

# SUBMITTAL CHECKLIST

FOR ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT-OF-WAY

**Any Submittal not meeting all minimum checklist criteria herein will be rejected as incomplete.**

## Encroachments shall be in accordance with:

- [Rules and Regulations Governing Encroachments & Encumbrances in the Public Right-of-Way](#)
- [Transportation Standards and Details for the Engineering Division](#)

## Application

- Signed by adjacent property owner** as owner of Encroachment or authorized Special District representative

## Evidence of Adjacent Property Ownership & Parcel Land Description

*Required for all Encroachment Permit Applications*

- Current Title Work/Warranty Deed confirming ownership and parcel land description for adjacent property
- Parcel Land Description in Word format

RE: Survey

## Land Description sealed and signed by a Professional Land Surveyor licensed in Colorado

*Required for Tier II Underground Encroachments and all Tier III Encroachments (can be submitted after 1<sup>st</sup> review)*

- Encroachment Area Land Description and Exhibit(s) in PDF format stamped and signed by PLS
- Encroachment Area Land Description in Word format

## Site Plans sealed and signed by a Professional Engineer licensed in Colorado

### GENERAL

- Vicinity map
- North arrows and numerical and bar scales (Scale not to exceed 1" = 40')
- Legend
- PE stamp area
- Plan set date and revision number (if applicable)

### PLAN VIEW

*Show, label and dimension existing and proposed final site conditions, including but not limited to the following (aerial imagery is allowed; however, it does not replace requirement for accurately scaled engineering drawings):*

- Property lines, right-of-way width
- Edge of pavement, curb and gutter, sidewalks, nearby driveways and alleys
- Street lights, pedestrian lights, signal poles, utility poles
- Surface utility features (e.g. cabinets, handholes, manholes, inlets, vaults, valves, fire hydrants)
- N/A  Regulatory Floodplain boundaries (FEMA)
- Underground and overhead utilities (e.g. water, sewer, power, communications, gas, irrigation)
- Trees and landscaping in the ROW
- Street names and adjacent property address(es)
- N/A  Regional Transportation District (RTD) bus stop with any amenities
- Location and size of Encroachment – Show and dimension limits of both above and below ground elements

City and County of Denver – Department of Transportation & Infrastructure

Right-of-Way Services | Engineering & Regulatory  
201 West Colfax Ave. Dept. 507 | Denver, CO 80202  
[www.denvergov.org/doti](http://www.denvergov.org/doti)  
Phone: 720-865-3003

- Construction Materials
- N/A  Projection from building
- Distance from Encroachment to the nearest flowline
- N/A  Distance from Encroachment to any other Streetscape feature/obstruction in the vicinity
- Distance from property line to back of curb
- N/A  Electrical service alignment, electrical connection location, and voltage/amps
- No proposed Encroachments located in the intersection clear zone per Transportation Std. Dwg. 7.9

**ELEVATION OR CROSS-SECTION VIEWS**

- Location and size of Encroachment – Show and dimension limits of both above and below ground elements
- Existing and final grade
- Existing utilities and their size and depth
- Vertical height/clearance of the Encroachment from finish grade

**DETAIL SHEET(S)**

- Manufacturer’s and/or construction detail(s)
- N/A  Referenced City detail(s) by drawing number on the appropriate plan and elevation view(s)
- Office of the Forester’s (OCF) tree protection detail and notes
- N/A  Special, non-standard, or modified City details

**STRUCTURAL PLANS**  Not Applicable

- Structural plans
- Manufacturers certification

**ADDITIONAL REQUIRED MATERIAL(S)**  Not Applicable

- Approval from applicable reviewing authorities (e.g. design review district, floodplain, Arts & Venues)
- For properties sharing the Encroachment, appropriate legal documentation for review by the City

**COMMENT RESOLUTION SHEET(S) IF APPLICABLE**  Not Applicable for 1<sup>st</sup> Submittal

- Reviewer’s and Agency Name
- Review comments (reviewer comments must be verbatim)
- Formal written response to each comment

**Fees:**

**Fees must be paid immediately after ER provides a project number and invoice for your application.**

Fees (Non-Refundable):	Tier I Encroachment:	Tier II Encroachment:	Tier III Encroachment:
Initial Processing	No Fee	\$1,500.00	\$1,500.00
Land Description Review	N/A	\$300.00	\$300.00
Resolution Review	N/A	N/A	\$300.00
Annual Permit	No Fee	\$200.00	\$200.00

**Attestation:**

**I hereby attest that the above information is incorporated into the Encroachment Application and plan submittal:**

SIGNATURE: \_\_\_\_\_ DATE: 09.08.2022

PRINT NAME: Jon C. Gambrill EMAIL: Jon\_gambrill@gensler.com

COMPANY: N/A Homeowner



# APPLICATION

## FOR ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT-OF-WAY

An Encroachment Permit is required prior to placing privately-owned improvements (“Encroachment” or “Encumbrance”) in the public Right-of-Way (ROW). Only Encroachment Permit Applications in accordance with [Rules and Regulations](#) and [Permit Entrance Requirements](#) for Encroachments in the Public Right-of-Way will be considered by the Department of Transportation & Infrastructure (DOTI). **It is the City’s sole discretion whether to grant an Encroachment Permit based on any facts the City feels are relevant. Approval is not guaranteed.**

To apply, complete this application and submit together with required application materials in accordance with the [Permit Entrance Requirements](#) to [DOTI.ER@denvergov.org](mailto:DOTI.ER@denvergov.org). Please type or print clearly. If necessary, attach additional sheets to fully answer any of the following sections. Incomplete applications packages will not be accepted. Questions on this application or the process can be sent to [DOTI.ER@denvergov.org](mailto:DOTI.ER@denvergov.org).

### ENCROACHMENT OWNER/ADJACENT PROPERTY OWNER:

**The adjacent property owner will be the Encroachment Owner and Permittee and is the responsible party for the Encroachment in accordance with the Rules and Regulations, including all fees and annual billing.**

Company Name: N/A

Contact Name: Jon Gambrill

Property Address: 2087 N. Glencoe Street; Denver, CO 80207

Billing Address: 2087 N. Glencoe Street; Denver, CO 80207

Telephone Number: 303.915.4297 Email Address: jon\_gambrill@gensler.com

### OWNER REPRESENTATIVE: Check if the same as Adjacent Property Owner

Company Name: \_\_\_\_\_

Contact Name: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone Number: \_\_\_\_\_ Email Address: \_\_\_\_\_

### ENCROACHMENT INFORMATION:

Project Name: Gambrill Residence Yard Retaining Wall and Fence

Adjacent Property Address: 2087 N. Glencoe Street; Denver, CO 80207

Coordinates (Lat/Long): N90°00'00', 330.29' (M); S01°28'11"E,557.59' (C) RE: attached survey

Encroachment Area, in SF: 396.86 SF for the Tier 1 Retaining Wall; 110.39 SF for the Tier III Rear Yard Fence

City and County of Denver – Department of Transportation & Infrastructure  
 Right-of-Way Services | Engineering & Regulatory  
 201 West Colfax Ave. Dept. 507 | Denver, CO 80202  
[www.denvergov.org/doti](http://www.denvergov.org/doti)  
 Phone: 720-865-3003

Is this project associated with a LAND DEVELOPMENT REVIEW?

Yes  No  If 'Yes', provide Project Master, Site Plan and/or Concept Development Project Numbers:

**Location Description:** (e.g. Located on the South side of 23rd Ave, twenty (20) feet from face of curb, and ten (10) feet west of pavement on Private Drive.)

South side of 22nd, 18'-6 1/2" from the west property line to the eastern property line for a distance of 3'-6" between the property line and 6" back from the edge of the sidewalk; and West side of N. Glencoe Street the entire width of the property for 1'-7 7/8" from the property line to 6" back from the edge of sidewalk.

**Description of Encroachment:**

*Describe the proposed encroachment, including the type, dimensions, and quantity of objects. If the space below is not enough space to describe the encroachment, attach the description as a sheet. Additionally, provide required application materials in accordance with the Permit Entrance Requirements. It is not acceptable to use "please see attached plans" or other vague descriptors.*

The existing residential property has a steep sloping grade from the edge of the sidewalk up to the "yard" level. The slope is both on property and within the distance between the sidewalk and the property line. Requesting approval to add a brick clad retaining wall on the North and East sides of the property to eliminate the grade. Additionally we are requesting approval to locate a fence behind the retaining wall along the side yard to provide privacy in the back yard.

**Justification for Private Improvements in the Public ROW:**

*Private improvements should be located on private property. Only in cases where there are physical constraints that preclude the placement of private improvements on private property that an encroachment may be considered within the right-of-way. Make your case as to why this is a good use of the public right-of-way. It is not acceptable to use "you want/need it" or other vague descriptors.*

Our property is 37'-6" wide which is 12'-6" narrower than the typical lot within the City and County of Denver and narrower than most properties in Denver. To dress up the sloping grass that is hard to keep alive, as well as stay in line with many other homes within the Park Hill neighborhood that have similar fence and/or retaining wall installations right up against the city sidewalk. Additionally, the retaining wall will have a stone cap that could become a seat wall for those walking in the neighborhood. Lastly, this will improve the safety of the pedestrian use of the sidewalk in the winter as it will significantly limit the amount of snowmelt that re-freezes on the sidewalk causing slippery conditions. We are requesting to push the fence out to behind the face of the retaining wall to provide more room to a single story addition due to the narrow lot. We would like to go out instead of up for our home expansion to keep the original massing of our home as well as prevent a larger mass (2-stories) from being adjacent to the city sidewalk. In conclusion, the retaining wall was described by the zoning code and DOTI staff to be a Tier I encroachment and could be approved administratively. The rear yard fence is considered the Tier III request and for simplicity it was recommended to include the retaining wall into the Tier III process.

**FOR ER INTERNAL USE ONLY:**

Tier Determination: \_\_\_\_\_ Project Number: \_\_\_\_\_ Initials: \_\_\_\_\_



## ATTESTATION:

**By submitting this permit application and signing below, I understand and agree to the following:**

1. That I am the property owner adjacent to the Encroachment Area, or the authorized representative of a Special District, that is responsible for the placement, maintenance, repair, replacement, removal, site restoration, ownership, or is otherwise responsible for the Encroachment in accordance with the Rules & Regulations for Encroachments and Encumbrances in the Public Right-of-Way.
2. That it is the City's sole discretion to classify the Tier of an Encroachment and whether to grant an Encroachment Permit based on any facts the City feels are relevant. The issuance of an Encroachment Permit confers no rights to the Right-of-Way, the Encroachment Permit is revocable and DOTI can order the removal of the Encroachment and restoration of the Encroachment Area for any reason the City feels relevant.
3. Permittee agrees to defend, indemnify, reimburse and hold harmless the City, its appointed and elected officials, agents and employees for, from and against all liabilities, claims, judgments, suits or demands for damages to persons or property arising out of, resulting from, or relating to an Encroachment Permit and the Encroachment ("Claims"). This indemnity shall be interpreted in the broadest possible manner to indemnify City for any acts or omissions of Permittee or its subcontractors either passive or active, irrespective of fault, including City's negligence whether active or passive.
4. Permittee's duty to defend and indemnify City shall arise at the time written notice of the Claim is first provided to City regardless of whether claimant has filed suit on the Claim. Permittee's duty to defend and indemnify City shall arise even if City is the only party sued by claimant and/or claimant alleges that City's negligence or willful misconduct was the sole cause of claimant's damages.
5. Permittee will defend any and all Claims which may be brought or threatened against City and will pay on behalf of City any expenses incurred by reason of such Claims including, but not limited to, court costs and attorney fees incurred in defending and investigating such Claims or seeking to enforce this indemnity obligation. Such payments on behalf of City shall be in addition to any other legal remedies available to City and shall not be considered City's exclusive remedy.
6. Insurance coverage requirements specified in an Encroachment Permit shall in no way lessen or limit the liability of Permittee under the terms of this indemnification obligation. Permittee shall obtain, at its own expense, any additional insurance that it deems necessary for the City's protection.
7. This defense and indemnification obligation shall survive the expiration or termination of any issued Encroachment Permit.
8. Permittee is fully responsible for all costs to install, maintain, repair, replace, remove, and restore the Encroachment Area, including annual City Encroachment Permit Fees. A lien will be placed on the Permittee's property for failure to remove a revoked or abandoned Encroachment for cost incurred by CCD to remove the Encroachment and restore the Encroachment Area on behalf of the Permittee.
9. Indemnity and Insurance for Tier I and Tier II Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier I or Tier II Encroachment, the Owner of such Tier I or Tier II Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier I or Tier II Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$2,000,000 policy aggregate. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.
10. Indemnity and Insurance for Tier III Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier III Encroachment, the Owner of such Tier III Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier III Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$5,000,000 policy aggregate. A combination of primary and excess coverage may be used to meet the aggregate limit. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.

