtown Arapahoe Square District (D-AS)**

The D-AS zone district is specific to a small area of the Curtis Park neighborhood that is adjacent to the Arapahoe Square neighborhood and was previously zoned B-8-A under Former Chapter 59. D-AS is intended to support a mix of uses that provide a pedestrian friendly transition from the surrounding lower scale neighborhoods to the high-rise scale of downtown.

**G. Downtown Arapahoe Square 12+ District (D-AS-12+)**

D-AS-12+ applies to mixed-use areas within the Arapahoe Square neighborhood that provide a cohesive, connected and pedestrian-friendly transition between the Downtown Core, D-AS-20+ district and adjacent lower-scale neighborhoods. The district is intended to facilitate development of Arapahoe Square into a cutting edge, densely populated, area that provides a range of housing types and a center for innovative businesses. Typical building heights range from 8 to about 12 stories, with the Point Tower building form providing an opportunity for building heights of about 20 stories in a slender tower.

**H. Downtown Arapahoe Square 20+ District (D-AS-20+)**

D-AS-20+ applies to mixed-use areas within the Arapahoe Square neighborhood that are adjacent to the Downtown Core and provides a cohesive, connected and pedestrian friendly transition to the Downtown Core and D-AS-12+ district. The district is intended to facilitate the development of Arapahoe Square into a cutting edge, densely populated, area that provides a range of housing types and a center for innovative businesses. Typical building heights range from 12 to about 20 stories, with the Point Tower building form providing an opportunity for building heights of about 30 stories in a slender tower.

**I. Downtown Central Platte Valley – Auraria Transition District (D-CPV-T)**

The Transition district is located within approximately 1 block of established neighborhoods and buildings adjacent to and within Central Platte Valley – Auraria and supports a wide range of downtown neighborhood uses. This district applies to areas near Water Street and Interstate 25; along Auraria Parkway between Speer Boulevard and approximately 9th Street; and along Speer Boulevard between Auraria Parkway and approximately Chopper Circle/Wewatta Street. The overall intensity of this district is lower than the D-CPV-C district to create an appropriate relationship to surrounding neighborhoods, buildings, and campus environments.

A diversity of building scales and intensities will define the area with an emphasis on human-scaled massing at the street level and preserving access to sun, sky, and views as buildings increase in height. The General building form will provide flexibility for multiple building types and uses.

**J. Downtown Central Platte Valley – Auraria River District (D-CPV-R)**

The River district is located within approximately 1 to 1.5 blocks along both sides of the South Platte River. This district encourages a wide range of uses, particularly ground-floor active uses that engage the river edge, such as retail, eating and drinking establishments, and residential units. There is an emphasis on visual and physical permeability between taller, more slender buildings along the river. The overall intensity of this district is lower than the D-CPV-C district to create an appropriate relationship to the South Platte River.

The Point Tower form is prioritized as the primary building form, with an emphasis on human-scaled massing at the street level and preserving access to sun, sky, and views as buildings increase in height. The General building form is limited in height and is intended to provide architectural variety and flexibility for smaller uses and constrained sites. The Point Tower

frontage, except along the Southwest side of the 16th Street Mall where the build-to zone shall be increased to 20 feet.

2. *In the areas northeast and southwest of the area noted above in Subsection B.1, buildings shall be built to within 10 feet of the property line adjoining the street for no less than 50% of each separately owned zone lot frontage.*

**C. Exposure to the Sky**

In order to allow reasonable levels of natural light to reach the street, while also promoting strong definition of the street space, all new structures located on zone lots containing more than 15,000 square feet shall provide at least 15 percent sky exposure as measured from each abutting public street on which the zone lot has greater than one hundred fifty (150) linear feet of frontage. All sky exposure measurements shall be calculated using a Waldram diagram.

**D. Ground Floors of Parking Structures**

Each primary use or accessory use parking structure constructed after October 10, 1994, or renovated after October 10, 1994, shall either (1) have all ground floor frontages within 30 feet of a public street or a pedestrian and transit mall occupied by Downtown Ground Floor Active Uses, or (2) have driving aisles, ceiling heights, utility layouts, and structural openings designed to be consistent with future occupancy of the ground floor street frontage by Downtown Ground Floor Active Uses, unless such requirements are inconsistent with the structural layout of existing structures being converted to parking uses.

**E. ~~Downtown Design Standards and Guidelines Review~~**

**1. Applicability**

All new structures and all structures that are being renovated, and the renovation includes alterations to the lower 80 feet of the facade of the structure shall be subject to either:

- a. Design standards and a design standards review process established by rules and regulations; or
- b. Design guidelines and a design guidelines negotiation process established by rules and regulations.
- c. Design standards and design guidelines shall address those topics listed in Section 8.3.1.6.E.4 below. For each element of building or project design listed in Section 8.3.1.6.E.4, the applicant shall have the option of submitting proposed designs for a determination of consistency under the design standards review process or for approval under the design guidelines negotiation process. The applicant shall also have the option of submitting different design elements for determinations of consistency or for approval at different times. The design standards review process and the design guidelines negotiation procedures shall be conducted by the planning office staff. The Zoning Administrator shall not issue permits for use and construction until all applicable requirements have been met.

**2. Exclusions**

The design standards review process and the design guidelines negotiation process set forth in this Section shall not apply to:

- a. Any Historic Structure, or
- b. Any facade of an existing structure that is not being altered.

**3. Intent**

The design standards and design guidelines are intended (i) to promote visibility of commercial activities at ground level; (ii) to provide human scale through change, contrast, and intricacy in facade form, color and/or material where lower levels of structures face

5. “Additional parking” is parking above the required minimums as set forth in Sections 8.4.1.4.B.1 through 8.4.1.4.B.4 above. All structures may provide up to an additional one-half parking space per residential unit and one space per 1,500 square feet of gross floor area of nonresidential uses;
6. “Excess parking” is any parking in excess of the required minimums and allowed additional parking. Excess parking may be granted only upon application to the Lower Downtown Design Review ~~Board Commission~~ in accordance with the provisions of D.R.M.C., Article III (Lower Downtown Historic District) of Chapter 30 (Landmark Preservation);
7. Off-street parking requirements may be met off the zone lot according to Section 10.4.4.5, Location of Required Vehicle Parking, of this Code after consultation with the Lower Downtown Design Review ~~Board Commission~~, and provided said parking is provided within the D-LD zone district or within 1,000 feet of the subject zone lot; and
8. All required off-street parking spaces shall be designed in accordance with Division 10.4, Parking and Loading, of this Code.

**C. Accessible Parking**

Whenever off-street parking spaces are provided, a minimum number of accessible parking spaces shall be provided according to the requirements of the Denver Building Code and the federal Americans with Disabilities Act.

## DIVISION 8.6 DOWNTOWN GOLDEN TRIANGLE DISTRICT

### SECTION 8.6.1 ~~GOLDEN TRIANGLE DISTRICT~~

#### 8.6.1.1 **Generally**

The provisions of this Division apply to all lands, uses and structures in the Golden Triangle district.

#### 8.6.1.2 **Uses Permitted**

See Division 8.11 for uses permitted in the Golden Triangle District.

#### 8.6.1.3 **Permitted Structures:**

##### A. **Open Space Required**

For each structure designed, used or occupied either in whole or in part as a multiple unit dwelling there shall be provided in the D-GT district a minimum of 25 square feet of unobstructed open space, for each dwelling unit; such unobstructed open space may be located on the ground or on several usable roofs or balconies but shall not include space provided for off-street parking. Such requirement shall not apply to the construction of multiple unit dwellings through the conversion of buildings originally designed for nonresidential uses.

##### B. **Setbacks from Abutting Street Frontages**

###### 1. **Maximum Setback**

Buildings shall be built at or within 5 feet of the zone lot line abutting the street for no less than 65% of each zone lot frontage, unless otherwise provided in this Division 8.6 or in Design Standards and Guidelines adopted for the Golden Triangle neighborhood.

###### 2. **Setbacks from Speer Boulevard**

All structures on zone lots abutting Speer Boulevard shall be set back from Speer Boulevard a distance of at least 10 feet. In addition, any structure over 100 feet tall that is located on a zone lot containing at least 15,000 square feet of area shall have that portion of the structure that is more than 100 feet above ground level set back at least 20 feet from the right-of-way of Speer Boulevard; provided, however, that in lieu of such additional setback, the owner of such property may choose to have the design of such structure reviewed and approved by Community Planning and Development to avoid overshadowing of the Speer Boulevard right-of-way. Such design review shall be conducted pursuant to Section 8.6.1.4, Design Review, below.

##### C. **Maximum Height**

The maximum height of structures shall not exceed 175 feet above the elevation of Broadway Street as measured at the highest point on Broadway directly east or west of the subject property, as the case may be, as determined by the City Engineer. Upon request by the applicant, the Zoning Administrator, after consulting with the Manager and the chairperson of the Planning Board or their designated representatives, may increase the maximum heights by up to 25 feet according to the Administrative Adjustment procedures in Section 12.4.5, in order to compensate for design constraints imposed by unusually high water tables, irregularly shaped Zone Lots not caused by the property owner, and other unusual site conditions not caused by the property owner.

##### D. **Maximum Gross Floor Area in Structures**

###### 1. **Basic Maximum Gross Floor Area**

The sum total of the gross floor area of all structures on a zone lot shall not exceed 4 times the area of the zone lot on which the structures are located.



**2. Floor Area Premiums**

In addition to the basic maximum gross floor area permitted under Section 8.6.1.3.D.1 above, a premium of additional floor area may be constructed according to the following formulas:

**a. Premium for Housing**

One (1) square foot of floor area premium shall be awarded for each square foot of Residential uses constructed in a new structure or through conversion of all or a part of an existing structure from other uses:

**b. Premium for Residential Support Uses**

One (1) square foot of floor area premium shall be awarded for each square foot of “Residential support uses”, defined to be limited to a retail food sales use, or elementary or secondary school meeting all requirements of the compulsory education laws of the state, or day care center constructed to at least the minimum licensing standards of the Colorado Department of Environmental Health.

**c. Premium for Arts, Entertainment, or Cultural Facility**

One (1) square foot of floor area premium shall be awarded for each square foot of “arts, entertainment, or cultural facility”, defined to be limited to the provision of amusement or entertainment services upon payment of a fee, art gallery, museum, theater, or other similar uses as determined by the Zoning Administrator.

**d. Premium for Rehabilitation of Historic Structure**

One (1) square foot of floor area premium shall be awarded for each square foot of rehabilitation of a designated Historic Structure, the rehabilitation of which has been approved by the Landmark Preservation Commission in accordance with D.R.M.C., Chapter 30 (Landmark Preservation).

**e. Premium for Public Art**

A floor area premium equal to 25 percent of the zone lot area for public art constructed in a new structure or through conversion of all or a part of an existing structure from other uses with the following conditions:

- i. The public art must cost at least 1 percent of the valuation of construction of the new structure or 1 percent of the valuation of construction of the structure renovation or \$500,000.00, whichever is less; and
- ii. The public art is displayed outside or on the exterior surface of the new or renovated structure and is visible from at least 1 public street.

**f. Premium for Affordable Housing**

A floor area premium equal to 40 percent of the zone lot area if the structure qualifies under the provisions of D.R.M.C., Chapter 27, Article IV (Affordable Housing), provided all of said floor area premium is dedicated to residential uses and was submitted for approval prior to January 1, 2017.

**g. Continuation of Uses**

All areas for which a floor area premium has been granted shall continue to be occupied by those same uses or by other uses eligible for at least an equal amount of premium space and no change of use permit shall be approved except in compliance with the aforementioned requirement.

**3. Maximum Gross Floor Area in Structures**

Notwithstanding the provisions of Section 8.6.1.3.D.2, Floor Area Premiums, the sum total of the gross floor area of all structures on a zone lot shall not be greater than 6 times the area of the zone lot on which the structures are located, provided, however, that if an applicant submits the design of the entire project to the design review process described in Section 8.6.1.4, as appropriate, the sum total of the gross floor area of all structures on a zone lot shall not be greater than 7 times the area of the zone lot on which the structures are located. In addition, undeveloped floor area from designated Historic Structures with-

in the D-GT zone district may be transferred to other properties within the D-GT district pursuant to the procedures for transfer of undeveloped floor area from Historic Structures in the Downtown Core/Downtown Theater district set forth in Section 8.3.1.4.D.3; provided, however, that no receiving zone lot may increase its maximum gross floor area by more than 1 times the area of the receiving zone lot through such a transfer, and that no such transfer of undeveloped floor area shall have the effect of increasing the sum total of the gross floor area of all structures on a zone lot to more than those limits set forth in the preceding sentence.

#### 8.6.1.4 Design Review in the D-GT District

##### A. Applicability

Design standards and review procedures shall apply to the following:

1. All structures and all site improvements or alterations seeking the design review premium established in Section 8.6.1.3.D.3 above; and
2. The lower eighty (80) feet of a building constructed or renovated, and all site improvements or alterations constructed or renovated, where the renovation includes alterations to the exterior of the building other than restoration of original design features with original materials;

##### B. Procedures

Design review shall be conducted by Community Planning and Development. Design review shall be completed within 30 days after the submission of a complete application to the Zoning Administrator, except that the 30-day review period may be extended by an amount of time equal to any delay caused by the applicant, or with the applicant's consent, and no permits for construction and use shall be issued until design review has been completed.

##### C. Criteria

Design review shall be based on the following criteria:

##### 1. Design Review for Floor Area Premium

The project shall be designed to promote the following objectives:

- a. Be consistent with the pertinent elements of the Comprehensive Plan, particularly any adopted neighborhood plan;
- b. Provide human scale through change, contrast, intricacy in facade form, color and/or materials;
- c. Spatially define the street space; and
- d. Respect the character of the neighborhood as defined by its civic buildings and its older, pre-World War II masonry buildings;
- e. Provide step-backs in the building form to:
  - i. Create pedestrian scale along the street;
  - ii. Deflect wind patterns created by taller buildings away, as much as is practicable, from the street;
  - iii. Increase sky and daylight exposure to the street; and
  - iv. Increase sunlight exposure to the street, particularly along "numbered" streets;
- f. Locate Downtown Ground Floor Active Uses, wherever possible, along the street;
- g. Provide at Street Level as much as possible, transparent facades, and frequent pedestrian access to the buildings;
- h. Provide finished, architecturally designed and detailed facades for all exposures of the building, particularly those exposures above the first floor;

- i. Architecturally design the top of the building to provide a finished terminus to the building's form. At a minimum, screen all roof-top mechanical equipment and carefully design and detail all roof-top penthouses; and
    - j. Avoid highly reflective glass, and facades composed predominantly of glass curtain-wall systems.
- 2. Review of Lower 80 Feet Required for All Structures**

Project layout and design of the lower 80 feet of structures shall be designed to promote the following objectives:

  - a. Be consistent with the pertinent elements of the Comprehensive Plan, particularly any adopted neighborhood plan;
  - b. Provide human scale through change, contrast, intricacy in facade form, color, and/or materials where lower levels of a structure face public streets;
  - c. Spatially define the street space in order to promote pedestrian activity; and
  - d. All structures should respect the character of the neighborhood as defined by its civic buildings and its older, pre-World War II masonry buildings;
  - e. Provide setbacks in the building form to:
    - i. Create pedestrian scale along the street;
    - ii. Deflect wind patterns created by taller buildings away, as much as is practicable, from the street;
    - iii. Increase sky and daylight exposure to the street; and
    - iv. Increase sunlight exposure to the street, particularly along "numbered" streets;
  - f. Locate Downtown Ground Floor Active Uses, wherever possible, along the street;
  - g. Provide, at Street Level, as much as possible, transparent facades, and frequent pedestrian access to the buildings; and,
  - h. Avoid highly reflective glass, and facades composed predominantly of glass curtain-wall systems.
- 3. Parking Structures Review**
  - a. Shall have ground floor frontages occupied by Downtown Ground Floor Active Uses as defined in Article 13 of this Code, or shall have driving aisles, ceiling heights, utility layouts, and structural openings designed to be consistent with future occupancy of the street frontages by Downtown Ground Floor Active Uses, unless such requirements are inconsistent with the structural layout of existing structures being converted to parking uses;
  - b. Shall be designed to be compatible with the scale and character of the surrounding area and the vision and goals of the Comprehensive Plan and any adopted neighborhood plan; and
  - c. Shall provide variety and human scale through the use of architectural proportions, detail, surface relief, texture, and materials that are complementary to traditional commercial and industrial structures.
- 4. Rules and Regulations**

The Manager has the authority to adopt rules and regulations further establishing criteria, standards and procedures for the D-GT District.

The following Intent Statements are intended to provide further information regarding intent and performance expectations for the district, site and building design standards.

## **SECTION 8.6.2 GENERAL INTENT**

The Intent of this Division 8.6 Downtown Golden Triangle District is to:

- 8.6.2.1 Implement the recommendations of applicable adopted plans.
- 8.6.2.2 Implement the General Purpose and Specific Intent for the Downtown Golden Triangle zone district provided in Section 8.2.2.
- 8.6.2.3 Enhance and promote a quality urban environment including access to parks and open space, tree lined streets, generous pedestrian zones and public space, interconnected street networks, and convenient access to transit and alternative modes of transportation.
- 8.6.2.4 Prioritize the pedestrian realm as a defining element of neighborhood character.
- 8.6.2.5 Promote walking, biking, transit, and alternative modes of transportation that decrease reliance on vehicle access and parking.
- 8.6.2.6 Promote development of a vibrant sense of place that reflects the neighborhood.
- 8.6.2.7 Encourage design that relates to pedestrians in scale and activity.
- 8.6.2.8 Encourage innovative and unique design solutions that help define a special character.
- 8.6.2.9 Support context-sensitive relationships within the district and to adjacent buildings and neighborhoods through appropriately scaled building design.
- 8.6.2.10 Support an integrated arrangement of residential, employment, retail, service, and open space uses that are conveniently located to and compatible with each other.
- 8.6.2.11 Promote arts and culture as a primary component of neighborhood character.

## **SECTION 8.6.3 BUILDING FORM INTENT FOR DOWNTOWN GOLDEN TRIANGLE DISTRICT**

### **8.6.3.1 Height**

- A. Encourage building forms that fully realize the urban character and intensity envisioned for the Downtown context.
- B. Allow a variety of building heights appropriate for an urban location.
- C. Enable flexible building shaping to support access to sunlight and sky and create appropriate transitions to surrounding areas.

### **8.6.3.2 Floor Area Ratio**

- A. Encourage design creativity and a variety of building configurations.
- B. Include all contributors to building massing, including parking, in the determination of overall building intensity and scale.
- C. Allow additional development intensity in support of city and community priorities.

### **8.6.3.3 Siting**

- A. **Required Build-To**
  - 1. Create an urban street edge to enhance the character of the neighborhood and promote pedestrian activity.

2. Reinforce the character and quality of public streets with buildings that provide consistent siting, pedestrian orientation and access to the street.

**B. Setbacks**

1. Site buildings to be consistent with the intended character and functional requirements of the Downtown context.
2. Site buildings to define the street edge/public realm consistent with the context.
3. Create appropriate transitions between the public realm and adjacent exterior amenities and building elements.
4. Create appropriate transitions between the public realm and private residential uses.

**C. Open Space**

1. Enhance access to publicly-accessible open areas that contribute pedestrian activity, engage with internal active uses, offer landscape and tree canopy, and provide moments of respite in the urban environment.

**D. Parking and Service Access Locations**

1. Minimize the visual impacts of parking structures on streets and surrounding properties.
2. Minimize conflicts between pedestrians and vehicles.
3. Ensure parking and service access is located appropriately to minimize impacts to the pedestrian environment.

**8.6.3.4 Design Elements**

**A. Building Configuration**

1. Define appropriate sizes and separation distances on upper stories of buildings to support access to sunlight and sky.
2. Limit excessively long and monotonous building facades.
3. Encourage variation in building form, especially in the design of larger buildings.

**B. Primary Street Upper Story Setback**

1. Provide appropriate pedestrian scale, height, variety, and massing along the street.
2. Maintain a predominantly 2- to 8-story height near the sidewalk edge.

**C. Incremental Mass Reduction**

1. Proportionally shape and taper building massing as building height increases.
2. Support access to sunlight and sky.

**D. Transparency**

1. Maximize transparency at the Street Level to activate the street.
2. Utilize doors and windows to establish scale, variation, and patterns on building facades that provide visual interest and reflect uses within the building.

3. Use transparent glass to promote engagement between building activities and the sidewalk and limit reflected glare onto neighboring streets and properties.

**E. Entrances**

1. Prioritize the pedestrian realm as a defining element of neighborhood character.
2. Provide convenient access to buildings and active uses from the street.
3. Establish a direct relationship to the street through access, orientation and placement consistent with the context.
4. Create visually interesting and human-scaled facades.

**F. Limitation on Visible Parking Above the Street Level**

1. Encourage underground and convertible parking designs that more effectively utilize aboveground building area for active uses.
2. Create activity and visual interest on building facades above the Street Level.
3. Promote structured parking designs that reflect the architectural language of the building and contribute to the overall character and quality of the neighborhood and streetscape.

**G. Street Level Active Uses**

1. Reinforce the character and quality of a vibrant public realm with active uses that support pedestrian activity and sense of place.
2. Encourage nonresidential uses at the street level along key street corridors intended to have the highest concentration of retail commercial activity.

**8.6.3.5 Specific Building Form Intent**

**A. General**

To allow structures that accommodate a variety of building uses and architectural outcomes. The building form employs scalable zoning standards that enable greater flexibility for smaller lots and apply additional requirements as buildings increase in scale along the street. Enhanced Street Level design and use standards and upper story massing requirements ensure larger buildings contribute more activity to and establish a human scale relationship with the street. The building form allows for a variety of site configurations and all uses are allowed.

**B. Point Tower**

To promote tall, slender structures that support access to sunlight and sky by meeting rigorous upper story size limitations. Enhanced Street Level design and use standards and upper story massing requirements ensure taller buildings contribute more activity to and establish a human scale relationship with the street. The building form allows for a variety of site configurations and all uses are allowed.

## **SECTION 8.6.4 PRIMARY BUILDING FORM STANDARDS FOR DOWNTOWN GOLDEN TRIANGLE DISTRICT**

### **8.6.4.1 Applicability**

All development, except detached accessory structures, in the Downtown Golden Triangle (D-GT) zone district shall comply with this Section's primary building form standards.

### **8.6.4.2 General Standards**

- A. Combining standards from different building forms for the same structure is prohibited, except where expressly allowed.
- B. At an applicant's request, a primary structure with an existing assigned building form may be assigned a different permitted building form if:
  - 1. The structure fully conforms with all applicable standards of the new building form; or,
  - 2. The existing assigned building form is no longer a permitted form in the applicable zone district.

