



**TO:** Denver City Council  
**FROM:** Brad Johnson, Principal City Planner  
**DATE:** February 23, 2023  
**RE:** (A) Denver Zoning Code – Text Amendment to establish a new Sunnyside Conservation Overlay (CO-7), a new Sunnyside Conservation and Brick Overlay (CO-8) and make non-substantive amendments to the Potter Highlands Conservation Overlay (CO-4) and Bungalow Conservation Overlay (CO-6) for clarity and consistency.  
(B) Official Zoning Map Amendment Proposal #2019I-00066 rezoning multiple properties in Sunnyside from U-SU-C, U-SU-C1 and U-TU-C to U-SU-C, CO-7; U-SU-C1, CO-7 and U-TU-C, CO-7; and from U-SU-C, U-SU-C1, U-SU-B1 and U-TU-C to U-SU-C, CO-8; U-SU-C1, CO-8; U-SU-B1, CO-8 and U-TU-C, CO-8.

## Staff Report and Recommendation

### A. Text Amendment

Based on the review criteria for a text amendment stated in the Denver Zoning Code (DZC), Section 12.4.11 (Text Amendment), CPD staff recommends approval of the Sunnyside Conservation Overlay (CO-7), Sunnyside Conservation and Brick Overlay (CO-8), and Associated Amendments Denver Zoning Code Text Amendment.

### B. Map Amendment

Based on the review criteria for a map amendment stated in the Denver Zoning Code (DZC), Section 12.4.10 (Map Amendment), staff recommends approval of map amendment #2019I-00066.

## Summary and Purpose

### A. Text Amendment

Councilmember Amanda Sandoval is sponsoring a text amendment to the Denver Zoning Code to create the Sunnyside Conservation Overlay (CO-7) and Sunnyside Conservation and Brick Overlay (CO-8). The text amendment also includes associated amendments to support the creation of CO-8 in Article 13.

DZC Section 9.4.3.1 provides that Conservation Overlay Districts are “intended to provide a vehicle to initiate and implement programs for the revitalization or conservation of specific areas within Denver possessing distinctive features, identity, or character worthy of retention and enhancement.”

The proposed text amendment would create two overlay districts intended “to promote conservation of mass, scale, and other design characteristics of residential neighborhoods within the single unit (SU) or two unit (TU) Underlying Zone Districts in the Sunnyside Neighborhood” (proposed DZC Sections 9.4.3.12.B and 9.4.3.13.B). If approved by City Council, the conservation overlay districts would modify the underlying zone district primary building form standards by reducing the allowed building height and bulk plane vertical height at side zone lot lines,

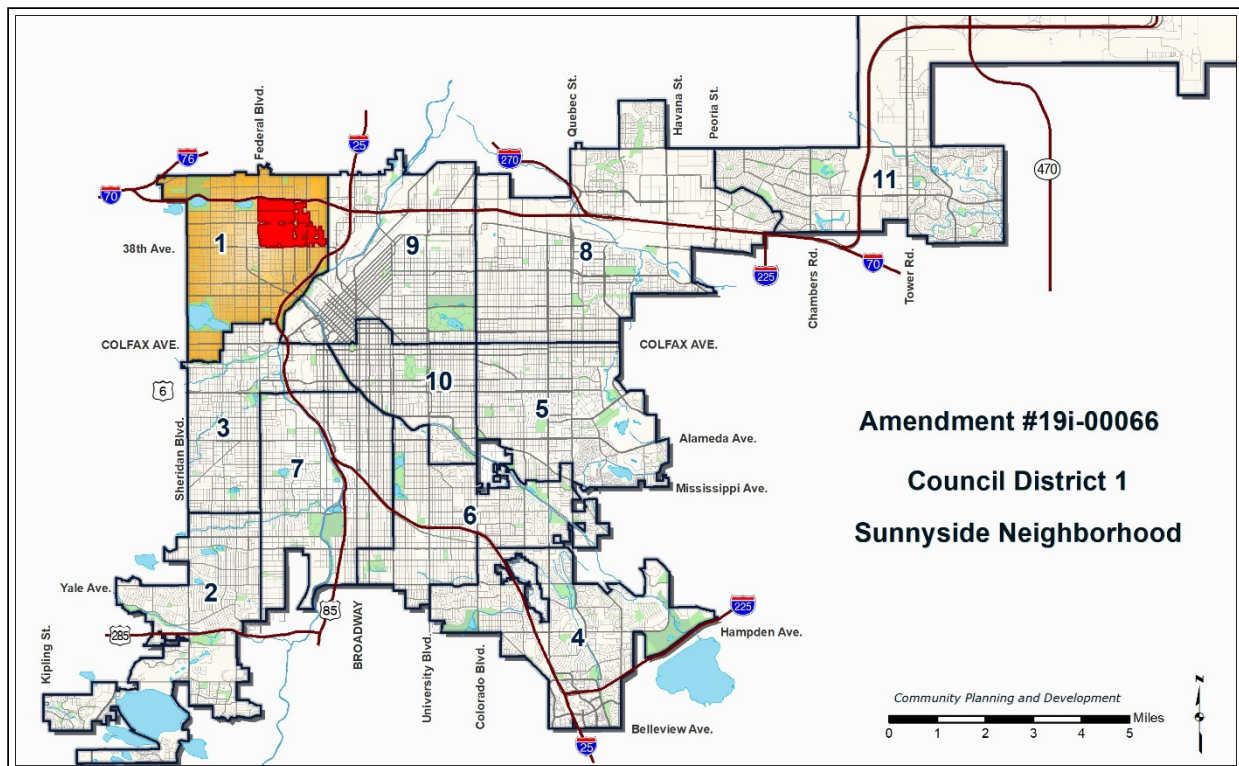
establishing a maximum square footage for the Urban House Primary Building Form, and requiring a porch placed along the street that meets specified design criteria. In the proposed CO-8 section of the text amendment only a minimum percentage of some exterior walls are required to be clad with brick materials. Note this design standard applies only to new construction (not alterations, expansions, or repairs).

A summary of the proposed text amendment is provided in the proposed zoning section of this report. See the attached draft text amendment for the full proposed language and illustrative graphics.

### B. Map Amendment

Councilmember Amanda Sandoval is sponsoring a map amendment to apply the proposed CO-7 and CO-8 overlay districts discussed above to residentially zoned properties in the Sunnyside neighborhood. As of the date of this report, the proposed map amendment intends to rezone the properties from U-SU-C, U-SU-C1 and U-TU-C to U-SU-C, CO-7; U-SU-C1, CO-7 and U-TU-C, CO-7; and from U-SU-C, U-SU-C1, U-SU-B1 and U-TU-C to U-SU-C, CO-8; U-SU-C1, CO-8; U-SU-B1, CO-8 and U-TU-C, CO-8.

