



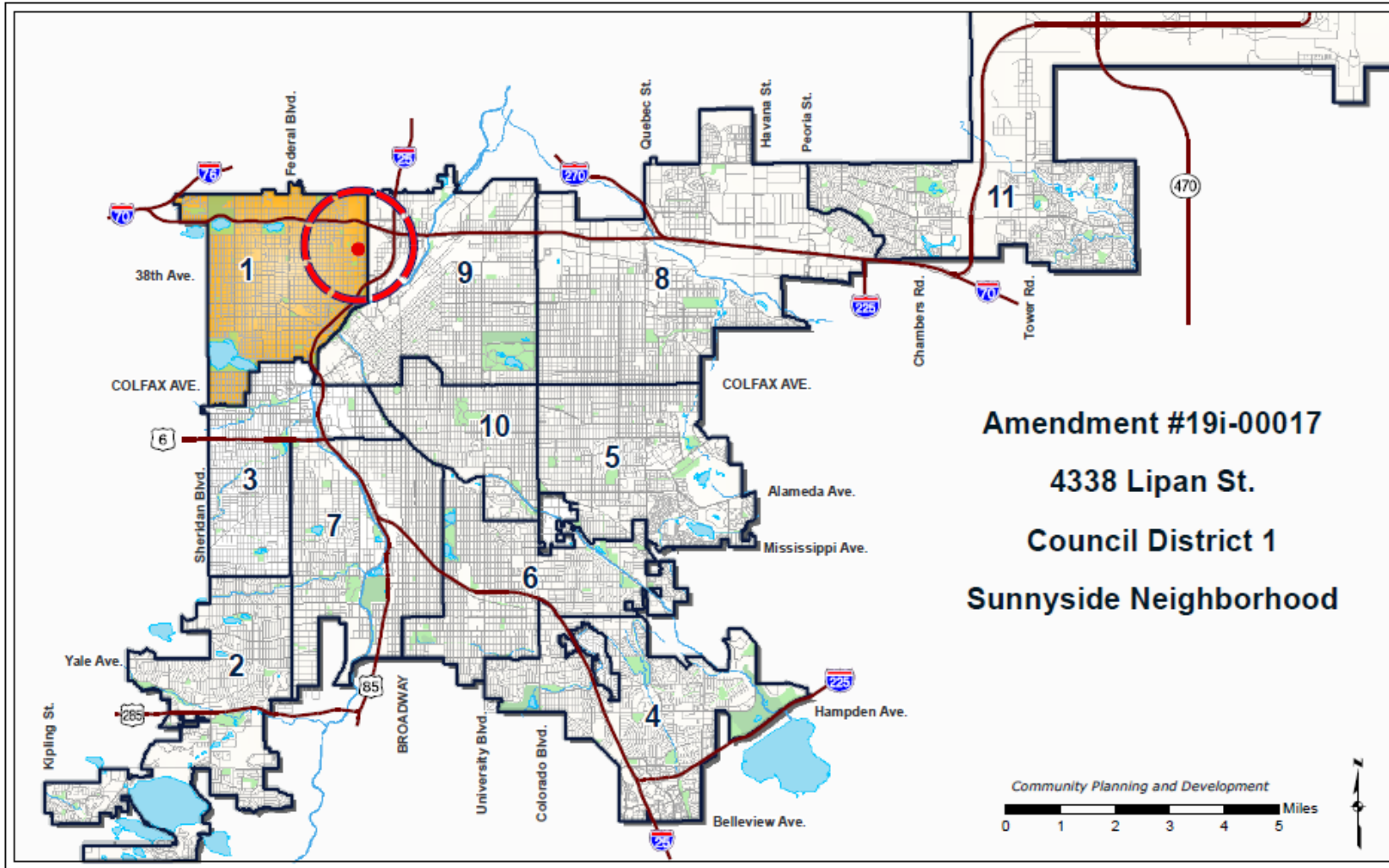
4338 Lipan Street

Request: U-RH-2.5 to U-RX-3

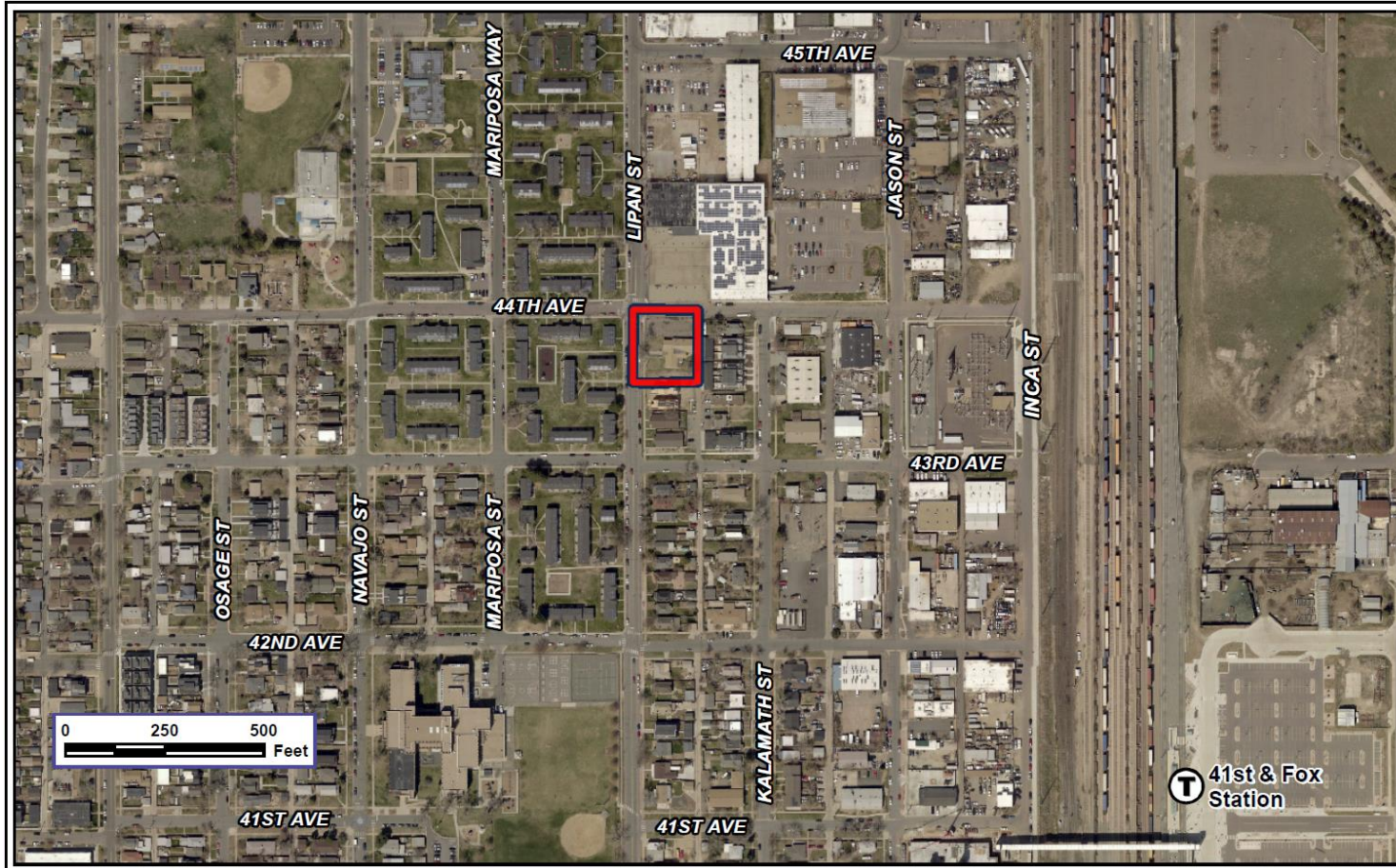
Denver City Council

Date: 2/3/2020

Council District 1, Sunnyside Neighborhood