### **8.6.4.3 District Specific Standards Summary**

The maximum number of structures per zone lot and building forms allowed by zone district are summarized below:

<u>Downtown Golden Triangle Zone District</u>	<u>Building Forms</u>	
	<u>General</u>	<u>Point Tower</u>
<u>Max Number of Primary Structures Per Zone Lot</u>	<u>No Maximum</u>	
<u>Downtown Golden Triangle District (D-GT)</u>	■	■

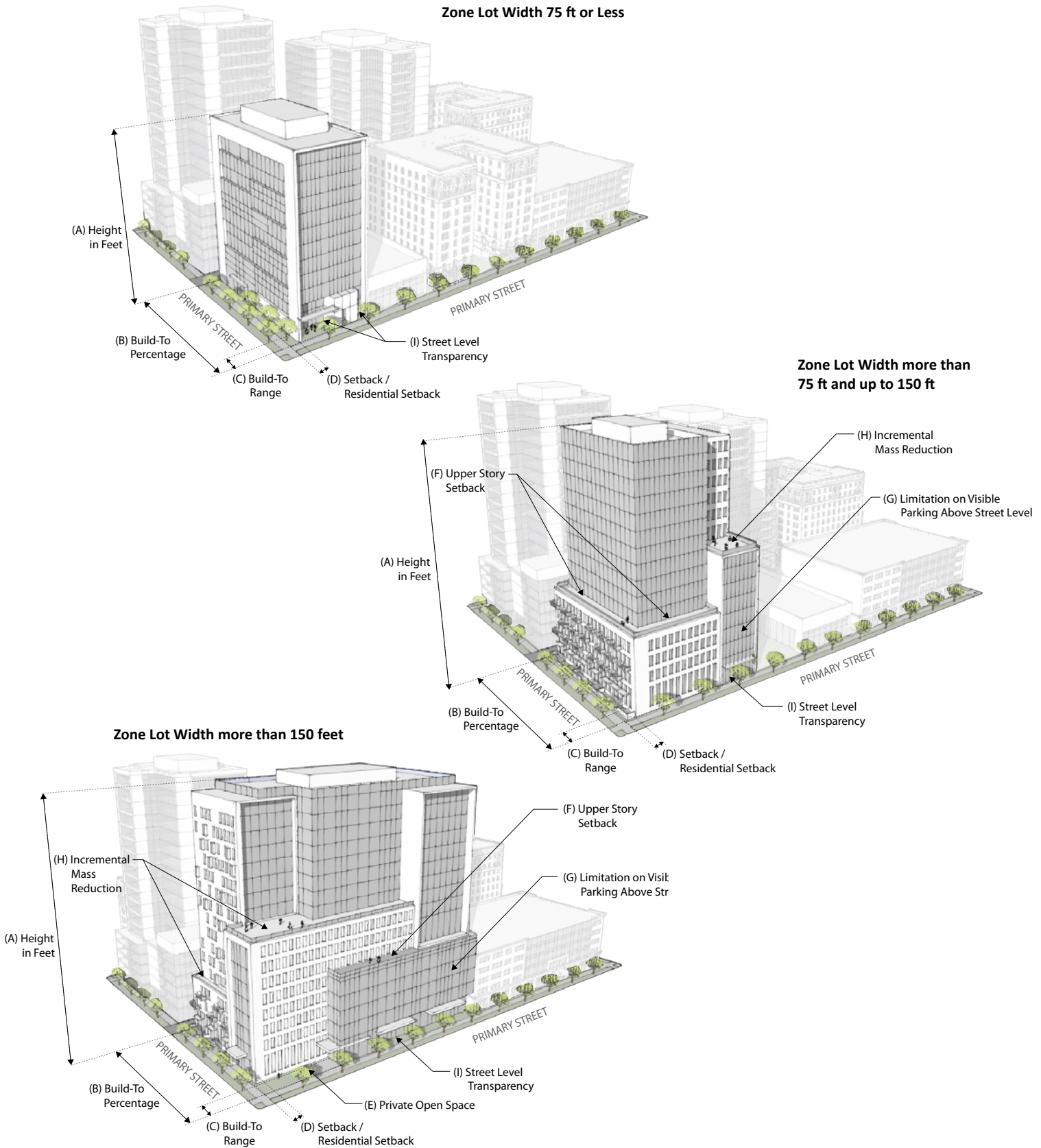
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### 8.6.4.4 District Specific Standards

#### A. General

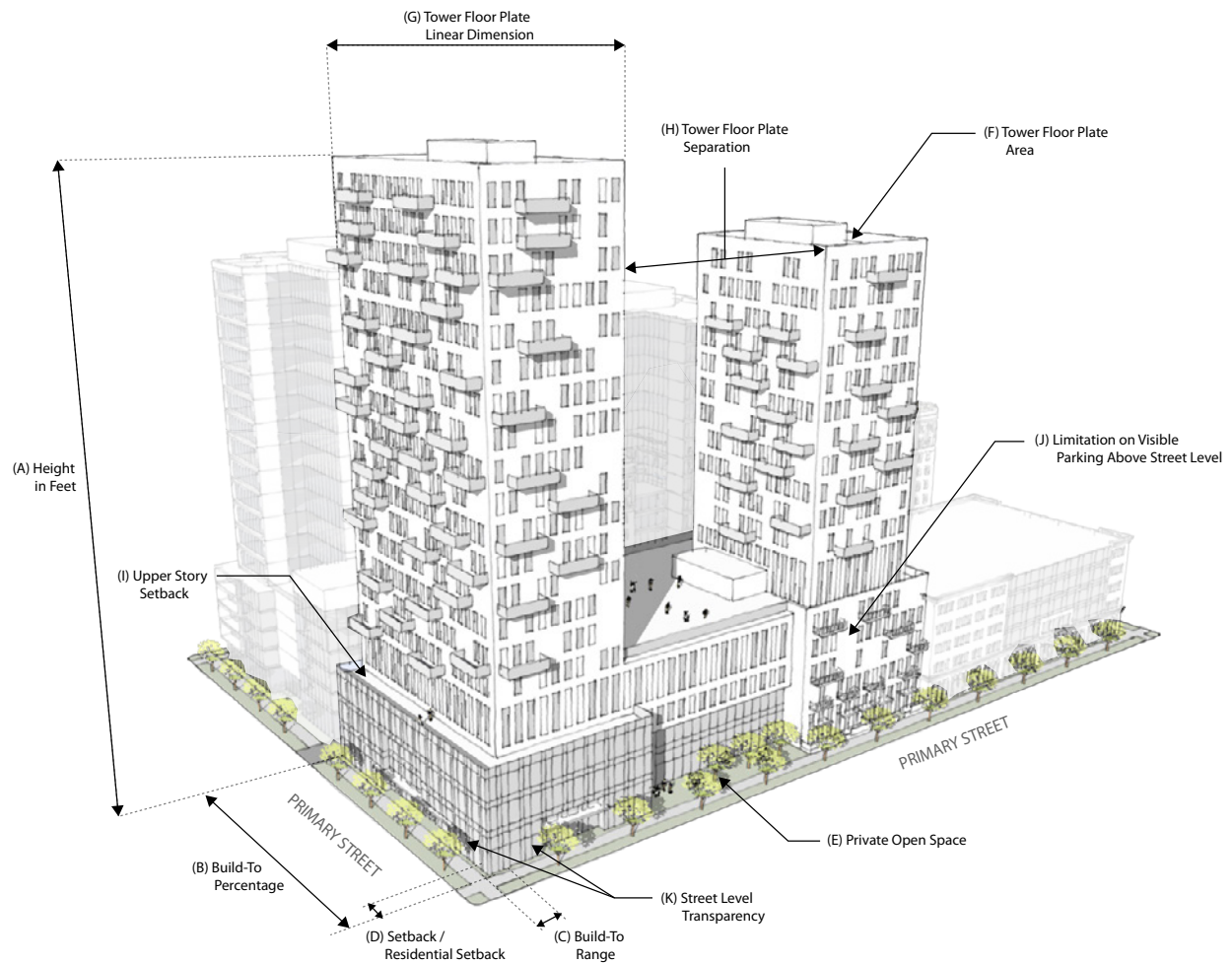


**GENERAL**

		D-GT		
HEIGHT AND FLOOR AREA		Zone Lot width 75' or less	Zone Lot width more than 75' and up to 150'	Zone Lot width more than 150'
<b>FLOOR AREA RATIO (FAR)</b>				
Base / Incentive FAR per Zone Lot, including all accessory structures (max)		8.0 / 15.0 <a href="#">See Section 8.6.6.1</a>	8.0 / 15.0 <a href="#">See Section 8.6.6.1</a>	8.0 / 15.0 <a href="#">See Section 8.6.6.1</a>
<b>HEIGHT</b>				
<b>A</b>	FAR per Zone Lot of 8.0 or less / FAR per Zone Lot more than 8.0 (max)	200' / 250'	200' / 250'	200' / 250'
SITING		Zone Lot width 75' or less	Zone Lot width more than 75' and up to 150'	Zone Lot width more than 150'
<b>REQUIRED BUILD-TO BY STREET</b>				
<b>B</b>	Primary Street (min build-to % )	70%	70%	70%
<b>C</b>	Primary Street (min/max build-to range) - Speer Blvd, Colfax Ave, 14th Ave.	10' / 20'	10' / 20'	10' / 20'
<b>C</b>	Primary Street (min/max build-to range) - All Others	0' / 10'	0' / 10'	2' / 10'
Frontage Subject to a Residential Setback: 7' / 15'				
<b>SETBACKS</b>				
<b>D</b>	Primary Street (min) - Speer Blvd, Colfax Ave, 14th Ave	10'	10'	10'
<b>D</b>	Primary Street (min) - All Others	0'	0'	0'
Side Interior and Rear (min)		0'	0'	0'
<b>RESIDENTIAL SETBACKS</b>				
<b>D</b>	Primary Street (min) - Speer Blvd, Colfax Ave, 14th Ave	10'	10'	10'
<b>D</b>	Primary Street (min) - All Others	7'	7'	7'
<b>OPEN SPACE</b>				
<b>E</b>	Private Open Space (min)	na	na	5%
<b>PARKING</b>				
Surface Parking between Building and Primary Street			Not Allowed	
Surface Parking Screening Required			<a href="#">See Section 8.10.3</a>	
Vehicle Access			Shall be determined as part of Site Development Plan Review	
DESIGN ELEMENTS		Zone Lot width 75' or less	Zone Lot width more than 75' and up to 150'	Zone Lot width more than 150'
<b>BUILDING CONFIGURATION</b>				
<b>F</b>	Upper Story Setback - Broadway, Lincoln St, Colfax Ave	No Upper Story Setback Required		
<b>E</b>	Upper Story Setback above 8 stories or 110' - Speer Blvd (min % of zone lot width/min setback)	100% / 20'	100% / 20'	100% / 20'
<b>F</b>	Upper Story Setback above 5 stories or 70' - All Others (min % of zone lot width/min setback)	na	Applies only to Structures more than 8 stories or 110': 65%/15'	65% / 15'
<b>G</b>	Limitation on Visible Parking Above Street Level for Structures over 5 stories or 70' in Height (min % of Primary Street-facing Zone Lot Width)	na	70% <a href="#">See Section 8.6.6.4</a>	70% <a href="#">See Section 8.6.6.4</a>
	Limitation on Visible Parking Above Street Level Alternative	na	<a href="#">See Section 8.6.7.4</a>	<a href="#">See Section 8.6.7.4</a>
<b>INCREMENTAL MASS REDUCTION</b>				
<b>H</b>	Incremental Mass Reduction for Stories 3-8 (min)	na	0%	10%
<b>H</b>	Incremental Mass Reduction for Stories 9-16 (min)	na	15%	25%
<b>H</b>	Incremental Mass Reduction for Stories 17-20 (min)	na	25%	35%
	Incremental Mass Reduction Alternative	na	<a href="#">See Section 8.6.7.5</a>	<a href="#">See Section 8.6.7.5</a>
<b>STREET LEVEL ACTIVATION</b>				
<b>I</b>	Street Level Transparency, Primary Street (min for non-residential/min for residential-only buildings)	60% / 40%		
	Pedestrian Access, Primary Street	Entrance		
	Additional Pedestrian Access, Primary Street (min required for each Street Level Dwelling Unit)	Dwelling Unit Entrance with Entry Feature		
USES		Zone Lot width 75' or less	Zone Lot width more than 75' and up to 150'	Zone Lot width more than 150'
Permitted Primary Uses		All permitted Primary Uses shall be allowed within this building form		
Street Level Active Uses (min Primary Street % within Build-To min/max range and with Street Level Active Uses)		70% - <a href="#">See Section 8.6.6.2</a>		
Street Level Nonresidential Active Uses (min Primary Street % within Build-To min/max range and with Street Level Nonresidential Active Uses)		na	na	50% <a href="#">See Section 8.6.6.3</a>

[See Sections 8.6.6, 8.6.7, and 8.10.1 for Supplemental Design Standards, Design Standard Alternatives, and Design Standard Exceptions](#)

### B. Point Tower



## POINT TOWER

<b>HEIGHT AND FLOOR AREA</b>		<b>D-GT</b>
<b>FLOOR AREA RATIO (FAR)</b>		
Base / Incentive FAR per Zone Lot, including all accessory structures (max)		8.0 / 15.0 See Section 8.6.6.1
<b>HEIGHT</b>		
A	FAR per Zone Lot of 8.0 or less / FAR per Zone Lot more than 8.0 (max)	250' / 325'
<b>SITING</b>		<b>D-GT</b>
<b>ZONE LOT</b>		
Zone Lot Width (min)		150'
<b>REQUIRED BUILD-TO BY STREET</b>		
B	Primary Street (min build-to %)	70%
C	Primary Street (min/max build-to range) - Speer Blvd, Colfax Ave, 14th Ave	10'/20'
C	Primary Street (min/max build-to range) - All Others	2' / 10' Frontage Subject to a Residential Setback: 7' / 15'
<b>SETBACKS</b>		
D	Primary Street (min) - Speer Blvd, Colfax Ave, 14th Ave	10'
D	Primary Street (min) - All Others	0'
Side Interior and Rear (min)		0'
<b>RESIDENTIAL SETBACKS</b>		
D	Primary Street (min) - Speer Blvd, Colfax Ave, 14th Ave	10'
D	Primary Street (min) - All Others	7'
<b>OPEN SPACE</b>		
E	Private Open Space (min)	5%
<b>PARKING</b>		
Surface Parking between Building and Primary Street		Not allowed
Surface Parking Screening Required		See Section 8.10.3
Vehicle Access		Shall be determined as part of Site Development Plan Review
<b>DESIGN ELEMENTS</b>		<b>D-GT</b>
<b>BUILDING CONFIGURATION</b>		
F/G	Tower Floor Plate above 5 stories and 70' (max area / max linear dimension)	12,500 square feet / 180'
Tower Floor Plate Linear Dimension Alternative (max)		200' - See Section 8.6.7.3
H	Tower Floor Plate Separation above 5 stories and 70' (min)	120'
I	Upper Story Setback above 5 stories or 70' - Speer (min % of zone lot width/min setback)	100% / 20'
I	Upper Story Setback above 5 stories or 70' - All Others (min % of zone lot width/min setback)	100% / 15'
J	Limitation on Visible Parking Above Street Level for Structures over 5 stories or 70' in Height (min % of Primary Street-facing Zone Lot Width)	70% - See Section 8.6.6.4
Limitation on Visible Parking Above Street Level Alternative		See Section 8.6.7.4
<b>STREET LEVEL ACTIVATION</b>		
K	Street Level Transparency, Primary Street (min for non-residential/min for residential-only buildings)	60% / 40%
Pedestrian Access, Primary Street		Entrance
Additional Pedestrian Access, Primary Street (min required for each Street Level Dwelling Unit)		Dwelling Unit Entrance with Entry Feature
<b>USES</b>		<b>D-GT</b>
Permitted Primary Uses		All permitted Primary Uses shall be allowed within this building form
Street Level Active Uses (min Primary Street % within Build-To min/max range and with Street Level Active Uses)		70% - See Section 8.6.6.2
Street Level Nonresidential Active Uses (min Primary Street % within Build-To min/max range and with Street Level Nonresidential Active Uses)		50% - See Section 8.6.6.3
See Sections 8.6.6, 8.6.7, and 8.10.1 for Supplemental Design Standards, Design Standard Alternatives, and Design Standard Exceptions		

## **SECTION 8.6.5 DETACHED ACCESSORY BUILDING FORM STANDARDS FOR DOWNTOWN GOLDEN TRIANGLE DISTRICT**

### **8.6.5.1 Applicability**

All detached accessory structures in the Downtown Golden Triangle zone district.

### **8.6.5.2 General Standards**

A. Combining standards from different building forms for the same structure is prohibited.

#### **B. Detached Accessory Structures Allowed**

Allowed detached accessory structures include, but are not limited to the following:

##### **1. Structures, Completely Enclosed: (See Division 13.3, Definitions of Words, Terms and Phrases.)**

Examples include, but are not limited to, sheds, utility buildings, playhouses, cabanas, pool houses, garages, guard houses, and other similar Completely Enclosed Structures.

##### **2. Structures, Partially Enclosed: (See Division 13.3, Definitions of Words, Terms and Phrases.)**

Examples include, but are not limited to, carports, gazebos, porches, trellises, chicken coops, and other similar Partially Enclosed Structures.

##### **3. Structures, Open: (See Division 13.3, Definitions of Words, Terms and Phrases.)**

Examples include, but are not limited to, pools and associated surrounds, hot tubs and associated surrounds, decks, balconies, recreational and play facilities, non-commercial barbecues, outside fireplaces, outdoor eating areas, and other similar Open Structures.

##### **4. Utilities, and Equipment Common and Customary to the Primary Structure and/or Use**

Examples include, but are not limited to the following:

###### **a. Radio and Television Receiving Antennas and Support Structures**

Permitted accessory radio and television receiving antennas and support structures shall include satellite dishes less than 32 inches in diameter, and one amateur radio sending and receiving antenna and support structures provided for same.

###### **b. Solar thermal and photo-voltaic energy systems**

###### **c. Air conditioning units**

###### **d. Pool pumps, heating and water filtration systems**

###### **e. Mailboxes including individual mailbox structures and cluster box units (CBUs)**

###### **f. Other similar Detached Accessory Structures, Utilities, and Equipment Common and Customary to the Primary Structure and/or Use**

##### **5. Fences, Walls and Retaining Walls**

All accessory fences, walls and retaining walls shall comply with the fence and wall standards in Division 10.5, instead of this Section 8.6.5, Detached Accessory Building Form Standards.

##### **6. Detached Accessory Structures Not Listed**

a. The Zoning Administrator shall determine and impose limitations on accessory structures not otherwise listed as allowed in an applicable Use Table in Articles 3 through 9, or not otherwise covered by the standards in this Section 8.6.5.

b. All such determinations shall be reviewed according to the procedures and review criteria stated in Section 12.4.6, Code Interpretations and Determination of Unlisted Uses. In addition to the criteria stated in Section 12.4.6, the Zoning Administrator shall determine whether a proposed accessory structure is common and custom-

- ary to the primary structure on the zone lot or to a specific primary use, and if the structure is incidental to the primary structure(s) on the zone lot or to a specific primary use.
- c. The Zoning Administrator may impose limitations on the proposed accessory structure, which shall be uniform throughout the zone district, and taking into consideration the size of the accessory structure, the total number of structures on the zone lot, and the effect on adjacent property.
  - d. Matters that may be regulated according to this Section shall include, but shall not be limited to, the size, area and number of accessory structures, except as specifically permitted or excluded by Articles 3 through 9, or by this Section 8.6.5.
- C. At an applicant's request, a detached accessory structure with an existing assigned building form may be assigned a different permitted detached accessory building form if:
- 1. The structure fully conforms with all applicable standards of the new detached accessory building form; or,
  - 2. The existing assigned detached accessory building form is no longer a permitted building form in the applicable zone district.

### **8.6.5.3 Supplemental Standards**

#### **A. Additional Standards for Detached Accessory Structures in Downtown Golden Triangle Zone District**

##### **1. Public Art**

A detached accessory structure may be allowed to exceed any Detached Accessory Building Form standard if it is a "work of public art" as defined by Section 20-86 of the Denver Revised Municipal Code, as determined by the Zoning Administrator with input from Denver Arts and Venues, and if the Zoning Administrator determines that such exception (1) will have no adverse impacts on abutting property, and (2) shall not substantially harm the public health, safety, and general welfare.

#### **B. Additional Standards for Structures Accessory to Single Unit Dwellings**

##### **1. Required Building Materials**

All structures accessory to primary single unit dwelling use shall be constructed of materials that are (1) compatible with the materials employed on the primary building, (2) durable, and (3) are not constructed from salvage doors, or other similar materials as designated by the Zoning Administrator.

#### **C. Additional Standards for Detached Accessory Structure Building Forms**

##### **1. Applicability**

This section applies to the Detached Accessory Structure accessory building forms only.

##### **2. Limit on Gross Floor Area**

If an accessory use is operated partially or entirely in one or more detached accessory structures, the gross floor area of such detached accessory structures shall not exceed 10 percent of the area of the zone lot, provided that this limitation shall not apply to detached accessory structures with vehicle access doors.

**8.6.5.4 District Specific Standards Summary**

The maximum number of structures per zone lot and building forms allowed by zone district is summarized below:

<u>Downtown Golden Triangle (D-GT) Zone District</u>	<u>Building Forms</u>			
	<u>Detached Accessory Dwelling Unit</u>	<u>Detached Garage</u>	<u>Other Detached Accessory Structures</u>	<u>Detached Accessory Structures</u>
<u>Max Number of Detached Accessory Structures Per Zone Lot</u>	<u>No Maximum</u>			
<u>Downtown Golden Triangle (D-GT)</u>				■

■ = Allowed

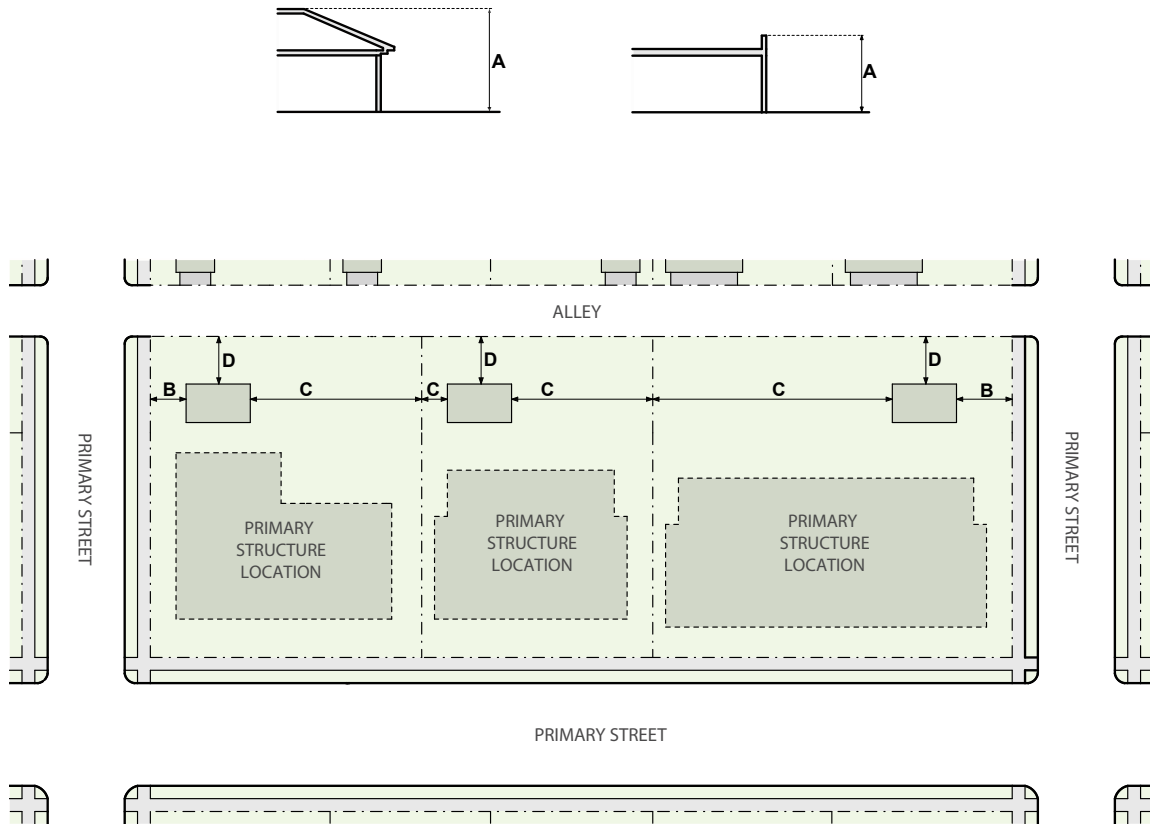
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### 8.6.5.5 District Specific Standards

#### A. Detached Accessory Structures

Not to Scale. Illustrative Only.



## **DETACHED ACCESSORY STRUCTURES**

<b><u>HEIGHT</u></b>		<b><u>D-GT</u></b>
<b>A</b>	<u>Stories (max)</u>	<u>1</u>
<b>A</b>	<u>Feet (max)</u>	<u>17'</u>
<b><u>SITING</u></b>		<b><u>D-GT</u></b>
<u>Additional Standards</u>		<u>See Section 8.9.4.3</u>
<b><u>SETBACKS</u></b>		
<b>B</b>	<u>Primary Street</u>	<u>5'</u>
<b>C</b>	<u>Side Interior (min)</u>	<u>0'</u>
<b>D</b>	<u>Rear (min)</u>	<u>0'</u>
<b><u>DESIGN ELEMENTS</u></b>		<b><u>D-GT</u></b>
<u>Gross Floor Area (max)</u>		<u>10% of the Zone Lot, provided this restriction shall not apply to Structures used exclusively for the parking of vehicles. See Section 8.6.5.3</u>
<b><u>USES</u></b>		<b><u>D-GT</u></b>
		<u>Accessory Uses Only</u>
<u>See Section 8.10.1 for Design Standard Exceptions</u>		

## **SECTION 8.6.6 SUPPLEMENTAL DESIGN STANDARDS FOR DOWNTOWN GOLDEN TRIANGLE DISTRICT**

### **8.6.6.1 Base and Incentive Floor Area Ratio in D-GT Zone District**

**A. Intent**

To implement specific adopted plan policies for the Golden Triangle area to support affordable housing and historic preservation.

**B. Applicability**

This Section 8.6.6.1 applies to all development in the D-GT zone district.

**C. Base Floor Area Ratio**

1. Maximum Base Floor Area Ratio shall be the maximum Base Floor Area Ratio set forth in the building form tables.
2. The total gross floor area of all existing and proposed Structures on a Zone Lot, measured per the rules stated in Section 13.1.5.17 Floor Area Ratio, divided by the area of the Zone Lot on which the Structures are located shall not exceed the maximum Base Floor Area Ratio without meeting the requirements in this Section 8.6.6.1.

**D. Incentive Floor Area Ratio**

1. Maximum Incentive Floor Area Ratio shall be the maximum Incentive Floor Area Ratio set forth in the building form tables.
2. The total gross floor area of all existing and proposed Structures on a Zone Lot, measured per the rules stated in Section 13.1.5.17 Floor Area Ratio, divided by the area of the Zone Lot on which the Structures are located may exceed the maximum Base Floor Area Ratio and be developed up to the maximum Incentive Floor Area Ratio by meeting the requirements in this Section 8.6.6.1.

**E. Requirements for Zone Lots with Structures that Exceed Maximum Base Floor Area Ratio**

**1. Allowance**

The following requirements may be used to exceed the maximum Base Floor Area Ratio and develop up to the maximum Incentive Floor Area Ratio as described in the table below.

REQUIREMENTS FOR ZONE LOTS THAT EXCEED MAXIMUM BASE FLOOR AREA RATIO		
TOTAL FLOOR AREA RATIO	AFFORDABLE HOUSING	HISTORIC PRESERVATION ALTERNATIVE
<u>12.0 FAR or less</u>	<u>Allowed</u>	<u>na</u>
<u>More than 12.0 FAR</u>	<u>Allowed</u>	<u>Allowed</u>

**2. Affordable Housing**

No building permit shall be issued if the total gross floor area of all existing and proposed Structures on a Zone Lot divided by the area of the Zone Lot on which the Structures are located exceeds the maximum Base Floor Area Ratio unless the specific incentive requirements set forth in D.R.M.C. Chapter 27, Article VI Incentives for Affordable Housing and any applicable approved Rules and Regulations adopted by the Department of Housing Stability are met.

**3. Historic Preservation Alternative for Zone Lots with Structures that Exceed a Floor Area Ratio of 12.0**

For the portion of the total gross floor area that exceeds 12.0 times the area of the Zone Lot, undeveloped floor area from a Historic Structure or floor area for the rehabilitation of a Historic Structure that is either from the same Zone Lot or has been transferred to the subject Zone Lot may be applied in lieu of the requirements set forth in D.R.M.C. Chapter 27, Article VI Incentives for Affordable Housing.