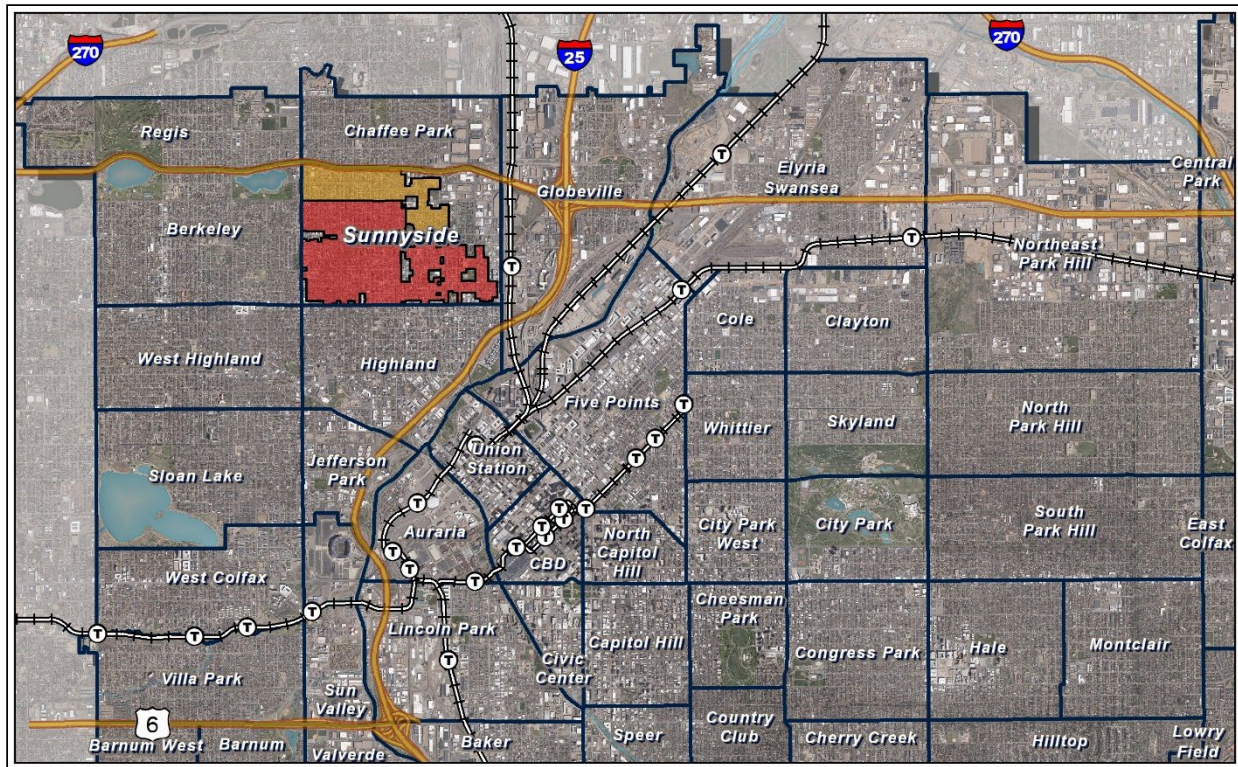
- The proposed rezoning includes all properties (3259 parcels) in Sunnyside with single-unit or two-unit residential zoning.
- The total area to be rezoned is approximately 651 acres, inclusive of public rights-of-way. Of this total, the CO-7 would be applied to 175 acres and CO-8 would be applied to 476 acres. Note the 434 acres identified in the attached Rezoning Application represent the area of privately owned parcels only. The area of the overall rezoning is generally bounded by Federal Boulevard, Interstate-70, Pecos Street (for CO-7), Jason Street (for CO-8), and 38<sup>th</sup> Avenue.



Sunnyside Conservation Overlay (CO-7), Sunnyside Conservation and Brick Overlay (CO-8), and Associated Amendments Text Amendment, and Rezoning #2019I-00066

February 23, 2023

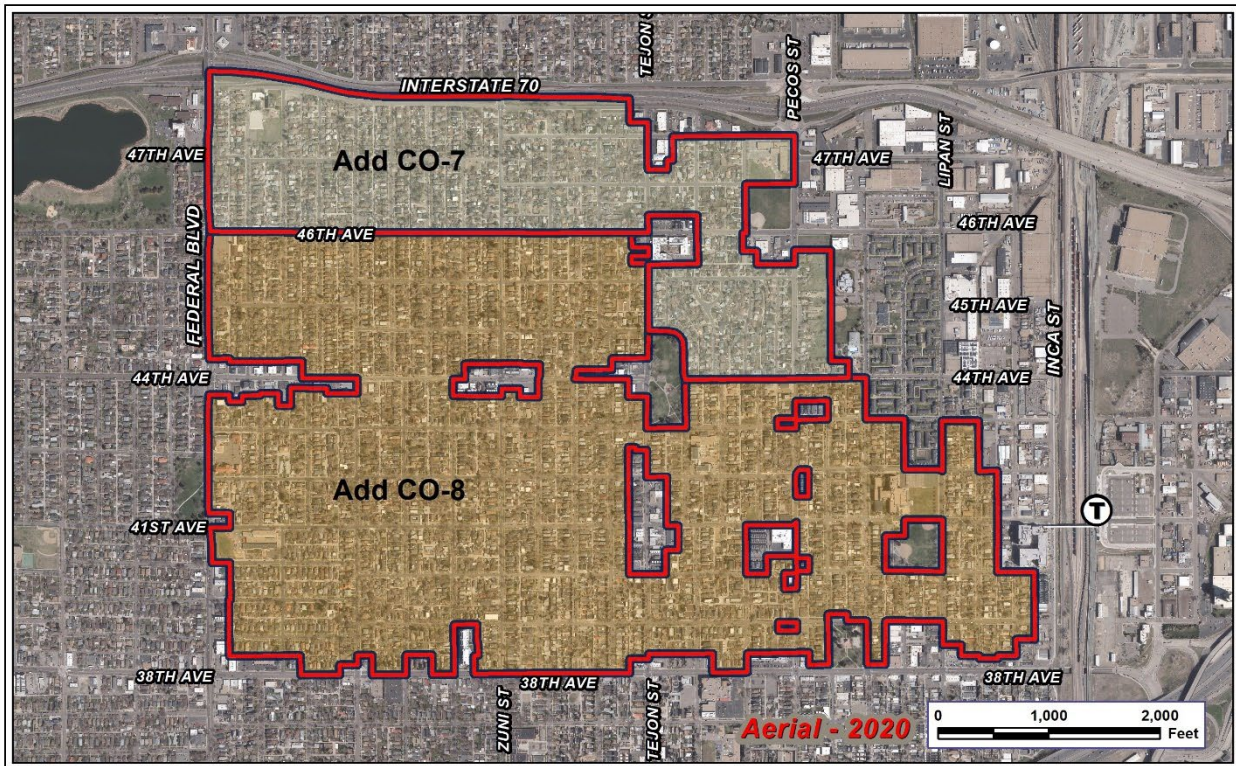
Page 3



 CO-7 Proposed       CO-8 Proposed



## Existing Context



As of the date of this staff report, the rezoning area is zoned Urban-Single Unit-C (U-SU-C), Urban-Single Unit-C1 (U-SU-C1), Urban-Single Unit-B1, (U-SU-B1), and Urban-Two Unit-C (U-TU-C). The area to be rezoned is composed primarily of single-unit residential uses with a small number of two- and multi-unit residential uses mixed in. The areas of Sunnyside not included in the rezoning include multiple parks, areas of Main Street zoning along Federal Boulevard, 38<sup>th</sup> Avenue, Tejon Street, and other commercial, industrial, or multi-unit residential zoning districts where the overlay would not apply.