**ADJACENT PROPERTY**  
**OWNER SIGNATURE:**

**Jon C. Gambrell**

Digitally signed by Jon C. Gambrell  
DN: C=US,  
E=jon.gambrell@denver.com,  
O=Genitor, OU=Managing Director,  
CN=Jon C. Gambrell  
Date: 2022.09.08 15:19:45 -0500

**DATE:** 09.08.2022

**PRINT NAME:**

Jon C. Gambrell Living Trust Dated June 19, 2020

**TITLE:** Trustee

**COMPANY:**

N/A

*Mary A. Gambrell*

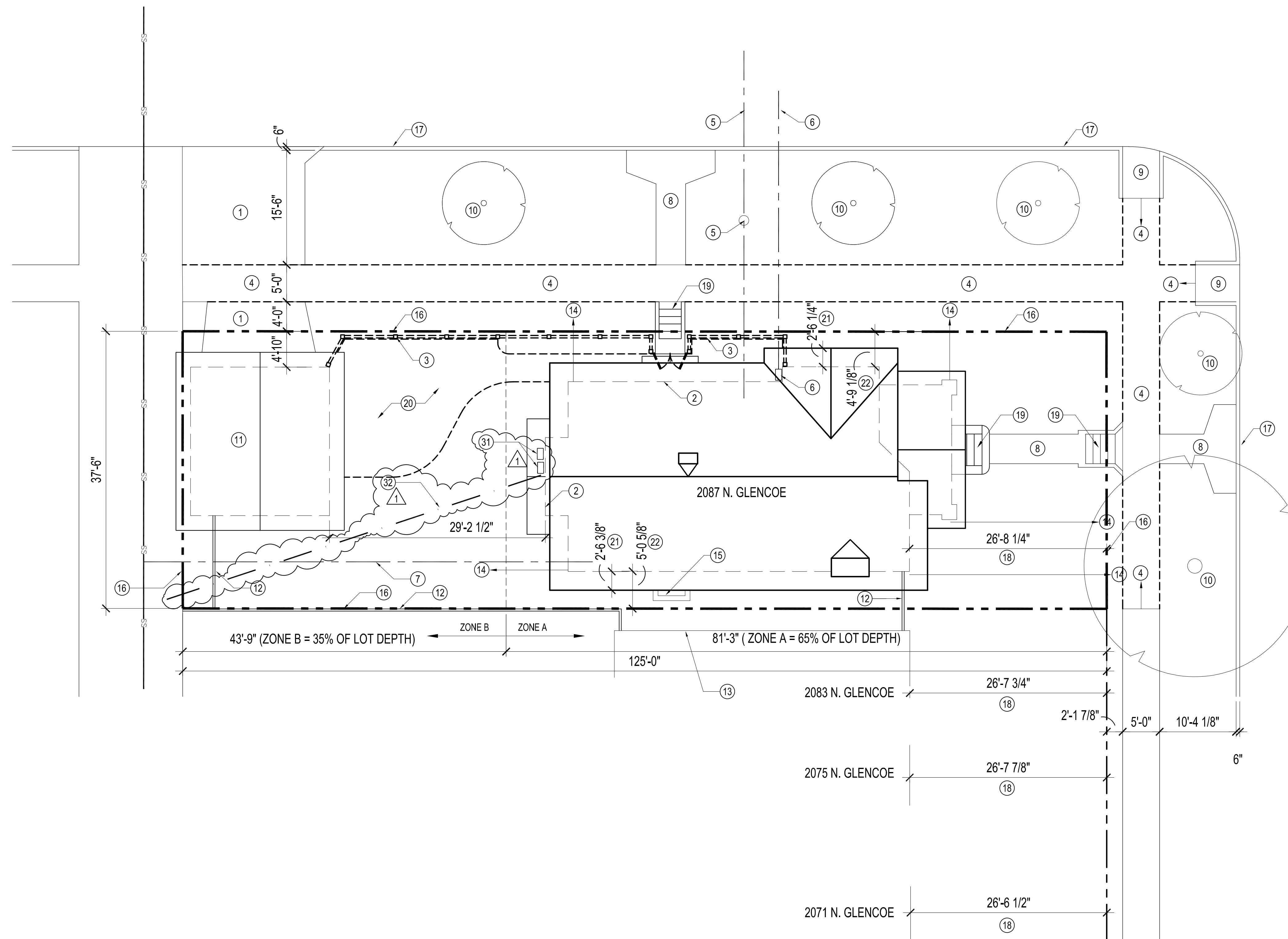
Mary A. Gambrell Living Trust Dated June 19, 2020

04.12.23

Trustee

# GAMBRILL RESIDENCE

2087 N. Glencoe Street  
Denver, CO 80207



## EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"

### KEY NOTES

- |   |  |  |
|---|--|--|
| <ul style="list-style-type: none"> <li>① EXISTING CONCRETE DRIVEWAY TO REMAIN</li> <li>② DASHED LINE OF GROUND FLOOR HOUSE FOOTPRINT</li> <li>③ EXISTING FENCE TO BE REMOVED</li> <li>④ EXISTING CITY SIDEWALK TO BE REMOVED AND REPLACED</li> <li>⑤ EXISTING 1" WATER LINE / WATER METER LOCATION TO REMAIN</li> <li>⑥ EXISTING GAS METER / LINE LOCATION TO REMAIN</li> <li>⑦ EXISTING SEWER LINE TO REMAIN</li> <li>⑧ EXISTING CONCRETE WALK TO REMAIN</li> <li>⑨ EXISTING CITY ADA RAMP TO REMAIN</li> <li>⑩ EXISTING TREES TO REMAIN. PROVIDE PROTECTION OF TREES DURING CONSTRUCTION IN LINE WITH CITY AND COUNTY OF DENVER REQUIREMENTS</li> <li>⑪ EXISTING TWO CAR BRICK GARAGE TO REMAIN</li> <li>⑫ EXISTING WOOD FENCE TO REMAIN</li> </ul> | <ul style="list-style-type: none"> <li>⑬ SOLID LINE OF STRUCTURE ON NEIGHBORING PROPERTY</li> <li>⑭ POINT OF DISCHARGE FOR EXISTING DOWNSPOUT</li> <li>⑮ EXISTING WINDOW WELL</li> <li>⑯ DASHED LINE OF PROPERTY LINE</li> <li>⑰ EXISTING 6" CONCRETE CURB AT STREET</li> <li>⑱ EXISTING FRONT YARD SETBACK. NOTE: 2087 N. GLENCOE AND THE THREE HOMES TO THE SOUTH ARE EXISTING. FRONT YARD DIMENSIONS ARE BEING SHOWN FOR REFERENCE ONLY. NO CHANGE TO THE EXISTING HOME FRONTAGE IS BEING PROPOSED</li> <li>⑲ EXISTING CONCRETE STEPS TO REMAIN</li> <li>⑳ EXISTING CONCRETE PATIO AND WALK TO BE REMOVED</li> <li>㉑ DIMENSION OF ROOF OVERHANG FROM FACE OF BRICK BELOW. FACE OF BRICK ALIGNS WITH FACE OF FOUNDATION WALL.</li> </ul> | <ul style="list-style-type: none"> <li>㉒ DIMENSION FROM PROPERTY LINE TO FACE OF HOUSE</li> <li>㉓ EXISTING ELECTRIC METER AND MAIN PANEL</li> <li>㉔ LINE OF EXISTING OVERHEAD ELECTRICAL SERVICE FROM ALLEY</li> </ul> |
|---|--|--|

### SHEET NOTES

1. ALL UTILITY LINE LOCATIONS AND SIZES ARE APPROXIMATE. LOCATIONS, SIZES, ROUTING, AND DETAILS TO BE CONFIRMED WITH THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILT STRUCTURES. REFER TO THE SOILS REPORT FOR MORE INFORMATION

Issue	Date & Issue Description	By	Check
01	09.08.22	JCG	JCG
ISSUE FOR TIER III FENCE ENCROACHMENT			
02	10.30.22	JCG	JCG
TIER III FENCE ENCROACHMENT COMMENT RESPONSE			

Seal/Signature \_\_\_\_\_

Project Name  
2087\_N\_GLENCOE

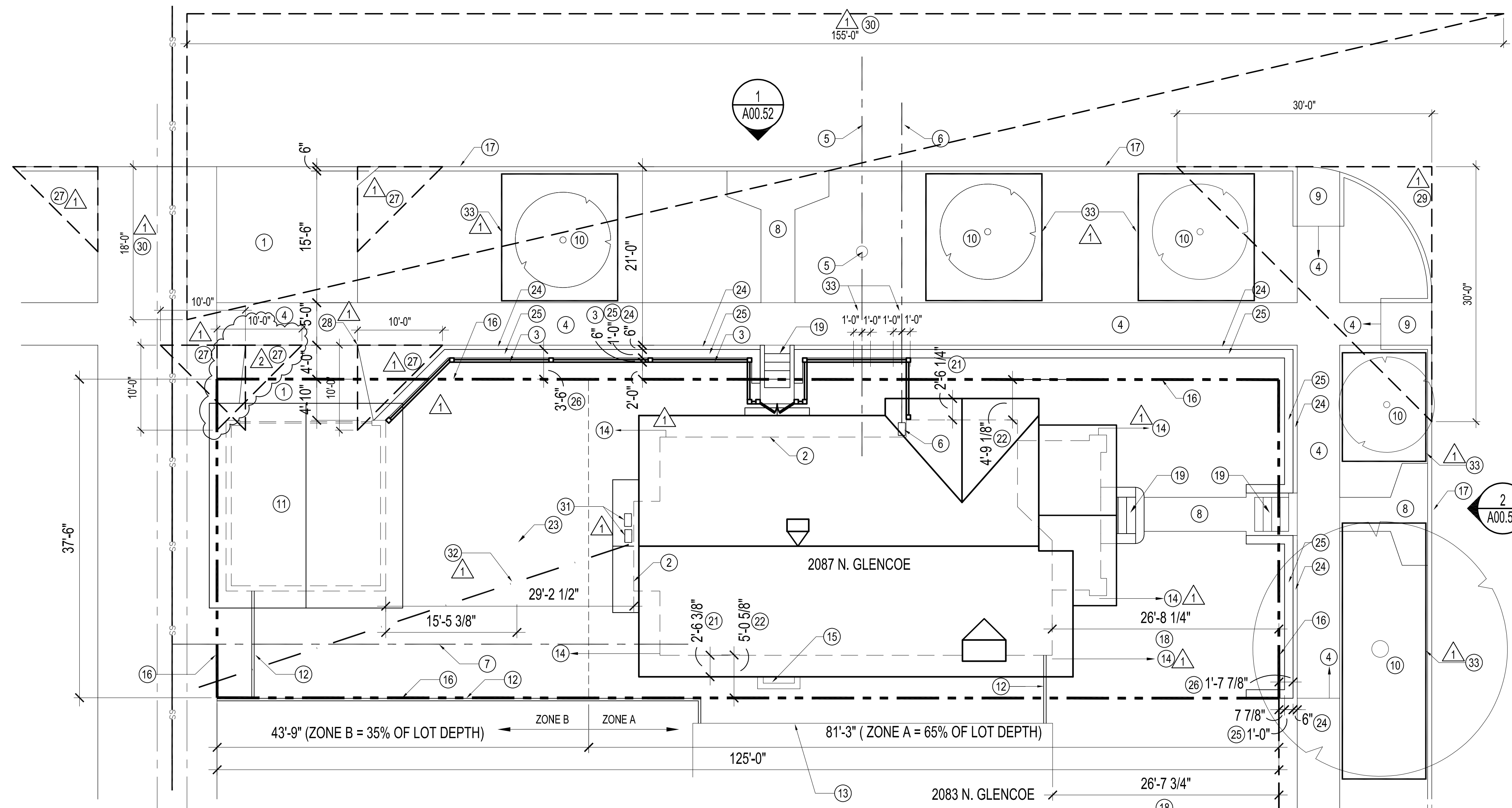
Project Number  
00.2201.000  
CAD File Name  
BP\_00  
Description  
EXISTING SITE PLAN