**a. Undeveloped Floor Area from a Historic Structure**

The amount of undeveloped floor area from each Historic Structure in the D-GT zone district shall be equal to the difference between the gross floor area in the Historic Structure and the maximum gross floor area permitted on the Zone Lot containing the Historic Structure. For the purposes of this calculation, the maximum gross floor area permitted on the Zone Lot shall be the area of the Zone Lot multiplied by the maximum Base Floor Area Ratio set forth in the building form tables. For example, a Zone Lot of 10,000 square feet with a Base Floor Area Ratio of 8.0 and a Historic Structure containing 30,000 square feet of gross floor area would result in 50,000 square feet of undeveloped floor area.

**b. Floor Area for the Rehabilitation of a Historic Structure**

Four (4) square feet of gross floor area shall be awarded for each square foot of the exposed exterior of a Historic Structure located within the D-GT zone district that has been rehabilitated to the policies, standards, and guidelines established by the Landmark Preservation Commission or to the U.S. Secretary of the Interior's standards for Treatment of Historic Properties. The Landmark Preservation Commission shall approve the rehabilitation. For example, a Historic Structure with 10,000 square feet of exposed exterior would result in 40,000 square feet of floor area for the rehabilitation of a Historic Structure once the rehabilitated exterior was approved by the Landmark Preservation Commission.

**c. Use of Floor Area from a Historic Structure**

**i.** Undeveloped floor area from a Historic Structure and floor area for the rehabilitation of a Historic Structure located within the D-GT zone district may be used on the same Zone Lot or certified and transferred to another Zone Lot within the D-GT zone district pursuant to the procedures in Section 8.3.1.4.D.3 Transfer of Undeveloped Floor Area. Any undeveloped floor area from a Historic Structure or floor area for the rehabilitation of a Historic Structure certified prior to July 1, 2021 shall remain valid and may be amended per this Section 8.6.6.1.

**ii.** A Zone Lot within the D-GT zone district may receive multiple transfers of undeveloped floor area or floor area for the rehabilitation of a Historic Structure from one or more Historic Structures within the D-GT zone district provided the following:

**a)** The sum total of the transfers shall not exceed 3 times the area of the receiving Zone Lot.

**b)** The sum total of gross floor area of all existing and proposed Structures on the receiving Zone Lot plus the total of the transfers divided by the area of the receiving Zone Lot does not exceed the maximum Incentive Floor Area Ratio set forth in the building form tables.

### **8.6.6.2 Street Level Active Uses in D-GT Zone District**

**A. Intent**

To promote activity on the street and sidewalk and encourage a vibrant urban environment.

**B. Applicability**

This Section 8.6.6.2 applies to all primary building forms in the D-GT zone district.

**C. Street Level Active Uses**

1. Street Level active uses include all permitted primary uses except the following:
  - a. Automobile Services, Light;
  - b. Mini-storage Facility; or
  - c. Wholesale Trade or Storage, Light.
2. Street Level active uses include all permitted accessory uses except the following:
  - a. Car Wash Bay Accessory to Automobile Services or Hotel Uses; or
  - b. Drive Through Facility Accessory to Eating/Drinking Establishments and to Retail Sales, Service, and Repair Uses.
3. Street Level active uses shall not include Parking Spaces or Parking Aisles.
4. Street Level active uses shall occupy Street Level floor area for a minimum depth of 15 feet (may include the depth of a recessed entrance allowed to meet minimum pedestrian access standards and insets for building articulation up to 10 feet in depth).
5. The portion of the building facade that meets the Street Level active use requirement shall contain at least one window or door that meets the requirements in Section 13.1.6.3 Street Level Activation.

### **8.6.6.3 Street Level Nonresidential Active Uses in D-GT Zone District**

**A. Intent**

To promote activity on the street and sidewalk and encourage a vibrant urban environment with uses accessible to the general public.

**B. Applicability**

This Section 8.6.6.3 applies to all primary building forms on Zone Lots with Primary Street Zone Lot Lines abutting Broadway, Lincoln Street, Bannock Street, Acoma Street between 10th Avenue and 12th Avenue, or 11th Avenue in the D-GT zone district.

**C. Allowance**

1. Street Level nonresidential active uses include all permitted primary uses except the following:
  - a. Dwelling, Single Unit;
  - b. Dwelling, Two Unit
  - c. Dwelling, Multi-Unit;
  - d. Dwelling, Live / Work;
  - e. Automobile Services, Light;
  - f. Mini-storage Facility; or
  - g. Wholesale Trade or Storage, Light.

2. Street Level nonresidential active uses include all permitted accessory uses except the following:
  - a. Accessory uses associated with primary uses prohibited by Section 8.6.6.3.C.1;
  - b. Outdoor Storage, General;
  - c. Outdoor Storage, Limited;
  - d. Car Wash Bay Accessory to Automobile Services or Hotel Uses; or
  - e. Drive Through Facility Accessory to Eating/Drinking Establishments and to Retail Sales, Service, and Repair Uses.
3. Street Level nonresidential active uses shall not include Parking Spaces or Parking Aisles.
4. Street Level nonresidential active uses shall occupy Street Level floor area for a minimum depth of 15 feet (may include the depth of a recessed entrance allowed to meet minimum pedestrian access standards and insets for building articulation up to 10 feet in depth).
5. The portion of the building facade that meets the Street Level nonresidential active use requirement shall contain at least one window or door that meets the requirements in Section 13.1.6.3 Street Level Activation.

#### **8.6.6.4 Limitation on Visible Parking Above Street Level in D-GT Zone District**

- A. **Intent**  
To minimize the visibility and impacts of structured parking and promote visual interest on upper story building facades.
- B. **Applicability**  
This Section 8.6.6.4 applies to all primary building forms on Zone Lots more than 75 feet wide in the D-GT zone district.
- C. **Allowance**
  1. Uses that meet the Limitation on Visible Parking above Street Level shall include all primary uses, but shall not include Parking Spaces or Parking Aisles for the minimum percentage of the Primary Street-facing Zone Lot Width specified in the building form table.
  2. Uses that meet the Limitation on Visible Parking above Street Level shall occupy floor area above Street Level for a minimum depth of 15 feet from the Primary Street frontage (may include the depth of recessed balcony or terrace areas and insets for building articulation up to 10 feet in depth).
  3. For Zone Lots more than 75 feet wide and up to 150 feet wide with multiple Primary Street Zone Lot Lines, the Limitation on Visible Parking above Street Level standard shall only apply to Primary Street Zone Lot Lines abutting named streets.

### **SECTION 8.6.7 DESIGN STANDARD ALTERNATIVES FOR DOWNTOWN GOLDEN TRIANGLE DISTRICT**

#### **8.6.7.1 Required Build-To Alternatives in D-GT Zone District**

- A. **Intent**  
To help define the public realm and enhance the visual quality of the built environment where it is not possible to define the street and public sidewalk edge with building facades.
- B. **Allowance**  
Private open space shall be the only required build-to alternative allowed in the D-GT zone district and may count toward no more than 50% of the required build-to standard on Primary Streets, provided the private open spaces meets the requirements stated in Section 13.1.5.8.E Build-to Alternative Requirements.

### **8.6.7.2 Street Level Transparency Alternatives in D-GT Zone District**

**A. Intent**

To provide visual interest on building Facades and enhance the visual quality of the built environment along Street Level Facade areas where windows are not feasible.

**B. Allowance**

Permanent art shall be the only transparency alternative allowed in the D-GT zone district and may count toward no more than 30% of the required transparency on Primary Streets, provided the permanent art meets the requirements stated in Section 13.1.6.3.A.5 Transparency Alternative Requirements.

### **8.6.7.3 Tower Floor Plate Linear Dimension Alternative in D-GT Zone District**

**A. Intent**

To allow a flexible alternative in special circumstances for creative designs that do not meet the specific Tower Floor Plate Linear Dimension requirement set forth in the Point Tower building form table.

**B. Applicability**

This Section 8.6.7.3 applies to the Point Tower building form in the D-GT zone district.

**C. Allowance**

The Zoning Administrator may approve an alternative Tower Floor Plate Linear Dimension, up to the maximum dimension set forth in the Point Tower building form table, where the design meets or exceeds the design standards and guidelines for Tower Floor Plate Linear Dimension in the Downtown Urban Design Standards and Guidelines.

### **8.6.7.4 Limitation on Visible Parking Above Street Level Alternative in D-GT Zone District**

**A. Intent**

To ensure structured parking designs are compatible with the character and quality of the overall building facade where structured parking is not wrapped by other uses.

**B. Applicability**

This Section 8.6.7.4 applies above 2 stories/30 feet in primary building forms in the D-GT zone district on Zone Lots that meet the following criteria:

1. Zone Lots that are more than 75 feet wide and up to 150 feet wide; or
2. Zone Lots that are more than 150 feet wide and up to 250 feet wide that are also less than 140 feet deep.

**C. Allowance**

The Zoning Administrator may approve an alternative Limitation on Visible Parking Above Street Level if the design meets the standards set forth below.

1. 100% of the Street-facing building facades above 2 stories/30 feet that contain structured parking are integrated facade designs that meet or exceed the design standards and guidelines for structured parking facades in the Downtown Urban Design Standards and Guidelines.
2. Where the alternative is used, Section 10.4.6.5 Parking Structure Design Standards shall apply in addition to the Standards set forth in this Section 8.6.7.4.

**8.6.7.5 Incremental Mass Reduction Alternative in D-GT Zone District**

**A. Intent**

To encourage provision of active, publicly-accessible, pedestrian-oriented courtyards, plazas and open space while allowing maximum flexibility for creative building massing.

**B. Allowance**

Where the minimum percentage of the gross area of a Zone Lot set forth below is provided as Private Open Space meeting the rules of measurement set forth in Section 13.1.6.1.B, all Structures on the Zone Lot are not required to meet Incremental Mass Reduction standards.

1. Structures that are up to 150 feet or 12 stories in height (excluding permitted height exceptions): 15% Private Open Space
2. Structures that are greater than 150 feet or 12 stories in height (excluding permitted height exceptions): 20% Private Open Space

**8.6.7.6 Street Level Nonresidential Active Use Alternatives in D-GT Zone District**

**A. Intent**

To encourage provision of active, publicly-accessible, pedestrian-oriented courtyards, plazas and open space, or Public Art, where required Street Level nonresidential active uses are not provided.

**B. Allowance**

1. The following alternatives may be used as an alternative to a required Street Level nonresidential active use standard and may count toward the minimum required area of Street Level nonresidential active uses no more than as described in the table below.

REQUIRED STREET LEVEL NONRESIDENTIAL ACTIVE USE ALTERNATIVE		
ZONE DISTRICT	PRIVATE OPEN SPACE (MAX % OF STREET LEVEL NONRESIDENTIAL ACTIVE USE)	PUBLIC ART (MAX % OF STREET LEVEL NONRESIDENTIAL ACTIVE USE)
<u>D-GT</u>	<u>100%</u>	<u>50%</u>

2. Each one square foot of Private Open Space area provided as an alternative shall substitute for one square foot of required Street Level nonresidential active use area, as determined by the length of the frontage required to meet the Street Level nonresidential active use standard multiplied by the required minimum depth of 15 feet, provided that the Private Open Space meets the requirements stated in Section 13.1.6.1.B. Any remaining Street Level nonresidential use area must meet the minimum requirements stated in Section 8.6.6.3.
3. Public Art provided as an alternative shall substitute for the percentage of required Street Level nonresidential active use area described in the table above provided that it meets the following minimum criteria. Any remaining Street Level nonresidential use area must meet the minimum requirements stated in Section 8.6.6.3.
  - a. The Public Art shall be a “work of public art” as defined by Section 20-86 of the Denver Revised Municipal Code, as determined by the Zoning Administrator, with input from Denver Arts and Venues;
  - b. The Public Art, as a single work or collection of works, shall cost at least 1 percent of the valuation of construction of the new Structure or 1 percent of the valuation of construction of the Structure renovation or \$500,000.00, whichever is less; and
  - c. The Public Art is displayed outside or on the exterior surface of the new or renovated Structure and is visible from at least one public street.



**8.6.7.7 Private Open Space Alternatives in D-GT Zone District**

**A. Intent**

To encourage nonresidential uses at the Street Level to promote active pedestrian-oriented building frontages, or Public Art, where required Private Open Space areas are not provided.

**B. Allowance**

1. The following alternatives may be used as an alternative to a required Private Open Space standard and may count toward the minimum required area of Private Open Space no more than as described in the table below.

REQUIRED PRIVATE OPEN SPACE ALTERNATIVE		
ZONE DISTRICT	STREET LEVEL NONRESIDENTIAL ACTIVE USE (MAX % OF PRIVATE OPEN SPACE)	PUBLIC ART (MAX % OF PRIVATE OPEN SPACE)
<u>D-GT</u>	<u>100%</u>	<u>50%</u>

2. Each one square foot of Street Level nonresidential active use area provided as an alternative shall substitute for one square foot of required Private Open Space area, provided that the Street Level nonresidential active use area meets the requirements stated in Section 8.6.6.3. Any remaining Private Open Space area must meet the minimum requirements stated in Section 13.1.6.1.B.
3. Public Art provided as an alternative shall substitute for the percentage of required Private Open Space area described in the table above provided that it meets the following minimum criteria. Any remaining Private Open Space area must meet the minimum requirements stated in Section 13.1.6.1.B.
  - a. The Public Art shall be a “work of public art” as defined by Section 20-86 of the Denver Revised Municipal Code, as determined by the Zoning Administrator, with input from Denver Arts and Venues;
  - b. The Public Art, as a single work or collection of works, shall cost at least 1 percent of the valuation of construction of the new Structure or 1 percent of the valuation of construction of the Structure renovation or \$500,000.00, whichever is less; and
  - c. The Public Art is displayed outside or on the exterior surface of the new or renovated Structure and is visible from at least one public street.

**C. Allowance**

1. Uses that meet the Limitation on Visible Parking above Street Level shall include all primary uses, but shall not include Parking Spaces or Parking Aisles for the minimum percentage of the Primary Street-facing zone lot width specified in the building form table.
2. Uses that meet the Limitation on Visible Parking above Street Level shall occupy floor area above Street Level for a minimum depth of 15 feet from the Primary Street frontage (may include the depth of recessed balcony or terrace areas and insets for building articulation up to 10 feet in depth).

**SECTION 8.8.6 DESIGN STANDARD ALTERNATIVES FOR DOWNTOWN ARAPAHOE SQUARE 12+ AND DOWNTOWN ARAPAHOE SQUARE 20+ DISTRICTS**

**8.8.6.1 Required Build-To Alternatives in D-AS-12+ and D-AS-20+ Districts**

**A. Intent**

To help define the public realm and enhance the visual quality of the built environment where it is not possible to define the street and public sidewalk edge with building facades.

**B. Allowance**

The following alternative may be used as an alternative to a required build-to standard and may count toward the required build-to no more than as described in the table below, provided it meets the requirements stated in Section 13.1.5.8.E)

REQUIRED BUILD-TO ALTERNATIVE	
ZONE DISTRICT	PRIVATE OPEN SPACE (MAX % OF BUILD-TO)
D-AS-12+ D-AS-20+	25%

**8.8.6.2 Primary Street Upper Story Setback Alternative for 21st Street & Park Avenue in D-AS-12+ and D-AS-20+ Districts**

**A. Intent**

To allow a flexible alternative for creative designs fronting 21st Street and Park Avenue that maintain a building setback at or below 5 stories and 70 feet, but do not meet the specific Primary Street Upper Story Setback requirements set forth in the building form tables.

**B. Applicability**

This Section 8.8.6.2 applies to Primary Street upper story setbacks on the 21st Street and Park Avenue frontage of all building forms in the D-AS-12+ and D-AS-20+ zone districts.

**C. Allowance**

The Zoning Administrator may approve an alternative Primary Street Upper Story setback design that does not meet the specific Upper Story setback requirements set forth in the building form standards tables where the alternative is found to meet the design standards and guidelines for the Upper Story setback alternative on 21st Street and Park Avenue in the [Downtown Urban Design Standards and Guidelines for Arapahoe Square](#).

### 8.8.6.3 Street Level Transparency Alternatives in D-AS-12+ and D-AS-20+ Districts

**A. Intent**

To provide visual interest on building facades, to activate the public street and sidewalk, and enhance the visual quality of the built environment along Street Level facade areas where windows do not provide sufficient transparency.

**B. Allowance**

The following alternatives may be used singularly or in combination as alternatives to a required transparency standard and may count toward required transparency no more than as described in the table below, if all alternatives meet the requirements stated in Section 13.1.6.3.A.5:

TRANSPARENCY ALTERNATIVES				
ZONE DISTRICT	ZONE LOT LINE DESIGNATION	DISPLAY CASES (MAX)	PERMANENT ART (MAX)	COMBINATION OF ALTERNATIVES (MAX)
D-AS-12+ D-AS-20+	Primary Street	20%	20%	40%

### 8.8.6.4 Tower Floor Plate Linear Dimension Alternative in D-AS-12+ and D-AS-20+ Zone Districts

**A. Intent**

To allow a flexible alternative in special circumstances for creative designs that do not meet the specific Tower Floor Plate Linear Dimension requirements set forth in the building form tables.

**B. Applicability**

This Section 8.8.6.4 applies to the Tower Floor Plate Linear Dimension maximum above 5 stories/70 feet in the Point Tower building form in the D-AS-12+ and D-AS-20+ zone districts.

**C. Allowance**

The Zoning Administrator may approve an alternative Tower Floor Plate Linear Dimension that does not meet the specific requirements set forth in the building form table, up to the maximum dimension listed in the Tower Floor Plate Linear Dimension Alternative, where the alternative is found to meet the design standards and guidelines for Tower Floor Plate Linear Dimension in the [Downtown Urban](#) Design Standards and Guidelines ~~for Arapahoe Square.~~

## ~~SECTION 8.8.7 DESIGN STANDARD EXCEPTIONS FOR DOWNTOWN ARAPAHOE SQUARE 12+ AND DOWNTOWN ARAPAHOE SQUARE 20+ DISTRICTS~~

### ~~8.8.7.1 Required Build-To Exceptions in D-AS-12+ and D-AS-20+ Districts~~

~~**A. Civic, Public & Institutional Uses**~~

~~**1. Intent**~~

~~To accommodate signature entrance architecture, gathering spaces, plazas, or community amenities along the front facades of structures containing civic, public and institutional uses.~~

~~**2. Standard**~~

~~Structures containing one or more uses in the Civic, Public & Institutional Use Classification are not required to meet the Primary Street and Side Street Build-To standards.~~

## GENERAL

HEIGHT		D-CPV-R	D-CPV-T	D-CPV-C
<b>BASE HEIGHT</b>				
A	Base Stories (max)	5	5	5
A	Base Feet (min/max)	25' / 70'	25' / 70'	25' / 70'
<b>INCENTIVE HEIGHT</b>				
B	Incentive Stories / Feet (max)	na	12 / 150' - See Section 8.9.5.5	
SITING		D-CPV-R	D-CPV-T	D-CPV-C
<b>REQUIRED BUILD-TO BY STREET</b>				
C	Primary Street (min build-to %)		70%	
	<del>South Platte River</del> Primary Street (min/max build-to range) - <u>South Platte River</u>		2' / 25'	
		Frontage Subject to a Residential Setback: 15' / 25'		
D	<del>All Other</del> Primary Streets (min/max build-to range) - <u>All Others</u>		2' / 15'	
		Frontage Subject to a Residential Setback: 7' / 20'		
<b>SETBACKS</b>				
E	All Primary Streets (min % of Zone Lot width/min Setback)		100%/2' and 50%/5'	
	Side Interior and Rear (min)		0'	
<b>RESIDENTIAL SETBACKS BY STREET</b>				
	<del>South Platte River</del> Primary Street (min) - <u>South Platte River</u>	15'	na	na
E	<del>All Other</del> Primary Streets (min) - <u>All Others</u>	7'	7'	7'
<b>OPEN SPACE BY ZONE LOT SIZE OR WIDTH</b>				
	Private Open Space on Lots >50,000 sf or >250' Wide (min)	5%	5%	5%
<b>PARKING</b>				
	Surface Parking between Building and Primary Street/ <del>South Platte River</del> Frontage		Not Allowed	
	Surface Parking Screening Required		See Section 10.5.4.4	
	Vehicle Access		Shall be determined as part of Site Development Plan Review	
DESIGN ELEMENTS		D-CPV-R	D-CPV-T	D-CPV-C
<b>BUILDING CONFIGURATION</b>				
F	Upper Story Setback above 5 stories and 70' (min % of zone lot width/min setback)	na	65% / 15'	65% / 15'
	Limitation on Visible Parking Above Street Level (min % of Primary Street-facing Zone Lot Width)		70% - See Section 8.9.5.4	
<b>INCREMENTAL MASS REDUCTION FOR LOTS &gt; 25,000 SF</b>				
G	Incremental Mass Reduction for Stories 1-5	na	15%	15%
G	Incremental Mass Reduction for Stories 6-8	na	25%	25%
G	Incremental Mass Reduction for Stories 9-12	na	35%	35%
<b>STREET LEVEL ACTIVATION</b>				
	Street Level Transparency, Primary Street (min for non-residential/min for residential-only buildings)		60% / 40%	
	Pedestrian Access, Primary Street		Entrance	
	Additional Pedestrian Access, Primary Street (min required for each Street Level Dwelling Unit)		Dwelling Unit Entrance with Entry Feature	
USES		D-CPV-R	D-CPV-T	D-CPV-C
	Permitted Primary Uses	All permitted Primary Uses shall be allowed within this building form		
	Street Level Active Uses (min % of Primary Street frontage meeting Build-To requirement)		100% - See Section 8.9.5.1	
	Street Level Active Non-Residential Uses (min % of Primary Street frontage meeting Build-To requirement)		70% - See Section 8.9.5.2	
See Sections 8.9.5-, 8.9.76, and 8.10.1 for Supplemental Design Standards, Design Standard Alternatives, and Design Standard Exceptions				

## STANDARD TOWER

HEIGHT & FLOOR AREA RATIO		D-CPV-C
<b>BASE HEIGHT</b>		
A	Base Stories (max)	5
A	Base Feet (min/max)	25' / 70'
<b>INCENTIVE HEIGHT</b>		
B	Incentive Stories / Feet (max)	No Maximum - See Section 8.9.5.5
<b>FLOOR AREA RATIO</b>		
	Floor Area Ratio (max)	20.0
SITING		D-CPV-C
<b>REQUIRED BUILD-TO</b>		
C	Primary Street (min build-to %)	70%
D	Primary Street (min/max build-to range)	2' / 15' Frontage Subject to a Residential Setback: 7' / 20'
<b>SETBACKS</b>		
E	Primary Street (min % of Zone Lot width/min Setback)	100%/2' and 50%/5'
	Side Interior and Rear (min)	0'
<b>RESIDENTIAL SETBACKS</b>		
E	Primary Street (min)	7'
<b>OPEN SPACE BY ZONE LOT SIZE OR WIDTH</b>		
	Private Open Space on Lots >50,000 sf or >250' Wide (min)	5%
<b>PARKING</b>		
	Surface Parking between Building and Primary Street/ <del>South Platte River Frontage</del>	Not Allowed
	Surface Parking Screening Required	See Section 10.5.4.4
	Vehicle Access	Shall be determined as part of Site Development Plan Review
DESIGN ELEMENTS		D-CPV-C
<b>BUILDING CONFIGURATION</b>		
F/G	Tower Floor Plate above 8 stories and 110' (max area / max linear dimension)	25,000 square feet / 250'
	Tower Floor Plate Linear Dimension Alternative (max)	265' - See Section 8.9.6.3
H	Tower Floor Plate Separation <u>above 8 stories and 110'</u> (min)	80' (Floor Plate Area ≤ 22,000 square feet) 100' (Floor Plate Area > 22,000 square feet)
	Tower Floor Plate Separation Alternative (min)	80' - See Section 8.9.6.4
I	Upper Story Setback above 8 stories and 110' (min % of zone lot width/min setback)	65% / 15'
	Limitation on Visible Parking Above Street Level (min % of Primary Street-facing Zone Lot Width)	70% - See Section 8.9.5.4
<b>INCREMENTAL MASS REDUCTION FOR LOTS &gt; 25,000 SF</b>		
J	Incremental Mass Reduction for Stories 1-5	15%
J	Incremental Mass Reduction for Stories 6-8	25%
<b>STREET LEVEL ACTIVATION</b>		
	Street Level Transparency, Primary Street (min for non-residential/min for residential-only buildings)	60% / 40%
	Pedestrian Access, Primary Street	Entrance
	Additional Pedestrian Access, Primary Street (min required for each Street Level Dwelling Unit)	Dwelling Unit Entrance with Entry Feature
USES		D-CPV-C
	Permitted Primary Uses	All permitted Primary Uses shall be allowed within this building form;
	Street Level Active Uses (min % of Primary Street frontage meeting Build-To requirement)	100% - See Section 8.9.5.1
	Street Level Active Non-Residential Uses (min % of Primary Street frontage meeting Build-To requirement)	70% - See Section 8.9.5.2
	Limitation on Primary Residential Uses (max % of Gross Floor Area above 8 stories and 110')	50% - See Section 8.9.5.3

See Sections 8.9.5-8.9.76, and 8.10.1 for Supplemental Design Standards, Design Standard Alternatives, and Design Standard Exceptions

Amendment: 3

**DRAFT**

## POINT TOWER

HEIGHT		D-CPV-R	D-CPV-C
<b>BASE HEIGHT</b>			
A	Base Stories (max)		5
A	Base Feet (min/max)		25' / 70'
<b>INCENTIVE HEIGHT</b>			
B	Incentive Stories / Feet (max)	No Maximum - See Section 8.9.5.5	
SITING		D-CPV-R	D-CPV-C
<b>REQUIRED BUILD-TO BY STREET</b>			
C	Primary Street (min build-to %)		70%
	<del>South Platte River</del> Primary Street (min/max build-to range) - <del>South Platte River</del>		2' / 25' Frontage Subject to a Residential Setback: 15' / 25'
D	<del>All Other</del> Primary Streets (min/max build-to range) - <del>All Others</del>		2' / 15' Frontage Subject to a Residential Setback: 7' / 20'
<b>SETBACKS</b>			
E	Primary Street (min % of Zone Lot width/min Setback)		100%/2' and 50%/5'
	Side Interior and Rear (min)		0'
<b>RESIDENTIAL SETBACKS BY STREET</b>			
	<del>South Platte River</del> Primary Street (min) - <del>South Platte River</del>	15'	na
E	<del>All Other</del> Primary Streets (min) - <del>All Others</del>	7'	7'
<b>OPEN SPACE BY ZONE LOT SIZE OR WIDTH</b>			
	Private Open Space on Lots >50,000 sf or >250' Wide (min)		5%
<b>PARKING</b>			
	Surface Parking between Building and Primary Street/ <del>South Platte River</del> Frontage		Not Allowed
	Surface Parking Screening Required		See Section 10.5.4.4
	Vehicle Access		Shall be determined as part of Site Development Plan Review
DESIGN ELEMENTS		D-CPV-R	D-CPV-C
<b>BUILDING CONFIGURATION</b>			
F/G	Tower Floor Plate above 5 stories and 70' (max area / max linear dimension)	11,000 square feet / 165'	na
F/G	Tower Floor Plate above 8 stories and 110' (max area / max linear dimension)	na	11,000 square feet / 165'
	Tower Floor Plate Linear Dimension Alternative (max)	180' - See Section 8.9.6.3	
H	Tower Floor Plate Separation <u>above 5 stories and 70' (D-CPV-R) or above 8 stories and 110' (D-CPV-C)</u> (min)	120'	80'
	Tower Floor Plate Separation Alternative (min)	80' - See Section 8.9.6.4	
I	Upper Story Setback above 5 stories and 70' (min % of zone lot width/min setback)	65% / 15'	na
I	Upper Story Setback above 8 stories and 110' (min % of zone lot width/min setback)	na	65% / 15'
	Limitation on Visible Parking Above Street Level (min % of Primary Street-facing Zone Lot Width)	70% - See Section 8.9.5.4	
<b>INCREMENTAL MASS REDUCTION FOR LOTS &gt; 25,000 SF</b>			
J	Incremental Mass Reduction for Stories 1-5	15%	15%
J	Incremental Mass Reduction for Stories 6-8	na	25%
<b>STREET LEVEL ACTIVATION</b>			
	Street Level Transparency, Primary Street (min for non-residential/min for residential-only buildings)		60% / 40%
	Pedestrian Access, Primary Street		Entrance
	Additional Pedestrian Access, Primary Street (min required for each Street Level Dwelling Unit)		Dwelling Unit Entrance with Entry Feature
USES		D-CPV-R	D-CPV-C
	Permitted Primary Uses	All permitted Primary Uses shall be allowed within this building form	
	Street Level Active Uses (min % of Primary Street frontage meeting Build-To requirement)	100% - See Section 8.9.5.1	
	Street Level Active Non-Residential Uses (min % of Primary Street frontage meeting Build-To requirement)	70% - See Section 8.9.5.2	
See Sections 8.9.5- <del>8.9.76</del> , and 8.10.1 for Supplemental Design Standards, Design Standard Alternatives, and Design Standard Exceptions			

**C. Allowance**

The Zoning Administrator may approve an alternative Tower Floor Plate Linear Dimension that does not meet the specific requirements set forth in the building form tables, up to the maximum dimension listed in the Tower Floor Plate Linear Dimension Alternative, where the alternative is found to meet the design standards and guidelines for Tower Floor Plate Linear Dimension in the Downtown Urban Design Standards and Guidelines ~~for Downtown Central Platte Valley – Auraria.~~

**8.9.6.4 Tower Floor Plate Separation Alternative in D-CPV-R and D-CPV-C Zone Districts**

**A. Intent**

To allow a flexible alternative in special circumstances for creative designs that do not meet the specific Tower Floor Plate Separation requirements set forth in the building form tables.