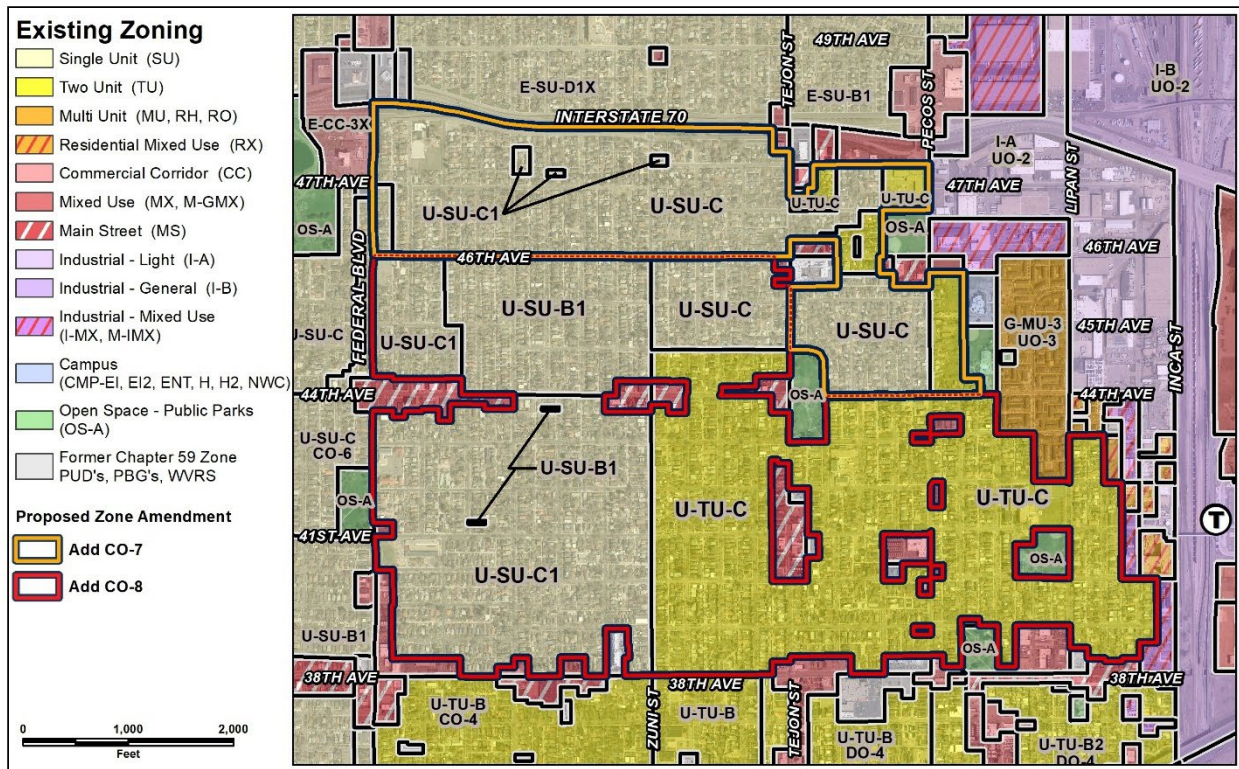
Sunnyside is one of Denver’s original neighborhoods. It contains a diverse set of architectural styles and has a strong pattern of modestly sized homes with front porches, pitched roofs and small footprints. Most homes are 1 or 2 stories in height. Some modifications and infill have occurred over the years (especially in the Two-Unit (TU) zoned areas east of Zuni Street, south of 44<sup>th</sup> Avenue, and north of 38<sup>th</sup> Avenue), but the most fundamental visual characteristics established at the neighborhood’s beginnings remain strongly intact on most blocks.



The following table summarizes the area of the rezoning and the existing context proximate to the area of the rezoning:

	Existing Zoning	Existing Land Use	Existing Building Form/Scale	Existing Block, Lot and Street Pattern
Site (multiple properties)	U-SU-C, U-SU-C1, U-SU-B1, and U-TU-C	Single-unit, two-unit, and multi-unit residential; public/quasi-public; mixed-use; industrial; commercial/retail; and office	Mostly residential buildings, one- to two-stories in height	Largely a regular grid of streets with consistently sized blocks and mostly east-west oriented, rectangular shaped lots. In the southwest corner of the site lots are oriented north-south with regular shaped lots and blocks.
North of site	E-SU-D1x; E-MX-2x	Single-unit, two-unit residential; public/quasi-public use	Interstate-70, low-scale commercial buildings	Regular grid of streets with consistent block sizes and rectangular shaped lots.
South of site	U-TU-B, CO-4; U-TU-B; U-TU-B, DO-4; U-MS-2; U-MX-3; U-MS-3; I-MX-3	Single-unit residential; two-unit residential; multi-unit residential; public/quasi-public use; office; commercial/retail; mixed-use; industrial	One- to two-story single- and two-unit residential buildings, three-story rowhouses and townhomes, one- to two-story commercial properties, and two elementary schools	
East of site	I-A, UO-2; I-MX-3; CMP-H2; G-MU-3, UO-3; U-RX-3; U-RH-2.5; C-RX-8;	Industrial; multi-unit residential; public/quasi-public; mixed-use; office; single-unit residential	Two-story multi-unit DHA housing property, Aztlan Recreation Center, one- to two-story industrial properties, and four- to seven-story multi-unit residential	
West of site	E-CC-3x; OS-A; U-SU-C; U-SU-C, CO-6; U-SU-B1; U-MX-2	Open space; commercial/retail; public/quasi-public; single-, two-, and multi-unit residential	Mostly residential buildings, one- to two-stories in height, one-story commercial properties, McDonough Park, Rocky Mountain Lake Park, and a middle school	

## 1. Existing Zoning



The proposed rezoning area is currently zoned U-SU-C, U-SU-C1, U-SU-B1, and U-TU-C as of the date of this report. The U-SU-C zone district is a single-unit residential district allowing the urban house primary building form with a maximum height of 30 to 35 feet on a minimum lot area of 5,500 square feet and minimum lot width of 50 feet. The U-SU-C1 district has the same regulations as the U-SU-C district but allows for a detached accessory dwelling unit. The U-SU-B1 district allows the urban house and detached accessory dwelling unit building forms with a minimum lot area of 4,500 square feet and a minimum zone lot width of 35 feet. The U-TU-C is a two-unit residential district allowing the Urban House, Duplex, and Tandem House Primary Building Forms on a minimum zone lot area of 4,500 square feet (Urban House) or 5,500 square feet (Duplex and Tandem House).