Scale  
0 2' 4' 8' 16'  
Ref. North

**A00.50**

# GAMBRILL RESIDENCE

2087 N. Glencoe Street  
Denver, CO 80207



- STANDARD OCF TREE PROTECTION NOTES:**
- EXISTING TREES TO BE PRESERVED IN PUBLIC RIGHT-OF-WAY (ROW) OR PUBLIC PLACE SHALL BE PROTECTED PER OCF STANDARDS AND PRACTICES. TREE PROTECTION SHALL BE:
    - INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION AND/OR CONSTRUCTION ACTIVITIES
    - INSPECTED AND APPROVED BY OCF STAFF
    - REMAIN IN PLACE AND AS APPROVED UNTIL CERTIFICATE OF OCCUPANCY OR SUBSTANTIAL COMPLETION AND FINAL ACCEPTANCE IS ISSUED
  - TREE PROTECTION REQUIREMENTS:
    - TREE PROTECTION ZONE (TPZ) SHALL BE INSTALLED AT THE DRIPLINE, FURTHERS EXTENT OF TREE CANOPY, OR IS EQUAL TO 18" RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT BREAST HEIGHT (DBH = 4.5' ABOVE SOIL LINE), WHICHEVER IS GREATER

- INSTALL SIX FOOT (6') CHAIN LINK FENCING PRIOR TO COMMENCEMENT OF PROJECT CONSTRUCTION ACTIVITIES
- OCF STAFF SHALL INSPECT AND APPROVE BOUNDARIES OF TREE PROTECTION ZONE(S) PRIOR TO COMMENCEMENT OF DEMOLITION OR CONSTRUCTION ACTIVITIES
- ONCE TPZ IS IN PLACE, THE FOLLOWING ARE NOT PERMITTED WITHIN TPZ WITHOUT PRIOR WRITTEN APPROVAL FROM OCF:
  - ENTRANCE AND OR ACCESS
  - MOVING, RESIZING, REMOVING, OR ALTERING IN ANY MANNER
  - STORAGE OF MATERIALS / DEBRIS / EQUIPMENT
  - CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO: ROTOTILLING, TRENCHING, GRADING, INSTALLATION OF UNDERGROUND UTILITIES AND/OR SITE IMPROVEMENTS LANDSCAPING, IRRIGATION WORK

- IRRIGATION LINE WORK SHALL BE COMPLETED BY DIRECTION BORE
- TREE PROTECTION ZONE SIGNS SHALL REMAIN IN PLACE AS POSTED BY OCF AND SHALL BE MAINTAINED IN THE CONDITION IN WHICH THEY WERE INSTALLED
- TREE PRUNING FOR CLEARANCE ISSUES MUST HAVE PRIOR AUTHORIZATION BY OCF STAFF
- EXISTING ROW OR PUBLIC PLACE TREES APPROVED FOR REMOVAL BY OCF MUST BE PROTECTED IN PLACE UNTIL REMOVED BY AN OCF LICENSED TREE CONTRACTOR:
  - AN OCF TREE REMOVAL PERMIT IS REQUIRED
  - TREE REMOVAL PERMITS ARE NOT INCLUDED WITH BUILDING PERMITS AND/OR PLAN APPROVAL AND MUST BE OBTAINED SEPARATELY FROM THE OCF
  - FAILURE TO PROTECT TREES UNTIL REMOVAL OR REMOVING WITHOUT AN OCF-ISSUED PERMIT WILL RESULT IN NOTICE OF VIOLATION AND/OR MAY INCLUDE CITATIONS / FINES

- CLEAR VISIBILITY INTO TPZ MUST BE MAINTAINED. ALL CONSTRUCTION BANNERS, SCREENS, BARRIERS, AND/OR SIGNS (EXCEPT OCF-POSTED TPZ SIGNS) MUST BE SEMI-TRANSPARENT AND NOT IMPEDE INSPECTION OF TPZ BY OCF STAFF
- FOR PROJECTS WITH A DURATION OF 5 DAYS OR LONGER:
  - PROTECTED TREES SHALL BE DEEP-ROOT WATERED AT A MINIMUM INTERVAL OF ONCE EVERY TWO WEEKS WHEN TEMPERATURES ARE AT OR ABOVE 40-DEGREES F.
  - TREES SHALL BE WATERED AT THE RATE OF 25 GALLONS PER INCH DBH
  - INSECT AND DISEASE TREATMENTS SHALL BE APPLIED WHEN NECESSARY OR AS ORDERED BY OCF
  - OCF MAY ASK FOR PROOF OF WATERING AND/OR TREATMENT

## NEW SITE PLAN

SCALE: 1/8" = 1'-0"

### KEY NOTES

- |  |  |  |
|--|--|--|
| <ol style="list-style-type: none"> <li>EXISTING CONCRETE DRIVEWAY TO REMAIN</li> <li>DASHED LINE OF GROUND FLOOR HOUSE FOOTPRINT</li> <li>NEW WOOD FENCE BEHIND RETAINING WALL</li> <li>NEW CITY SIDEWALK TO BE REPLACED IN SAME LOCATION AS EXISTING SIDEWALK</li> <li>EXISTING 1" WATER LINE / WATER METER LOCATION TO REMAIN</li> <li>EXISTING GAS METER / LINE LOCATION TO REMAIN</li> <li>EXISTING SEWER LINE TO REMAIN</li> <li>EXISTING CONCRETE WALK TO REMAIN</li> <li>EXISTING CITY ADA RAMP TO REMAIN</li> <li>EXISTING TREES TO REMAIN. PROVIDE PROTECTION OF TREES DURING CONSTRUCTION IN LINE WITH CITY AND COUNTY OF DENVER REQUIREMENTS</li> <li>EXISTING TWO CAR BRICK GARAGE TO REMAIN</li> <li>EXISTING WOOD FENCE TO REMAIN</li> </ol> | <ol style="list-style-type: none"> <li>SOLID LINE OF STRUCTURE ON NEIGHBORING PROPERTY</li> <li>POINT OF DISCHARGE FOR EXISTING DOWNSPOUT</li> <li>EXISTING WINDOW WELL</li> <li>DASHED LINE OF PROPERTY LINE</li> <li>EXISTING 6" CONCRETE CURB AT STREET</li> <li>EXISTING FRONT YARD SETBACK. NOTE: 2087 N. GLENCOE AND THE THREE HOMES TO THE SOUTH ARE EXISTING. FRONT YARD DIMENSIONS ARE BEING SHOWN FOR REFERENCE ONLY. NO CHANGE TO THE EXISTING HOME FRONTAGE IS BEING PROPOSED</li> <li>EXISTING CONCRETE STEPS TO REMAIN</li> <li>EXISTING CONCRETE PATIO AND WALK TO BE REMOVED</li> <li>DIMENSION OF ROOF OVERHANG FROM FACE OF BRICK BELOW. FACE OF BRICK ALIGNS WITH FACE OF FOUNDATION WALL.</li> </ol> | <ol style="list-style-type: none"> <li>DIMENSION FROM PROPERTY LINE TO FACE OF HOUSE</li> <li>DASHED LINE OF FUTURE HOME EXPANSION TO BE SUBMITTED UNDER SEPARATE PERMIT</li> <li>6" GAP FROM FACE OF EXISTING SIDEWALK LOCATION TO BASE OF RETAINING WALL</li> <li>12" WIDE BRICK CLAD RETAINING WALL</li> <li>DIMENSION OF TIER III ENCROACHMENT. 1'-7 3/8" IN THE FRONT YARD AND 3'-6" ALONG THE SIDE YARD</li> <li>DASHED LINE 10' x 10' PEDESTRIAN SIGHT TRIANGLE. NO ITEMS THAT ARE WIDER THAN 18 INCHES MAY BE TALLER THAN 30 INCHES WITHIN THIS TRIANGLE.</li> <li>POINT OF EDGE OF DRIVEWAY AT SIDEWALK</li> <li>30' x 30' CORNER SIGHT TRIANGLE AT STREET INTERSECTION FREE OF ALL ITEMS OVER 30" IN HEIGHT</li> </ol> |
|--|--|--|

### SHEET NOTES

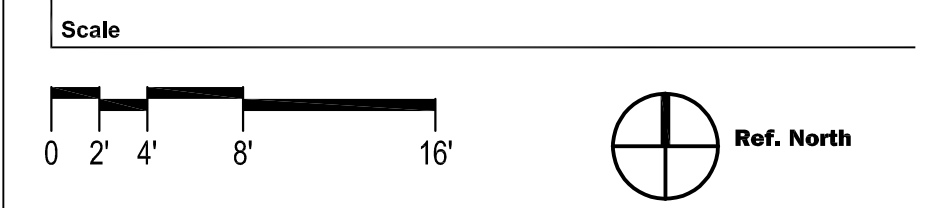
- ALL UTILITY LINE LOCATIONS AND SIZES ARE APPROXIMATE. LOCATIONS, SIZES, ROUTING, AND DETAILS TO BE CONFIRMED WITH THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILT STRUCTURES. REFER TO THE SOILS REPORT FOR MORE INFORMATION
- PER CITY AND COUNTY OF DENVER GOVERNING ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT OF WAY DATED NOVEMBER 25, 2020 TIER III ENCROACHMENTS FOR AESTHETIC WALLS CAN'T EXTEND INTO THE PUBLIC RIGHT OF WAY MORE THAN 5'-0". PROPOSED RETAINING WALL EXTENDS 1'-7 3/8" INTO THE FRONT YARD RIGHT OF WAY AND 3'-6" INTO THE SIDE YARD RIGHT OF WAY.
- ALL EXISTING GRADES WITHIN TREE PROTECTION ZONE (TPZ) BOUNDARIES MUST REMAIN AS-IS. ALL PROPOSED GRADE CHANGES MUST OCCUR ENTIRELY OUTSIDE TPZ BOUNDARIES
- PER CITY AND COUNTY OF DENVER GOVERNING ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT OF WAY DATED NOVEMBER 25, 2020 TIER III ENCROACHMENTS FOR FENCES AND GATES SHALL BE PLACED A MINIMUM OF 6" BEHIND THE SIDEWALK. A MINIMUM OF 14'-0" FROM THE PAVED STREET, AND NOT LOCATED WITHIN THE TREE LAWN BETWEEN THE CURB AND GUTTER AND SIDEWALK. THE PROPOSED FENCE AND WALL ENCROACHMENT COMPLIES WITH ALL OF THESE REQUIREMENTS
- NO CONSTRUCTION ACCESS, ACTIVITY, OR STORAGE OF MATERIALS/DEBRIS/EQUIPMENT IS PERMITTED WITHIN THE TREE PROTECTION ZONES, INCLUDING GRADING, INSTALLATION OF UNDERGROUND UTILITIES, INSTALLATION OF SITE IMPROVEMENTS, AND/OR GRUBBING. ALL CONSTRUCTION ACTIVITY MUST OCCUR OUTSIDE TREE PROTECTION ZONES (SEE NOTE 2 IN OCF TREE PROTECTION NOTES TO DETERMINE TREE PROTECTION ZONE BOUNDARIES)

Issue	Date & Issue Description	By	Check
01	09.08.22	JCG	JCG
ISSUE FOR TIER III FENCE ENCROACHMENT			
02	10.30.22	JCG	JCG
TIER III FENCE ENCROACHMENT COMMENT RESPONSE			
03	01.07.23	JCG	JCG
TIER III FENCE ENCROACHMENT COMMENT RESP. 02			

Seal/Signature

Project Name  
2087\_N\_GLENCOE

Project Number  
00.2201.000  
CAD File Name  
BP\_00  
Description  
NEW SITE PLAN