**B. Applicability**

This Section 8.9.6.4 applies to the Tower Floor Plate Separation minimum above 5 stories/70 feet in the Point Tower building form in the D-CPV-R zone district and Tower Floor Plate Separation minimum above 8 stories/110 feet in the Standard Tower building forms in the D-CPV-C zone district.

**C. Allowance**

The Zoning Administrator may approve an alternative Tower Floor Plate Separation that does not meet the specific spacing requirements set forth in the building form tables, up to the minimum separation listed in the Tower Floor Plate Separation Alternative, where the alternative is found to meet the design standards and guidelines for Tower Floor Plate Separation in the Downtown Urban Design Standards and Guidelines ~~for Downtown Central Platte Valley – Auraria.~~

**SECTION 8.9.7 ~~DESIGN STANDARD EXCEPTIONS FOR DOWNTOWN CENTRAL PLATTE VALLEY – AURARIA TRANSITION, RIVER, AND CENTER DISTRICTS~~**

**8.9.7.1 ~~Required Build-To Exceptions in D-CPV-T, D-CPV-R, and D-CPV-C Zone Districts~~**

**A. ~~Civic, Public & Institutional Uses~~**

**1. ~~Intent~~**

~~To accommodate signature entrance architecture, gathering spaces, plazas, or community amenities along the front facades of structures containing civic, public and institutional uses.~~

**2. ~~Standard~~**

~~Structures containing one or more uses in the Civic, Public & Institutional Use Classification are not required to meet the Primary Street Build-To standards.~~

**8.9.7.2 ~~Setback Encroachments~~**

**A. ~~Intent~~**


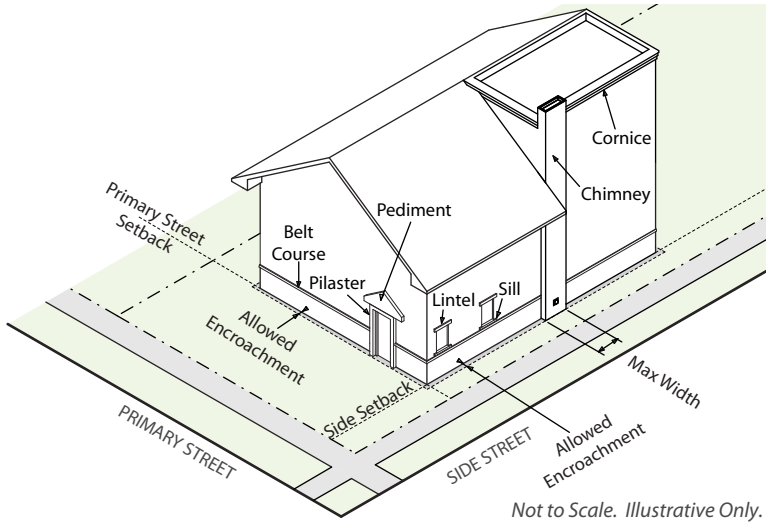

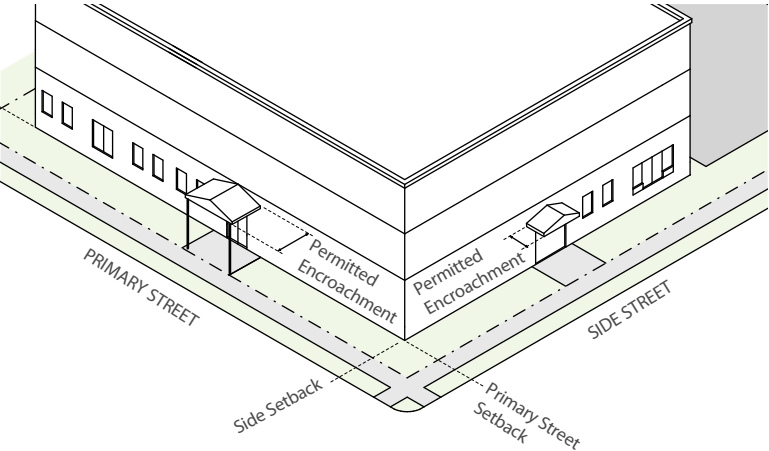
~~To allow minor elements to encroach into a setback while maintaining an open and unobstructed minimum setback space.~~

**B. ~~Standard~~**

~~Required minimum setbacks shall be open and unobstructed. The following setback encroachments, including residential setbacks but excluding required upper story setbacks, are allowed:~~

**1. Architectural Elements**

To allow for minor elements which add to the architectural character of buildings, while maintaining an open and unobstructed setback space:

	ZONE-DISTRICTS	BUILDING FORMS	PRIMARY STREET
<p>Belt Courses, sills, lintels, pilasters, pediments, cornices; chimneys and fireplace insert vents not exceeding 6' in width</p> <p>Intent: To allow common, minor decorative elements which are integral to a building:</p>  <p><i>Illustrative only</i></p>	All D-CPV-T/R/C Zone Districts	All building forms	<p>1.5'</p> <p>Cornices only: 3'</p>  <p><i>Not to Scale. Illustrative Only.</i></p>
	ZONE-DISTRICTS	BUILDING FORMS	PRIMARY STREET
<p>Canopies providing cover to an entrance:</p> <ul style="list-style-type: none"> <li>The width shall be no greater than 25% of the width of the face of the building or 20', whichever is less; and</li> <li>Shall be open on three sides.</li> </ul> <p>Intent: Provide protection from the weather for pedestrians entering the building and define street entrances to the building:</p>  <p><i>Illustrative only</i></p>	All D-CPV-T/R/C Zone Districts	All building forms	<p>Any distance</p>  <p><i>Not to Scale. Illustrative Only.</i></p>



	ZONE-DISTRICTS	BUILDING FORMS	PRIMARY STREET
<p>Gutters and Roof Overhang</p> <p>Intent: To allow features of structures intended to repel weather</p>  <p><i>Illustrative only</i></p>	All-D-CPV-T/R/C Zone Districts	All building forms	3'
			 <p>Not to Scale. Illustrative Only.</p>
	ZONE-DISTRICTS	BUILDING FORMS	PRIMARY STREET
<p>Porches (1-Story or multi-Story), Decks, Patios, Exterior Balconies, Stoops, and above-grade stairways at the Street Level connected to a Porch:</p> <ul style="list-style-type: none"> <li>• May be covered;</li> <li>• All sides shall be at least 50% open except for any side abutting a building facade or fire wall.</li> </ul> <p>Intent: To promote elements which provide for street activation and human scale.</p>  <p><i>Illustrative only</i></p>	All-D-CPV-T/R/C Zone Districts	All building forms	6' and minimum of 1' between right-of-way and first riser of above-grade stairway
			 <p>Not to Scale. Illustrative Only.</p>

	ZONE-DISTRICTS	BUILDING FORMS	PRIMARY STREET
<p><b>Projecting Windows:</b></p> <ul style="list-style-type: none"> <li>• Shall be a minimum of 1.5' above finished floor;</li> <li>• Shall not extend floor to ceiling; and</li> <li>• No individual projection shall be more than 10' in horizontal length at the opening along the face of the building.</li> </ul>	All-D-CPV-T/R/C Zone Districts	All building forms	1.5'
<p><b>Intent:</b> To allow for improved interior daylighting.</p>  <p><i>Illustrative only</i></p>	 <p><i>Not to Scale. Illustrative Only.</i></p>		
<p><b>Shading devices:</b> Building elements, such as awnings, designed and intended to control light entering a building</p>	All-D-CPV-T/R/C Zone Districts	All building forms	5'
<p><b>Intent:</b> To allow for elements either integral or attached to a building which control light entering through windows.</p>  <p><i>Illustrative only</i></p>	 <p><i>Not to Scale. Illustrative Only.</i></p>		

**2. Site Elements**

To allow for minor screening and parking elements while maintaining an open and unobstructed setback space.

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
Fences and Walls	See Article 10, Division 10.5 Landscaping, Fences, Walls and Screening		
Surface Parking	Not Allowed		
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
Drive or Driveway	All D-CPV-T/R/C Zone Districts	All building forms	Any distance
Intent: To allow a Drive or Driveway to access an Off-Street Parking Area, but restrict the location where it is impactful due to proximity to adjacent properties.	<p>See Exception</p> <p>PRIMARY STREET</p> <p>Not to Scale. Illustrative Only.</p>		
<p><i>Illustrative only</i></p>			
<p>*Exception: A Drive or Driveway may encroach any distance into a Side Interior setback where:</p> <ul style="list-style-type: none"> <li>• The Side Interior setback Abuts a public Alley;</li> <li>• Other public right-of-way, or an easement for public access Abutting a public Alley; or</li> <li>• Where a shared access agreement allows the Drive or Driveway to provide shared access to more than one Abutting Zone Lot.</li> </ul>			
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
Flatwork providing pedestrian access to entrances and buildings:	All D-CPV-T/R/C Zone Districts	All building forms	Any distance
Intent: To provide pedestrian access to entrances and buildings, but restrict coverage and width to ensure adequate openness	<p>PRIMARY STREET</p> <p>Not to Scale. Illustrative Only.</p>		
<p><i>Illustrative only</i></p>			


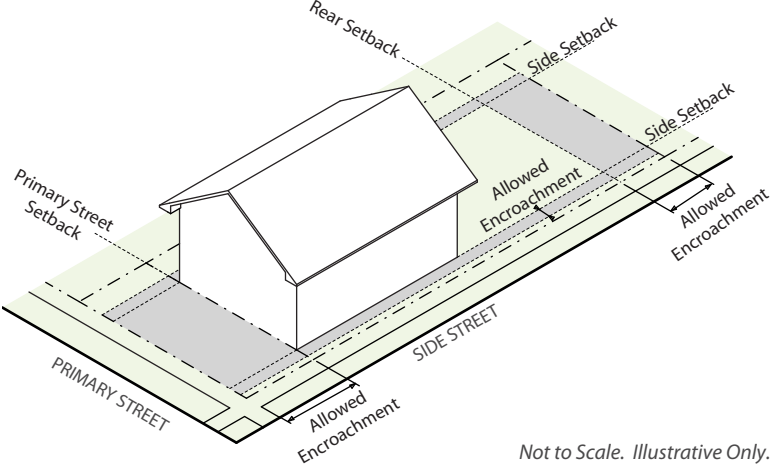
**3. Service & Utility Elements**

To allow for minor service and utility elements while maintaining an open and unobstructed setback space.

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
<p>Barrier-free access structures providing access to existing buildings as required by the Americans with Disabilities Act or Denver Accessibility Standards, when no alternative locations are available.</p> <ul style="list-style-type: none"> <li>Setback encroachments for required barrier-free access structures are only allowed for expansions, enlargements, and alterations to existing buildings.</li> <li>Such barrier-free access structures shall be designed to be compatible with the character of the building, as determined by the Zoning Administrator.</li> </ul>	All D-CPV-T/R/C Zone Districts	All building forms	Any distance
<p>Intent: To provide flexibility in the location of required barrier-free access to existing buildings:</p>  <p><i>Illustrative only</i></p>	 <p><i>Not to Scale. Illustrative Only.</i></p>		
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
<p>Enclosed structure that is below the original grade and completely underground, of any setback space, except as otherwise restricted by this Code</p>	All D-CPV-T/R/C Zone Districts	All building forms	Any distance
<p>Intent: To allow below grade structures that do not disrupt the streetscape:</p>	 <p><i>Not to Scale. Illustrative Only.</i></p>		

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
Gas and electric meters	All D-CPV-T/R/C Zone Districts	All building forms	1.5'
Intent: To allow for functional siting.	<p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>		
Emergency egress, when required by Denver Fire Code, such as fire escapes, fire escape ladders, and outside stairways, including landing(s) which do not exceed the minimum required dimensions for a landing as defined in the Denver Building And Fire Code and excluding above-grade walkways	All D-CPV-T/R/C Zone Districts	All building forms	5'
Intent: To provide for egress from a building only for emergency purposes	<p style="text-align: center;"><i>Illustrative only</i></p> <p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>		

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
<p>Pedestrian Bridge where the encroachment is necessary to complete a connection for a continuous, publicly accessible pedestrian/bicycle route provided Public Works has approved a right-of-way encumbrance.</p>	All D-CPV-T/R/C Zone Districts	All building forms	Any distance
<p>Intent: To allow for above-grade connections that support continuous publicly accessible pedestrian/bicycle routes.</p>	 <p>Not to Scale. Illustrative Only.</p>		
 <p><i>Illustrative only</i></p>			
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
<p>Utility pedestals, transformers or other similar equipment, excluding mechanical equipment: • Shall not exceed 3' in height.</p>	All D-CPV-T/R/C Zone Districts	All building forms	Any distance
<p>Intent: To allow for functional siting.</p>	 <p>Not to Scale. Illustrative Only.</p>		

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
<p>Window-well and/or emergency basement egress areas:                      • Shall be below grade.</p>	A11D-CPV-T/R/C Zone Districts	All building forms	Any distance for any width
<p>Intent: To allow for emergency egress</p>  <p><i>Illustrative only</i></p>	 <p><i>Not to Scale. Illustrative Only.</i></p>		

BUILDING FEATURES	ZONE DISTRICTS	THE AGGREGATE SHALL NOT EXCEED 33-1/3 PERCENT OF THE AREA OF THE SUPPORTING ROOF	SHALL BE SET BACK FROM THE PERIMETER OF THE BUILDING A MINIMUM OF ONE FOOT HORIZONTALLY FOR EVERY ONE FOOT OF VERTICAL HEIGHT	MAY EXCEED MAXIMUM HEIGHT IN FEET BY:	MAY EXCEED MAXIMUM HEIGHT IN STORIES BY:	MAY PROJECT THROUGH THE BULK PLANE	MAY ENCROACH INTO THE UPPER STORY SETBACK
Elevator lobbies	All D- Zone Districts	Yes	Yes	28'	1 story	Not allowed	Not allowed
Open Structures	All D- Zone Districts	Yes	Yes	28'	Not applicable	Not allowed	Not allowed
Parapet Wall and/or Safety Railing	All D- Zone Districts	No	No	Any distance	Not applicable	Not allowed	Not allowed <u>5'</u>
Flush-mounted solar panels	All D- Zone Districts	No	No	Any distance	Not applicable	Any distance	Any distance
Evaporative coolers	All D- Zone Districts	No	Yes	Any distance	Not applicable	Any distance	Not Allowed
Accessory water tanks	All D- Zone Districts	No	Yes	28'	Not applicable	Any distance	Not Allowed
Pedestrian bridge	All D- Zone Districts	Not applicable	Not applicable	28'	Any number	Any distance	Any distance

### 8.10.1.2 Setback Exceptions

#### A. Intent

To promote compatible building character along Parkways, when Parkway setbacks are more restrictive than this Code's setbacks.

#### B. Standard

In all D- zone districts, where a zone lot has street frontage on a Parkway designated under D.R.M.C., Chapter 49, the greater of the following street setbacks shall apply:

1. The street setback required by the applicable building form standards in this Code; or
2. The required Parkway setback established under D.R.M.C., Chapter 49.

### 8.10.1.3 Required Build-To Exceptions in D-GT, D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C Zone Districts

#### A. Civic, Public & Institutional Uses

##### 1. Intent

To accommodate signature entrance architecture, gathering spaces, plazas, or community amenities along the front facades of structures containing civic, public and institutional uses.

##### 2. Standard

Structures containing one or more uses in the Civic, Public & Institutional Use Classification are not required to meet the Primary Street Build-To standards.

### 8.10.1.4 Upper Story Setback Encroachments in D-GT, D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C Zone Districts

#### A. Intent

To allow minor elements which add to the architectural character of buildings to encroach into a Primary Street upper story setback while maintaining an open and unobstructed minimum upper story setback space.



**B. Applicability**

This Section 8.10.1.4 applies to all primary building forms within D-GT, D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C Zone Districts.

**C. Standard**

- In D-AS-12+ and D-AS-20+ Zone Districts, Exterior Balconies may encroach into a Primary Street upper story setback up to 2 feet.
- In D-GT, D-CPV-T, D-CPV-R, and D-CPV-C Zone Districts, Exterior Balconies may encroach into a Primary Street upper story setback up to 5 feet.

**8.10.1.5 Setback Encroachments in D-GT, D-CPV-T, D-CPV-R, and D-CPV-C Zone Districts**

**A. Intent**

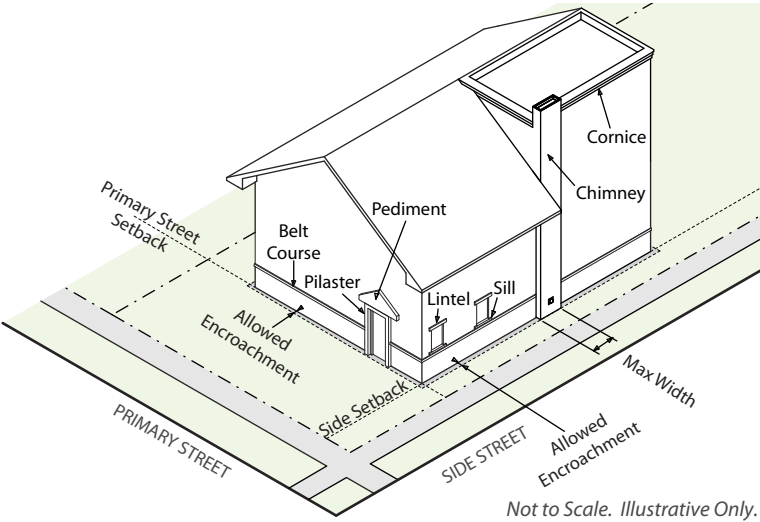

To allow minor elements to encroach into a setback while maintaining an open and unobstructed minimum setback space.


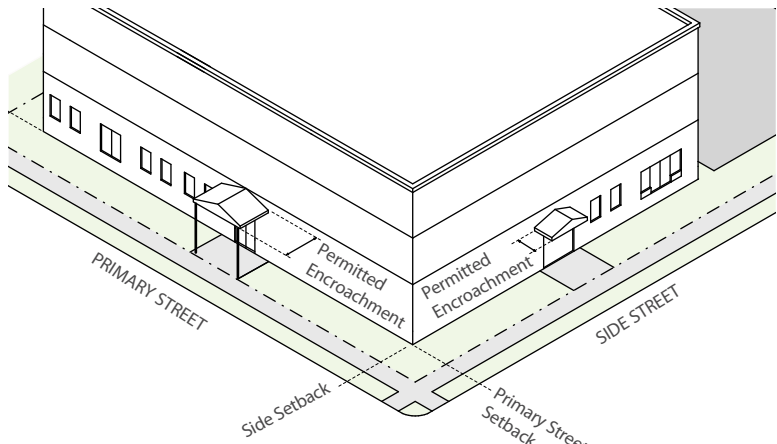

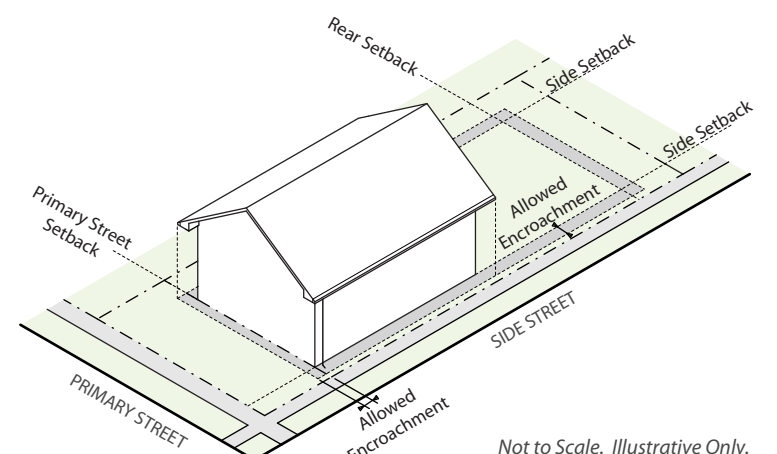
**B. Standard**

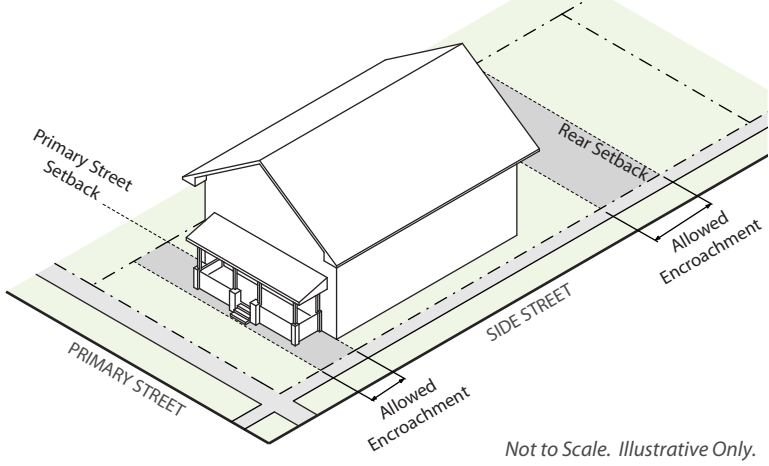
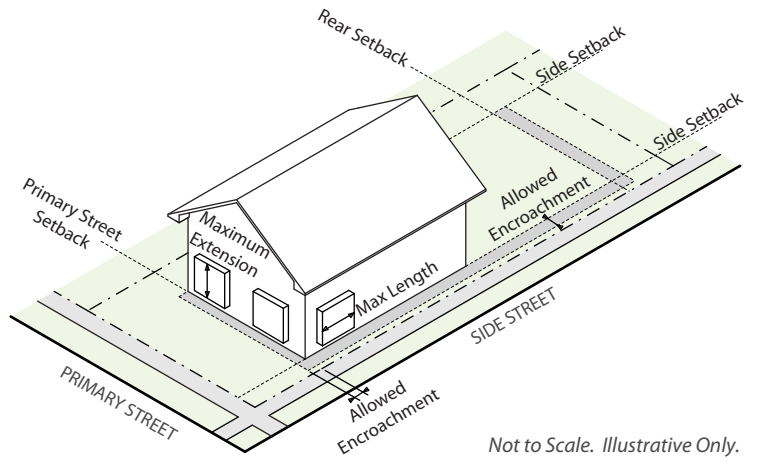
Required minimum setbacks shall be open and unobstructed. The following setback encroachments, including residential setbacks but excluding required upper story setbacks, are allowed:

**1. Architectural Elements**

To allow for minor elements which add to the architectural character of buildings, while maintaining an open and unobstructed setback space.