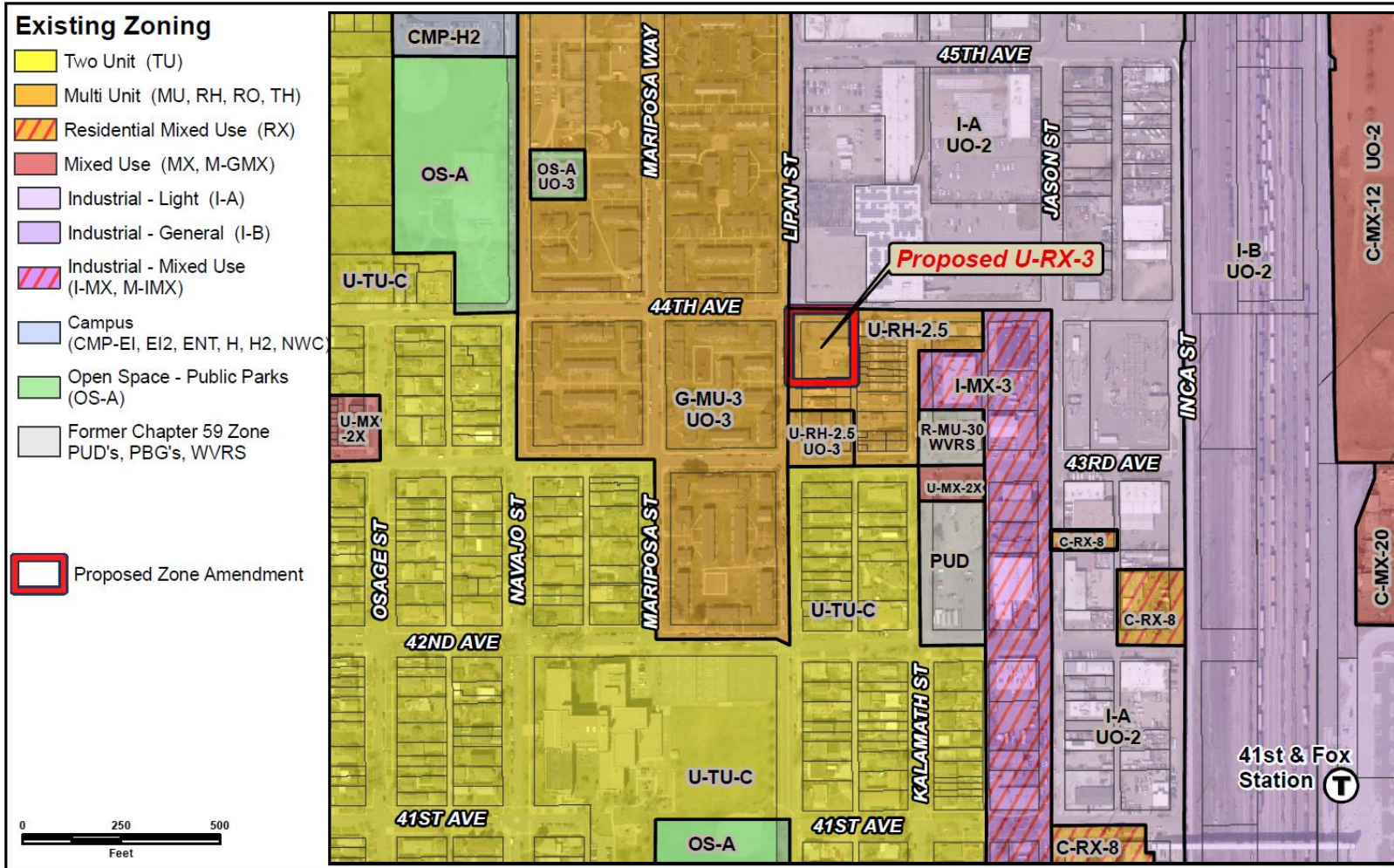


Request: U-RX-3



- **Location:**
 - Approx. 9,322 sq. ft.
 - Church
- **Proposal:**
 - Rezoning to U-RX-3 to allow for neighborhood-serving commercial uses