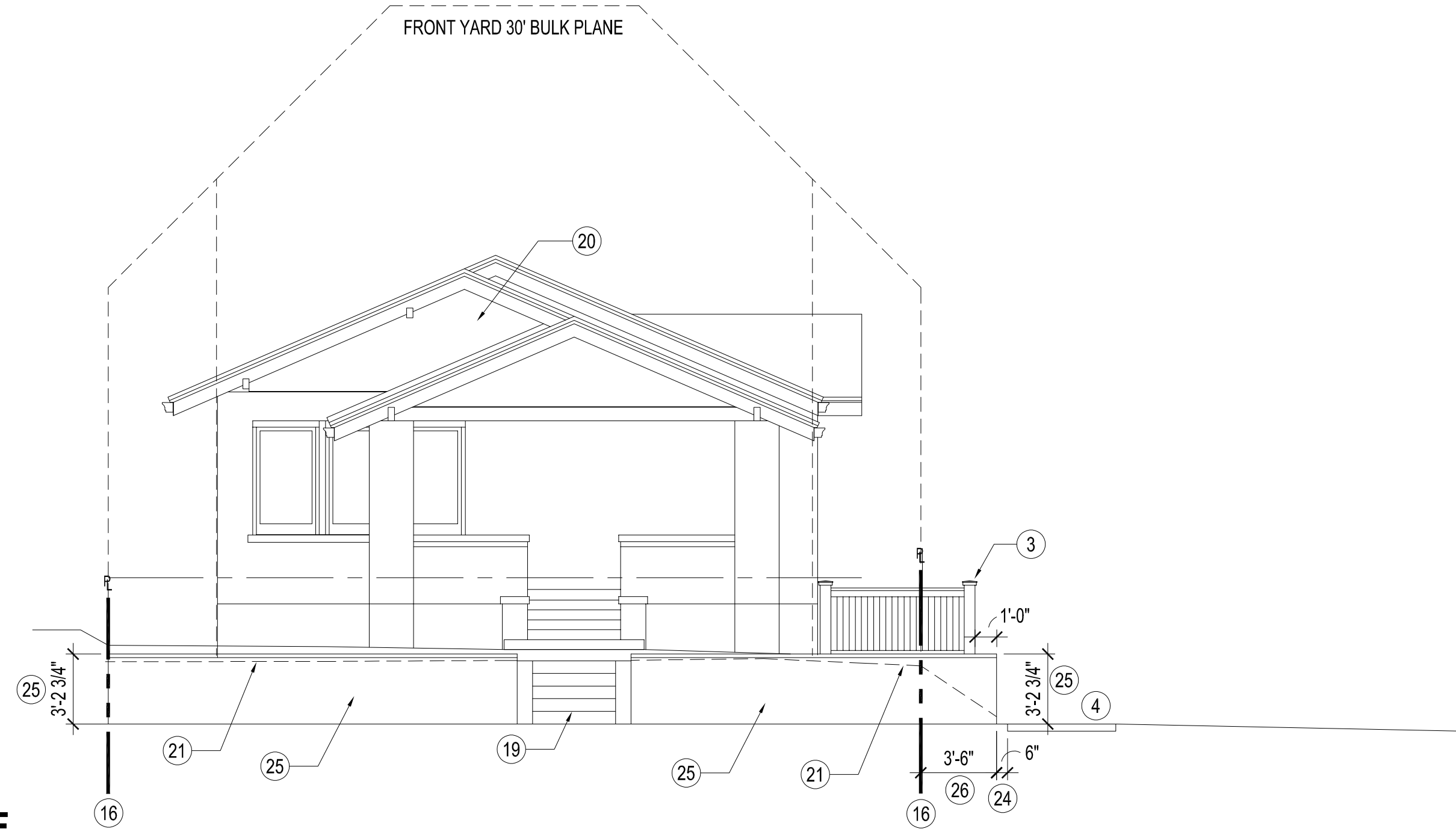


**A00.51**

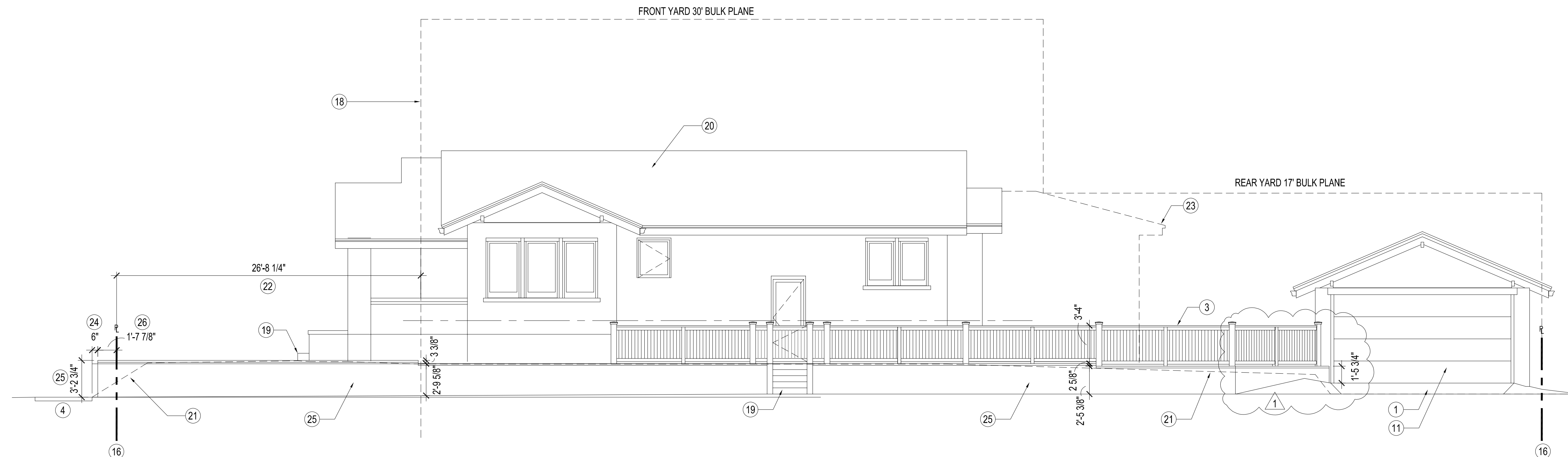
# GAMBRILL RESIDENCE

2087 N. Glencoe Street  
Denver, CO 80207

Issue	Date & Issue Description	By	Check
01	09.08.22	JCG	JCG
ISSUE FOR TIER III FENCE ENCROACHMENT			
02	10.30.22	JCG	JCG
TIER III FENCE ENCROACHMENT COMMENT RESPONSE			



**EAST ELEVATION OF SITE**  
SCALE: 3/16" = 1'-0"



**NORTH ELEVATION OF SITE**  
SCALE: 3/16" = 1'-0"

## KEY NOTES

- |  |  |  |
|--|--|--|
| 1 EXISTING CONCRETE DRIVEWAY TO REMAIN                                   | 13 NOT USED  | 22 DIMENSION FROM PROPERTY LINE TO FACE OF HOUSE   |
| 2 NOT USED   | 14 NOT USED  | 23 DASHED LINE OF FUTURE HOME EXPANSION TO BE SUBMITTED UNDER SEPARATE PERMIT  |
| 3 NEW WOOD FENCE BEHIND RETAINING WALL                                   | 15 NOT USED  | 24 6" GAP FROM FACE OF EXISTING SIDEWALK LOCATION TO BASE OF RETAINING WALL  |
| 4 NEW CITY SIDEWALK TO BE REPLACED IN SAME LOCATION AS EXISTING SIDEWALK | 16 DASHED LINE OF PROPERTY LINE  | 25 12" WIDE BRICK CLAD RETAINING WALL. NOTE HEIGHT OF RETAINING WALL WILL STEP TO FOLLOW GRADE. FINAL DIMENSIONS TO BE DETERMINED IN THE FIELD. OVERALL HEIGHT NOT TO EXCEED 3'-6" THOUGH 4'-0" IS ALLOWED |
| 5 NOT USED   | 17 EXISTING 6" CONCRETE CURB AT STREET   | 26 DIMENSION OF TIER III ENCROACHMENT. 1'-7 1/2" IN THE FRONT YARD AND 3'-6" ALONG THE SIDE YARD   |
| 6 NOT USED   | 18 EXISTING FRONT YARD SETBACK. NOTE: 2087 N. GLENCOE AND THE THREE HOMES TO THE SOUTH ARE EXISTING. FRONT YARD DIMENSIONS ARE BEING SHOWN FOR REFERENCE ONLY. NO CHANGE TO THE EXISTING HOME FRONTAGE IS BEING PROPOSED |  |
| 7 NOT USED   | 19 EXISTING CONCRETE STEPS TO REMAIN   |  |
| 8 EXISTING CONCRETE WALK TO REMAIN                                       | 20 EXISTING RESIDENCE AT 2087 N. GLENCOE STREET  |  |
| 9 NOT USED   | 21 DASHED LINE OF EXISTING GRADE AT TOP OF RETAINING WALL  |  |
| 10 NOT USED  |  |  |
| 11 EXISTING TWO CAR BRICK GARAGE TO REMAIN                               |  |  |
| 12 NOT USED  |  |  |

## SHEET NOTES

- FINAL HEIGHT OF RETAINING WALL TO BE DETERMINED IN FIELD DO TO ACTUAL GRADES. OVERALL HEIGHT OF RETAINING WALL CANT EXCEED 4'-0" WITHIN THE PRIMARY STREET SETBACK AS DETERMINED BY CITY AND COUNTY OF DENVER ZONING CODE SECTION 10.5.6.2.A. OTHER THAN THE PRIMARY STREET SETBACK RETAINING WALLS CAN BE BUILT TO ANY HEIGHT PER DENVER ZONING CODE SECTION 10.5.6.2.B.
- PER DENVER ZONING CODE SECTION 10.5.5.2.3 THE MAXIMUM HEIGHT OF A FENCE IN THE PRIMARY STREET SETBACK IS 4'-0" AND 6'-0" BEHIND THE PRIMARY STREET SETBACK. THE PROPOSED FENCE IS ONLY BEHIND THE PRIMARY STREET SETBACK AND WILL BE LOWER THAN 6'-0"
- PER DENVER ZONING CODE SECTION 10.5.5.1.E.3 FENCES LOCATED IN THE PRIMARY SETBACK ON TOP OF RETAINING WALLS HAVE TO BE 50% OPEN WHEN THE TOP OF THE FENCE IS MORE THAN 4'-0" ABOVE THE LOWEST GRADE OF THE RETAINING WALL. THE PROPOSED FENCE IS BEHIND THE PRIMARY SETBACK AND CAN BE SOLID