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
Belt Courses, sills, lintels, pilasters, pediments, cornices; chimneys and fireplace insert vents not exceeding 6' in width	All <u>D-GT and D-CPV-T/R/C</u> Zone Districts	All building forms	1.5' Cornices only: 3'
Intent: To allow common, minor decorative elements which are integral to a building.			
 <p style="text-align: center;"><i>Illustrative only</i></p>			

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
<p>Canopies providing cover to an entrance:</p> <ul style="list-style-type: none"> <li>The width shall be no greater than 25% of the width of the face of the building or 20', whichever is less; and</li> <li>Shall be open on three sides.</li> </ul>	All <u>D-GT</u> and <u>D-CPV-T/R/C</u> Zone Districts	All building forms	Any distance
<p>Intent: Provide protection from the weather for pedestrians entering the building and define street entrances to the building.</p>  <p><i>Illustrative only</i></p>	 <p><i>Not to Scale. Illustrative Only.</i></p>		
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
Gutters and Roof Overhang	All <u>D-GT</u> and <u>D-CPV-T/R/C</u> Zone Districts	All building forms	3'
<p>Intent: To allow features of structures intended to repel weather</p>  <p><i>Illustrative only</i></p>	 <p><i>Not to Scale. Illustrative Only.</i></p>		

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
<p>Porches (1-Story or multi-Story), Decks, Patios, Exterior Balconies, Stoops, and above-grade stairways at the Street Level connected to a Porch:</p> <ul style="list-style-type: none"> <li>• May be covered;</li> <li>• All sides shall be at least 50% open except for any side abutting a building facade or fire wall.</li> </ul>	All <u>D-GT</u> and <u>D-CPV-T/R/C</u> Zone Districts	All building forms	6' and minimum of 1' between right-of-way and first riser of above- grade stairway
<p>Intent: To promote elements which provide for street activation and human scale.</p>	 <p>The diagram shows a building at the intersection of a Primary Street and a Side Street. It illustrates setbacks: Primary Street Setback, Rear Setback, and Side Setback. It also shows encroachments: Allowed Encroachment on the Primary Street and Allowed Encroachment on the Side Street. The text 'Not to Scale. Illustrative Only.' is at the bottom right.</p>		
<p>Projecting Windows:</p> <ul style="list-style-type: none"> <li>• Shall be a minimum of 1.5' above finished floor;</li> <li>• Shall not extend floor to ceiling; and</li> <li>• No individual projection shall be more than 10' in horizontal length at the opening along the face of the building.</li> </ul>	All <u>D-GT</u> and <u>D-CPV-T/R/C</u> Zone Districts	All building forms	1.5'
<p>Intent: To allow for improved interior daylighting.</p>	 <p>The diagram shows a building with projecting windows at the intersection of a Primary Street and a Side Street. It illustrates setbacks: Primary Street Setback, Rear Setback, and Side Setback. It also shows encroachments: Allowed Encroachment on the Primary Street and Allowed Encroachment on the Side Street. Other features include Maximum Extension and Max Length for the windows. The text 'Not to Scale. Illustrative Only.' is at the bottom right.</p>		



Illustrative only



Illustrative only

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
Shading devices: Building elements, such as awnings, designed and intended to control light entering a building	All <u>D-GT and D-CPV-T/R/C</u> Zone Districts	All building forms	5'
Intent: To allow for elements either integral or attached to a building which control light entering through windows.			
<i>Illustrative only</i>	<i>Not to Scale. Illustrative Only.</i>		

**2. Site Elements**

To allow for minor screening and parking elements while maintaining an open and unobstructed setback space.

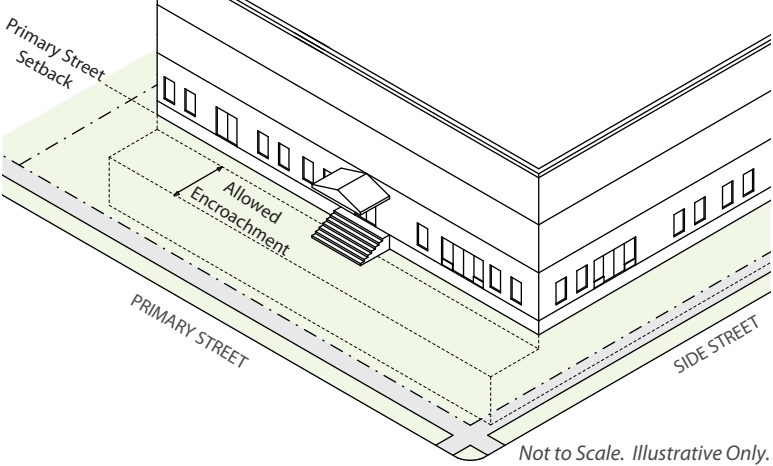
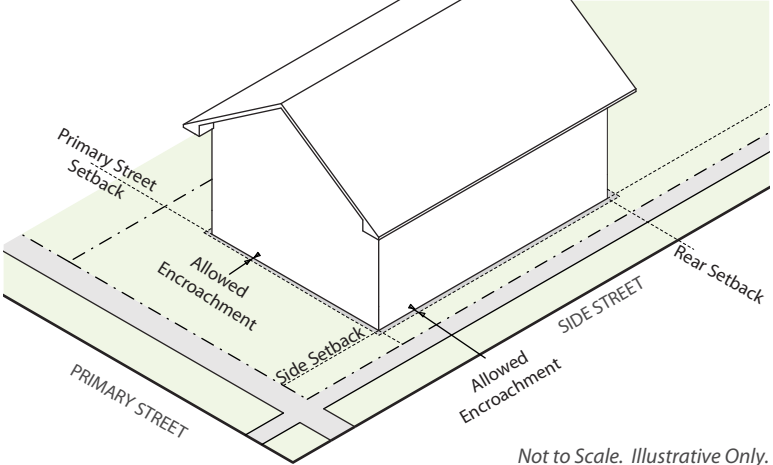
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
Fences and Walls	See Article 10, Division 10.5 Landscaping, Fences, Walls and Screening		
Surface Parking	Not Allowed		
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
Drive or Driveway	All <u>D-GT and D-CPV-T/R/C</u> Zone Districts	All building forms	Any distance
Intent: To allow a Drive or Driveway to access an Off-Street Parking Area, but restrict the location where it is impactful due to proximity to adjacent properties.			
<i>Illustrative only</i>	<i>Not to Scale. Illustrative Only.</i>		
<p>*Exception: A Drive or Driveway may encroach any distance into a Side Interior setback where:</p> <ul style="list-style-type: none"> <li>• The Side Interior setback Abuts a public Alley;</li> <li>• Other public right-of-way, or an easement for public access Abutting a public Alley; or</li> <li>• Where a shared access agreement allows the Drive or Driveway to provide shared access to more than one Abutting Zone Lot.</li> </ul>			

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
Flatwork providing pedestrian access to entrances and buildings:	All <u>D-GT and D-CPV-T/R/C</u> Zone Districts	All building forms	Any distance
Intent: To provide pedestrian access to entrances and buildings, but restrict coverage and width to ensure adequate openness			
<p><i>Illustrative only</i></p>	<p>PRIMARY STREET</p> <p><i>Not to Scale. Illustrative Only.</i></p>		

**3. Service & Utility Elements**

To allow for minor service and utility elements while maintaining an open and unobstructed setback space.

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
Barrier-free access structures providing access to existing buildings as required by the Americans with Disabilities Act or Denver Accessibility Standards, when no alternative locations are available. <ul style="list-style-type: none"> <li>Setback encroachments for required barrier-free access structures are only allowed for expansions, enlargements, and alterations to existing buildings.</li> <li>Such barrier-free access structures shall be designed to be compatible with the character of the building, as determined by the Zoning Administrator.</li> </ul>	All <u>D-GT and D-CPV-T/R/C</u> Zone Districts	All building forms	Any distance
Intent: To provide flexibility in the location of required barrier-free access to existing buildings.			
<p><i>Illustrative only</i></p>	<p>PRIMARY STREET</p> <p><i>Not to Scale. Illustrative Only.</i></p>		

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
Enclosed structure that is below the original grade and completely underground, of any setback space, except as otherwise restricted by this Code	All <u>D-GT and D-CPV-T/R/C</u> Zone Districts	All building forms	Any distance
Intent: To allow below grade structures that do not disrupt the streetscape.			
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
Gas and electric meters	All <u>D-GT and D-CPV-T/R/C</u> Zone Districts	All building forms	1.5'
Intent: To allow for functional siting.			

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
<p>Emergency egress, when required by Denver Fire Code, such as fire escapes, fire escape ladders, and outside stairways, including landing(s) which do not exceed the minimum required dimensions for a landing as defined in the Denver Building And Fire Code and excluding above-grade walkways</p>	All <u>D-GT and D-CPV-T/R/C</u> Zone Districts	All building forms	5'
<p>Intent: To provide for egress from a building only for emergency purposes</p>	<p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>		
<p style="text-align: center;"><i>Illustrative only</i></p>			
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
<p>Pedestrian Bridge where the encroachment is necessary to complete a connection for a continuous, publicly accessible pedestrian/bicycle route provided Public Works has approved a right-of-way encumbrance.</p>	All <u>D-GT and D-CPV-T/R/C</u> Zone Districts	All building forms	Any distance
<p>Intent: To allow for above-grade connections that support continuous publicly accessible pedestrian/bicycle routes.</p>	<p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>		
<p style="text-align: center;"><i>Illustrative only</i></p>			

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
Utility pedestals, transformers or other similar equipment, excluding mechanical equipment: • Shall not exceed 3' in height.	All <u>D-GT and D-CPV-T/R/C</u> Zone Districts	All building forms	Any distance
Intent: To allow for functional siting.	<p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>		
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET
Window well and/or emergency basement egress areas: • Shall be below grade.	All <u>D-GT and D-CPV-T/R/C</u> Zone Districts	All building forms	Any distance for any width
Intent: To allow for emergency egress	<p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>		
<p style="text-align: center;"><i>Illustrative only</i></p>			



## DIVISION 8.11 USES AND MINIMUM/MAXIMUM PARKING REQUIREMENTS

### SECTION 8.11.1 APPLICABILITY

- 8.11.1.1 This Division 8.11 sets forth the land uses permitted, the required zoning procedure, and the minimum/maximum parking requirements in all the Downtown Neighborhood Context zone districts with the exception of the D-LD zone district (see Section 8.4.1.4).
- 8.11.1.2 See Section 8.3.1.5 for more information on vehicle and bicycle parking in the D-C, D-TD and D-CV zone districts.
- 8.11.1.3 Maximum parking requirements apply only in the D-CPV-T, D-CPV-R and D-CPV-C zone districts as set forth in Section 8.11.5.
- 8.11.1.4 Note that the D-C, D-TD, D-CV, **D-GT**, D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R and D-CPV-C zone districts have no minimum off-street vehicle parking requirement.
- 8.11.1.5 Uses not listed are prohibited, unless the Zoning Administrator specifically permits the unlisted use according to Section 12.4.6, Code Interpretations and Determination of Unlisted Uses.
- 8.11.1.6 For number of primary and accessory uses allowed per Zone Lot, see Section 1.2.3.5, Number of Uses and Structures Allowed per Zone Lot.

### SECTION 8.11.2 ORGANIZATION OF USE & MINIMUM PARKING TABLE

#### 8.11.2.1 Organized by Primary, Accessory and Temporary Uses

The Use and Minimum Parking Table first presents all primary uses, then all accessory uses, and finally all temporary uses. Primary uses are arranged hierarchically within the table by use classification, category of primary uses, and then by specific use type. Accessory uses are organized by whether such use is accessory to a primary residential use or to a primary nonresidential use. Temporary uses are presented alphabetically ordered in the last division of the table.

#### 8.11.2.2 Primary Use Classifications, Categories & Specific Use Types

##### A. Primary Use Classifications

All primary land uses in the Use and Minimum Parking Table are organized into one of the following five general land use classifications:

1. Residential Uses
2. Civic, Public & Institutional Uses
3. Commercial Sales, Service & Repair Uses
4. Industrial, Manufacturing & Wholesale Uses
5. Agriculture

##### B. Primary Use Categories & Specific Use Types

Primary uses are further organized into use categories and specific use types listed under each general primary land use classification. The Use and Minimum Parking Table is organized into the above five general land use classifications, use categories and specific use types.

##### C. Classifications & Categories Are Mutually Exclusive

The general land use classifications and use categories listed in the Use and Minimum Parking Table are intended to be mutually exclusive; that is, a use classified into one use category, such as “lodging accommodations,” cannot be classified in a different use category, such as “congregate living,” unless otherwise expressly allowed by this Code.

**8.11.3.4 Enclosure of Uses**

All primary, accessory and temporary uses must be established, operated and maintained within a completely enclosed structure, unless otherwise specifically allowed by this Code. The Use and Parking Tables in Articles 3-9 indicate when a use may be established, operated or maintained outside a completely enclosed structure by including an asterisk “\*” next to the specific use type. For example, the asterisk following the “Telecommunication Tower\*” use type in the tables indicates that a telecommunication tower land use need not be enclosed.

**SECTION 8.11.4 DISTRICT SPECIFIC STANDARDS (USE & MINIMUM PARKING TABLE)**

KEY: \* = Need Not be Enclosed P = Permitted Use without Limitations L = Permitted Use with Limitations NP = Not Permitted Use ZP = Zoning Permit Review  
ZPCIM = Subject to Zoning Permit Review with Community Information Meeting ZPIN = Subject to Zoning Permit Review with Informational Notice  
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USE CATEGORY	SPECIFIC USE TYPE D-C, D-TD, D-CV, <del>D-GT</del> , D-AS-12+/20+, D-CPV-T/R/C Districts have no minimum vehicle parking requirement. D-CPV-T/R/C maximum vehicle parking requirements are provided in Section 8.11.5. D-C, D-TD, D-CV bicycle parking requirements are provided in Section 8.3.1.5. D-LD vehicle parking requirements are provided in Section 8.4.1.4. • Vehicle Parking Reqmt: # spaces per unit of measurement • Bicycle Parking Reqmt : # spaces per unit of measurement (% Required Spaces in Enclosed Facility /% Required Spaces in Fixed Facility)							APPLICABLE USE LIMITATIONS  D-AS-12+ D-AS-20+ D-CPV-T D-CPV-R D-CPV-C
		D-C	D-TD	D-LD	D-CV	D-GT D-AS		
<b>RESIDENTIAL PRIMARY USE CLASSIFICATION</b>								
Household Living	Dwelling, Single Unit • No Parking Requirements	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	\$11.2.6
	Dwelling, Two Unit • <del>D-GT</del> & D-AS Districts - Vehicle: 0.75/unit • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	\$11.2.6
	Dwelling, Multi-Unit • <del>D-GT</del> & D-AS Districts - Vehicle: 0.75/unit • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/2 units (80/20) • D-CPV-T/R/C Districts - Bicycle: 1.1/unit (80/20)	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	\$11.2.6
	Dwelling, Live / Work • <del>D-GT</del> & D-AS Districts - Vehicle: 0.75/unit • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/2 units (80/20) • D-CPV-T/R/C Districts - Bicycle: 1.1/unit (80/20)	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	\$ 11.2.4; \$11.2.6
Residential Care	Residential Care, Type 1 • <del>D-GT</del> & D-AS Districts - Vehicle: No requirement • Bicycle: 1/8,000 sf GFA (80/20)	L/L-ZP	L/L-ZP	L/L-ZP	L/L-ZP	L/L-ZP	L/L-ZP	\$11.2.7; \$11.2.8
	Residential Care, Type 2 • <del>D-GT</del> & D-AS Districts - Vehicle: No requirement • Bicycle: 1/8,000 sf GFA (80/20)	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.2.7; \$11.2.9
	Residential Care, Type 3 • <del>D-GT</del> & D-AS Districts - Vehicle: No Requirement • Bicycle: 1/8,000 sf GFA (80/20)	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	\$11.2.7; \$11.2.10
	Residential Care, Type 4 • <del>D-GT</del> & D-AS Districts - Vehicle: No Requirement • Bicycle: 1/8,000 sf GFA (80/20)	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	\$11.2.7; \$11.2.11
Congregate Living	All Types • <del>D-GT</del> & D-AS Districts - Vehicle: .25/1,000 sf GFA • Bicycle: 1/8,000 sf GFA (80/20)	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	

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		D-C	D-TD	D-LD	D-CV	D-GT D-AS		
<b>CIVIC, PUBLIC &amp; INSTITUTIONAL PRIMARY USE CLASSIFICATION</b>								
Basic Utilities	Utility, Major Impact* • <del>D-GT</del> & D-AS Districts - Vehicle: .5 / 1,000 s.f. GFA • D-GT, D-AS, D-AS-12+/20+ & D-CPV-T/R/C Districts - Bicycle: No requirement	L-ZPSE	L-ZPSE	L-ZPSE	L-ZPSE	L-ZPSE	L-ZPSE	§ 11.3.1
	Utility, Minor Impact* • <del>D-GT</del> & D-AS Districts - Vehicle: .5 / 1,000 s.f. GFA • D-GT, D-AS, D-AS-12+/20+ & D-CPV-T/R/C Districts - Bicycle: No requirement	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	§ 11.3.2
Community/ Public Services	Community Center • No Parking Requirements	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	§ 11.3.3
	Day Care Center • <del>D-GT</del> & D-AS Districts - Vehicle: 1/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/10,000 s.f. GFA (0/100) • D-CPV-T/R/C Districts - Bicycle: 1/5,000 s.f. GFA (0/100)	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
	Postal Facility, Neighborhood • <del>D-GT</del> & D-AS Districts - Vehicle: 1.25/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/7,500 s.f. GFA (20/80) • D-CPV-T/R/C Districts - Bicycle: 1/4,000 s.f. GFA (20/80)	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
	Postal Processing Center • <del>D-GT</del> & D-AS Districts - Vehicle: 1/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/7,500 s.f. GFA (20/80) • D-CPV-T/R/C Districts - Bicycle: 1/4,000 s.f. GFA (20/80)	P-ZP	P-ZP	P-ZP	NP	P-ZP	P-ZP	
	Public Safety Facility • <del>D-GT</del> & D-AS Districts - Vehicle: 1/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/10,000 s.f. GFA (0/100) • D-CPV-T/R/C Districts - Bicycle: 1/5,000 s.f. GFA (0/100)	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
	Hospital	P-ZP	P-ZP	NP	NP	NP	D-AS-12+/20+ & D-CPV-T/R: NP D-CPV-C: P-ZP	
	Correctional Institution	NP	NP	NP	NP	NP	NP	

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USE CATEGORY	SPECIFIC USE TYPE D-C, D-TD, D-CV, <del>D-GT</del> , D-AS-12+/20+, D-CPV-T/R/C Districts have no minimum vehicle parking requirement. D-CPV-T/R/C maximum vehicle parking requirements are provided in Section 8.11.5. D-C, D-TD, D-CV bicycle parking requirements are provided in Section 8.3.1.5. D-LD vehicle parking requirements are provided in Section 8.4.1.4. • Vehicle Parking Reqmt: # spaces per unit of measurement • Bicycle Parking Reqmt : # spaces per unit of measurement (% Required Spaces in Enclosed Facility / % Required Spaces in Fixed Facility)							APPLICABLE USE LIMITATIONS  D-AS-12+ D-AS-20+ D-CPV-T D-CPV-R D-CPV-C
		D-C	D-TD	D-LD	D-CV	D-GT D-AS		
Cultural/Special Purpose/Public Parks & Open Space	Cemetery*	NP	NP	NP	NP	NP	NP	
	Library • <del>D-GT</del> & D-AS Districts - Vehicle: 1/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/10,000 s.f. GFA (0/100) • D-CPV-T/R/C Districts - Bicycle: 1/5,000 s.f. GFA (0/100)	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
	Museum • <del>D-GT</del> & D-AS Districts - Vehicle: 1/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/10,000 s.f. GFA (0/100) • D-CPV-T/R/C Districts - Bicycle: 1/5,000 s.f. GFA (0/100)	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
	City Park*	NP	NP	NP	NP	NP	NP	
	Open Space - Conservation* • No Parking Requirements	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
Education	Elementary or Secondary School • <del>D-GT</del> & D-AS Districts - Vehicle- Elementary: 1/1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle-Elementary: 1/10,000 s.f. GFA (0/100) • D-CPV-T/R/C Districts - Bicycle-Elementary: 1/5,000 s.f. GFA (0/100) • <del>D-GT</del> & D-AS Districts - Vehicle-Secondary: 1/1,000 s.f. GFA • D-GT, D-AS, D-AS-12+/20+ & D-CPV-T/R/C Districts - Bicycle-Secondary: 1/ 5,000 s.f. GFA (0/100)	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	§ 11.3.8
	University or College • <del>D-GT</del> & D-AS Districts - Vehicle: 1/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/10,000 s.f. GFA (0/100) • D-CPV-T/R/C Districts - Bicycle: 1/5,000 s.f. GFA (0/100)	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	§ 11.3.8; § 11.3.8
	Vocational or Professional School • <del>D-GT</del> & D-AS Districts - Vehicle: 1/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/10,000 s.f. GFA (0/100) • D-CPV-T/R/C Districts - Bicycle: 1/5,000 s.f. GFA (0/100)	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	§ 11.3.8
Public and Religious Assembly	All Types • No Parking Requirements	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
<b>COMMERCIAL SALES, SERVICES, &amp; REPAIR PRIMARY USE CLASSIFICATION</b>								
Adult Business	All Types	NP	NP	NP	NP	NP	NP	See Section 9.4.4, Use Overlay Districts, for adult business use allowance in the UO-1 District.

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		D-C	D-TD	D-LD	D-CV	D-GT D-AS		
Arts, Recreation & Entertainment	Arts, Recreation and Entertainment Services, Indoor • <del>D-GT</del> & D-AS Districts - Vehicle - Artist Studio: 0.3/1000 sf GFA • <del>D-GT</del> & D-AS Districts - Vehicle - All Others: 1.25/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/7,500 s.f. GFA (20/80) • D-CPV-T/R/C Districts - Bicycle: 1/4,000 s.f. GFA (20/80)	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
	Arts, Recreation and Entertainment Services, Outdoor* • <del>D-GT</del> & D-AS Districts - Vehicle: 1.25/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/7,500 s.f. GFA (20/80) • D-CPV-T/R/C Districts - Bicycle: 1/4,000 s.f. GFA (20/80)	L-ZP	L-ZP	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	§ 11.4.3
	Event Space with Alternate Parking and Loading* • Vehicle: No requirement • Bicycle: No requirement	NP	NP	NP	NP	NP	NP	
	Sports and/or Entertainment Arena or Stadium*	NP	NP	NP	NP	NP	D-AS-12+/20+ & D-CPV-T/R: NP D-CPV-C: P-ZP	
Nonresidential Uses in Existing Business Structures In Residential Zones		Not Applicable						
Parking of Vehicles	Parking, Garage • No Parking Requirements	L-ZP	L-ZP	NP	NP	L-ZP/ZPIN	P-ZP	§ 11.4.7
	Parking, Surface* • No Parking Requirements	L-ZP	L-ZP	NP	NP	D-GT: L-ZPIN D-AS: P-ZPIN	NP	§ 11.4.8
Eating & Drinking Establishments	All Types • <del>D-GT</del> & D-AS Districts - Vehicle: 2.5/ 1,000 s.f. GFA • D-GT, D-AS, D-AS-12+/20+ & D-CPV-T/R/C Districts - Bicycle: 1/1,000 s.f. GFA (0/100)	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
Lodging Accommodations	Bed and Breakfast Lodging • D-AS & <del>D-GT</del> Districts - Vehicle - MS only: 2/ 1,000 s.f. GFA • <del>D-GT</del> & D-AS Districts - Vehicle: 0.875/guest room or unit • D-GT, D-AS, D-AS-12+/20+, & D-CPV-T/R/C Districts - Bicycle: 1/7,500 s.f. GFA (20/80)	P-ZP	P-ZP	P-ZP	NP	P-ZPIN	P-ZP	
	Lodging Accommodations, All Others • <del>D-GT</del> & D-AS Districts - Vehicle: 0.875/ guest room or unit • D-GT, D-AS, D-AS-12+/20+, & D-CPV-T/R/C Districts - Bicycle: 1/7,500 s.f. GFA (20/80)	P-ZP	P-ZP	P-ZP	NP	P-ZPIN	P-ZP	
Office	Dental / Medical Office or Clinic • <del>D-GT</del> & D-AS Districts - Vehicle: 1.25/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/7,500 s.f. GFA (20/80) • D-CPV-T/R/C Districts - Bicycle: 1/4,000 s.f. GFA (20/80)	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	§11.4.10
	Office, All Others • <del>D-GT</del> & D-AS Districts - Vehicle: 1.25/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/7,500 s.f. GFA (20/80) • D-CPV-T/R/C Districts - Bicycle: 1/4,000 s.f. GFA (20/80)	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	