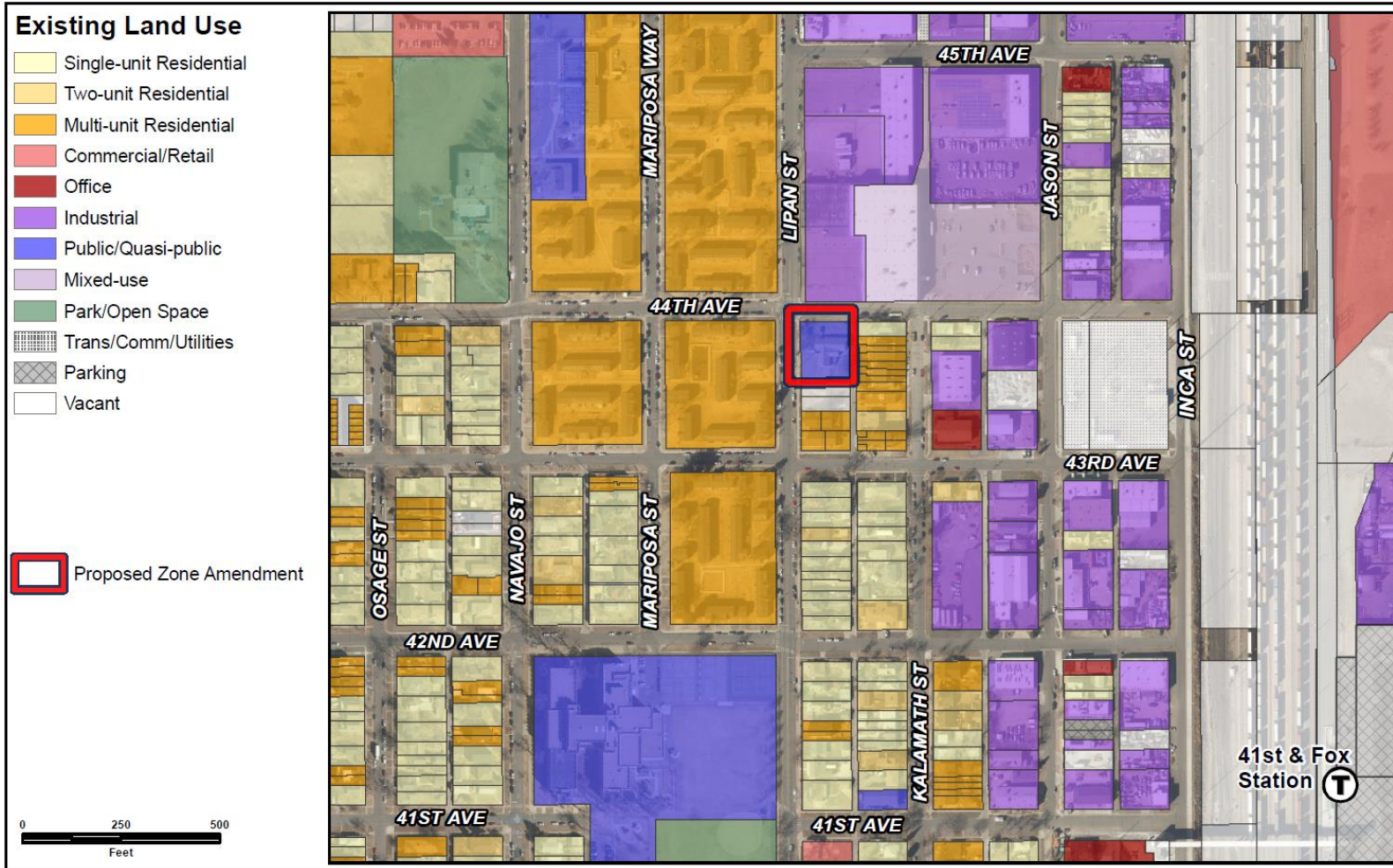
Existing Zoning



Current zoning:
U-RH-2.5

Adjacent zoning:
G-MU-3, UO-3; I-A, UO-2; U-RH-2.5

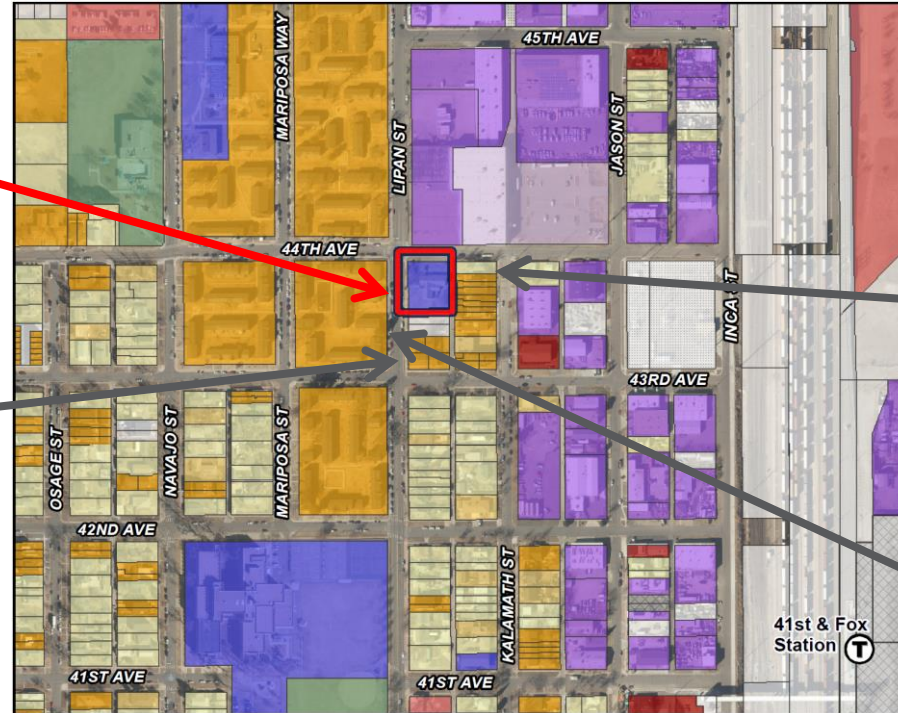
Existing Land Use



Current land use:
Public/Quasi-public

Adjacent land uses:
Multi-unit residential,
single-unit residential,
industrial, vacant

Existing Context – Building Form/Scale



Requested Zone District

Design Standards	U-RH-2.5 (Existing)	U-RX-3 (Proposed)
Primary Building Forms Allowed	Urban House, Duplex, Tandem House, Row House	Town House, Shopfront
Height in stories/Height in feet (max)	3/35'	3/45'
Primary Street Build-To Percentages (min)	N/A	70%
Primary Build-To Ranges	N/A	0' to 15'**
Primary Setbacks (min)	20'	0' to 10'**
Minimum Zone Lot Size/Width	50'**	N/A

**Standard varies between building forms

Process

- Informational Notice: 6/20/2019
- Revised application submitted: 10/2/2019
- Planning Board Notice: 11/19/2019
- Planning Board Public Hearing: 12/4/2019
- LUTI Committee: 12/17/2019
- City Council Public Hearing: 2/3/2020
- Public Comment
 - As of present, one comment has been received

Review Criteria

Denver Zoning Code Review Criteria

1. Consistency with Adopted Plans
2. Uniformity of District Regulations
3. Further Public Health, Safety and Welfare
4. Justifying Circumstances
5. Consistency with Neighborhood Context, Zone District Purpose and Intent

Review Criteria

Denver Zoning Code Review Criteria

1. Consistency with Adopted Plans

- *Comprehensive Plan 2040*
- *Blueprint Denver*
- *41st & Fox Station Area Plan*
- *Sunnyside Neighborhood Plan*