## 2. Large Development Review

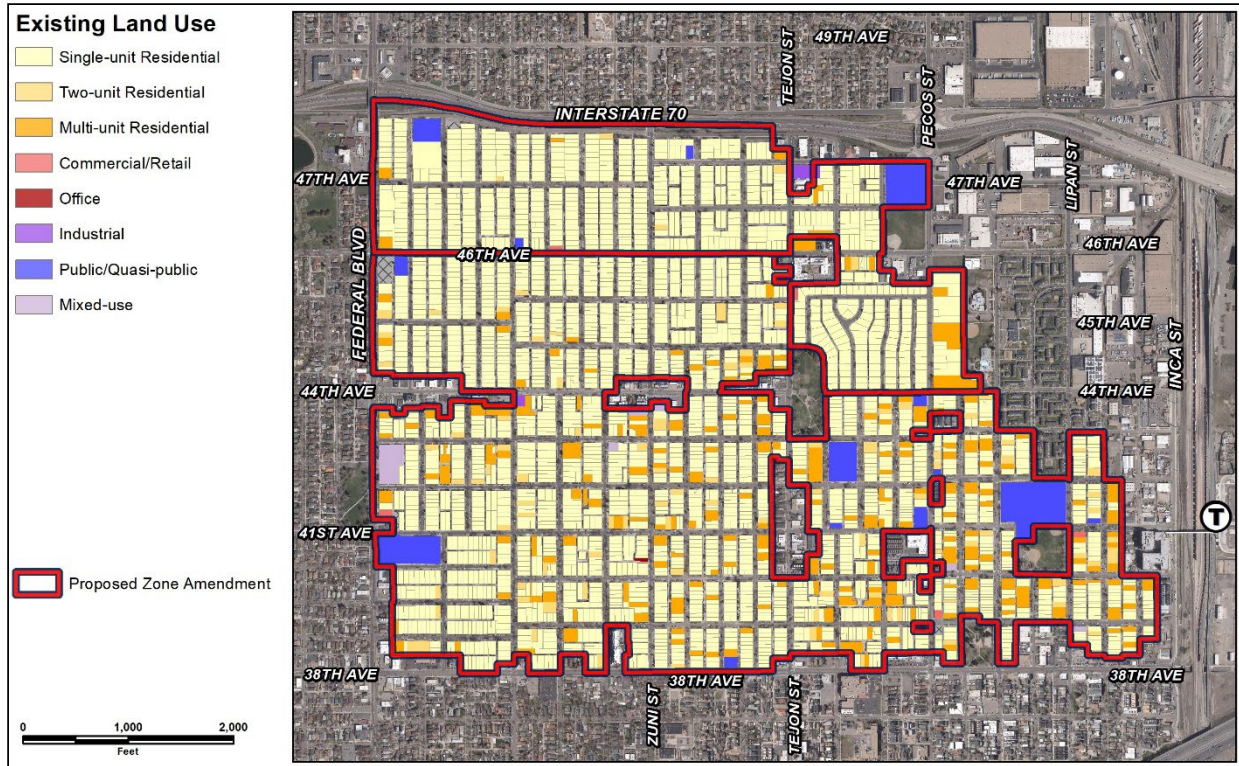
The applicability of the large development review process is defined by DZC Section 12.4.12.2. There is no specific development proposal associated with this legislative map amendment proposal. No adopted plan recommends use of the LDR process for this proposal, no infrastructure network or system improvements are anticipated, and there is no existing general development plan that needs to be amended. Therefore, although the area of the rezoning is larger than 5 acres, large development review is not applicable.



### 3. Near Northwest Neighborhood Planning Initiative

A comprehensive planning process for Sunnyside and several other statistical neighborhoods is currently underway. When complete, this Plan will establish a long-term vision and recommendations for land use, mobility and other topics. However, this effort is still in process and is yet to be adopted by City Council. As such, this in-development effort is not addressed in this staff report outside of this brief summary.

### 4. Existing Land Use Map



### 5. Existing Building Form and Scale

All images are from Google Street View.





*View facing north on 40<sup>th</sup> Avenue between Eliot and Clay Streets – within proposed rezoning area*



*View facing east on Alcott Street south of 43<sup>rd</sup> Avenue – within proposed rezoning area*



*View facing east on Decatur Street north of 42<sup>nd</sup> Avenue – within proposed rezoning area*





*View facing west on Eliot Street south of 47<sup>th</sup> Avenue – within proposed rezoning area*



*View facing west on Bryant Street north of 47<sup>th</sup> Avenue – within proposed rezoning area*



*View facing west on Navajo Street south of 41<sup>st</sup> Avenue – within proposed rezoning area*





*View facing north on West Chaffee Place at Quivas Street – within proposed rezoning area*

### **Proposed Zoning**

The proposed rezoning request would retain the existing underlying zone districts and add the Sunnyside Conservation Overlay (CO-7) and Sunnyside Conservation and Brick Overlay (CO-8). The CO-7 and CO-8 overlay districts create height, siting, and design element standards intended to result in development compatible with the design characteristics of generally low-scale residential neighborhoods comprised primarily of one- and two-story structures. The CO-8 creates an additional design element standard that requires brick cladding for some Exterior Walls. This standard is intended to promote visual compatibility with the existing residential structures that contain brick cladding. The conservation overlays add to and modify the existing standards in the underlying zone districts and do not affect permitted uses. A summary of the proposed CO-7 and CO-8 can be found in the bulleted list below and the review draft of text amendment is attached.

- Decrease maximum building height from 2.5 to 2 stories in the front 65% of the zone lot depth for low-slope roof structures
- Decrease the maximum height from 30-35' to 22' for low-slope roof structures (flat or very low pitched roofs) and from 30-35' to 30' for non-low-slope structures in the front 65% of the zone lot with no permitted height increase for properties with a greater lot width
- Decrease bulk plane vertical height at side interior and side street zone lot line from 17' to 14'
- Establish a maximum gross floor area of 3,000 square feet for zone lots 7,500 square feet or less and an incrementally increased maximum gross floor area for zone lots over 7,500 square feet
- Require a front porch that meets specified design standards.
- Allow exceptions to the bulk plane for dormers
- Amend definitions and rules of measurement in Article 13 related to the brick cladding requirement in the CO-8 section of the proposed text amendment.

The proposed text amendment also includes non-substantive amendments to improve clarity of the Potter Highlands Conservation Overlay (CO-4) and Bungalow Conservation Overlay (CO-6).

### **Summary of City Agency Referral Comments**

As part of the DZC review process, the text amendment and rezoning proposal is referred to potentially affected city agencies and departments for comment. A summary of agency referral responses follows:



Sunnyside Conservation Overlay (CO-7), Sunnyside Conservation and Brick Overlay (CO-8), and Associated Amendments Text Amendment, and Rezoning #2019I-00066

February 23, 2023

Page 11

**Assessor:** Approved – No Response

**Asset Management:** Approved – No Comments

**Real Estate, Asset Management:** Approved – No Response

**Denver Public Schools:** Approved – No Response

**Department of Public Health and Environment:** Approve Rezoning Only – Will require additional information at Site Plan Review. See Comments Below:

Denver Department of Public Health & Environment - Division of Environmental Quality (EQ) does not guarantee approval of any proposed development project at this site by providing a response to this Official Map Amendment Referral Agency Review Request. Future development is subject to existing land use controls and other environmental requirements in accordance with applicable local, state, and federal environmental regulations and statutes. EQ recommends the Property Owner conduct an environmental site assessment to determine the potential presence, nature, and extent of possible contamination on the site and to identify specific cleanup needs associated with future development. EQ may have additional information about localized potential environmental concerns at the site. However, providing such information about a specific site is beyond the scope of these zoning application comments.

**Parks and Recreation:** Approved – See Comments Below:

All parkway regulations shall still apply on properties abutting parkways.

**Department of Transportation and Infrastructure, Surveyor:** Approved

**Development Services, Project Coordination:** Approved – No Response

**Development Services, Fire Prevention:** Approved – No Response

**Development Services, Transportation:** Approved – No Response

**Development Services, Wastewater:** Approved – See Comments Below:

There is no objection to the rezone. Upon [application to develop the property], applicant will need to obtain a building permit. Independent sanitary service lines may be required, historical drainage paths must be maintained. Approval of this rezone on behalf of Wastewater does not state, or imply, public storm/sanitary infrastructure can, or cannot, support the proposed zoning. Commitment to serve proposed structure will be based on permit issuance.