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		D-C	D-TD	D-LD	D-CV	D-GT D-AS		
Retail Sales, Service & Repair (Not Including Vehicle or Equipment Sales, Service & Repair)	Animal Sales and Services, Household Pets Only • <del>D-GT</del> & D-AS Districts - Vehicle: 1.25/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/7,500 s.f. GFA (20/80) • D-CPV-T/R/C Districts - Bicycle: 1/4,000 s.f. GFA (20/80)	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	\$11.4.12
	Animal Sales and Services, All Others • No Parking Requirements	P-ZP	P-ZP	NP	NP	NP	NP	
	Food Sales or Market • <del>D-GT</del> & D-AS Districts - Vehicle: 1.25/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/7,500 s.f. GFA (20/80) • D-CPV-T/R/C Districts - Bicycle: 1/4,000 s.f. GFA (20/80)	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
Retail Sales, Service & Repair (Not Including Vehicle or Equipment Sales, Service & Repair)	Pawn Shop • <del>D-GT</del> & D-AS Districts - Vehicle: 1.25/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/7,500 s.f. GFA (20/80) • D-CPV-T/R/C Districts - Bicycle: 1/4,000 s.f. GFA (20/80)	L-ZP	L-ZP	NP	NP	L-ZPIN	L-ZPIN	\$11.4.15
	Retail Sales, Service & Repair -- Outdoor*	NP	NP	NP	NP	NP	NP	
	Retail Sales, Service & Repair - Firearms Sales	NP	NP	NP	NP	NP	NP	
	Retail Sales, Service & Repair, All Others • <del>D-GT</del> & D-AS Districts - Vehicle: 1.25/ 1,000 s.f. GFA • D-GT, D-AS, & D-AS-12+/20+ Districts - Bicycle: 1/7,500 s.f. GFA (20/80) • D-CPV-T/R/C Districts - Bicycle: 1/4,000 s.f. GFA (20/80)	P-ZP	P-ZP	P-ZP	NP	P-ZP	P-ZP	
Vehicle / Equipment Sales, Rentals, Service & Repair	Automobile Emissions Inspection Facility • <del>D-GT</del> & D-AS Districts - Vehicle: .5/ 1,000 s.f. GFA • D-GT, D-AS, D-AS-12+/20+ & D-CPV-T/R/C Districts - Bicycle: No requirement	L-ZP	L-ZP	NP	NP	L-ZP	NP	\$ 11.4.17
	Automobile Services, Light • <del>D-GT</del> & D-AS Districts - Vehicle: .5/ 1,000 s.f. GFA • D-GT, D-AS, D-AS-12+/20+ & D-CPV-T/R/C Districts - Bicycle: No requirement	NP	NP	NP	NP	L-ZPIN	L-ZP	\$11.4.18; \$11.4.19
	Automobile Services, Heavy	NP	NP	NP	NP	NP	NP	
	Automobile / Motorcycle / Light Truck Sales, Rentals, Leasing; Pawn Lot or Vehicle Auctioneer* • <del>D-GT</del> & D-AS Districts - Vehicle: .5/ 1,000 s.f. GFA • D-GT, D-AS, D-AS-12+/20+ & D-CPV-T/R/C Districts - Bicycle: No requirement	L-ZP	L-ZP	L-ZP	NP	L-ZPIN	L-ZP	\$11.4.21
	Heavy Vehicle/ Equipment Sales, Rentals & Service*	NP	NP	NP	NP	NP	NP	

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		D-C	D-TD	D-LD	D-CV	D-GT D-AS		
<b>INDUSTRIAL, MANUFACTURING &amp; WHOLESALE PRIMARY USE CLASSIFICATION</b>								
Communications and Information	Antennas Not Attached to a Tower* • No Parking Requirements	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.5.2
	Communication Services • <del>D-GT</del> & D-AS Districts - Vehicle: .5 / 1,000 s.f. GFA • D-GT, D-AS, D-AS-12+/20+ & D-CPV-T/R/C Districts - Bicycle: No requirement	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.5.1
	Telecommunications Towers* • No Parking Requirements	L-ZP/ ZPIN/ ZPSE	L-ZP/ ZPIN/ ZPSE	L-ZP/ ZPIN/ ZPSE	L-ZP/ZPIN/ ZPSE	L-ZP/ZPIN/ ZPSE	L-ZP/ ZPIN/ ZPSE	\$11.5.2
	Telecommunications Tower - Alternative Structure* • No Parking Requirements	L-ZP/ ZPIN	L-ZP/ ZPIN	L-ZP/ ZPIN	L-ZP/ZPIN	L-ZP/ZPIN	L-ZP/ZPIN	\$11.5.2
	Telecommunication Facilities -- All Others* • No Parking Requirements	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	\$11.5.2
Industrial Services	Contractors, Special Trade - General • <del>D-GT</del> & D-AS Districts - Vehicle: .5 / 1,000 s.f. GFA • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	\$11.5.3
	Contractors, Special Trade - Heavy/ Contractor Yard*	NP	NP	NP	NP	NP	NP	
	Food Preparation and Sales, Commercial • <del>D-GT</del> & D-AS Districts - Vehicle: .5 / 1,000 s.f. GFA • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	\$ 11.5.5
Industrial Services	Laboratory, Research, Development and Technological Services • <del>D-GT</del> & D-AS Districts - Vehicle: .5 / 1,000 s.f. GFA • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	\$11.5.6
	Service/Repair, Commercial • <del>D-GT</del> & D-AS Districts - Vehicle: .5 / 1,000 s.f. GFA • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	\$11.5.7
Manufacturing and Production	Manufacturing, Fabrication & Assembly -- Custom • <del>D-GT</del> & D-AS Districts - Vehicle: .5 / 1,000 s.f. GFA • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	\$11.5.8
	Manufacturing, Fabrication & Assembly -- General • <del>D-GT</del> & D-AS Districts - Vehicle: .5 / 1,000 s.f. GFA • Bicycle: No requirement	L-ZP/ ZPSE	L-ZP/ ZPSE	L-ZPIN/ ZPSE	NP	L-ZPIN/ZPSE	L-ZP/ZPSE	\$11.5.9
	Manufacturing, Fabrication & Assembly -- Heavy	NP	NP	NP	NP	NP	NP	
Mining & Extraction and Energy Producing Systems	Oil, Gas -- Production, Drilling*	NP	NP	NP	NP	NP	NP	
	Sand or Gravel Quarry*	NP	NP	NP	NP	NP	NP	
	Wind Energy Conversion Systems* • No Parking Requirements	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.5.13

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USE CATEGORY	SPECIFIC USE TYPE D-C, D-TD, D-CV, <del>D-GT</del> , D-AS-12+/20+, D-CPV-T/R/C Districts have no minimum vehicle parking requirement. D-CPV-T/R/C maximum vehicle parking requirements are provided in Section 8.11.5. D-C, D-TD, D-CV bicycle parking requirements are provided in Section 8.3.1.5. D-LD vehicle parking requirements are provided in Section 8.4.1.4. • Vehicle Parking Reqmt: # spaces per unit of measurement • Bicycle Parking Reqmt : # spaces per unit of measurement (% Required Spaces in Enclosed Facility / % Required Spaces in Fixed Facility)							APPLICABLE USE LIMITATIONS
		D-C	D-TD	D-LD	D-CV	D-GT D-AS	D-AS-12+ D-AS-20+ D-CPV-T D-CPV-R D-CPV-C	
Transportation Facilities	Airport*	NP	NP	NP	NP	NP	NP	
	Helipad, Helistop, Heliport* • No Parking Requirements	L-ZP	L-ZP	NP	L-ZP	L-ZP/ZPSE	L-ZP	§ 11.5.14
	Railroad Facilities* • <del>D-GT</del> & D-AS Districts - Vehicle: .5 /1,000 s.f. GFA • Bicycle: No requirement	L-ZP	L-ZP	NP	L-ZP	L-ZP	NP	§ 11.5.14.2
	Railway Right-of-Way* • No Parking Requirements	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
	Terminal, Station or Service Facility for Passenger Transit System • <del>D-GT</del> & D-AS Districts - Vehicle: .5 /1,000 s.f. GFA • Bicycle: No requirement	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
	Terminal, Freight, Air Courier Services • <del>D-GT</del> & D-AS Districts - Vehicle: .5 /1,000 s.f. GFA • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	L-ZP	L-ZPIN	NP	§ 11.5.17
Waste Related Services	Automobile Parts Recycling Business*	NP	NP	NP	NP	NP	NP	
	Junkyard*	NP	NP	NP	NP	NP	NP	
	Recycling Center	NP	NP	NP	NP	NP	NP	
	Recycling Collection Station	NP	NP	NP	NP	NP	NP	
	Recycling Plant, Scrap Processor	NP	NP	NP	NP	NP	NP	
	Solid Waste Facility	NP	NP	NP	NP	NP	NP	
Wholesale, Storage, Warehouse & Distribution	Automobile Towing Service Storage Yard*	NP	NP	NP	NP	NP	NP	
	Mini-storage Facility • <del>D-GT</del> & D-AS Districts - Vehicle: 0.1/1,000 s.f. GFA • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	§ 11.5.23
	Vehicle Storage, Commercial* • <del>D-GT</del> & D-AS Districts - Vehicle: .5/1,000 s.f. GFA • Bicycle: No requirement	L-ZP/ ZPSE	L-ZP/ ZPSE	L-ZP/ ZPSE	L-ZP/ ZPSE	L-ZP/ ZPSE	L-ZP/ ZPSE	§ 11.5.24
	Wholesale Trade or Storage, General	NP	NP	NP	NP	NP	NP	
	Wholesale Trade or Storage, Light • <del>D-GT</del> & D-AS Districts - Vehicle: .5 /1,000 s.f. GFA • Bicycle: No requirement	P-ZP	P-ZP	P-ZP	NP	P-ZP	L-ZP/ ZPIN/ ZPSE	§ 11.5.26
<b>AGRICULTURE PRIMARY USE CLASSIFICATION</b>								
Agriculture	Aquaculture*	NP	NP	NP	NP	NP	NP	
	Garden, Urban* • <del>D-GT</del> & D-AS Districts - Vehicle: .5/1,000 s.f. GFA • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	§ 11.6.2
	Husbandry, Animal*	NP	NP	NP	NP	NP	NP	
	Husbandry, Plant*	NP	NP	NP	NP	NP	NP	
	Plant Nursery • <del>D-GT</del> & D-AS Districts - Vehicle: .5/1,000 s.f. GFA • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	§ 11.6.5



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USE CATEGORY	SPECIFIC USE TYPE D-C, D-TD, D-CV, <b>D-GT</b> , D-AS-12+/20+, D-CPV-T/R/C Districts have no minimum vehicle parking requirement. D-CPV-T/R/C maximum vehicle parking requirements are provided in Section 8.11.5. D-C, D-TD, D-CV bicycle parking requirements are provided in Section 8.3.1.5. D-LD vehicle parking requirements are provided in Section 8.4.1.4. • Vehicle Parking Reqmt: # spaces per unit of measurement • Bicycle Parking Reqmt : # spaces per unit of measurement (% Required Spaces in Enclosed Facility / % Required Spaces in Fixed Facility)							APPLICABLE USE LIMITATIONS  D-AS-12+ D-AS-20+ D-CPV-T D-CPV-R D-CPV-C
		D-C	D-TD	D-LD	D-CV	D-GT D-AS		

**ACCESSORY TO PRIMARY RESIDENTIAL USES USE CLASSIFICATION**

ACCESSORY TO PRIMARY RESIDENTIAL USES USE CLASSIFICATION	DESCRIPTION	L - Applicable to all Zone Districts						REQUIREMENTS
		D-C	D-TD	D-LD	D-CV	D-GT D-AS		
Accessory to Primary Residential Uses  (Parking is Not Required for Accessory Uses Unless Specifically Stated in this Table or in an Applicable Use Limitation)	Unlisted Accessory Uses	L - Applicable to all Zone Districts						\$11.7
	Accessory Dwelling Unit	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	\$11.7; §11.8.2
	Domestic Employee	L	L	L	NP	L	L	\$11.7.1; §11.8.3
	Garden*	L	L	L	NP	L	L	\$11.7; §11.8.4
	Keeping of Household Animals*	L/L-ZPIN	L/L-ZPIN	L/L-ZPIN	NP	L/L-ZPIN	L/L-ZPIN	\$11.7; §11.8.5
	Keeping and Off-Street Parking of Vehicles, Motorcycles, Trailers & Recreational Vehicles*	L	L	L	NP	L	L	\$11.7; §10.9
	Kennel or Exercise Run*	L	L	L	NP	L	L	\$11.7; §11.8.6
	Limited Commercial Sales, Services Accessory to Multi-Unit Dwelling Use	Not Applicable - See Permitted Primary Uses						\$11.7; §11.8.7
	Outdoor Storage, Residential*	L	L	L	L	L	L	\$11.7; §11.8.8
	Second Kitchen Accessory to Single Unit Dwelling Use	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	\$11.7; §11.8.9
	Short-term Rental	L	L	L	NP	L	L	\$11.7; §11.8.10
	Vehicle Storage, Repair and Maintenance*	L	L	L	NP	L	L	\$11.7; §10.9
	Wind Energy Conversion Systems*	Not Applicable - See Permitted Primary Uses						
Yard or Garage Sales*	L	L	L	NP	L	L	\$11.7; §11.8.11	

**HOME OCCUPATIONS ACCESSORY TO PRIMARY RESIDENTIAL USES USE CLASSIFICATION**

HOME OCCUPATIONS ACCESSORY TO PRIMARY RESIDENTIAL USES USE CLASSIFICATION	DESCRIPTION	L - Applicable to all Zone Districts						REQUIREMENTS
		D-C	D-TD	D-LD	D-CV	D-GT D-AS		
Home Occupations Accessory to a Primary Residential Use  (Parking is Not Required for Home Occupations Unless Specifically Stated in this Table or in an Applicable Use Limitation)	Child Care Home, Large	L-ZPIN	L-ZPIN	L-ZPIN	NP	L-ZPIN	L-ZPIN	\$11.9; §11.9.3
	All Other Types	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	\$11.9; §11.9.4
	Unlisted Home Occupations	L-ZPIN	L-ZPIN	L-ZPIN	NP	L-ZPIN	L-ZPIN	\$11.9; §11.9.5

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USE CATEGORY	SPECIFIC USE TYPE	D-C	D-TD	D-LD	D-CV	D-GT D-AS	D-AS-12+ D-AS-20+ D-CPV-T D-CPV-R D-CPV-C	APPLICABLE USE LIMITATIONS
	D-C, D-TD, D-CV, <b>D-GT</b> , D-AS-12+/20+, D-CPV-T/R/C Districts have no minimum vehicle parking requirement. D-CPV-T/R/C maximum vehicle parking requirements are provided in Section 8.11.5. D-C, D-TD, D-CV bicycle parking requirements are provided in Section 8.3.1.5. D-LD vehicle parking requirements are provided in Section 8.4.1.4. • Vehicle Parking Reqmt: # spaces per unit of measurement • Bicycle Parking Reqmt : # spaces per unit of measurement (% Required Spaces in Enclosed Facility / % Required Spaces in Fixed Facility)							

ACCESSORY TO PRIMARY NONRESIDENTIAL USES USE CLASSIFICATION

USE CATEGORY	SPECIFIC USE TYPE	L - Applicable to all Zone Districts						APPLICABLE USE LIMITATIONS
		D-C	D-TD	D-LD	D-CV	D-GT D-AS	D-AS-12+ D-AS-20+ D-CPV-T D-CPV-R D-CPV-C	
Accessory to Primary Nonresidential Uses  (Parking is Not Required for Accessory Uses Unless Specifically Stated in this Table or in an Applicable Use Limitation)	Unlisted Accessory Uses	L - Applicable to all Zone Districts						\$11.7; \$11.10.1
	Amusement Devices Accessory to Eating/Drinking Establishments, College/University and Theater Uses	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.7; \$11.10.2
	Automobile Rental Services Accessory to Certain Retail Uses*	Not Applicable - See Permitted Primary Uses			NP	Not Applicable - See Permitted Primary Uses		
	Book or gift store; media recording and production facilities accessory to public libraries, museums, places of religious assembly, colleges or universities	L	L	L	L	L	L	\$11.7; \$11.10.4
	Car Wash Bay Accessory to Automobile Services	NP	NP	NP	NP	NP	NP	
	College accessory to a Place for Religious Assembly	L	L	L	L	L	L	\$11.7; \$11.10.6
	Conference Facilities Accessory to Hotel Use	L	L	L	L	L	L	\$11.7; \$11.10.7
	Drive Through Facility Accessory to Eating/Drinking Establishments and to Retail Sales, Service, and Repair Uses*	NP	NP	NP	NP	L-ZP	NP	\$11.7; \$11.10.8
	Emergency Vehicle Access Point	NP	NP	NP	NP	NP/L-ZPSE	NP	\$11.7; \$11.10.9
	Garden*	L	L	L	L	L	L	\$11.7; \$11.10.10
	Keeping of Animals	L/ L-ZP/ L-ZPIN	L/ L-ZP/ L-ZPIN	L/ L-ZP/ L-ZPIN	L/ L-ZP/ L-ZPIN	L/ L-ZP/ L-ZPIN	L/ L-ZP/ L-ZPIN	\$11.7; \$11.10.11
	Nonresidential Uses in Existing Business Structures In Residential Zones - Accessory Uses	Not Applicable						
	Occasional Sales, Services Accessory to Places of Religious Assembly*	L	L	L	L	L	L	\$11.7; \$11.10.12
	Outdoor Eating and Serving Area Accessory to Eating/Drinking Establishment Use*	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.7; \$11.10.13
	Outdoor Entertainment Accessory to an Eating/Drinking Establishment Use*	L-ZPIN/ ZPSE	L-ZPIN/ ZPSE	L-ZPIN/ ZPSE	L-ZPIN/ ZPSE	L-ZPIN/ ZPSE	L-ZPIN/ ZPSE	\$11.7; \$11.10.14
	Outdoor Retail Sale and Display*	L-ZP/ ZPSE	L-ZP/ ZPSE	L-ZP/ ZPSE	L-ZP/ ZPSE	L-ZP/ ZPSE	L-ZP/ ZPSE	\$11.7; \$11.10.15
	Outdoor Storage, General*	NP	NP	NP	NP	NP	NP	
	Outdoor Storage, Limited*	L	L	L	L	L	L	\$11.7; \$11.10.17
Rental or Sales of Adult Material Accessory to a Permitted Bookstore Retail Sales Use	L	L	L	L	L	L	\$11.7; \$11.10.18	

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		D-C	D-TD	D-LD	D-CV	D-GT D-AS		

**TEMPORARY USE CLASSIFICATION**

Temporary Uses  (Parking is Not Required for Temporary Uses Unless Specifically Stated in this Table or in an Applicable Use Limitation)	Unlisted Temporary Uses	L - Applicable to all Zone Districts						\$11.11.1
	Ambulance Service - Temporary	Not Applicable - See Permitted Primary Uses						\$11.11.2
Amusement / Entertainment - Temporary*	NP	NP	NP	NP	NP	NP	NP	
Bazaar, Carnival, Circus or Special Event*	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.4
Building or yard for construction materials*	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.5
Concrete, Asphalt, and Rock Crushing Facility*	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.6
Fence for Demolition or Construction Work	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.7
Health Care Center	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	L-ZP	\$11.11.8
Noncommercial Concrete Batching Plant*	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.9
Outdoor Retail Sales - Pedestrian / Transit Mall*	L-ZP	L-ZP	L-ZP	NP	NP	L-ZP	L-ZP	\$11.11.10
Outdoor Retail Sales*	NP	NP	NP	NP	NP	NP	NP	
Outdoor Sales, Seasonal*	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.12
Parking Lot Designated for a Special Event*	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.13
Retail Food Establishment, Mobile*	L-ZP	L-ZP	L-ZP	NP	NP	L-ZP	L-ZP	\$11.11.14
Temporary Construction Office	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.15
Temporary Office - Real Estate Sales	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.16
Temporary Tiny Home Village	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	\$11.11.17
Tent for Religious Services	NP	NP	NP	NP	NP	NP	NP	

### C. Process to Establish Comprehensive Sign Plan

#### 1. Plan Submittal

The following items and evidence shall be submitted to the Zoning Administrator to explain a proposed comprehensive sign plan for a facility:

- a. A site plan or improvement survey of the facility drawn to scale showing existing and proposed buildings, Off-Street Parking Areas, landscaped areas, drainage swales, detention ponds, adjoining streets and alleys.
- b. Scaled drawings showing the elevations of existing and proposed buildings and structures that may support proposed signage.
- c. Design descriptions of all signs including allowable sign shapes, size of typography, lighting, exposed structures, colors, and materials, and any information on the frequency of changeable graphics.
- d. All information on sign location shall also be provided: wall elevations drawn to scale showing locations of wall, window, projecting and roof signs, and site plans drawn to scale showing allowable locations and heights of ground signs;
- e. Calculations of sign area and number.

#### 2. Notice

The Zoning Administrator shall see that the notices are placed on the property by the applicant no later than 15 days after receipt of the complete application for the proposed plan. The Zoning Administrator shall also send notice of the proposed plan to the neighborhood organizations which are registered pursuant to the provisions of Article III, Chapter 12 of the Revised Municipal Code and whose boundaries are within 3,000 feet of the boundary line of the zone lot of the large facility. The Zoning Administrator shall also send notices to the city council members in whose district the large facility is located and to the at large council members. Such notice shall require that written comments be submitted to the Zoning Administrator by those persons having a concern with respect to the proposal within 30 days of the date of notification. If the facility site falls within a district designated for preservation or the area of a structure designated for preservation pursuant to the provisions of D.R.M.C., Chapter 30 (Landmark Preservation), the Zoning Administrator shall notify the landmark approving authority regarding the proposal. Such notice shall require that the landmark approving authority provide a written recommendation, based on adopted standards, policies, and guidelines, to the Planning Board and Zoning Administrator, as set forth in D.R.M.C., Chapter 30 (Landmark Preservation).

#### 3. Review by the Downtown Design Advisory Board in D-GT, D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C Zone Districts

- a. The Downtown Design Advisory Board shall review comprehensive sign plans proposed for large facilities located on Zone Lots within the D-GT, D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, or D-CPV-C Zone Districts according to the criteria listed below and the Design Standards and Guidelines for Downtown.
- b. The Downtown Design Advisory Board shall provide a recommendation for denial, approval, or approval with conditions to the Zoning Administrator.

#### 4. Forwarding of a Proposed Comprehensive Sign Plan

The Zoning Administrator shall consider the concerns expressed by members of the public, neighborhood organizations and council members, and shall evaluate the proposed plan according to the criteria listed below and shall send the proposed plan and a recommendation for approval, denial or approval with conditions to the planning board.

#### 5. Criteria for Review

The criteria for reviewing proposed comprehensive sign plans are as follows:

- D. A change in signage type, illumination or animation allowed within the district sign plan.
- E. Signs exceeding the specifications of the district sign plan and not allowed according to Section 10.10.15.15, require an amendment to the district sign plan.

#### **10.10.15.15 Other Permitted Signs**

Signs described and regulated by Section 10.10.3.2.E, signs giving parking or traffic directions, and inflatables and balloons and/or streamers/pennants as described and regulated by Section 10.10.3.2.I, need not be included in the district sign plan. However, other signs permitted by Section 10.10.3.2, signs subject to a permit, must be included in the district sign plan.

#### **10.10.15.16 Rules and regulations**

The Planning Board has the authority to adopt rules and regulations concerning the review of the district sign plan.

#### **10.10.15.17 Fee**

The fee for review for the initial district sign plan is \$500.00 per acre or \$5,000.00, whichever is less. The fee for review for an amendment of the district sign plan is \$250.00 per acre or \$2,500.00, whichever is less.

### **SECTION 10.10.16 SPECIAL PROVISIONS FOR D-GT, D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, AND D-CPV-C**

#### **10.10.16.1 General**

The provisions of this Section 10.10.16 shall apply to the D-GT district, except that portion of the district north of 13th Avenue on Broadway and Lincoln Street, D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C districts. The other Sections of this Division 10.10 shall remain in full force and effect in the D-GT, D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C districts, and there is no requirement that proposed signs be submitted for approval pursuant to this Section. However, an application for a projecting sign may be submitted pursuant to the provisions of this Section, in which case this Section will be applicable with respect to the issuance of sign permits.

#### **10.10.16.2 Purpose**

The purpose of this Section is to create the policy for a system of signs that project perpendicular to the face of the wall or building to which they are attached, or at a 45-degree angle to the corner of a building where the user occupies at least part of 2 building frontages.

#### **10.10.16.3 Intent**

To accomplish this purpose, it is the intent of this ordinance to encourage and to authorize the use of signs and street graphics which are:

- A. Compatible with and an enhancement of the character of the surrounding district and adjacent architecture when considered in terms of scale, color, materials, lighting levels, and adjoining uses.
- B. Compatible with and an enhancement of the architectural characteristics of the buildings on which they appear when considered in terms of scale, proportion, color, materials and lighting levels.
- C. Appropriate to and expressive of the business or activity for which they are displayed.
- D. Creative in the use of unique 2 and 3 dimensional form, profile, and iconographic representation.
- E. Employ exceptional lighting design and represent exceptional graphic design, including the outstanding use of color, pattern, typography, and materials.
- F. Of high quality, durable materials appropriate to an urban setting.

#### 10.10.16.4 Permitted Maximum Sign Area

The other Sections of this Division 10.10 pertaining to the D-GT, D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C districts are applicable, and the sign area allowable under this Section shall be deducted from the permitted maximum sign area. For these purposes, a cubic foot of sign or graphic volume is considered to be equivalent to a square foot of sign area.

#### 10.10.16.5 Projecting Graphics Permitted

For the purposes of this Section, a projecting graphic is a sign or street graphic attached to and projecting from the wall of a building at 90 degrees, or the corner of a building at 45 degrees. The projecting graphic may be two- or three-dimensional, and regular or irregular in form.