Seal/Signature

Project Name  
2087\_N\_GLENCOE

Project Number

00.2201.000

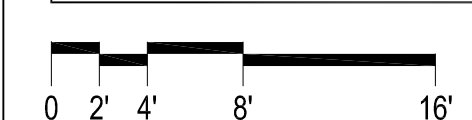
CAD File Name

BP\_00

Description

SITE ELEVATIONS

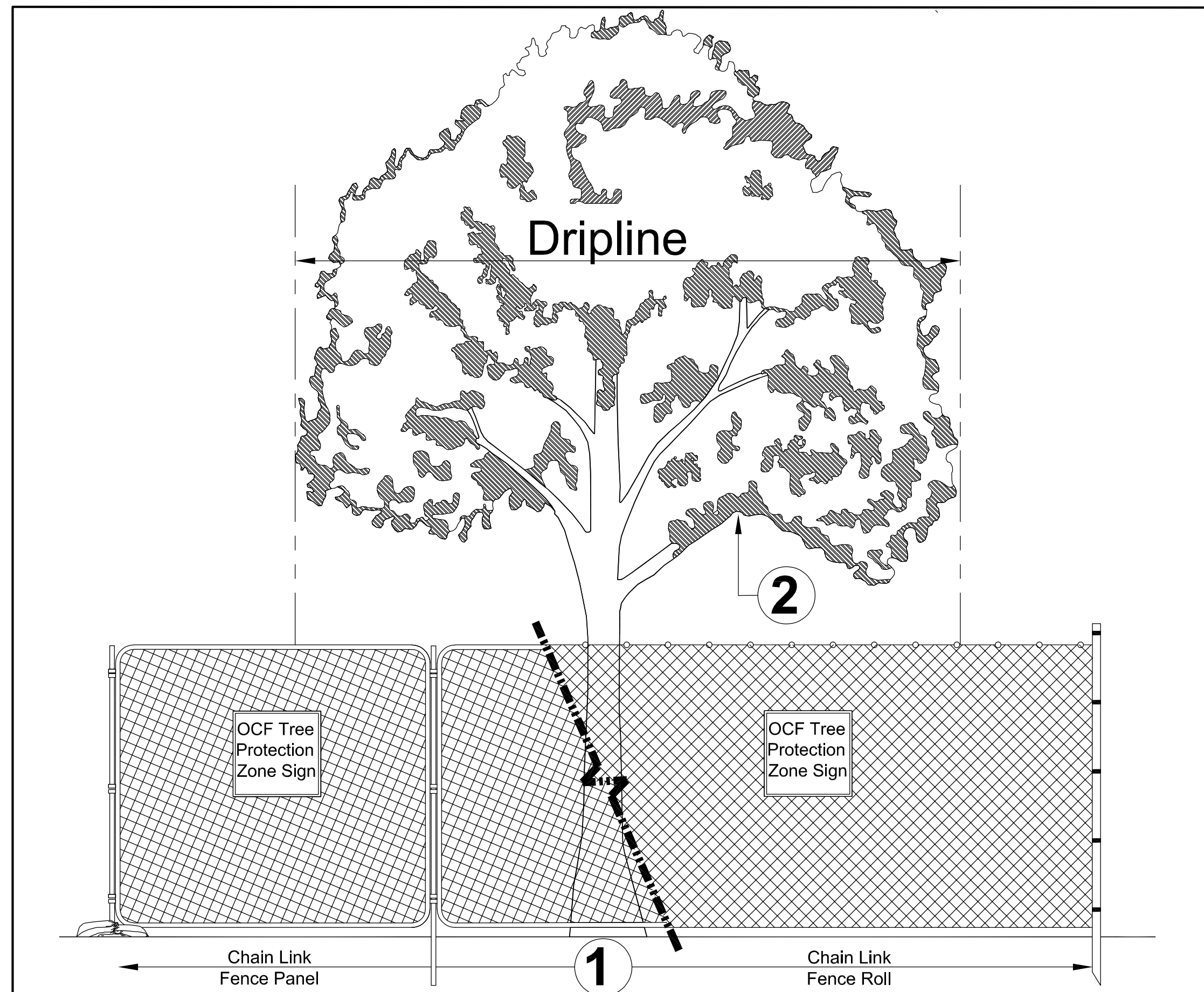
Scale



**A00.52**

**1**





Any work in these areas must have written approval of OCF prior to commencement of activity. Contact OCF for instruction.

**Area 1: Tree Protection Zone and Critical Root Zone Protection**

The Tree Protection Zone (TPZ) shall be equal to dripline or 1.5 feet radially from the tree for every one inch of trunk diameter at breast height (DBH = 4.5' above soil line), whichever is greater.

A. Min 6' in height steel chain link fence is required unless otherwise approved by the Office of the City Forester (OCF). Steel chain link fence panels or rolls are acceptable.

1. When chain link panels are installed, anchor to ground or weight with sandbags to hold panels in place.
2. When chain link rolls are installed, it shall be fastened to heavy duty steel posts with safety caps at minimum five (5) attachment points with 12-gauge wire, including points at top and bottom. Weave wire through top of roll to eliminate sag.
- times.
4. "Tree Protection Zone" signs shall be placed one (1) per each tree protection zone minimum or more per direction of the OCF; maintain in the location and condition in which approved.
5. TPZ, including signage, shall be maintained in the location and condition in which approved.
6. Trunk protection may be required and shall be installed at the direction of the OCF.

**Area 2: Canopy Protection**

3. Posts shall be driven 2 to 3' below grade and spaced at max five to ten foot (5' - 10') o.c. intervals. Fencing must be kept taut at all times. Contact OCF if potential for damage exists and if pruning is needed for any clearance issues prior to performing work.

**Notes**

1. OCF Tree Retention and Protection Specifications shall be followed throughout duration of work.
2. After TPZ is approved;
  - A. TPZ shall not be resized, modified, removed, or altered in any manner without prior written approval. TPZ shall be maintained in place as approved until removal is authorized by OCF.
  - B. Entrance/access to the TPZ is not permitted without prior written approval from the OCF.
  - C. No materials, debris, equipment, or site amenities shall be stored within the TPZ without prior written approval from the OCF.
3. While TPZ fencing is in place, trees shall be deep-root watered at an interval of once every two weeks when temperatures are at or above 40 degrees F. Trees shall be watered at the rate of twenty-five (25) gallons per inch DBH. OCF may ask for proof of watering.
4. Violation of TPZ or damage to protected trees is subject to penalty per City Ordinance.

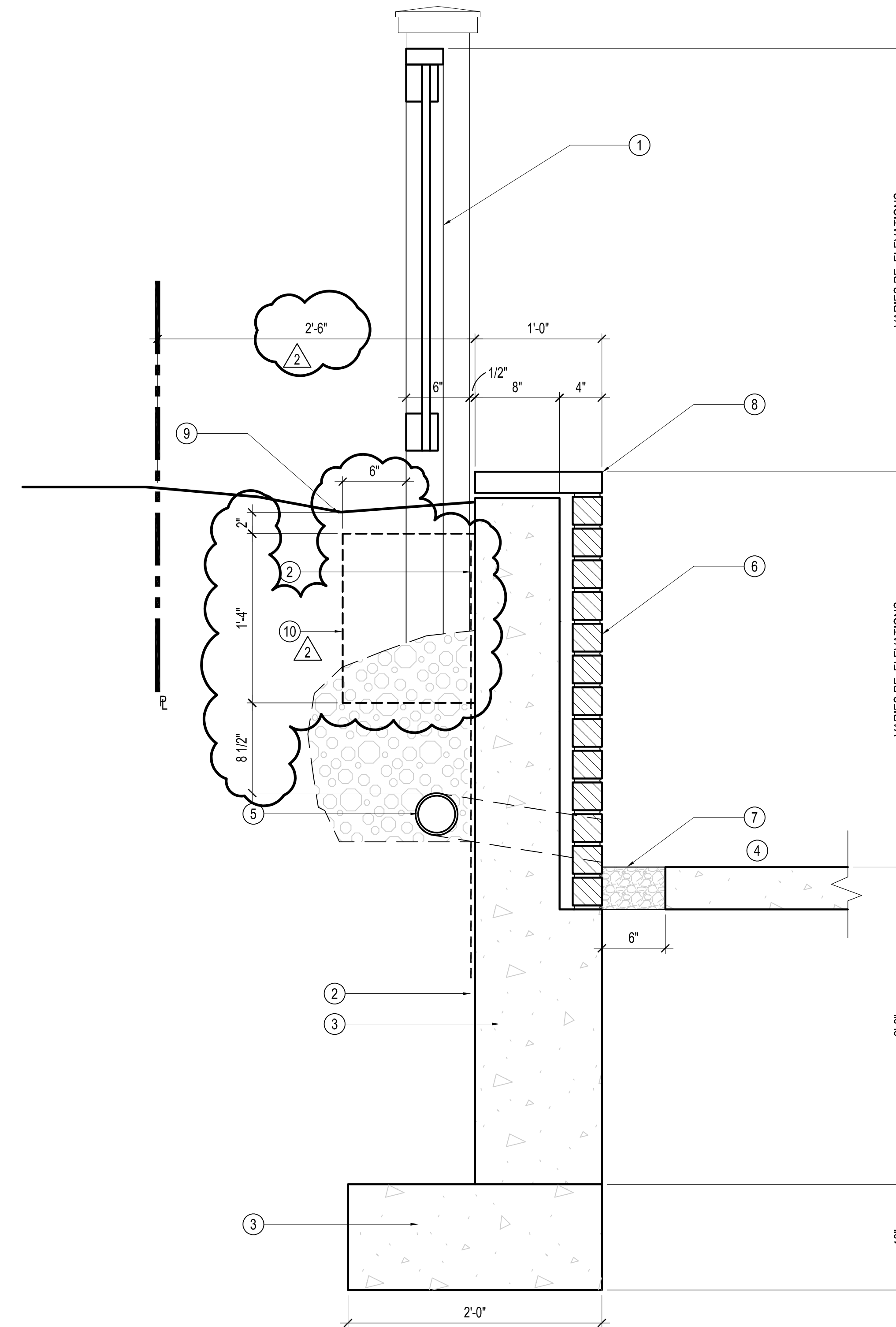
City and County of Denver  
Office of the City Forester  
101 W. Colfax Ave, Denver, CO 80202

Tree Protection Zone - Public Space  
Fencing Detail

Detail: OCF-TPZ 1

Effective: 4-01-2022

**TREE PROTECTION ZONE FENCING DETAIL**  
SCALE: N.T.S



**SECTION @ RETAINING WALL AND FENCE**

SCALE: 1 1/2" = 1'-0"

**KEY NOTES**

- 1 NEW WOOD FENCE BEHIND RETAINING WALL
- 2 DASHED LINE OF BITUMINOUS DAMP PROOFING
- 3 CONCRETE FOUNDATION / RETAINING WALL
- 4 NEW CITY SIDEWALK TO BE REPLACED IN SAME LOCATION AS EXISTING SIDEWALK
- 5 FOUNDATION DRAINAGE: 4" PERFORATED PIPE SURROUNDED BY GRAVEL COVERED BY GEOTEXTILE FABRIC. RE: SOILS REPORT FOR MORE INFORMATION
- 6 BRICK CLAD RETAINING WALL
- 7 6" SOIL GAP BETWEEN SIDEWALK AND BOTTOM OF WALL
- 8 2' STONE CAP
- 9 LINE OF TOP OF SOIL
- 10 DASHED LINE OF FENCE POST FOUNDATION. FENCE POST TO ALIGN WITH INSIDE FACE OF RETAINING WALL. DEPTH OF FENCE POST FOUNDATION TO EXTEND 1'-4" MINIMUM BELOW GRADE BUT REMAIN ABOVE FOUNDATION DRAINAGE PIPE AS SHOWN

**SHEET NOTES**

1. FINAL HEIGHT OF RETAINING WALL TO BE DETERMINED IN FIELD DO TO ACTUAL GRADES. OVERALL HEIGHT OF RETAINING WALL CANT EXCEED 4'-0" WITHIN THE PRIMARY STREET SETBACK AS DETERMINED BY CITY AND COUNTY OF DENVER ZONING CODE SECTION 10.5.6.2.A. OTHER THAN THE PRIMARY STREET SETBACK RETAINING WALLS CAN BE BUILT TO ANY HEIGHT PER DENVER ZONING CODE SECTION 10.5.6.2.B.
2. PER DENVER ZONING CODE SECTION 10.5.5.2.3 THE MAXIMUM HEIGHT OF A FENCE IN THE PRIMARY STREET SETBACK IS 4'-0" AND 6'-0" BEHIND THE PRIMARY STREET SETBACK. THE PROPOSED FENCE IS ONLY BEHIND THE PRIMARY STREET SETBACK AND WILL BE LOWER THAN 6'-0"
3. PER DENVER ZONING CODE SECTION 10.5.5.1.E.3 FENCES LOCATED IN THE PRIMARY SETBACK ON TOP OF RETAINING WALLS HAVE TO BE 50% OPEN WHEN THE TOP OF THE FENCE IS MORE THAN 4'-0" ABOVE THE LOWEST GRADE OF THE RETAINING WALL. THE PROPOSED FENCE IS BEHIND THE PRIMARY SETBACK AND CAN BE SOLID

**GAMBRILL RESIDENCE**

2087 N. Glencoe Street  
Denver, CO 80207

Issue	Date & Issue Description	By	Check
01	09.08.22	JCG	JCG
ISSUE FOR TIER III FENCE ENCROACHMENT			
1	02 10.30.22	JCG	JCG
TIER III FENCE ENCROACHMENT COMMENT RESPONSE			
2	03 01.07.22	JCG	JCG
TIER III FENCE ENCROACHMENT COMMENT RESP. 02			

Seal/Signature

Project Name  
2087\_N\_GLENCOE

Project Number  
00.2201.000  
CAD File Name  
BP\_00  
Description  
FENCE AND WALL SECTION