## Public Review Process

	Date
Property owner mailers to residents	<b>Prior to rezoning application submittal</b>
Project website established by Council District 1	<b>Prior to rezoning application submittal</b>
Two town halls (Hosted by Councilwoman Sandoval; 129 total attendees)	<b>2/27/20, 3/3/20</b>
Flyers distributed to all properties	<b>Early July 2021</b>
Town halls on the proposed overlay, including posted signs in the neighborhood	<b>7/28/21; 7/31/21; 8/12/21</b>
Survey on draft overlay components	<b>Summer 2021</b>
Posters in English and Spanish, placed in key areas	<b>Summer 2021</b>
CPD informational notice of receipt of the rezoning application to all affected members of City Council, registered neighborhood organizations, and property owners:	<b>10/21/2022</b>
Councilwoman Sandoval's office met with the Inter Neighborhood Cooperation organization to discuss the text amendment	<b>10/22/2022</b>
Property legally posted for a period of 15 days and CPD written notice of the Planning Board public hearing sent to all affected members of City Council, registered neighborhood organizations, and property owners:	<b>12/20/2022</b>
CPD written notice of the Land Use, Transportation and Infrastructure Committee meeting sent to all affected members of City Council and registered neighborhood organizations, at least ten working days before the meeting:	<b>1/3/2023</b>
Planning Board voted 6-1 to recommend approval	<b>1/4/2023</b>
Land Use, Transportation and Infrastructure Committee of the City Council:	<b>1/17/2023</b>



Property legally posted for a period of 21 days and CPD notice of the City Council public hearing sent to all affected members of City Council and registered neighborhood organizations:	<b>2/6/2023</b>
City Council Public Hearing:	<b>2/27/2023</b>

- **Registered Neighborhood Organizations (RNOs)**

To date, staff has received no comments from RNOs

- **General Public Comment**

As of the finalization of this report, staff has received 45 letters in support and 15 in opposition. The letters in support noted the overlays would help retain Sunnyside’s unique design characteristics and pedestrian-oriented nature. Support letters also identified the robust community process used to develop the overlay as a reason for support. The letters in opposition generally state that the overlay would be overly restrictive for property owners who may wish to build new or add square footage to an existing home.

3 additional letters are also included that do not specifically state opposition or support but provide substantive feedback. One such letter states the additional bulk plane restrictions in the overlay would be too restrictive and asks that those provisions of the overlay be reconsidered. The other two letters do not state opposition or support but request that the overlay not be applied to pending permit applications.

## **Criteria for Review / Staff Evaluation**

### **1. Consistency with the Conservation Overlay Review Criteria**

Section 9.4.3.2.C establishes review criteria for approval of a Conservation Overlay District, which states a Conservation Overlay District shall meet one or more of the following criteria:

1. The district contains distinctive building features, such as period of construction, style, size, scale, detailing, mass, color and material; and/or
2. The district contains distinctive site planning and natural features, such as lot platting, building lot coverage, street layout, setbacks, alleyways, sidewalks, creek beds, parks and gardens.

The text and map amendment are **consistent** with these criteria. The Sunnyside neighborhood contains distinctive building features including form, height, and mass. Houses are typically one to two stories in height. These houses have pitched roofs and projecting front porches along the street. Brick is a prominent material on most homes south of 46<sup>th</sup> Avenue within the rezoning area. See the rezoning application for more detail on the distinctive building and siting features.

In addition to the review criteria above, Conservation Overlay Districts are considered zoning text amendments and map amendments and are subject to the review criteria found in Sections 12.4.11 and 12.4.10 respectively. Accordingly, CPD analyzed the proposed Sunnyside Conservation Overlay (CO-7) and Sunnyside Conservation and Brick Overlay (CO-8) Denver Zoning Code text amendment and map amendment for compliance with the review criteria (restated below) and find that the proposed text amendment and map amendment meet each of the criteria.

- Consistency with Adopted Plans

- Public Health, Safety and General Welfare
- Uniformity of District Regulations and Restrictions

Because the City Attorney's Office has determined this to be a legislative map amendment proposal, the additional criteria for non-legislative map amendments in DZC Section 12.4.10.8 do not apply.

## 2. Consistency with Adopted Plans

The following adopted plans apply to this text amendment and map amendment:

- *Denver Comprehensive Plan 2040* (2019)
- *Blueprint Denver* (2019)
- *Sunnyside Neighborhood Plan* (1992)

### ***Denver Comprehensive Plan 2040***

The proposed text amendment and rezoning are consistent with *Denver Comprehensive Plan 2040* strategies, which are organized by vision element.

Sunnyside's original and prevailing physical characteristics result in a highly pedestrian oriented neighborhood. Garages are typically placed at the rear of lots and served by alleys, buildings integrate features that reduce perceived mass like porches and dormers, and primary entry elements establish a strong visual and physical relationship between private properties and the street. These design elements all work together to make Sunnyside visually engaging and walkable. The proposed overlays seek to increase the visual compatibility of future development with these distinctive, pedestrian-oriented features of the neighborhood. As such, the proposed text and map amendment would better maintain the design quality of this area as redevelopment occurs. In this way, the proposed rezoning is **consistent** with the following Strong and Authentic Neighborhoods strategy:

- Strong and Authentic Neighborhoods Goal 2, Strategy B – *Establish a scalable, predictable and adaptable approach to improve design quality across the city* (p. 34).

In an effort to achieve greater compatibility of new structures and additions with the neighborhood's prevailing forms, the proposed overlay design standards incrementally compress the bulk plane and lower allowed primary building form heights for Low-Slope (flat or close to flat) roof elements. These provisions of the overlay would make it incrementally more challenging to attain the square footage than could otherwise be achieved without it. As such, the proposed overlays may slightly incentivize the reuse, expansion, and renovation of existing homes over demolition/new construction. Therefore, the text and map amendment are **consistent** with the following Equitable, Affordable, and Inclusive strategies:

- Equitable, Affordable and Inclusive Goal 4, Strategy C – *Incentivize the reuse of existing smaller and affordable homes* (p. 29).

As discussed above, the text and map amendment may incentivize the reuse, expansion, or renovation of existing homes, which is typically more environmentally sustainable than building

new. Therefore, the text and map amendment would be **consistent** with the following Environmentally Resilient strategy:

- Environmentally Resilient Goal 7, Strategy C – *Prioritize the use of existing buildings and explore incentives to salvage or reuse materials from demolished structures* (p. 54).