- A. The following limitations apply to projecting graphics:
1. Each user may display 1 projecting graphic adjacent to every street upon which the user has frontage and an entry or 1 projecting sign at the corner of a building where the user has 2 frontages, provided that the approval of the manager of public works has been given pursuant to the provisions of Section 49-436 of the Revised Municipal Code.
  2. Projecting graphics may project no more than 5 feet out from a building.
  3. The bottom of any projecting graphic must be at least 8 feet above the sidewalk or ground floor finished floor level, whichever is higher while the top of any projecting graphics may be no higher than 15 feet above the sidewalk or ground level finished floor level, whichever is higher.
  4. Allocation of allowable sign volume. For uses that are located at the Street Level and have entries with direct access to a public sidewalk, court or plaza, or uses located in the basement or on the second floor; that have entries at the Street Level with direct access to a public sidewalk, court or plaza, the allowable projecting sign volume will be allocated on the following basis:
    - a. Uses that occupy at least 8 feet but no more than 20 feet of linear building frontage may have up to 12 cubic feet of projecting sign volume.
    - b. Uses that occupy more than 20 but no more than 50 linear feet of building frontage may have up to 30 cubic feet of projecting sign volume.
    - c. Uses that occupy over 50 linear feet of building frontage may have up to 50 cubic feet of projecting sign volume.
    - d. Uses that occupy over 50 linear feet of building frontage, that are located in the D-GT zone district on either Broadway or Lincoln Streets and are south of 13th Avenue, may have up to 70 cubic feet of projecting sign volume.
    - e. Uses occupying corner locations may base the maximum allowable volume of their signage on the length of the actual building frontage on which the sign is placed, or on the length of either frontage if a corner location is chosen.
- B. Calculation of sign volume. The volume of a projecting sign will be calculated as the volume within a rectilinear form constructed to enclose the primary form of the sign.
- C. Minor sign elements may project beyond the primary boundaries of this volume at the discretion of the Zoning Administrator. Minor elements will be defined as those parts of the sign which add to the design quality without adding significantly to the perceived volume and mass of the sign.
- D. No dimension (height, width, or depth) shall be considered to be less than 1 foot and 0 inches for the purposes of calculating sign volume.
- E. Projecting signs are prohibited for uses without direct street access on the Street Level.

- F. Relationships to the building facade. Maximum projecting sign dimensions, volumes and locations may additionally be restricted by the dimensions of the building facade on which signage is to be located and the relationship to other tenant signage on the same facade:
1. Signs shall not exceed the height of the parapet of the building on which mounted.
  2. Signs shall not be placed less than 8 feet apart.

#### 10.10.16.6 Illumination

Illumination of graphics as defined herein shall be permitted by direct, indirect, neon tube, light-emitting diode (LED), and fluorescent illumination for users with over 20 linear feet of frontage. Users with fewer than 20 linear feet of frontage may have direct external illumination only. The following additional provisions also apply to the illumination of street graphics:

- A. Color of light. Graphics as defined herein may use a variety of illuminated colors.
- B. Fully internally-illuminated plastic sign boxes with internal light sources are prohibited.
- C. Flashing signs are prohibited.
- D. Animated signs are prohibited.

### SECTION 10.10.17 SPECIAL PROVISIONS FOR D-C, D-TD, D-LD, D-CV, **AND D-AS, D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, AND D-CPV-C**

#### 10.10.17.1 General

The provisions of this Section 10.10.17 shall apply to the D-C, D-TD, D-LD, D-CV, and D-AS, ~~D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C~~ districts. The other provisions of this Division 10.10 (Signs) shall remain in full force and effect in the D-C, D-TD, D-LD, and D-AS, ~~D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C~~ districts, and there is no requirement that proposed signs be submitted for approval pursuant to this Section. However, an application for a sign may be submitted pursuant to the provisions of this Section in which case this Section will be applicable with respect to the issuance of the sign permit.

#### 10.10.17.2 Purpose

The purpose of this Section is to create the policy for a comprehensive and balanced system of signs and street graphics to facilitate the enhancement and improvement of the D-C, D-TD, D-LD, and D-AS, ~~D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C~~ districts through the encouragement of urban, innovative signs and street graphics which will aid in the creation of a unique downtown shopping and commercial area, facilitate an easy and pleasant communication between people and their environment and avoid the visual clutter that is potentially harmful to traffic and pedestrian safety, property values, business opportunities, and community appearance. To accomplish these purposes, it is the intent of this Section to encourage and to authorize the use of signs and street graphics which are:

- A. Compatible with and an enhancement of the character of the surrounding district and adjacent architecture when considered in terms of scale, color, materials, lighting levels, and adjoining uses.
- B. Compatible with and an enhancement of the architectural characteristics of the buildings on which they appear when considered in terms of scale, proportion, color, materials and lighting levels.
- C. Appropriate to and expressive of the business or activity for which they are displayed.
- D. Creative in the use of unique 2 and 3 dimensional form, profile, and iconographic representation; employ exceptional lighting design and represent exceptional graphic design, including

the outstanding use of color, pattern, typography and materials. Signage which simply maximizes allowable volume in rectangular form is strongly discouraged.

- E. Of high quality, durable materials appropriate to an urban setting.

### 10.10.17.3 Permitted Maximum Sign Area

The other provisions of this Division 10.10 (Signs) pertaining to the D-C, D-TD, D-LD and D-AS; ~~D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C~~ districts are applicable, and the sign area allowable under this Section shall be deducted from the permitted maximum sign area. A cubic foot of sign or graphic volume is considered to be equivalent to a square foot of sign area.

### 10.10.17.4 Projecting Graphics Permitted

A projecting graphic is a sign or street graphic attached to and projecting from the wall of a building and not in the same plane as the wall.

- A. The following limitations apply to projecting graphics:
  1. Each use may display 1 projecting graphic adjacent to every street upon which the use has frontage, provided that the approval of the manager of public works has been given pursuant to the provisions of Section 49-436 of the Revised Municipal Code.
  2. Projecting graphics must clear sidewalks by at least 8 feet in height and may project no more than 7 feet out from a building.
  3. Projecting graphics shall be mounted no less than 6 inches and no more than 1 foot away from the building wall or the furthest projecting elements (belt courses, sills, etc.) which are adjacent to it on the building facade.
  4. Allocation of allowable sign volume. For uses that are located at the Street Level and have entries with direct access to a public sidewalk, court or plaza the allowable projecting sign volume will be allocated on the following basis:
    - a. Uses that occupy up to 49 linear feet of building frontage may have up to 30 cubic feet of projecting sign volume. However, to avoid crowding of signage types, uses that occupy less than 30 linear feet of exterior building frontage will be limited to utilizing either a projecting sign as allowed under these regulations, or any other non projecting sign types as currently allowed.
    - b. Uses that occupy between 50 and 74 linear feet of building frontage may have up to 64 cubic feet of projecting sign volume.
    - c. Uses that occupy 75 linear feet or more of building frontage may have up to 96 cubic feet of projecting sign volume.
    - d. Uses occupying corner locations may base the maximum allowable volume of their signage on the length of the 1 actual building frontage on which it is placed.
  5. The calculation of sign volume. The volume of a projecting sign will be calculated as the volume within a rectilinear form that could be constructed to enclose the primary form of the sign. Minor sign elements may project beyond the primary boundaries of this volume at the discretion of the review committee. Minor elements will be defined as those parts of the sign which add to the design quality without adding significantly to the perceived volume and mass of the sign. No dimension (height, width or depth) shall be considered to be less than 1 feet-0 inches for the purposes of calculating sign volume.
  6. Multiple projecting signs. The total sign volume allowed for a single use may be broken into multiple projecting signs, not to exceed 1 per 25 linear feet of the actual building frontage adjacent to a public walk, court or plaza only at the discretion of the review committee based on the following criteria:
    - a. Multiple signs significantly enhance the creative impact of the signage concept.



- a. The appropriateness of flashing signs, where otherwise allowed, will be based on the character and uses of the face block, existing uses within the building and the surrounding vicinity, and the protection of public safety.
  - b. Use of flashing signs shall be limited to entertainment uses such as, by way of example and not by way of limitation, theaters, movie houses, restaurants, and cabarets, and is limited to the times the business is open.
3. Fully illuminated plastic sign boxes with internal light sources will not be allowed.

#### 10.10.17.5 Design Review Committee

There is hereby created a separate Design Review Committee for each of the D-C, D-TD, D-LD, and D-AS, ~~D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C~~ districts, which shall be composed and comprised as hereinafter set forth, and which shall have the powers and authorities described herein.

- A. Within the D-C, D-TD, and D-AS, ~~D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C~~ zone districts, when signage is proposed on a zone lot with landmark designation or located in a landmark district, the Denver Landmark Preservation Commission shall be the Design Review Committee.
- B. Within the D-C and D-TD districts, except as provided by Section 10.10.17.5.A above, the Design Review Committee shall be comprised of 7 members as follows:
  1. 1 property owner, who owns property in the D-C or D-TD district;
  2. 2 business operators, who operate businesses in the D-C or D-TD district;
  3. 1 member of Downtown Denver, Inc., nominated by Downtown Denver, Inc.;
  4. 2 design professionals;
  5. 1 resident of Denver, with preference given to a resident of the D-C or D-TD district; and
  6. The Manager, or his designee, who shall serve as an ex officio member.

Members of the D-C and D-TD Design Review Committee shall be nominated by downtown businesses, residents and property owners in the D-C and D-TD districts and shall be appointed by the mayor. The term of membership on the Design Review Committee is 3 years with initial appointments being of 3 appointees for 1 year terms, 2 appointees for 2 year terms and 2 appointees for 3 year terms.

- C. Within the D-LD district, the Lower Downtown Design Review Board shall comprise the Design Review Committee.
- D. Within the D-AS, ~~D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C~~ districts, except as provided by Section 10.10.17.5.A above, the planning office staff shall act as the Design Review Committee.
- E. Each Design Review Committee shall meet monthly or within 14 calendar days of a special request.
- F. Authority is hereby expressly granted to the applicable Design Review Committee to review and recommend approval to the Zoning Administrator of applications for signs and street graphics in the applicable district pursuant to the provisions of this Section.

#### 10.10.17.6 Design Review

Applications for sign permits submitted for approval pursuant to the provisions of this Section shall be forwarded to the applicable Design Review Committee by the department of zoning administration. The applicable Design Review Committee shall prepare a recommendation and submit it to the

1. Such use shall not be located within the area bounded by 14th Street, Colfax Avenue, Broadway Street, 18th Street, and the Larimer Street-Market Street alley; and
2. Such use shall not be located where necessary curb cuts will interfere with pedestrian activity on Larimer Street, Curtis Street, Cleveland Place, or on any street frontage facing a light rail line.

#### 11.4.8.3 D-GT Zone District

In the D-GT zone district, where permitted with limitations, Surface Parking lots constructed after July 1, 1994, ~~and not required to meet the requirements of this Subsection's requirements~~ shall be permitted according to Section 12.4.2, Zoning Permit Review with Informational Notice, and shall only be approved provided that the following limitations are met:

- A. Such parking lot shall serve a specific, identified business or residential facility that is a permitted use then permitted and operating in the D-GT district.
- B. Any parking lot that is not located on the same zone lot as the use it serves, and that provides amounts of parking beyond those required to meet the minimum parking requirements for such use according to this Article 11 and Division 10.4, Parking and Loading:
  1. Shall have some portion of such parking lot located within 200 feet of the zone lot containing the use it serves; and
  2. Shall not offer parking to the public in return for a fee; and
  3. Shall include signage stating that parking is available only for the specific, identified business or residential facility that it serves and that public parking is not permitted.

#### 11.4.8.4 CMP-H and CMP-EI Zone Districts

In the Campus Hospital CMP-H and CMP-EI zone districts, where permitted with limitations:

- A. Surface parking of vehicles is permitted only to serve a use permitted in the district.
- B. Commercial Surface Parking lots are prohibited.

### EATING AND DRINKING ESTABLISHMENTS USE CATEGORY

## SECTION 11.4.9 EATING AND DRINKING ESTABLISHMENTS, ALL TYPES

### 11.4.9.1 All MX-2x, -2A, -2; MS-2x, -2, -CMP-H2, CMP-EI2 Districts

In all MX-2x, -2A, -2; MS-2x, -2, CMP-H2, CMP-EI2 zone districts abutting a SU or TU zone district, where permitted with limitations:

- A. Lighted signage for an Eating and Drinking Establishment shall be turned off during non-operating hours.
- B. All outdoor lighting for an Eating and Drinking Establishment shall be provided with full cut-off fixtures.

### 11.4.9.2 All MX-2x, MS-2x, CMP-H2, CMP-EI2 Zone Districts

In all MX-2x, MS-2x, CMP-H2, CMP-EI2 zone districts, where permitted with limitations, in addition to compliance with the use limitations in this Section 11.4.9, if the eating and drinking establishment is less than 100 feet from the boundary of any Protected District, all business activities open to the public shall cease by 10:00 p.m., except on Friday and Saturday nights when all business activities open to the public shall cease by 11:00 p.m.

- C. The members of the board shall be appointed by the mayor for a term of three years and shall serve at the pleasure of the mayor. Vacancies shall be filled within 30 days by the mayor from the date on which the vacancy occurs.

### 12.2.7.2 Review Authority

- A. Within the C-CCN zone districts, the Cherry Creek North Design Advisory Board shall review and make recommendations to the Development Review Committee or the Zoning Administrator as specified in adopted rules and regulations, as may be amended from time to time.

## SECTION 12.2.8 DOWNTOWN DESIGN ADVISORY BOARD

### 12.2.8.1 Creation

- A. The Downtown Design Advisory Board shall consist of ~~seven~~ nine members appointed by the Mayor. The ~~seven~~ nine members shall include individuals from the following categories: four design professionals, including architects, landscape architects, and urban designers, at least one of whom shall be a landscape architect; one owner of property in the downtown area; ~~one~~ three residents or community representatives of the downtown area; and one representative of the development/construction industry, including but not limited to engineers, contractors, and developers. All board members must be residents of Denver.
- B. The members of the board shall be appointed by the Mayor for terms of three years and shall serve at the pleasure of the Mayor. Terms of office shall be staggered by making the appointments so that approximately one-third of the members' terms expire each year. Vacancies shall be filled by the mayor within 30 days from the date on which the vacancy occurs.

### 12.2.8.2 Board Meetings

- A. All meetings of the Downtown Design Advisory Board shall be open to the public and allow opportunity for public comment.

### 12.2.8.3 Review Authority

- A. The Downtown Design Advisory Board shall review and make recommendations to the Development Review Committee or Zoning Administrator for all projects submitted for review within the Downtown Golden Triangle (D-GT), Downtown Arapahoe Square 12+ (D-AS-12+), Downtown Arapahoe Square 20+ (D-AS-20+), Downtown Central Platte Valley – Auraria Transition (D-CPV-T), Downtown Central Platte Valley – Auraria River (D-CPV-R), and Downtown Central Platte Valley – Auraria Center (D-CPV-C) zone districts, as specified in adopted rules and regulations, which may be amended from time to time. ~~The Zoning Administrator shall conduct all review and approval of projects submitted before April 1, 2019.~~

of the PUD District Plan and documents expressly authorize administrative adjustments according to this Section 12.4.5.

### 12.4.5.3 Permitted Types of Administrative Adjustments

#### A. Administrative Adjustments to Relieve Unnecessary Hardship

The Zoning Administrator may grant administrative adjustments to the following zoning standards shown in the table below, subject to any limitations stated in the table and subject to compliance with the review criteria stated in Section 12.4.5.5:

ZONING STANDARD	MAXIMUM ADJUSTMENT "NA" = NOT APPLICABLE OR AVAILABLE	
	Suburban House, Urban House, Duplex, Tandem House and Any Associated Detached Accessory Structure Building Forms Only	All Other Building Forms
<b>HEIGHT AND BULK STANDARDS:</b>		
<b>1. NON-HISTORIC STRUCTURES</b>		
• Maximum height (in stories or feet)	May exceed maximum standards, but the subject building and its elements shall be no taller in feet than a similar building form located within the "existing neighborhood" as defined in Section 12.4.7.5.D.2, "Compatibility with Existing Neighborhood." In addition, a height adjustment to a Detached Accessory Dwelling Unit building shall not result in more than 2 stories.	na
• Bulk Plane Dimensions		na
<b><del>2. NON-HISTORIC STRUCTURES IN THE D-GT ZONE DISTRICT ONLY</del></b>		
<del>• Maximum height (in feet)</del>	<del>Up to an additional 25' permitted, according to Section 8.6.1.3 (Maximum Height) of this Code.</del>	
<b><del>3.2. HISTORIC STRUCTURES</del></b>		
• Maximum height (in stories or feet) • Bulk Plane Dimensions	The Zoning Administrator may approve an adjustment that results in a structure taller than a similar building form located within the existing neighborhood, as defined in Section 12.4.7.5.D.2, "Compatibility with Existing Neighborhood," if the landmark approving authority (pursuant to D.R.M.C., Chapter 30, Landmark Preservation) finds specifically that development on the Zone Lot conforming to this Code's height or bulk regulations would have an adverse impact upon the historic character of the individual landmark or the historic district, if a historic district is involved.	
<b>SITING STANDARDS:</b>		
Determination of Primary Street Zone Lot Line(s) on Corner Lots of Oblong Blocks or Square Blocks	Zoning Administrator may designate either or both zone lot lines parallel to the intersecting streets as a Primary Street Zone Lot Line, provided the resulting street setback standards shall be more compatible with an established pattern of street setbacks for buildings on the same face blocks containing the subject property.	
Minimum zone lot width requirements	5%	5%
Block sensitive primary street setback	No limit, provided the resulting primary street setback range (min/max) shall be more compatible with an established pattern of primary street setbacks for buildings on the same face block as the subject building.	
Side Interior Setback requirements on Zone Lots greater than 30 feet wide up to and including 40 feet wide	No limit when based on a finding of neighborhood compatibility (see Section 12.4.7.5.D), provided the adjustment results in a side interior setback no less than 3'.	na

#### 12.4.9.4 Requirements and Limitations After Zoning Permit Issuance

##### A. Expiration and Extensions

1. Except as otherwise allowed in subsection A.2. below, a zoning permit with special exception review shall expire 12 months from the date of the Board of Adjustment's decision unless the special exception use begins operating, or a valid building permit is issued. Upon a showing of good cause, the Zoning Administrator may extend the permit for the special exception for additional time periods not to exceed a total of 12 additional months.
2. If a zoning permit with special exception review is granted upon review and approval of a Site Development Plan according to Section 12.4.3 of this Code, then the zoning permit authorizing construction or a permitted use shall expire at the same time as the approved Site Development Plan.

##### B. Limit on Reapplication for Denied Special Exceptions

No application for a zoning permit with special exception review denied by the Board of Adjustment shall be considered for a period of 1 year from the date of the original denial unless the Zoning Administrator determines that the application contains substantial changes that address the reasons for denial of the application.

### SECTION 12.4.10 OFFICIAL MAP AMENDMENT (REZONING)

#### 12.4.10.1 Applicability

An official map amendment may be required to correct an error in the map or, because of changed or changing conditions in a particular area or in the city generally, to rezone an area to implement adopted plans, or to change the regulations and restrictions of an area as reasonably necessary to promote the public health, safety or general welfare.

#### 12.4.10.2 Zone Districts Not Available for Rezoning

Except as otherwise provided in Section 9.4.2.1 and Section 12.3.3.9, no land may be rezoned into any zone district not established in this Code. In addition, the following zone districts established in this Code, while mapped on the Official Zoning Map, shall not be applied to any lands after June 25, 2010:

- A. ~~D-GT Downtown Golden Triangle zone district~~
- B. D-AS Downtown Arapahoe Square zone district
- C. O-1 zone district
- D. Adult Use Overlay District (UO-1)
- E. Billboard Use Overlay District (UO-2)

#### 12.4.10.3 Adjacency and Location Requirements

##### A. Requirements

Official Map amendments for the following zone districts shall meet the following requirements:

1. Applications proposed to be zoned to the D-C, D-TD, D-LD, D-CV, D-GT, D-AS-12+, or D-AS-20+ zone districts shall be adjacent to the same zone district sought for the subject property. For the purposes of this provision, adjacency shall not be destroyed by the existence of a dedicated public right-of-way.
2. Applications proposed to be zoned to the DIA zone district shall be adjacent to an existing DIA zone district if the application is not initiated by the Manager of Aviation. For the

- A. A nonconforming structure containing a residential use, congregate living use, or a residential care use located in a Residential Zone District, or
- B. A nonconforming structure located in a C-CCN zone district; or
- C. A structure located in the D-C or D-TD zone district that became a nonconforming structure on October 14, 1994, as a result of (a) changes to the prior B-5 zone district changing the floor area premiums and maximum gross floor area of structures; or (b) the creation of the OD-2, OD-3 and OD-4 overlay districts regarding maximum building height or sunlight preservation requirements; or
- D. A nonconforming structure located in the D-GT zone district; or
- E. A structure located in a Residential Zone District that became a nonconforming structure on June 26, 1998, as a result of the creation the OD-6, OD-7 and OD-8 overlay districts, or
- F. A residential structure located in a SU zone district that became a nonconforming structure July 21, 2008, as a result of the creation of the OD-10 overlay district.

#### **12.8.4.5 Voluntary Demolition**

Nothing in this Section 12.8.4 shall be deemed to permit the reconstruction or reestablishment of all or any part of a nonconforming structure that has been voluntarily demolished.

### **SECTION 12.8.5 DETERMINATION OF NONCONFORMING STATUS**

Nonconforming status shall be determined by the Zoning Administrator.

Figure 13.1-32

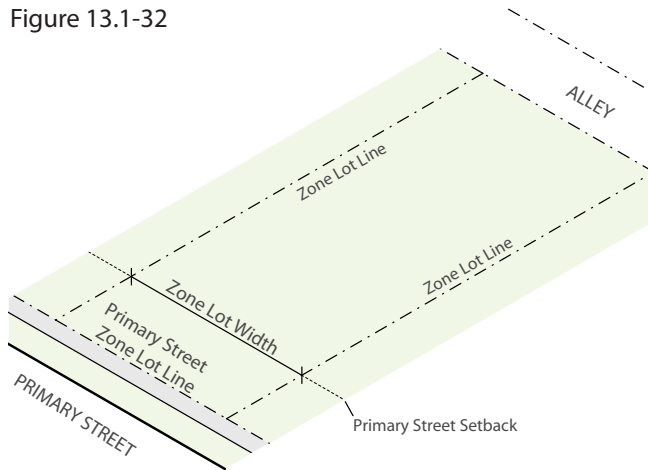
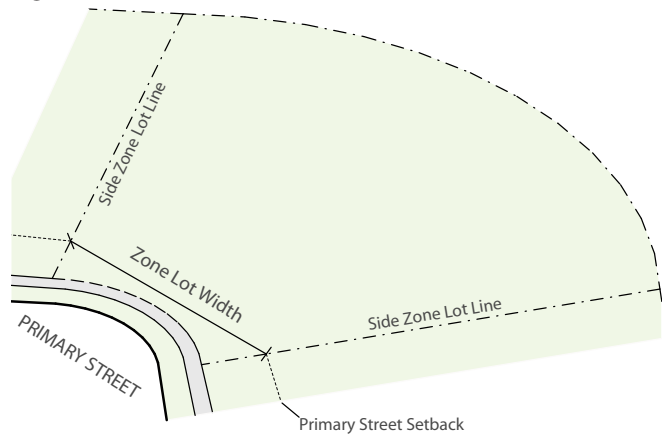


Figure 13.1-33



### C. Zone Lot Width in the **D-GT Zone District and DO-7 Overlay District**

#### 1. Rule of Measurement

In lieu of the rule of measurement set forth in Section 13.1.5.1.B, Zone Lot Width in the **D-GT and DO-7 districts** shall be the distance between the Zone Lot Lines intersecting the Primary Street Zone Lot Line measured along the Primary Street Zone Lot Line.

- a. For Zone Lots with multiple Primary Street Zone Lot Lines in the D-GT zone district, the Primary Street Zone Lot Line abutting a named street shall be used to determine Zone Lot Width. If two Primary Street Zone Lot Lines abut named streets, the street with north-south orientation shall be used to determine Zone Lot Width.
- b. For Zone Lots with multiple Primary Street Zone Lot Lines in the DO-7 overlay district, the Primary Street Zone Lot Line with the greatest length will be used to determine Zone Lot Width.

### D. Basis of Zone Lot Size and Width

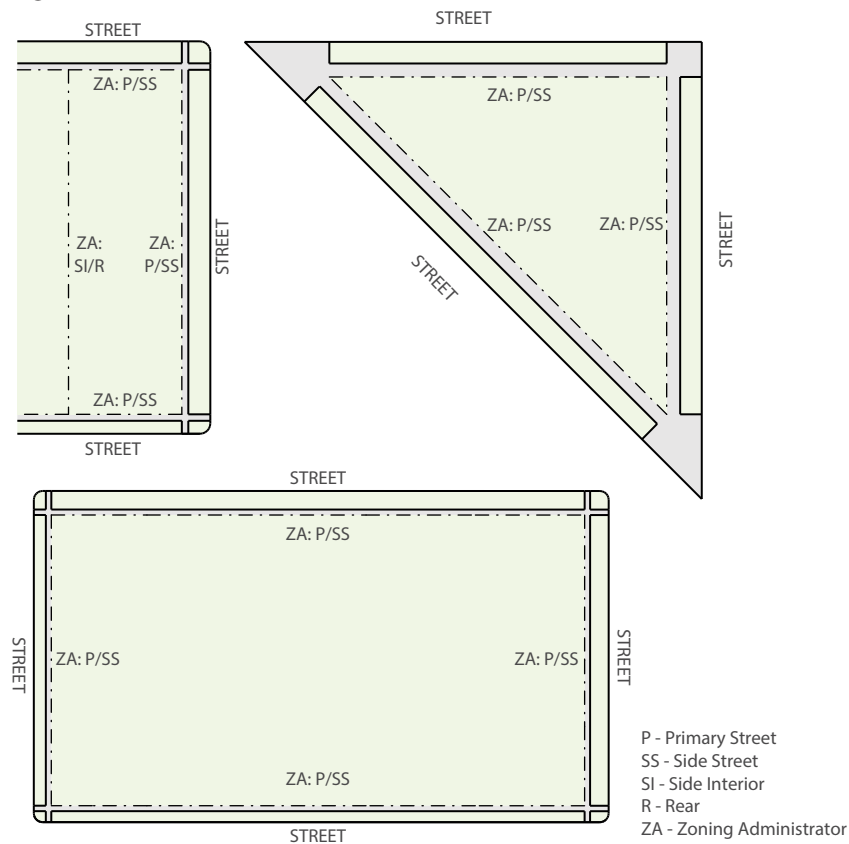
#### 1. Intent

To recognize historic development patterns by allowing Zone Lot size and width to be measured based on recorded documents.