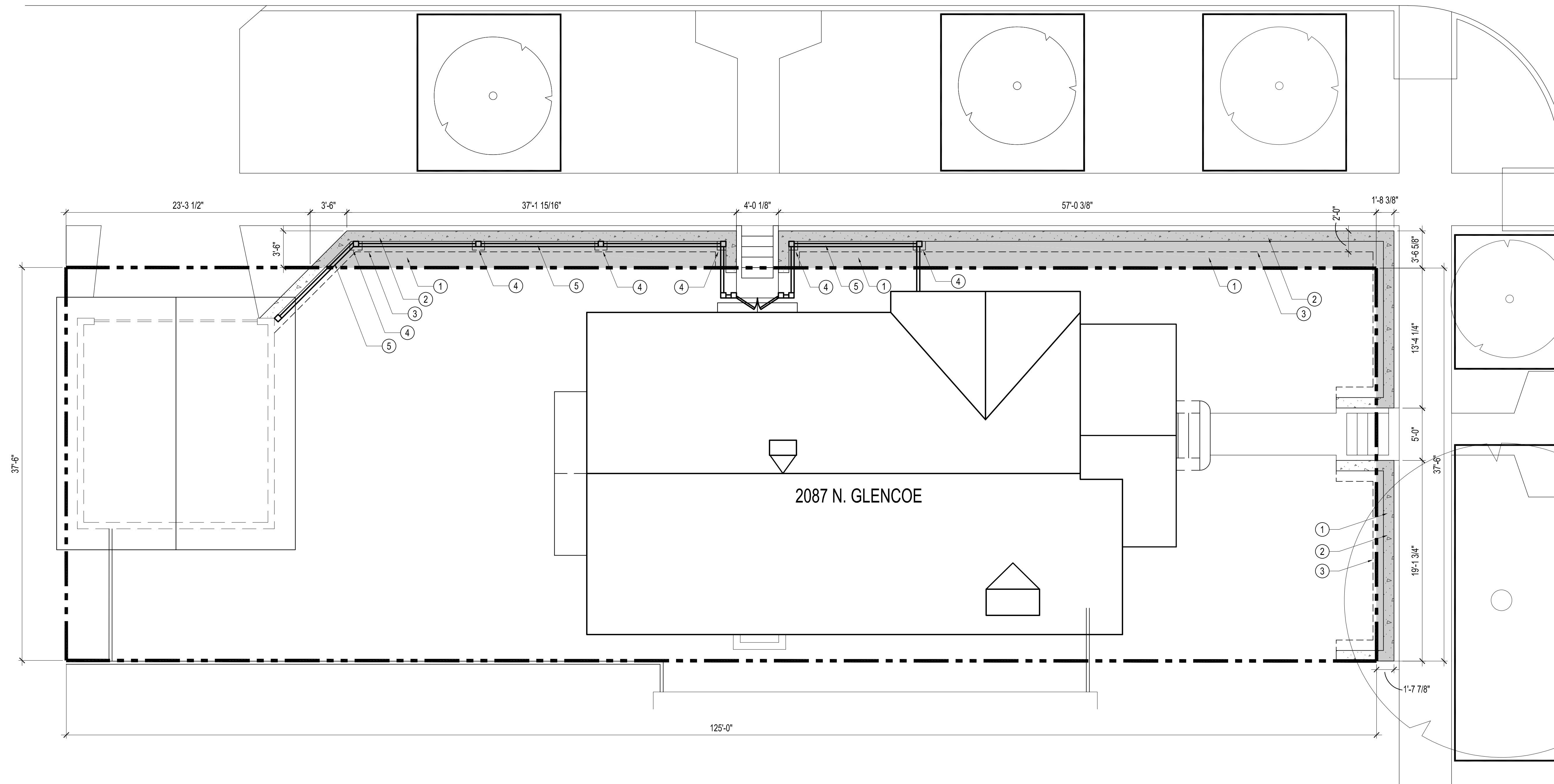
Scale  
0 2' 4' 8' 16'

**A00.53**

# GAMBRILL RESIDENCE

2087 N. Glencoe Street  
Denver, CO 80207

Issue	Date & Issue Description	By	Check
03	01.07.23	JCG	JCG
TIER III FENCE ENCROACHMENT COMMENT RESP. 02			



## FENCE TEIR III ENCROACHMENT DIAGRAM

SCALE: 1/8" = 1'-0"

### KEY NOTES

- ① SHADED AREA OF TIER III ENCROACHMENT AREA FOR FENCE AND RETAINING WALL
- ② LINE OF 1'-0" WIDE RETAINING WALL WITH CAP BELOW FENCE LINE. RETAINING WALL TO BE LOCATED 6" BEHIND THE EDGE OF THE CITY SIDEWALK
- ③ DASHED LINE OF RETAINING WALL FOOTING. FRONT FACE OF RETAINING WALL FOOTING TO ALIGN WITH THE FRONT FACE OF THE RETAINING WALL 6" BEHIND THE EXISTING SIDEWALK LOCATION. RE: WALL SECTION DETAIL 1/A00.53 FOR MORE INFORMATION
- ④ DASHED LINE OF FENCE POST FOUNDATION. RE: 1/A00.53 FOR MORE INFORMATION. TYPICAL AT ALL FENCE POST LOCATIONS
- ⑤ SOLID LINE OF FENCE RE: 1/A00.53 FOR MORE INFORMATION

### SHEET NOTES

1. ALL UTILITY LINE LOCATIONS AND SIZES ARE APPROXIMATE. LOCATIONS, SIZES, ROUTING, AND DETAILS TO BE CONFIRMED WITH THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILT STRUCTURES. REFER TO THE SOILS REPORT FOR MORE INFORMATION
3. PER CITY AND COUNTY OF DENVER GOVERNING ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT OF WAY DATED NOVEMBER 25, 2020 TIER III ENCROACHMENTS FOR AESTHETIC WALLS CANT EXTEND INTO THE PUBLIC RIGHT OF WAY MORE THAN 5'-0". PROPOSED RETAINING WALL EXTENDS 1'-7 7/8" INTO THE FRONT YARD RIGHT OF WAY AND 3'-6" INTO THE SIDE YARD RIGHT OF WAY.
4. ALL EXISTING GRADES WITHIN TREE PROTECTION ZONE (TPZ) BOUNDARIES MUST REMAIN AS-IS. ALL PROPOSED GRADE CHANGES MUST OCCUR ENTIRELY OUTSIDE TPZ BOUNDARIES
5. PER CITY AND COUNTY OF DENVER GOVERNING ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT OF WAY DATED NOVEMBER 25, 2020 TIER III ENCROACHMENTS FOR FENCES AND GATES SHALL BE PLACED A MINIMUM OF 6" BEHIND THE SIDEWALK. A MINIMUM OF 14'-0" FROM THE PAVED STREET, AND NOT LOCATED WITHIN THE TREE LAWN BETWEEN THE CURB AND GUTTER AND SIDEWALK. THE PROPOSED FENCE AND WALL ENCROACHMENT COMPLIES WITH ALL OF THESE REQUIREMENTS
6. NO CONSTRUCTION ACCESS, ACTIVITY, OR STORAGE OF MATERIALS/DEBRIS/EQUIPMENT IS PERMITTED WITHIN THE TREE PROTECTION ZONES, INCLUDING GRADING, INSTALLATION OF UNDERGROUND UTILITIES, INSTALLATION OF SITE IMPROVEMENTS, AND/OR GRUBBING. ALL CONSTRUCTION ACTIVITY MUST OCCUR OUTSIDE TREE PROTECTION ZONES (SEE NOTE 2 IN OCF TREE PROTECTION NOTES TO DETERMINE TREE PROTECTION ZONE BOUNDARIES)

Seal/Signature \_\_\_\_\_

Project Name  
2087\_N\_GLENCOE

Project Number  
00.2201.000  
CAD File Name  
BP\_00  
Description  
ENCROACHMENT AREA DIAGRAM

Scale  
0 2' 4' 8' 16'

Ref. North  
**A00.54**



# EXHIBIT A

LOCATED IN THE NORTHEAST ONE QUARTER OF SECTION 31, TOWNSHIP 3 SOUTH,  
RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN

## LAND DESCRIPTION

### PARCEL 1

THAT PORTION OF EAST 22ND AVENUE LYING NORTH OF LOT 1, BLOCK 13, MORES PARK HEIGHTS, CITY AND COUNTY OF DENVER, STATE OF COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1 WHEREAS THE NORTHEAST CORNER BEARS S89°58'21"E; THENCE S89°58'21"E 23.29 FEET ALONG THE NORTH LINE OF SAID LOT 1 TO THE TRUE POINT OF BEGINNING; THENCE N45°01'50"E 4.95 FEET; THENCE N89°59'56"E 37.16 FEET; THENCE S0°03'24"E 3.52 FEET TO SAID NORTH LINE OF LOT 1; THENCE N89°58'21"W 40.67 ALONG SAID NORTH LINE OF LOT 1 TO THE TRUE POINT OF BEGINNING, CONTAINING 136.5 SQUARE FEET MORE OR LESS.

### PARCEL 2

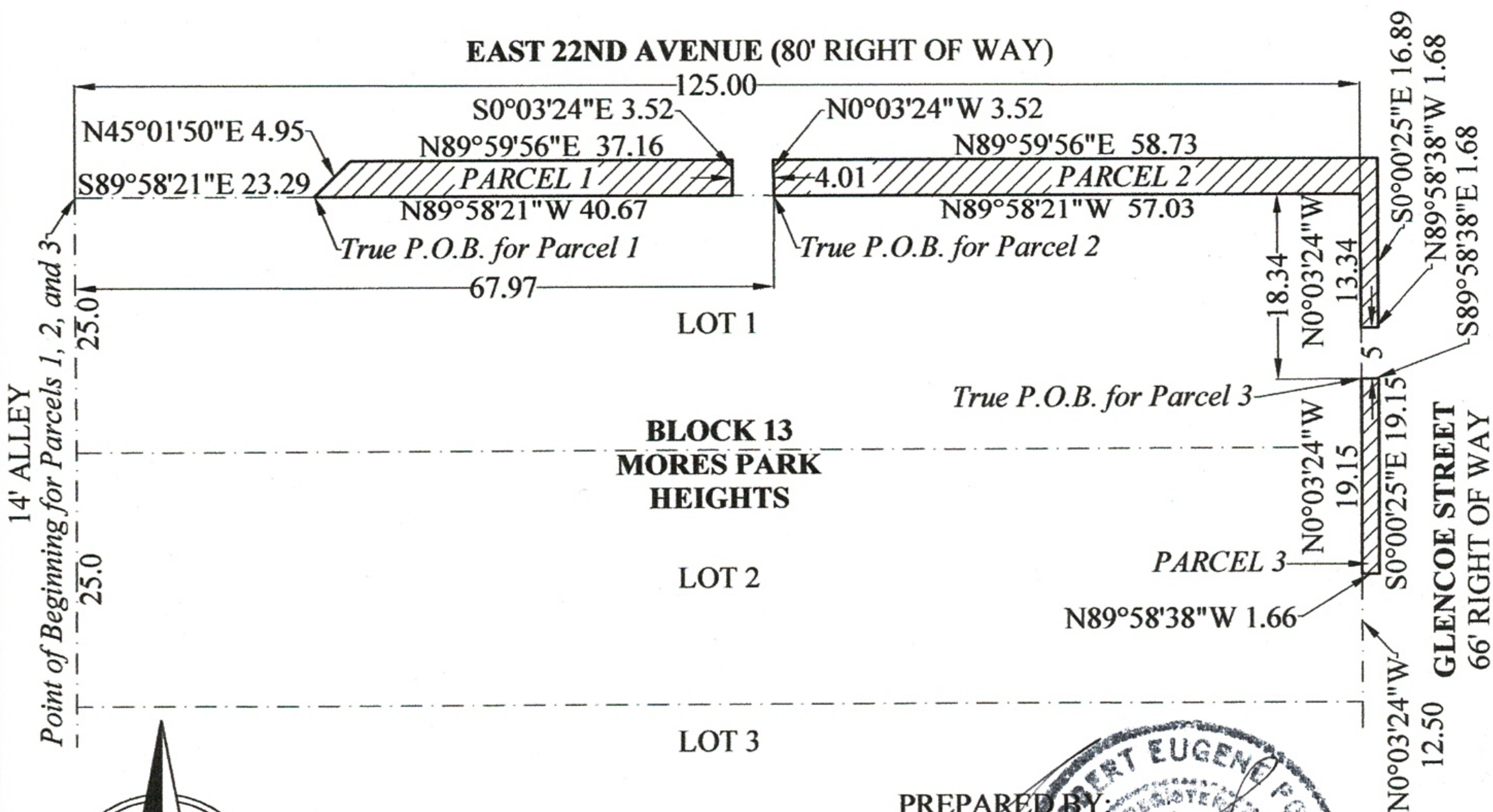
THOSE PORTIONS OF EAST 22ND AVENUE AND GLENCOE STREET LYING ADJACENT TO LOT 1, BLOCK 13, MORES PARK HEIGHTS, CITY AND COUNTY OF DENVER, STATE OF COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