2. Uniformity of District Regulations

3. Further Public Health, Safety and Welfare

4. Justifying Circumstances

5. Consistency with Neighborhood Context, Zone District Purpose and Intent

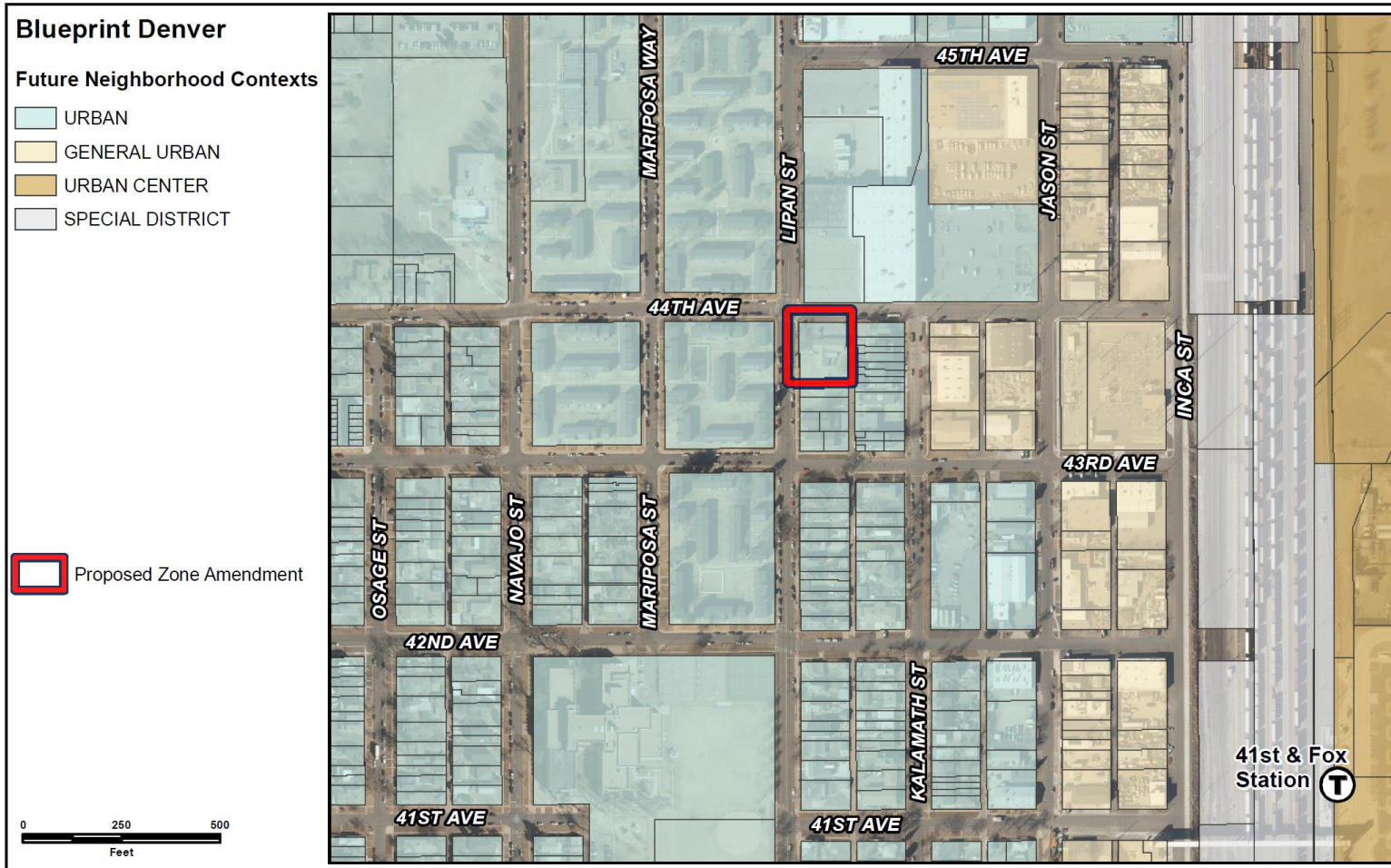
Review Criteria: Consistency with Adopted Plans

Comprehensive Plan 2040

- Equitable, Accessible and Inclusive Goal 1 – *Ensure all Denver residents have safe, convenient and affordable access to basic services and a variety of amenities (p. 28).*
- Equitable, Affordable and Inclusive Goal 2 Strategy A - *Create a greater mix of housing options in every neighborhood for all individuals and families (p. 28).*
- Strong and Authentic Neighborhoods Goal 1, Strategy D – *Encourage quality infill development that is consistent with the surrounding neighborhoods and offers opportunities for increased amenities (p. 34).*
- Strong and Authentic Neighborhoods Goal 1, Strategy A – *Build a network of well connected, vibrant, mixed-use centers and corridors (p. 34).* Economically Diverse and Vibrant Goal 3, Strategy A – *Promote small, locally-owned businesses and restaurants that reflect the unique character of Denver (p. 46).*
- Environmentally Resilient Goal 8, Strategy A- *Promote infill development where infrastructure and services are already in place (p. 54).*
- Environmentally Resilient Goal 8, Strategy B- *Encourage mixed-use communities where residents can live, work and play in their own neighborhoods (p. 54).*