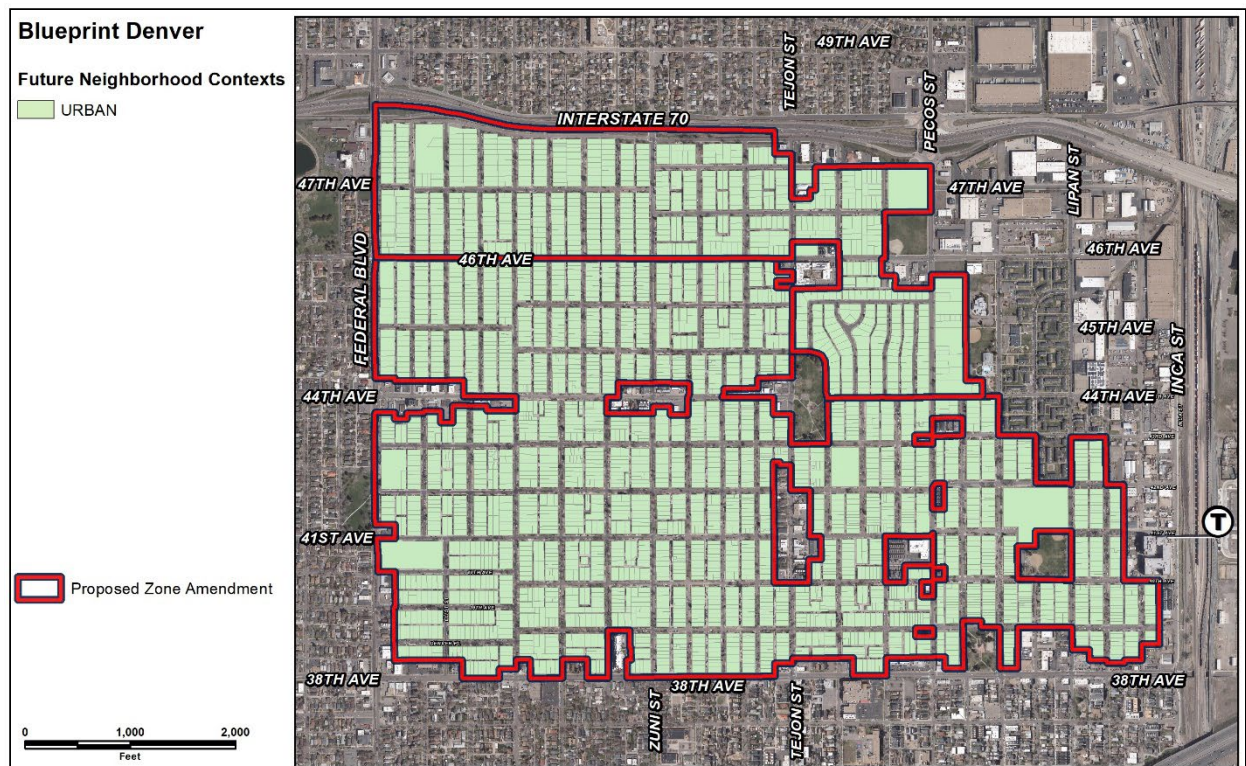
### **Blueprint Denver**

*Blueprint Denver* was adopted in 2019 as a supplement to *Comprehensive Plan 2040* and establishes an integrated framework for the city’s land use and transportation decisions. *Blueprint Denver* identifies the subject property as mostly Residential Low within the Urban Neighborhood Context.

### **Blueprint Denver Future Neighborhood Context**

The proposed rezoning is within the Urban neighborhood context, which contains “small multi-unit residential and low-intensity mixed-use buildings typically embedded in single-unit and two-unit residential areas” with grid block patterns and alley access (p. 222).

Since the proposed map and text amendment would only modify design standards to enhance visual compatibility of development with prevailing neighborhood design patterns, the proposed rezoning would have **no impact** on the degree of consistency of zoning in this area with the land uses *Blueprint* calls for in the Urban context.





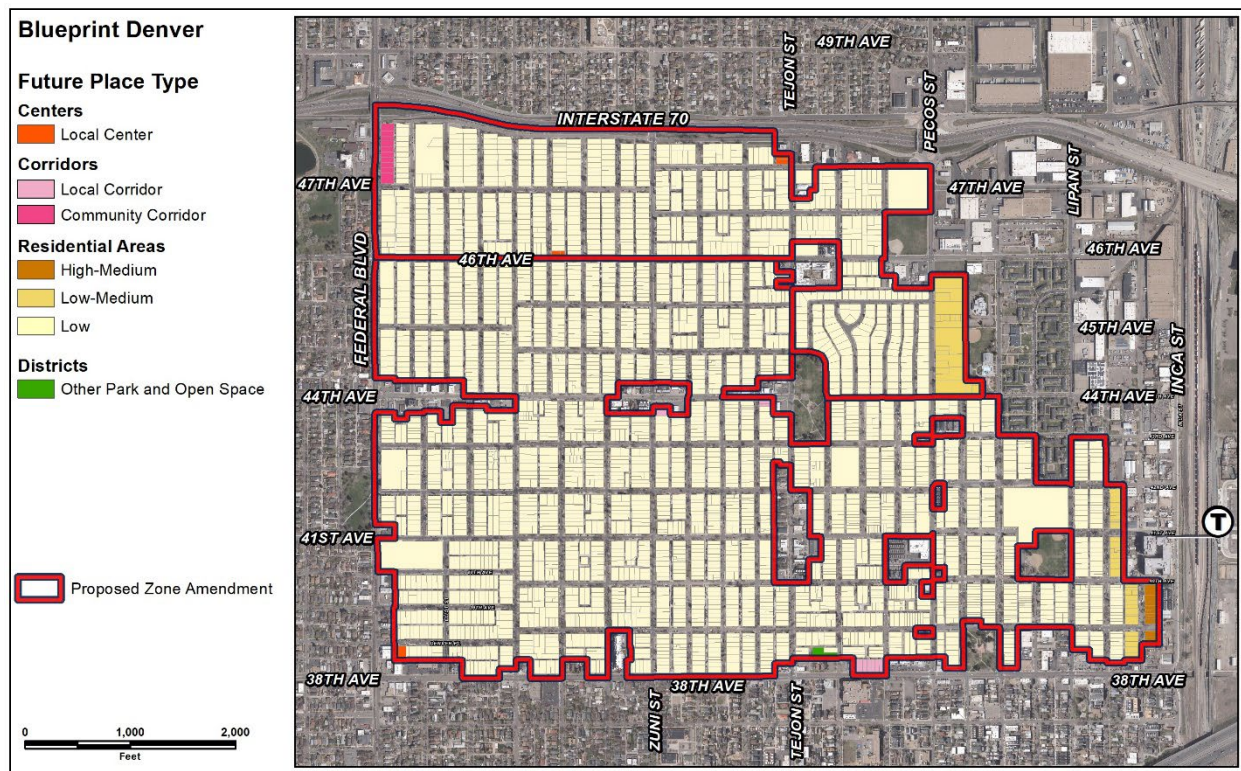
### **Blueprint Denver Future Places**

The proposed rezoning is largely within the Residential Low future place, which is “predominately single- and two-unit uses on small lots” and “buildings are generally up to 2.5 stories in height” (p. 214). In geographically small areas along the boundaries of the rezoning area there are also Low-Medium, High-Medium, Community Corridor, Local Corridor, and Local Center future place types.

For areas designated as Residential Low, the proposed text amendment and map amendment would have **no impact** on consistency of the zoning with *Blueprint’s* Residential Low designation since it would continue to allow between 2 and 2.5 stories in height and would have no impact on lot sizes or the number of units allowed on a lot.

For areas designated as Low-Medium, High-Medium, Community Corridor, Local Corridor, and Local Center Future Place Types, the proposed text and map amendment would have **no impact** on the degree of consistency of the zoning on the subject properties with these designations. If a future rezoning changes the Single Unit (SU) and Two Unit (TU) zoning on these properties to a higher intensity zone district consistent with these designations, such a rezoning would be required to include removal of the CO-7 and CO-8 overlays are expressly intended to apply to SU and TU underlying zone districts only.