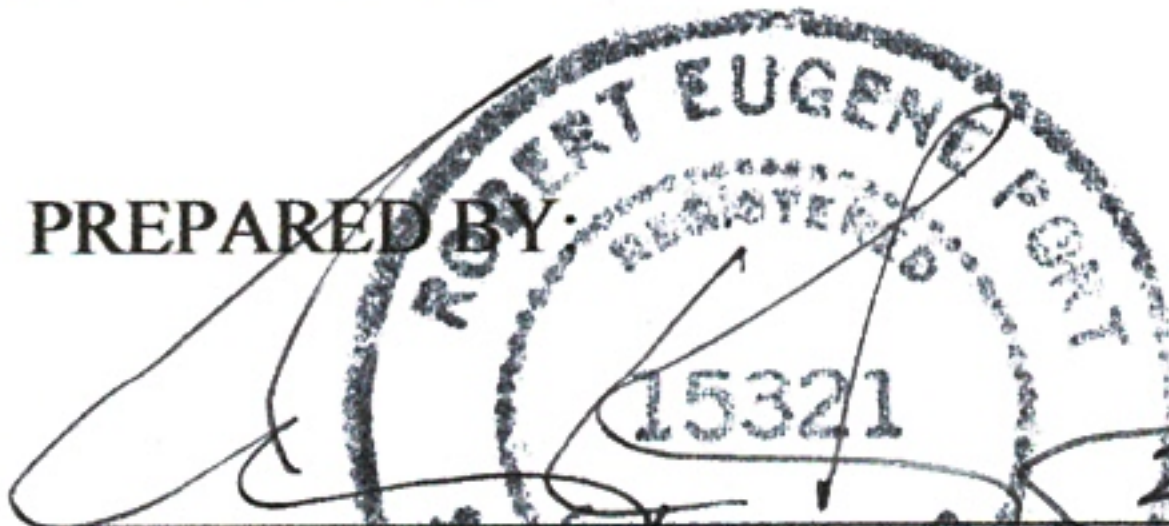
BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1 WHEREAS THE NORTHEAST CORNER BEARS S89°58'21"E; THENCE S89°58'21" E 67.97 FEET ALONG THE NORTH LINE OF SAID LOT 1 TO THE TRUE POINT OF BEGINNING; THENCE N0°03'24"W 3.52 FEET; THENCE N89°59'56"E 58.73 FEET; THENCE S0°00'25"E 16.89 FEET; THENCE N89°58'38"W 1.68 FEET TO A POINT ON THE EAST LINE OF SAID LOT 1; THENCE N0°03'24"W 13.34 FEET TO THE NORTHEAST CORNER OF SAID LOT 1; THENCE N89°58'21"W 57.03 FEET ALONG SAID NORTH LINE OF LOT 1 TO THE TRUE POINT OF BEGINNING, CONTAINING 230.1 SQUARE FEET MORE OR LESS.

### PARCEL 3

THAT PORTION OF GLENCOE STREET LYING EAST OF LOTS 1 AND 2, BLOCK 13, MORES PARK HEIGHTS, CITY AND COUNTY OF DENVER, STATE OF COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1 WHEREAS THE NORTHEAST CORNER BEARS S89°58'21"E; THENCE S89°58'21"E 125.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 1; THENCE S0°03'24"E 18.34 FEET ALONG THE EAST LINE OF SAID LOT 1 TO THE TRUE POINT OF BEGINNING; THENCE S89°58'38"E 1.68 FEET; THENCE S0°00'25"E 19.15 FEET; THENCE N89°58'38"W 1.66 FEET TO A POINT ON THE EAST LINE OF SAID LOT 2; THENCE N0°03'24"W 19.15 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 32.0 SQUARE FEET MORE OR LESS.



PREPARED BY  
  
 ROBERT E. PORT L.S. 15321  
 2-13-23

NOTE: THIS EXHIBIT DOES NOT REPRESENT A FIELD MONUMENTED LAND SURVEY AND IS ONLY INTENDED TO DEPICT THE SUBJECT LAND DESCRIPTION.



**R.E.P.O.R.T.**  
 LAND SURVEYING  
 SURVEYING THE WEST SINCE 1978

5460 Ward Road, Suite 160  
 Arvada, Colorado 80002  
 Phone: (303)420-4788  
 Fax: (303)420-0459  
 info@reportlandsurvey.com





## Tier III Fence and Retaining Wall 2087 N Glencoe St.

04/07/2023

**Master ID:** 2022-PROJMSTR-0000612      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000084      **Review Phase:**  
**Location:**      **Review End Date:** 10/13/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: DS Transportation Review      Review Status: Approved

**Reviewers Name:** Eric Osmundsen  
**Reviewers Email:** Eric.Osmundsen@denvergov.org  
  
**Status Date:** 01/04/2023  
**Status:** Approved  
**Comments:** Revised layout that shifts the wall/fence out of the ped triangle is acceptable  
  
**Status Date:** 10/12/2022  
**Status:** Denied  
**Comments:** Rock of any kind and size is not allowed within the ROW

show all sight triangles and add sight triangle restrictions to the plan. pedestrian sight triangle is blocked at the driveway

- A. There needs to be a 10' x 10' pedestrian sight triangle shown at each driveway and alley approach to a public street. This is at the edge of the driveway or alley and at the back of the sidewalk. No items that are wider than 18 inches may be taller than 30" within this triangle.
- B. There needs to be a 30' x 30' corner sight triangle shown at each street intersection. This is along both street's flowlines. Corner triangles must be free of all items over 30" in height except for traffic control devices and equipment.
- C. Roadway sight triangles based on AASHTO standards need to be available at each driveway and alley approach to a public street, and at street intersections, including signalized intersections. The short leg of the triangle is in the center of the exit lane of the driveway or intersecting street 18' back of the edge of travelled way and the long leg's length is sized per AASHTO guidelines for "departure triangles" and found in the center of the approaching lane. No items that are wider than 18 inches may be taller than 30" within this triangle except for street trees and traffic control devices and equipment.

Reviewing Agency: DS Project Coordinator Review      Review Status: Approved w/Conditions

**Reviewers Name:** Tiffany Holcomb  
**Reviewers Email:** Tiffany.Holcomb@denvergov.org  
  
**Status Date:** 10/31/2022  
**Status:** Approved w/Conditions  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000084 - Tier III Fence and Retaining Wall 2087 N Glencoe St  
 Reviewing Agency/Company: Development Services / Project Coordination  
 Reviewers Name: Tiffany Holcomb  
 Reviewers Phone: 720-865-3018  
 Reviewers Email: Tiffany.Holcomb@denvergov.org  
 Approval Status: Approved with conditions

**Comments:**  
 Portions of the proposed fence / wall combination are on the zone lot property and subject to the zoning regulations in the Denver Zoning Code. Additionally, other reviewers have commented that the portions of the wall /fence in the public

# Comment Report

## Tier III Fence and Retaining Wall 2087 N Glencoe St.

04/07/2023

**Master ID:** 2022-PROJMSTR-0000612      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000084      **Review Phase:**  
**Location:**      **Review End Date:** 10/13/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

right-of-way cannot exceed 48" for the wall and zoning regulations for the fence.  
Please see Denver Zoning Code Sections 10.5.6.2 which regulate the total height of wall and fence as well as percent open of the fence when on top of a wall. Per Section 10.5.6.2.C., fences on top of retaining walls in the Side Street setback must be a minimum 50% open. The proposed fence is substantially solid.  
See DZC Sections 13.1.7. and 13.1.8 for how to take wall, fence, and retaining wall height measurements. Essentially the retaining wall portion is the height measured from the lowest grade at the base of the retaining wall to the point where the wall no longer retains the earth and up to the first 6" above that line. Remaining elements above the 6" above retained grade line will be considered a fence subject to 13.1.7. Fence height is measured from the top-most point of finished grade where the Retaining Wall no longer retains earth, to the top-most point of the Fence or Wall.  
Fence and wall design should be considered as a consistent element whether it is on the zone lot or in the public ROW.  
Permits for work done on the zone lot will be reviewed by the Residential review team.

Status Date: 10/14/2022  
Status: Approved w/Conditions  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000084 - Tier III Fence and Retaining Wall 2087 N Glencoe St  
Reviewing Agency/Company: Development Services / Project Coordination  
Reviewers Name: Tiffany Holcomb  
Reviewers Phone: 720-865-3018  
Reviewers Email: Tiffany.Holcomb@denvergov.org  
Approval Status: Approved with conditions

Comments:  
Any elements that occur or are modified on the private property (zone lot) would need to receive approval from the Residential Review group before proceeding. A portion of the fence / wall design currently occurs on private property.  
While the intention of the design is understood, there appears to be sufficient room on the zone lot to accommodate a retaining wall/fence on the zone lot that achieves overall design goals without the need to encroach into the public ROW. The applicant is strongly encouraged to limit the amount of encroachment needed.

Status Date: 10/14/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Survey Review      Review Status: Approved

Reviewers Name: Robert Castaneda  
Reviewers Email: robert.castaneda@denvergov.org

Status Date: 04/07/2023  
Status: Approved  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000084 - Tier III Fence and Retaining Wall 2087 N Glencoe St  
Reviewing Agency/Company: DOTI ROWS Survey  
Reviewers Name: ROBERT S CASTANEDA  
Reviewers Phone: 7208791937  
Reviewers Email: robert.castaneda@denvergov.org  
Approval Status: Approved

Comments:

Status Date: 10/13/2022  
Status: Denied

# Comment Report

## Tier III Fence and Retaining Wall 2087 N Glencoe St.

04/07/2023

**Master ID:** 2022-PROJMSTR-0000612      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000084      **Review Phase:**  
**Location:**      **Review End Date:** 10/13/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

**Comments:**      **Date:** 2022.10.13  
**Project:** Tier III Fence and Retaining Wall 2087 N Glencoe St.  
**Location:** 2807 N Glencoe  
**Project Master:** 2022PM612  
**Project Record:** 2022ENCROACHMENT84  
**Survey Reviewer:** Scott Castaneda 720-879-1937 robert.castaneda@denvergov.org

1st Submittal Survey Review status: Not Approved

1. Tier 3 Encroachments must include an Exhibit authored by a licensed Colorado Land Surveyor.

**Reviewing Agency:** DES Wastewater Review      **Review Status:** Approved w/Conditions

**Reviewers Name:** Brenden Marron  
**Reviewers Email:** Brenden.Marron@denvergov.org

**Status Date:** 10/12/2022  
**Status:** Approved w/Conditions  
**Comments:** No objection on behalf of Wastewater. A Sewer Use and Drainage Permit will be required for permitting on behalf of Wastewater. Weep holes and drainage must be designed to prevent discharge across a public sidewalk in minor storm events or snow melt conditions

**Reviewing Agency:** City Council Referral      **Review Status:** Approved - No Response

**Status Date:** 10/14/2022  
**Status:** Approved - No Response  
**Comments:**

**Reviewing Agency:** ERA Transportation Review      **Review Status:** Approved

**Reviewers Name:** Kelsey Kijowski  
**Reviewers Email:** Kelsey.Kijowski@denvergov.org

**Status Date:** 10/31/2022  
**Status:** Approved  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000084 - Tier III Fence and Retaining Wall 2087 N Glencoe St  
Reviewing Agency/Company: ERA Transportation  
Reviewers Name: Kelsey Kijowski  
Reviewers Phone: 720-913-8834  
Reviewers Email: kelsey.kijowski@denvergov.org  
Approval Status: Approved

**Comments:**

**Status Date:** 10/13/2022  
**Status:** Denied  
**Comments:**

1. Please submit the required legal description and exhibit for the encroachment area.
2. The total retaining wall height is acceptable, so long as it remains no greater than 48-inches high as currently shown. The fence height is also acceptable, so long as it continues to be under the maximum height as specified in the Denver Zoning Code.