#### 2. Rule of Measurement

- a. For Building Form standards that are based on Zone Lot size or width, such as setbacks, the Zoning Administrator shall make a final determination of the applicable Zone Lot size or width based on the Record Document, where available. For the purposes of this provision, a "Record Document" shall mean a recorded Plat or Subdivision that specifies historic platted lot measurements applicable to the subject property.
- b. Where a Record Document is not available, an applicant shall submit a certified survey to determine all Zone Lot measurements. When a Zone Lot measurement is within one-tenth of a foot per 25 feet of the applicable standard, it shall be determined to meet that standard.
  - i. For example: The required minimum side interior setback for an Urban House building form in an U-SU zone district varies depending on the Zone lot width. According to this rule of measurement, for example, as long as the certified survey shows a Zone Lot width of between 74.7' and 75.3', the setback standard applicable to a 75-foot wide Zone Lot will apply. The formula applied in this example is broken down below:

Figure 13.1-53



### 13.1.5.5 Determination of Primary Street, Side Interior, and Rear Zone Lot Lines for all C-CCN, **D-GT**, D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C Zone Districts

#### A. Intent

To provide a reference of measurement for standards related to form, building placement, and design elements (e.g. Build-to, Setbacks, Transparency) in Cherry Creek North (C-CCN), **Downtown Golden Triangle (D-GT)**, Downtown Arapahoe Square 12+ (D-AS-12+), Downtown Arapahoe Square 20+ (D-AS-20+), Downtown Central Platte Valley - Auraria Transition (D-CPV-T), Downtown Central Platte Valley - Auraria River (D-CPV-R), and Downtown Central Platte Valley - Auraria Center (D-CPV-C) zone districts.

#### B. General Requirements

1. Each Zone Lot Line shall have a designation of Primary Street, Side Interior or Rear.

#### C. Criteria for Zoning Administrator Determinations

The Zoning Administrator shall designate a zone lot's Side Interior and Rear Zone Lot Lines, as applicable, based on an analysis of:

1. Guidance provided in any applicable Infrastructure Master Plan, General Development Plan, regulating plan, and/or Urban Design Standards and Guidelines.
2. If criterion C.1 does not apply, then the following criteria shall be used:
  - a. The prevailing building orientation and setback patterns of buildings located on the same face block(s) as the subject zone lot; and
  - b. Block and lot shape.



#### D. Determining Zone Lot Lines

##### 1. All Zone Lots - Primary Street Zone Lot Lines

- a. The Zoning Administrator shall designate all Zone Lot Lines abutting a street to be Primary Street zone lot lines.
- b. In D-CPV-R zone districts only, any Zone Lot Line that Abuts, and is roughly parallel to, the South Platte River, or a Street that is Adjacent to the South Platte River shall be designated as a Primary Street Zone Lot Line.
- c. In D-CPV-T, D-CPV-R, and D-CPV-C zone districts only, any Zone Lot Line that Abuts a ~~Public Park~~ public park shall be designated as a Primary Street Zone Lot Line.

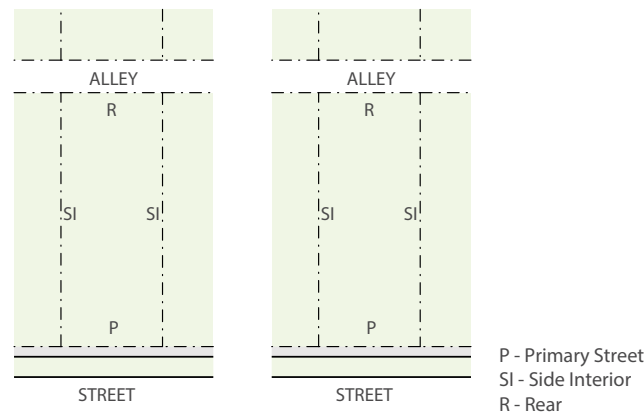
##### 2. Interior Zone Lots

For interior zone lots in all C-CCN, ~~D-GT~~ D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C zone districts:

- a. The Primary Street Zone Lot Line shall be the Zone Lot Line abutting the named or numbered street.
- b. The Rear Zone Lot Line shall be the Zone Lot Line(s) opposite the Primary Street.
- c. The Side Interior Zone Lot Line shall be the remaining Zone Lot Lines.

See Figure 13.1-54.

Figure 13.1-54

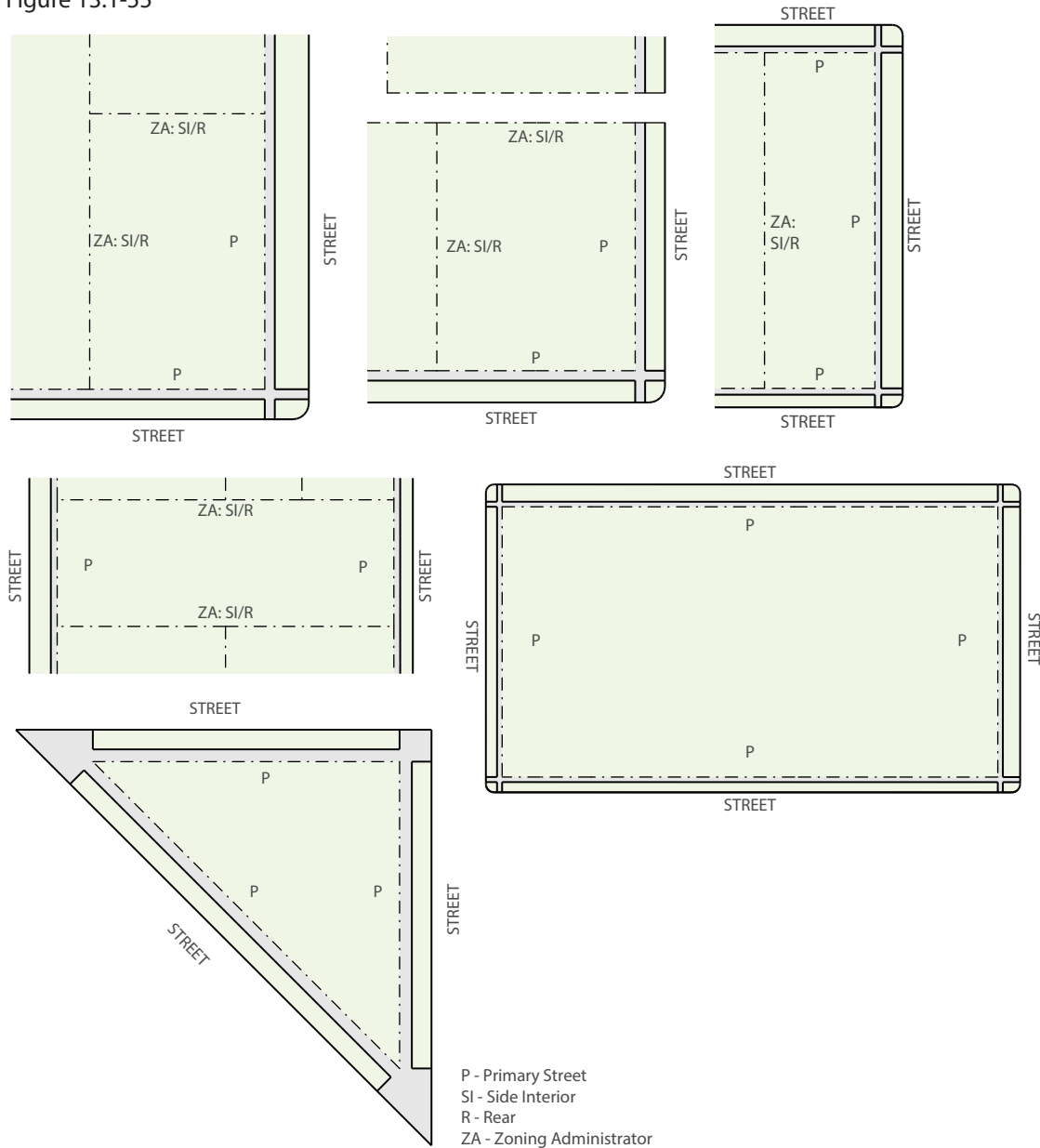


**3. Corner Zone Lots, Double Frontage Zone Lots, and Zone Lots with Frontage on 3 or More Streets/Full Block**

For all corner zone lots, double frontage zone lots, and zone lots with frontage on 3 or more streets or a full block in all C-CCN, D-GT, D-AS-12+, D-AS-20+, D-CPV-T, D-CPV-R, and D-CPV-C zone districts:

- a. All Zone Lot Lines abutting a named or numbered street shall be Primary Street Zone Lot Lines.
- b. The Zoning Administrator shall determine the Side Interior and Rear Zone Lot Lines, as applicable. See Figure 13.1-55

Figure 13.1-55



### E. Build-to Alternative Requirements

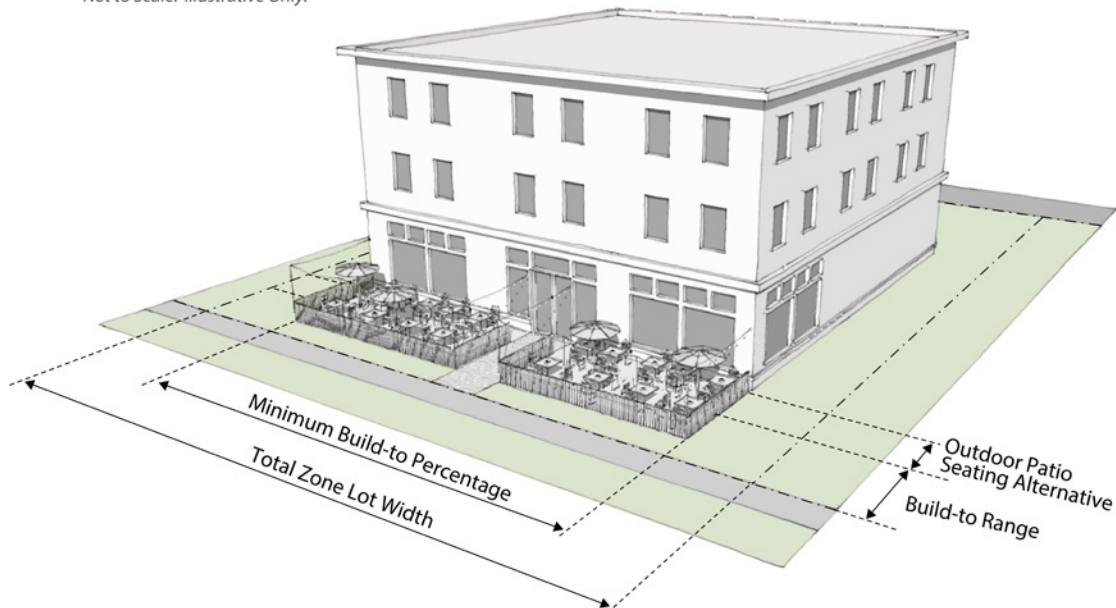
Where permitted, the following alternatives may be used singularly or in combination as alternatives to a required build-to minimum percentage standard:

#### 1. Permanent Outdoor Patio Seating

Permanent outdoor patio seating shall be placed between the building and the Primary Street zone lot line. Street Level activation standards shall still apply for portions of the facade behind permanent outdoor patio seating.

Figure 13.1-60

*Not to Scale. Illustrative Only.*



#### 2. Private Open Space

Private Open Space shall comply with the following standards:

- a. Private Open Space used as a build-to alternative in any zone district:
  - i. Shall be open to the sky
  - ii. Shall not be covered by an Off-Street Parking Area or a Completely or Partially Enclosed Structure, but may include Open Structures excluding Exterior Balconies
  - iii. May include tables, chairs, benches, sculptures and similar elements
  - iv. May include the operation of any unenclosed primary, accessory, or temporary uses permitted in the zone district
  - v. Shall be fully visible from a primary street
  - vi. Shall not be permanently enclosed by railings, fences, gates, or walls that do not allow public access during business hours.
- b. Private Open Space used as a build-to alternative in a D-GT, D-CPV-T, D-CPV-R, D-CPV-C, or C-CCN zone district shall contain at least one Minimum Contiguous Area meeting the requirements of Section 13.1.6.1.B.3.b.vi

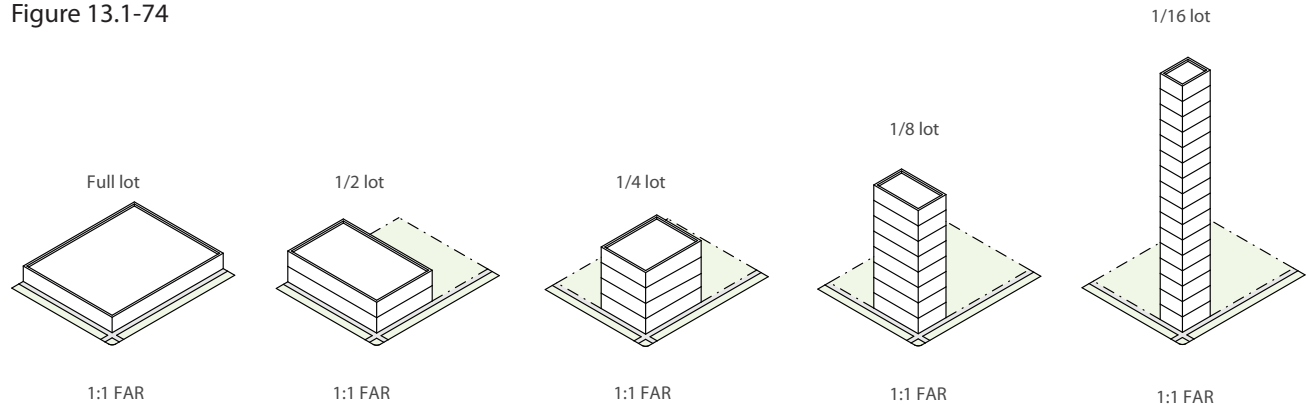
#### 3. Garden Wall

A garden wall shall comply with all of the following standards:

- a. Garden Walls must be between 30 inches and 42 inches in height with the following exceptions:

3. Any floor area used exclusively as parking space for vehicles and/or bicycles. This exclusion shall not apply in the D-GT or D-CPV-C zone districts where any floor area used exclusively as parking space for vehicles and/or bicycles shall be included in the calculation of gross floor area.
4. Any floor area that serves as a pedestrian mall or public access way to shops and stores.
5. For purposes of calculating parking amounts, see rule provided in Article 10, Division 10.4 Parking and Loading.

Figure 13.1-74



## SECTION 13.1.6 DESIGN ELEMENT FORM STANDARDS

The design element form standards of this Code are defined and measured as set forth below.

### 13.1.6.1 Building Configuration

#### A. Front or Side Wall Length / Overall Structure Length or Width

1. The length of the front or side wall of a structure, or the overall structure length, shall be measured parallel to the primary street, side street, or side interior zone lot line and includes the length of a Completely Enclosed structure plus the length of any portion of any attached Partially Enclosed structure(s), as shown in Figure 13.1-75 below.
2. The overall structure width includes the length of a Completely Enclosed structure plus the length of any portion of any attached Partially Enclosed structure(s) and shall be measured parallel to the primary street zone lot line or the side street/side interior zone lot line, whichever zone lot line is shorter.
3. The Zoning Administrator shall determine the zone lot line corresponding with the overall structure width in cases where the length of the primary street zone lot line and side street/side interior zone lot line are equal.

## E. Tower Floor Plate

### 1. Intent

To preserve sky exposure and encourage architectural variety by reducing the horizontal scale and ensuring appropriate spacing of the tower portion(s) of Standard Tower and Point Tower building forms.

### 2. Applicability

Tower Floor Plate standards required by the building form table shall apply to all Structures built under the Standard Tower and Point Tower building forms.

### 3. Rules of Measurement

#### a. Tower Floor Plate Area

Tower Floor Plate Area shall be measured as the area of the Floor Plate of the largest Story located above the specified height in the building form table. Tower Floor Plate Area shall not exceed the maximum area specified in the building form table. See Figure 13.1-85

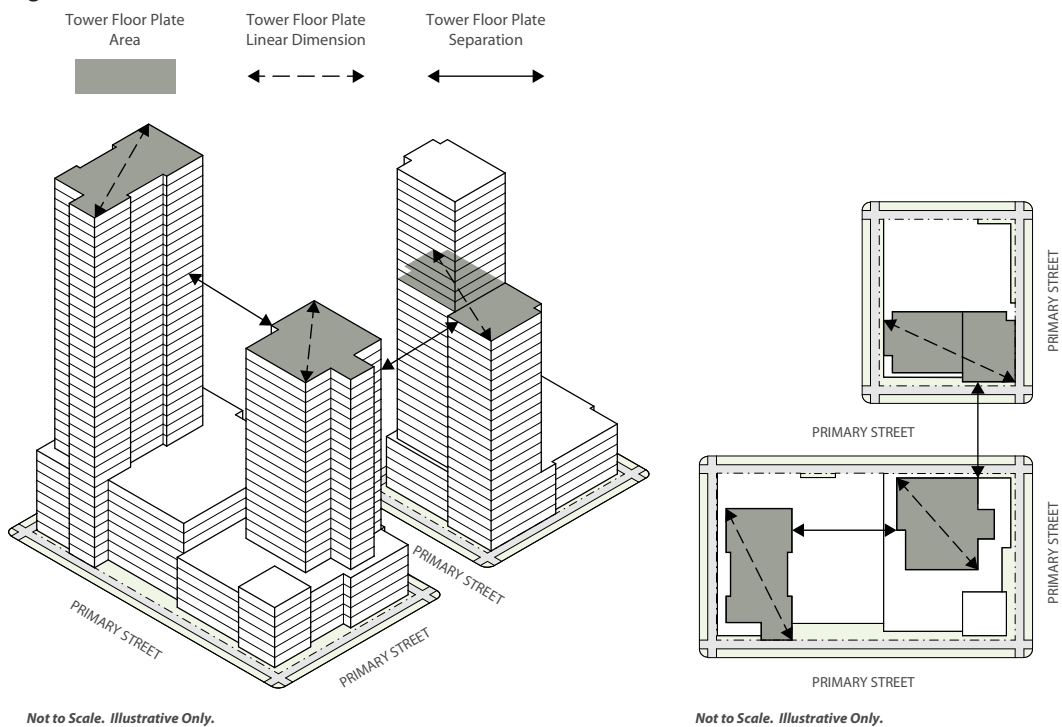
#### b. Tower Floor Plate Linear Dimension

Tower Floor Plate Linear Dimension shall be measured as the longest horizontal linear distance between two points on the exterior faces of exterior walls of any Story located above the specified height in the building form table. Tower Floor Plate Linear Dimension shall not exceed the maximum length specified in the building form table. See Figure 13.1-85.

#### c. Tower Floor Plate Separation

Tower Floor Plate Separation shall be measured as the shortest horizontal linear distance between two or more tower portions of a single Structure or separate Structures developed under the Standard Tower or Point Tower building forms regardless of Zone Lot, including Exterior Balconies, regardless of Zone Lot, located above the specified height in the building form table. Tower Floor Plate Separation shall not be less than the minimum length specified in the building form table. See Figure 13.1-85.

Figure 13.1-85



## B

**Backhaul or Backhaul Network:** The lines that connect a provider’s tower/cell sites to one or more cellular telephone switching offices, and/or long distance providers, or the public switched telephone network.

**Balcony, Exterior:** A projecting cantilevered platform on a building that is not supported on the ground by posts, columns, or similar supporting structural members. Generally, an exterior balcony is intended to be used for outdoor living, gardening, or other actively used outdoor space. An exterior balcony shall not include a landing abutting an entry to habitable space, provided such landing does not exceed the minimum required dimensions for a landing as defined in the Building Code.

**Base Floor Area Ratio:** The maximum floor area ratio, including all Structures on a Zone Lot, established in the Underlying Zone District to which Structures can be constructed without meeting the additional requirements set forth in the Underlying Zone District.

**Base Height:** the maximum Building Height established in the Underlying Zone District, including any Building Height limits associated with proximity to a Protected District, to which Structures can be constructed without meeting the additional requirements set forth in the Underlying Zone District or an Incentive Overlay District.

**Berm:** A mound of earth, or the act of pushing earth into a mound, usually for the purpose of shielding or buffering uses, or to control the direction of water flow.

**Billboard:** See “Outdoor General Advertising Device”.

**Block:** A tract of land bounded by platted streets, public parks, cemeteries, railroad rights-of-way, shore lines, or corporate boundaries of the city.

**Block, Square:** A block with contiguous sides, where the difference in length between the sides of the block is no greater than 50 feet.

**Block, Oblong:** A block with contiguous long and short sides, where the long side of the block is 50 feet or more greater in length than the short side of the block.

**Block Face:** See definition of “Face Block.”

**Breezeway:** See definition of “Tunnel/Breezeway”

**Build-to:** An alignment at the primary street or side street setback line of a zone lot, or within a range of setback from the zone lot line abutting a street, along which a street-facing, primary building wall must be built.

**Building:** Any covered structure intended for the shelter, housing or enclosure of any person, animal or chattel.

**Building, Principal or Primary:** A building in which is conducted the principal or primary use of the zone lot on which it is situated.

**Building Form Standards:** Standards applicable to the development of buildings and structures in this Code which, taken together, regulate building height (Building Height Standards), building siting (Siting Standards), building design elements (Design Element Standards), and the permitted use of buildings (Use Building Form Standards).

G

**GFA:** Gross Floor Area. See definition of “Gross Floor Area” below.

**Gable:** The upper portion of a sidewall that comes to a triangular point at the ridge of a sloping roof.

**Gallery:** See definition of “Arcade.”

**Garage:** A building or part of a building wherein motor vehicles are housed or stored.

**Garage, Private:** A garage that is not operated for gain and in which no business is conducted.

**Glare:** The sensation produced when a source of light in excess of 1650 lumens is directly visible or light that is so bright that it causes annoyance, discomfort, or loss in visual performance.

**Grade, Finished:** The final elevation of the ground surface after development.

**Grade, Original:** The grade of the zone lot before development begins. If there was a structure on the zone lot that was demolished, the grade prior to demolition of the structure. If there is no structure on the property, the natural grade of the property prior to any modification, except that in new developments, original grade shall mean the approved and recorded grade.

**Grading:** The act of excavation or filling or combination thereof or any leveling to a smooth horizontal or sloping surface on a property, but not including normal cultivation associates with a permitted agricultural use or operation.

**Gross Floor Area:** The sum of the gross horizontal areas of the several floors of a Completely Enclosed Structure, including interior balconies and mezzanines, but excluding exterior balconies; all horizontal dimensions of each floor are measured from the exterior faces of the exterior walls of each such floor. In lieu of this definition, “Gross Floor Area” for purposes of calculating required parking and off-street loading amounts is set forth in Section 10.4.4, [Minimum and Maximum Vehicle Parking Required](#).

**Ground Cover:** Low plantings used instead of turf where space does not allow turf, where xeriscaping is desired, or where a more decorative affect is desirable. Ground covers are typically lower than 6 inches in height.

**Guideline:** An indication of policy or preferences; compliance is not mandatory like a standard, but rather compliance is encouraged to further the City’s land use goals and policies. A zoning application may not be denied solely for failure to comply with a guideline.



**Impervious Material:** A surface that has been compacted or covered with a layer of materials that is highly resistant to infiltration by water. Impervious materials include, but are not limited to, surfaces such as compacted sand, lime rock, or clay; asphalt concrete, driveways, retaining walls, stairwells, stairways, walkways, decks and patios at grade level, and other similar structures.

**Incentive Floor Area Ratio:** The maximum floor area ratio, including all Structures on a Zone Lot, established in the Underlying Zone District to which Structures can be constructed by meeting the additional requirements set forth in the Underlying Zone District

**Incentive Height:** Additional Building Height permitted above the Base Height for development meeting the additional requirements set forth in the Underlying Zone District or an Incentive Overlay District.

**Industrial Zone District:** The Industrial A (“I-A”) and the Industrial B (“I-B”) Zone Districts, but not including the Industrial Mixed Use (“I-X” or “M-IMX”) Zone Districts established by this Code.

**Involuntary Demolition or Involuntarily Destruction:** The destruction or demolition of a structure caused by natural forces (e.g., accidental fire; flood; tornado) and not by man-made forces.



A structure that meets this definition of “conforming structure”, but which does not comply with zoning standards that are inapplicable to structures (e.g., site design standards such as landscaping, parking amount, signage), are still “conforming structures” under this Code.

**Structure, Compliant:** A legally established structure that meets one of the following conditions:

1. The legally established structure does not comply with one or more of the following Building Form Standards in this Code:
  - a. Height Standards
    - i. Minimum, feet
    - ii. Maximum, feet and stories
    - iii. 3rd Avenue CCN bulk plane
  - b. Siting Standards
    - i. Building setback standards, including Block Sensitive Primary Street setback standards
    - ii. Required build-to
    - iii. Location of surface parking for vehicles
  - c. Design Element Standards
    - i. Street Level activation standards
    - ii. Upper-story setback standards
    - iii. Overall structure length
    - iv. Pedestrian access, primary structure
    - v. Private open space
    - vi. Mass reduction
    - vii. Limitation on Visible Parking Above the Street Level
    - viii. Street Level height
    - ix. Elevation of the Upper Surface of the Floor of the Street Level
    - x. Upper Story Stepback in the CO-6 Overlay District
    - xi. [Tower floor plate standards](#)
  - d. Use Building Form Standards
2. The legally established structure was conforming under Former Chapter 59 on June 24, 2010, but does not currently comply with Denver Zoning Code “building height standards,” “siting form standards,” or “design element form standards,” as those terms are defined in Article 13.

**Structure, Nonconforming:** A structure or building that was lawful prior to the adoption, revision, or amendment to this Code, but which fails by reason of such adoption, revision, or amendment, to conform to the present requirements for a conforming structure or a compliant structure in the zone district in which such structure or building is located.

*Structure - Group C:*

**Structure, Accessory:** A subordinate structure located on the same zone lot with the primary building, structure, or use, and which is incidental and customary to the primary building, structure, or use. Accessory structures include man-made structures with walls and roofs, along with man-made structures with no walls or no roofs, including, but not limited to detached garages, fences, walls, gazebos, decks and patios.