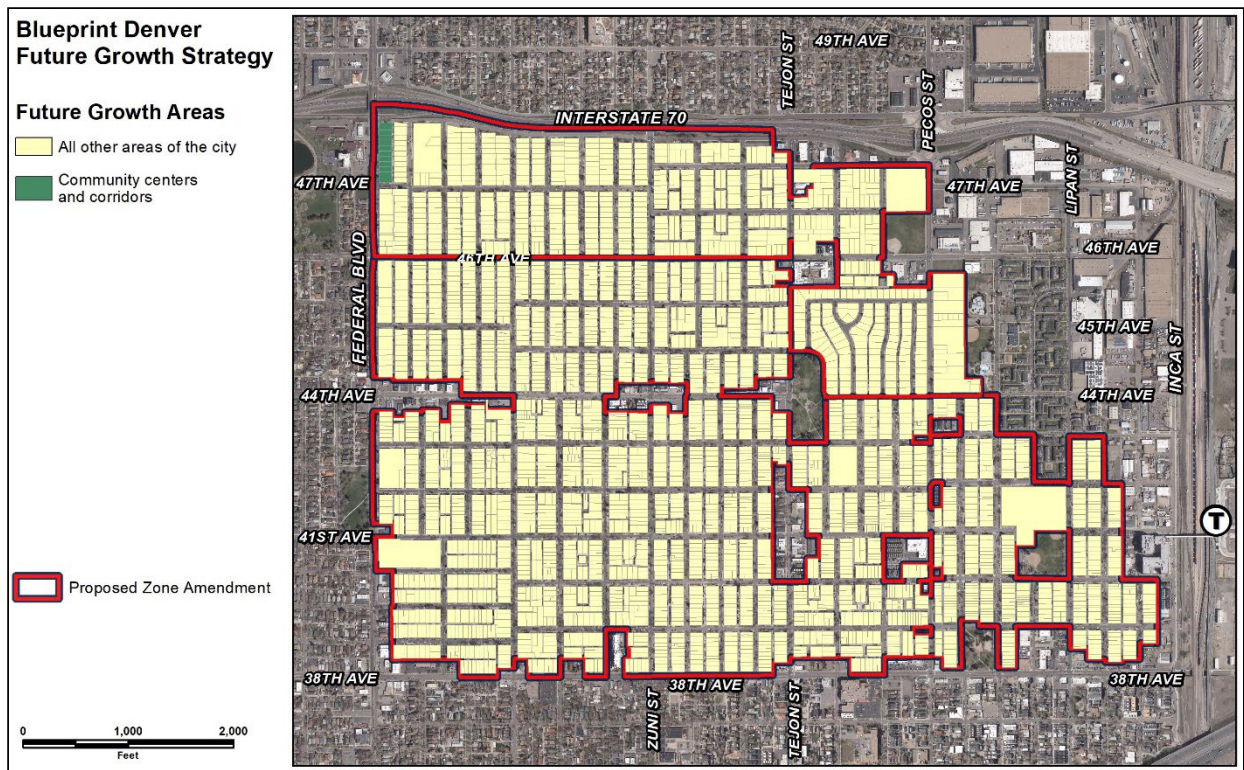
For these reasons, the proposed text and map amendments would either maintain consistency with or have no impact on consistency with Future Places designations from *Blueprint Denver*.



### **Growth Strategy**

The *Blueprint* Growth Strategy categorizes most of the rezoning area as “All other areas of the city.” These areas are anticipated to experience approximately 20% of new housing growth and 10% of new employment growth by 2040 (p. 51). The text and map amendment would not decrease or increase the

number of units allowed in the rezoning area, and therefore are consistent with *Blueprint's* strategy for minimal growth in these areas. In the northwest corner of the rezoning area there is a small section along Federal Boulevard categorized as "Community Centers and Corridors." The text and map amendment would not preclude this area from rezoning in the future to increase alignment with this growth strategy designation, and therefore are consistent with *Blueprint's* strategy for distinct growth in that area. Furthermore, if a future rezoning changes the Single Unit (SU) zoning on these properties to a higher intensity zone district that allows greater than two units on a lot, such a rezoning would be required to include removal of the CO-7 and CO-8 overlays are expressly intended to apply to SU and TU underlying zone districts only.