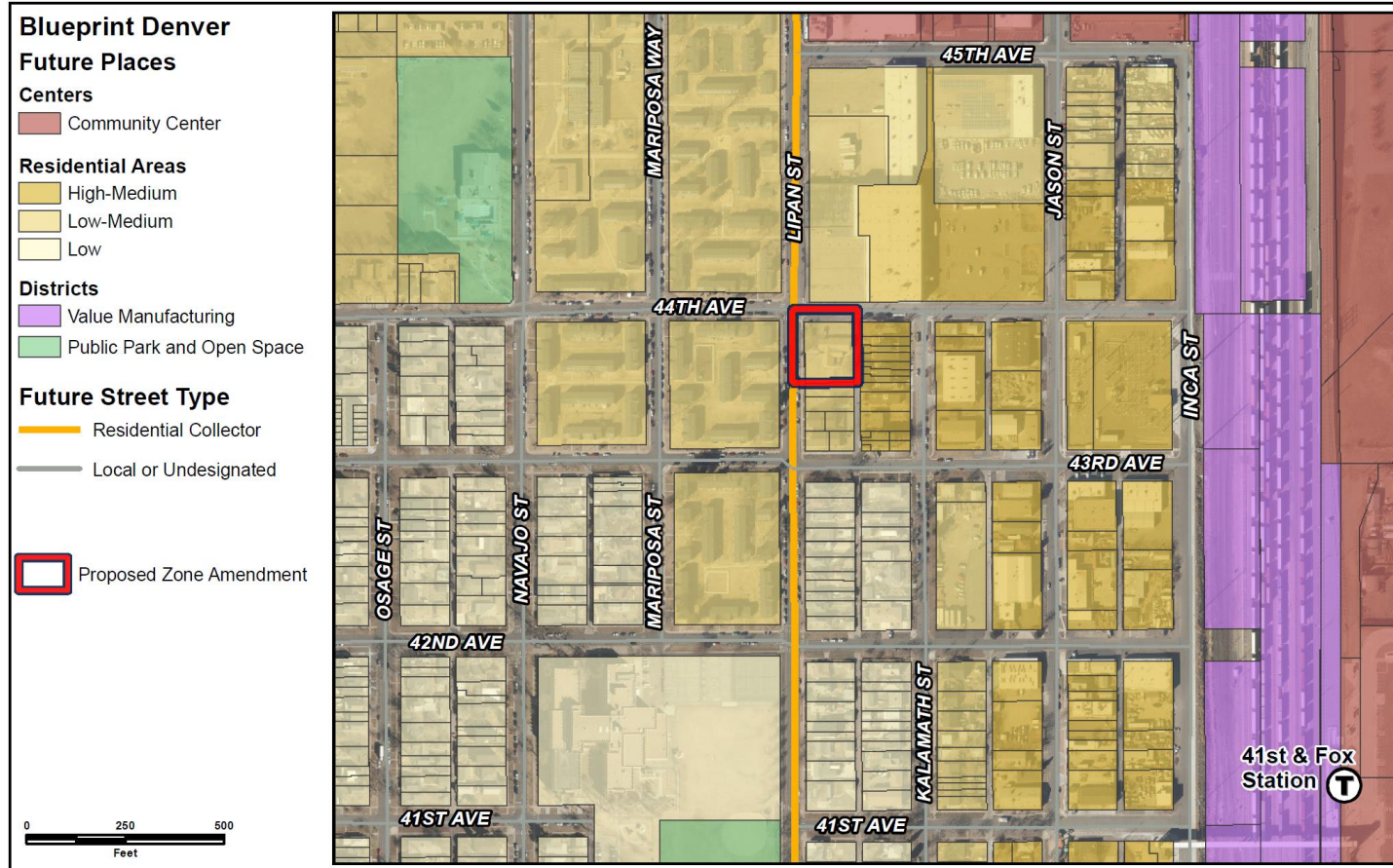


Consistency with Adopted Plans: Blueprint Denver



- **Urban Neighborhood Context**
 - Contains small multi-unit residential and low-intensity mixed-use buildings
 - Intended to promote safe, active and pedestrian-scaled areas with building forms that define the public street edge