# Comment Report

## Tier III Fence and Retaining Wall 2087 N Glencoe St.

04/07/2023

**Master ID:** 2022-PROJMSTR-0000612      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000084      **Review Phase:**  
**Location:**      **Review End Date:** 10/13/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: ERA Wastewater Review      Review Status: Approved

Reviewers Name: Michael Sasarak  
Reviewers Email: mike.sasarak@denvergov.org

Status Date: 11/14/2022  
Status: Approved  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000084 - Tier III Fence and Retaining Wall 2087 N Glencoe St  
Reviewing Agency/Company: ER - Wastewater  
Reviewers Name: Mike Sasarak  
Reviewers Phone: 3035329783  
Reviewers Email: mike.sasarak@denvergov.org  
Approval Status: Approved

Comments:  
ER Wastewater approves per email and revised plans received from applicant via email on 10/30/2022

Status Date: 10/12/2022  
Status: Denied  
Comments: Please clarify key note 14 on Sheet A00.51. The preference is for the roof drains to splash to the surface. If proposing to pipe roof drains to the right-of-way, do not discharge directly onto sidewalk. Convey roof drains all the way to curb and gutter with sidewalk chase and minimize the number of sidewalk chases by combining downspouts.

Reviewing Agency: CenturyLink Referral      Review Status: Approved - No Response

Status Date: 10/14/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Xcel Referral      Review Status: Approved w/Conditions

Status Date: 10/31/2022  
Status: Approved w/Conditions  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000084 - Tier III Fence and Retaining Wall 2087 N Glencoe St  
Reviewing Agency/Company: Public Service Company of Colorado dba Xcel Energy  
Reviewers Name: Donna George  
Reviewers Phone: 3035713306  
Reviewers Email: donna.l.george@xcelenergy.com  
Approval Status: Approved with conditions

Comments:  
Please contact Colorado 811 before excavating. Use caution and hand dig when excavating within 18-inches of each side of the marked facilities. Please be aware that all risk and responsibility for this request are unilaterally that of the Applicant/Requestor.

Status Date: 10/14/2022  
Status: Denied  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000084 - Tier III Fence and Retaining Wall 2087 N Glencoe St  
Reviewing Agency/Company: Public Service Company of Colorado dba Xcel Energy  
Reviewers Name: Donna George  
Reviewers Phone: 3035713306

# Comment Report

## Tier III Fence and Retaining Wall 2087 N Glencoe St.

04/07/2023

**Master ID:** 2022-PROJMSTR-0000612      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000084      **Review Phase:**  
**Location:**      **Review End Date:** 10/13/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewers Email: donna.l.george@xcelenergy.com  
Approval Status: Denied

Comments:

Please be aware PSCo owns and operates an existing natural gas service line where the wall and fence on the north side of the house is proposed. The depth of the gas pipeline is only about 12-inches deep. If this line may be relocated, the developer must complete the application process via [xcelenergy.com/InstallAndConnect](http://xcelenergy.com/InstallAndConnect).

Additionally, bear in mind that per the National Electric Safety Code, a minimum 10-foot radial clearance must be maintained at all times from all overhead electric facilities including, but not limited to, construction activities and permanent structures.

It might be helpful to show these utilities on the plan.

Status Date: 10/14/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: RTD Referral      Review Status: Approved - No Response

Status Date: 10/14/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Comcast Referral      Review Status: Approved

Status Date: 10/14/2022  
Status: Approved  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000084 - Tier III Fence and Retaining Wall 2087 N Glencoe St  
Reviewing Agency/Company: Comcast  
Reviewers Name: Rich Martinez  
Reviewers Phone: 7204703135  
Reviewers Email: richard\_martinez2@cable.comcast.com  
Approval Status: Approved

Comments:  
Protect in place

Status Date: 10/14/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Metro Wastewater Referral      Review Status: Approved - No Response

Status Date: 10/14/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Street Maintenance Referral      Review Status: Approved - No Response

Status Date: 10/14/2022

# Comment Report

## Tier III Fence and Retaining Wall 2087 N Glencoe St.

04/07/2023

**Master ID:** 2022-PROJMSTR-0000612 **Project Type:** Tier III Encroachment Resolution

**Review ID:** 2022-ENCROACHMENT-0000084 **Review Phase:**

**Location:** **Review End Date:** 10/13/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status: Approved - No Response

Comments:

Reviewing Agency: Office of Emergency Management Referral Review Status: Approved - No Response

Status Date: 10/14/2022

Status: Approved - No Response

Comments:

Reviewing Agency: Building Department Review Review Status: Approved

Reviewers Name: Keith Peetz

Reviewers Email: keith.peetz@denvergov.org

Status Date: 10/12/2022

Status: Approved

Comments:

Reviewing Agency: Division of Real Estate Referral Review Status: Approved

Reviewers Name: Jason Clements

Reviewers Email: jason.clements@denvergov.org

Status Date: 09/23/2022

Status: Approved

Comments: Encroachment approved based upon application narrative and architectural drawings indicating installation of retaining wall will be placed SOUTH of the existing sidewalk along 22nd and EAST of the alley-way.

GIS currently shows the ROW boundary for subject parcel lies 15.5' NORTH of ROW boundary for adjacent property, located at 2088 N. Forest St. and indicates improvement on the WEST property line for 2087 N. Glencoe St. extends into current ROW.

Suggest review/correction of ROW boundary in GIS. If dedication is needed to correct, please contact Real Division.

Reviewing Agency: Denver Fire Department Review Review Status: Approved - No Response

Reviewers Name: David Hill

Reviewers Email: David.Hill@denvergov.org

Status Date: 10/14/2022

Status: Approved - No Response

Comments:

Reviewing Agency: Denver Water Referral Review Status: Approved

Status Date: 10/14/2022

Status: Approved

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000084 - Tier III Fence and Retaining Wall 2087 N Glencoe St

Reviewing Agency/Company: Denver Water

Reviewers Name: Kela Naso

Reviewers Phone: 13036286302

Reviewers Email: kela.naso@denverwater.org

Approval Status: Approved



# Comment Report

## Tier III Fence and Retaining Wall 2087 N Glencoe St.

04/07/2023

**Master ID:** 2022-PROJMSTR-0000612      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000084      **Review Phase:**  
**Location:**      **Review End Date:** 10/13/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status Date: 10/14/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Parks and Recreation Review      Review Status: Approved

Reviewers Name: Jennifer Cervera  
Reviewers Email: Jennifer.Cervera@denvergov.org

Status Date: 10/05/2022  
Status: Approved  
Comments:

Reviewing Agency: Policy and Planning Referral      Review Status: Approved - No Response

Status Date: 10/14/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Denver Office of Disability Rights Referral      Review Status: Approved

Status Date: 10/17/2022  
Status: Approved  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000084 - Tier III Fence and Retaining Wall 2087 N Glencoe St  
Reviewing Agency/Company: DODR  
Reviewers Name: Juan Pasillas  
Reviewers Phone: 720-913-3309  
Reviewers Email: juan.pasillas@denvergov.org  
Approval Status: Approved

Comments:

\*Approved.

\*Final construction, including any later modifications to the public sidewalk (which is considered a public Accessible Route), as well as any other areas open to the general public, must comply with all applicable 2010 ADA requirements.

Status Date: 10/14/2022  
Status: Approved  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000084 - Tier III Fence and Retaining Wall 2087 N Glencoe St  
Reviewing Agency/Company: DODR  
Reviewers Name: Spencer Pocock  
Reviewers Phone: 720-913-8411  
Reviewers Email: Spencer.Pocock@denvergov.org  
Approval Status: Approved

Comments:

\*Final construction, including any later modifications to the public sidewalk (which is considered a public Accessible Route), as well as any other areas open to the general public, must comply with all applicable 2010 ADA requirements.

# Comment Report

## Tier III Fence and Retaining Wall 2087 N Glencoe St.

04/07/2023

**Master ID:** 2022-PROJMSTR-0000612      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000084      **Review Phase:**  
**Location:**      **Review End Date:** 10/13/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

**Status Date:** 10/14/2022  
**Status:** Approved - No Response  
**Comments:**

**Reviewing Agency:** Construction Engineering Review      **Review Status:** Approved

**Reviewers Name:** Kim Blair  
**Reviewers Email:** Kim.Blair@denvergov.org

**Status Date:** 01/12/2023  
**Status:** Approved  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000084 - Tier III Fence and Retaining Wall 2087 N Glencoe St  
Reviewing Agency/Company: Denver Department of Transportation and Infrastructure  
Reviewers Name: Kim D. Blair, P.E.  
Reviewers Phone: 7857602244  
Reviewers Email: kim.blair@denvergov.org  
Approval Status: Approved

**Comments:**

**Status Date:** 10/14/2022  
**Status:** Denied  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000084 - Tier III Fence and Retaining Wall 2087 N Glencoe St  
Reviewing Agency/Company: Denver Department of Transportation and Infrastructure  
Reviewers Name: Kim D. Blair, P.E.  
Reviewers Phone: 7857602244  
Reviewers Email: kim.blair@denvergov.org  
Approval Status: Denied

**Comments:**

See Matt Farman's comments about sight triangles.

**Status Date:** 10/14/2022  
**Status:** Approved - No Response  
**Comments:**

**Reviewing Agency:** TES Sign and Stripe Review      **Review Status:** Approved - No Response

**Reviewers Name:** Brittany Price  
**Reviewers Email:** Brittany.Price@denvergov.org

**Status Date:** 10/14/2022  
**Status:** Approved - No Response  
**Comments:**

**Reviewing Agency:** City Forester Review      **Review Status:** Approved

**Reviewers Name:** Erin Hatch  
**Reviewers Email:** Erin.Hatch@denvergov.org

**Status Date:** 11/02/2022  
2022-ENCROACHMENT-0000084

# Comment Report

## Tier III Fence and Retaining Wall 2087 N Glencoe St.

04/07/2023

**Master ID:** 2022-PROJMSTR-0000612      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000084      **Review Phase:**  
**Location:**      **Review End Date:** 10/13/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

**Status:** Approved  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000084 - Tier III Fence and Retaining Wall 2087 N Glencoe St  
Reviewing Agency/Company: Forestry (OCF)  
Reviewers Name: Erin Hatch  
Reviewers Phone: (720) 913 - 0643  
Reviewers Email: Erin.Hatch@denvergov.org  
Approval Status: Approved

**Comments:**  
Approved per revised plan sent via email 10/30/22.

Attachment: Revised\_Architectural Drawings\_2087 N Glencoe Street\_10-30-2022.pdf

**Status Date:** 10/13/2022

**Status:** Denied

**Comments:** Denied.

1) There are existing ROW trees adjacent to property. The Office of the City Forester (OCF) requires preservation of existing trees within all public rights of way. Trees in fair to excellent condition located within ROW's must be retained and protected through the entire duration of the project unless authorized removal is granted by this office.

2) Show tree protection (TPZ) zone(s) on plans. Show each TPZ boundary as thick line so it can be easily interpreted by contractor. Add the following notes:

A. No construction access, activity, or storage of materials/debris/equipment is permitted within tree protection zones, including grading, installation of underground utilities, installation of site improvements, and/or grubbing. All construction activity must occur outside tree protection zones (see note 2 in OCF tree protection notes to determine tree protection zone boundaries).

B. All existing grades within tree protection zone (TPZ) boundaries must remain as-is. All proposed grade changes must occur entirely outside TPZ boundaries.

3) OCF has updated tree planting/protection detail. Include updated detail, dated 4/1/22 (pdf & CAD details included with redlines). If applicant cannot access CAD file, email Forestry@denvergov.org to request file (include project number for reference: 2022-ENCROACHMENT-0000084).

**REDLINES uploaded to E-review webpage**

Reviewing Agency: Landmark Review

Review Status: Approved - No Response

**Reviewers Name:** Rebecca Dierschow  
**Reviewers Email:** becca.dierschow@denvergov.org

**Status Date:** 10/14/2022

**Status:** Approved - No Response

**Comments:**

Reviewing Agency: ERA Review

Review Status: Approved - No Response

**Reviewers Name:** Brianne White  
**Reviewers Email:** Brianne.White@denvergov.org

**Status Date:** 10/14/2022

**Status:** Approved - No Response

**Comments:**