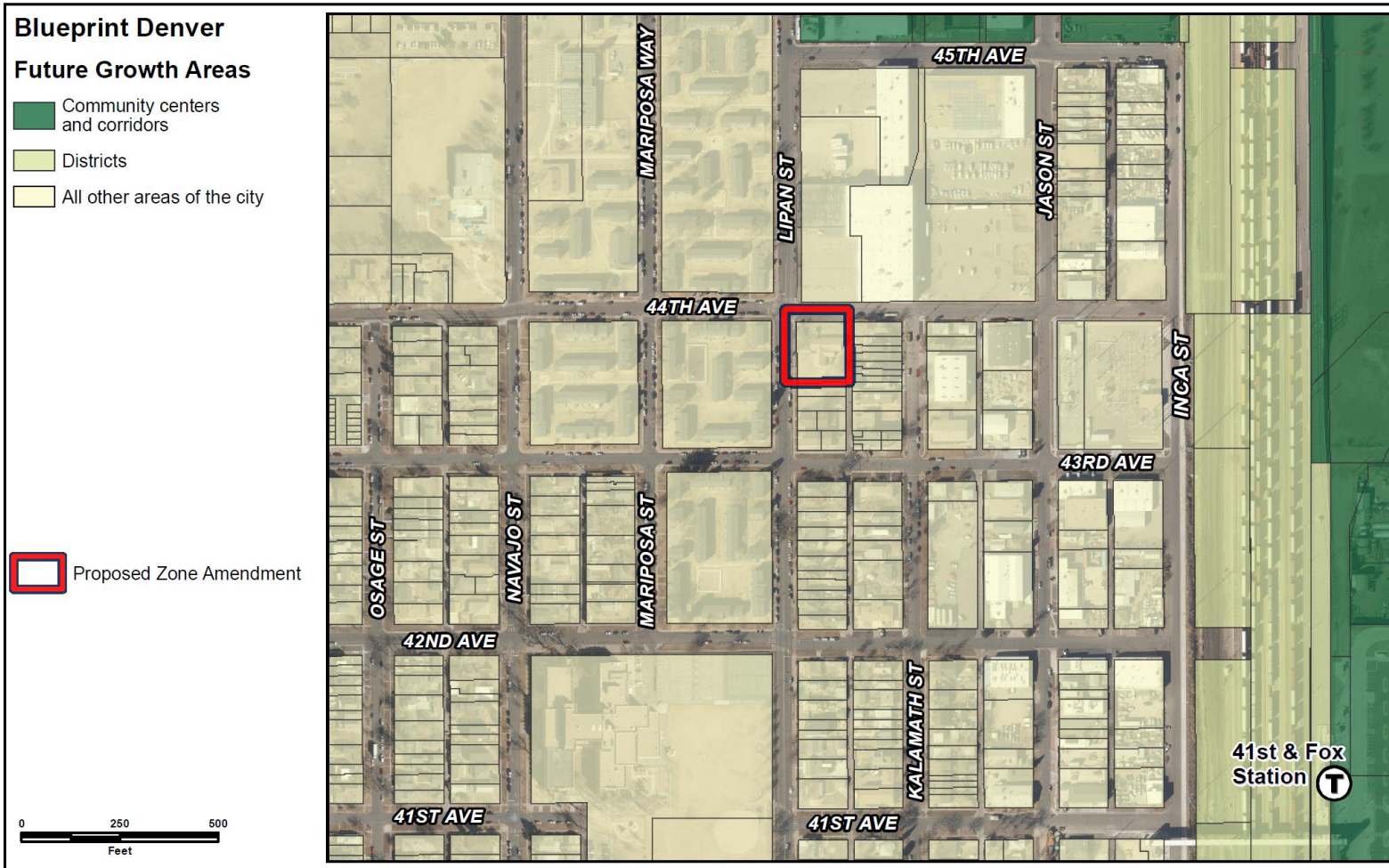
Consistency with Adopted Plans: Blueprint Denver



- **Low-Medium Residential Area**
 - Mix of low to mid-scale residential options
 - Limited mixed-use along some arterial and collector streets
- **Street types**
 - Lipan St: Residential Collector
 - W 44th Ave: Local or Undesignated

Reminder: Evaluating whether the proposed zone district is consistent with the Future Street Classification, but not to assess the traffic impacts of a specific development proposal.

Consistency with Adopted Plans: Blueprint Denver












Growth Area Strategy: All other areas of the city

- 20% of new housing
- 10% of new employment

Most growth is guided to regional centers, community centers and corridors, select districts and high and medium-high intensity residential areas. Other areas of the city are still expected to see some growth, however more limited.

Consistency with Adopted Plans: 41st & Fox Station Area Plan (2009)

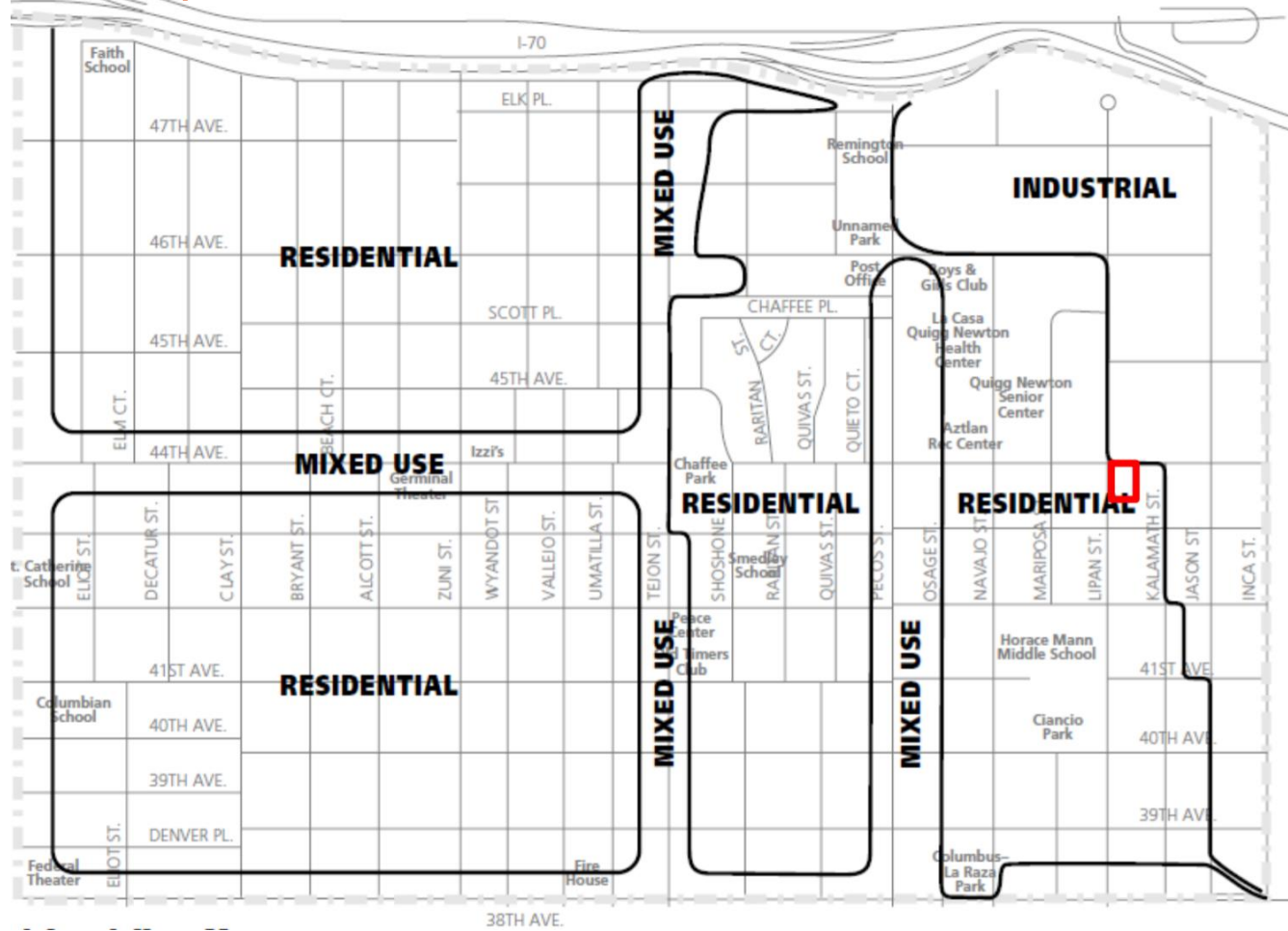
- Pedestrian Shopping District (2-8 stories)
- Pedestrian Shopping District (2-5 stories)
- Mixed-Use Office/Residential (3-20 stories)
- Urban Residential (2-12 stories)
- Urban Residential (2-8 stories)
- Urban Residential (1-3 stories)
- Single Family / Single Family Duplex
- Proposed Open Space/ Parks/ Plaza

-  Funded New Pedestrian/Bike Bridge over 38th Ave.
-  Proposed Ped. Bridge /Potential Future Vehicular Access
-  Transit Platform and Pedestrian Bridge
-  Future RTD Structured Parking
-  FasTracks Gold Line
-  Existing Park
-  38th Avenue Main Street
-  Historically Significant Buildings
-  Navajo District



- Plan sets vision for the creation of a diverse, transit supportive and environmentally sustainable urban center
- Urban residential 1-3 story areas are intended to create improved edge for adjacent residences and the Quigg Newton Homes
- Single-unit, duplexes, townhomes, small apartments and condominium buildings are appropriate

Consistency with Adopted Plans: Sunnyside Neighborhood Plan (1992)



- Plan identifies subject property as residential and states the need for buffers to separate industrial and residential areas
- At the time the plan was written, the subject property was zoned B-1 which allowed for limited office uses
- U-RX-3 is consistent with this plan as it allows for a multiple residential building forms and introduces the opportunity for limited neighborhood-serving commercial uses

Review Criteria

Denver Zoning Code Review Criteria

1. Consistency with Adopted Plans
2. Uniformity of District Regulations
3. Further Public Health, Safety and Welfare
 - Implementation of adopted plans
 - Facilitate increased housing density near transit and foster the creation of a walkable, urban area within walking distance to a rail transit station
4. Justifying Circumstances
5. Consistency with Neighborhood Context, Zone District Purpose and Intent

Review Criteria

Denver Zoning Code Review Criteria

1. Consistency with Adopted Plans
2. Uniformity of District Regulations
3. Further Public Health, Safety and Welfare
4. Justifying Circumstances
 - Changed or changing conditions in a particular area
5. Consistency with Neighborhood Context, Zone District Purpose and Intent

Review Criteria

Denver Zoning Code Review Criteria

1. Consistency with Adopted Plans
2. Uniformity of District Regulations
3. Further Public Health, Safety and Welfare
4. Justifying Circumstances
5. Consistency with Neighborhood Context, Zone District Purpose and Intent

CPD Recommendation

CPD recommends approval based on finding all review criteria have been met

1. Consistency with Adopted Plans
2. Uniformity of District Regulations
3. Further Public Health, Safety and Welfare
4. Justifying Circumstances
5. Consistency with Neighborhood Context, Zone District Purpose and Intent