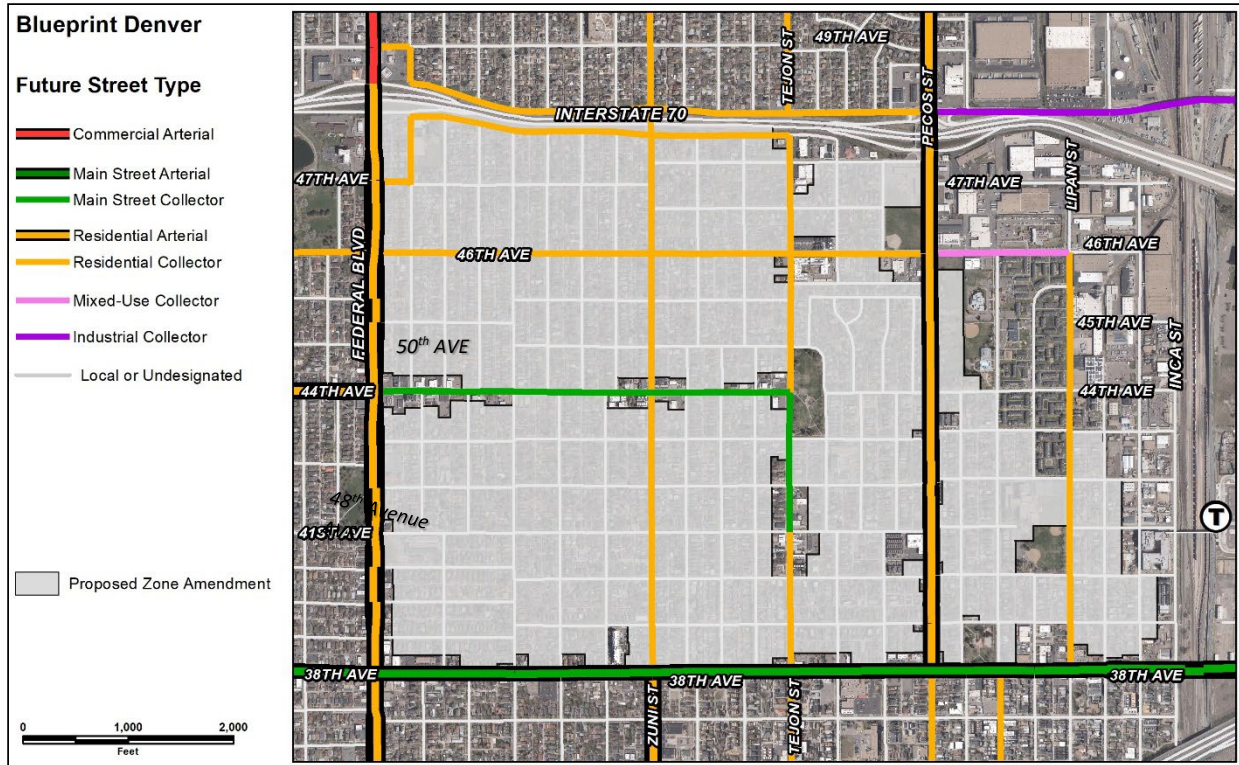


### **Blueprint Denver Street Types**

Street types help inform the appropriate intensity of the adjacent development (p. 67). *Blueprint Denver* classifies Federal Boulevard and Pecos Street as Residential Arterials. 48<sup>th</sup> Avenue, 46<sup>th</sup> Avenue, Zuni Street, sections of Tejon Street, and Lipan Street are classified as Residential Collectors. Residential streets are "primarily residential uses, but may also include schools, civic uses, parks, small retail nodes and other similar uses. Buildings on residential streets usually have a modest setback. The depth of the setback varies by neighborhood context" (p. 160). 38<sup>th</sup> Avenue is classified as Main Street Arterial and 44<sup>th</sup> Avenue and part of Tejon Street are classified as Main Street Collectors. Main Streets are "characterized by a mix of uses including retail, services and restaurants, as well as residential. Buildings are pedestrian oriented, with little front setback, a continuous street wall, and high transparency" (p. 158). The remaining streets in the proposed rezoning are undesignated local streets, which "can vary in their land uses and are found in all neighborhood contexts. They are most often characterized by residential uses" (p. 161). The



proposed rezoning would apply design standards of the proposed overlays to residentially zoned properties that facilitate visual compatibility of future development with established residential character. It would not impact allowed land uses or change required setbacks. Therefore, the proposed text and map amendments would have **no impact** on the degree of consistency of the zoning in the area with *Blueprint Denver's* street type designations.



### **Blueprint Denver Strategies**

*Blueprint Denver* includes additional recommendations that are relevant for the proposed text and map amendments.

#### **Land Use & Built Form, Design Quality & Preservation, Policy 2, Strategy B:**

- This policy seeks to “Ensure residential neighborhoods retain their unique character as infill development occurs” (p. 99).
- **Strategy B** recommends “Us[ing] conservation overlays in areas where the key goal is to conserve distinctive features in order to enhance and retain existing character. Although these overlays can be area-specific, they can also be used for multiple areas of the city where common conservation outcomes are desired” (p. 99). The proposed application of the overlay districts would result in development that conserves distinctive site and building design features found in Sunnyside, thereby retaining existing character **consistent** with Strategy B.



**Land Use & Built Form, General, Policy 11:**

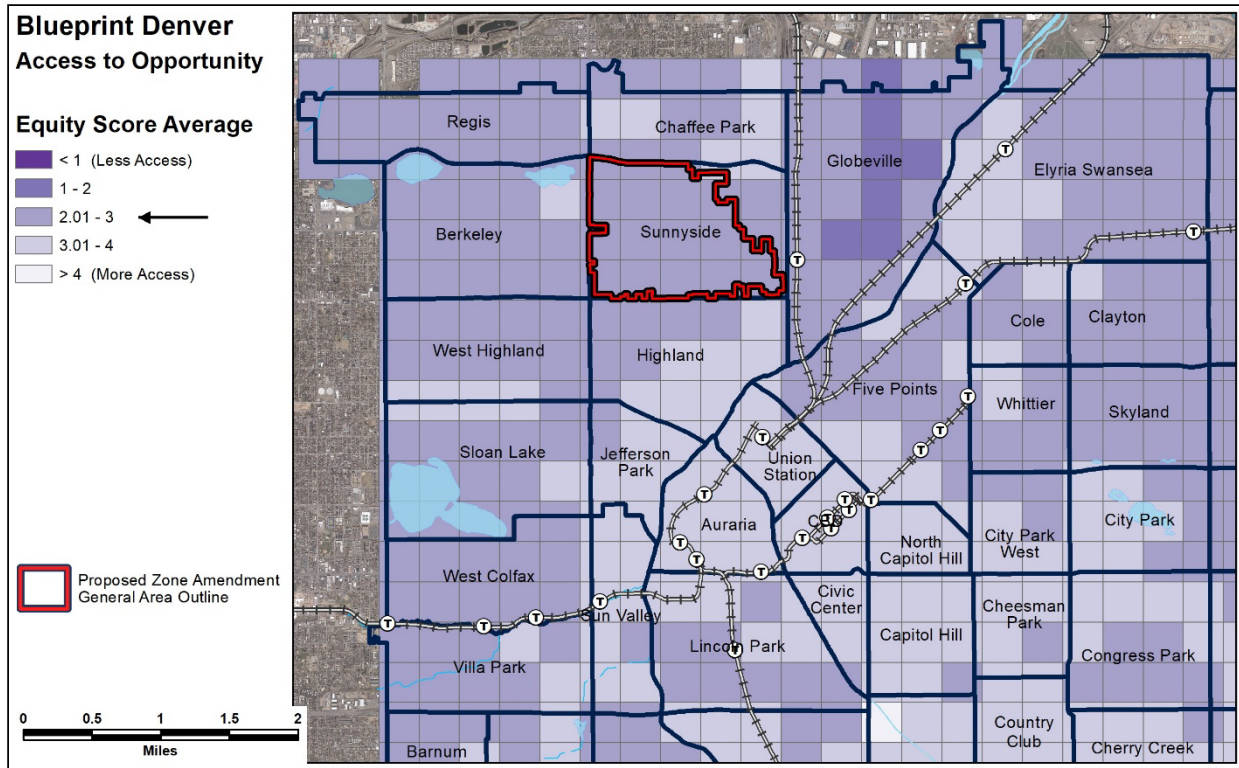
- This policy is to “Implement plan recommendations through city-led legislative rezonings and text amendments” (p. 79).
- **Strategy A** recommends “prioritiz[ing] larger-scale, legislative rezonings over site-by-site rezonings to implement plan recommendations and to achieve citywide goals, including equity goals” (p. 79). Given broad interest to conserve the existing character by implementing an overlay on single- and two-unit zoned properties in Sunnyside, a legislative rezoning for the entire area is **consistent** with this strategy.
- **Strategy B** states, “Use text amendments combined with map amendments to apply strategies recommended by Blueprint Denver at the effective, area appropriate scale. Text amendments and large legislative rezonings should be guided by the equity concepts and maps in Chapter 2” (p. 79). This proposed text and map amendment creates an overlay zone district to implement Land Use & Built Form, Design Quality & Preservation, Policy 2, detailed above and apply it an appropriate scale. As such, the text and map amendment are **consistent** with this strategy. Discussion of the equity concepts is included below.
- **Strategy C** directs text amendments and city-led rezonings to utilize “a robust and inclusive community input process.” The effort to seek an overlay to conserve existing character in the neighborhood was community-initiated and community-driven. The public outreach process included mailers to all affected property owners, an online survey, three community town halls, and several registered neighborhood meetings. As such, the process for the overlay was **consistent** with this strategy.

**Blueprint Denver Equity Concepts**

*Blueprint Denver* contains three equity concepts to help guide change to benefit everyone. Each equity concept has associated measurements that help inform review of large rezonings.

**I. Access to Opportunity**

The access to opportunity score is a composite of the neighborhood equity index developed by Denver’s Department of Public Health and Environment, proximity to high-capacity and frequent transit, and access to centers and corridors. This equity concept helps the city analyze whether it’s making progress towards achieving the vision for complete neighborhoods citywide.

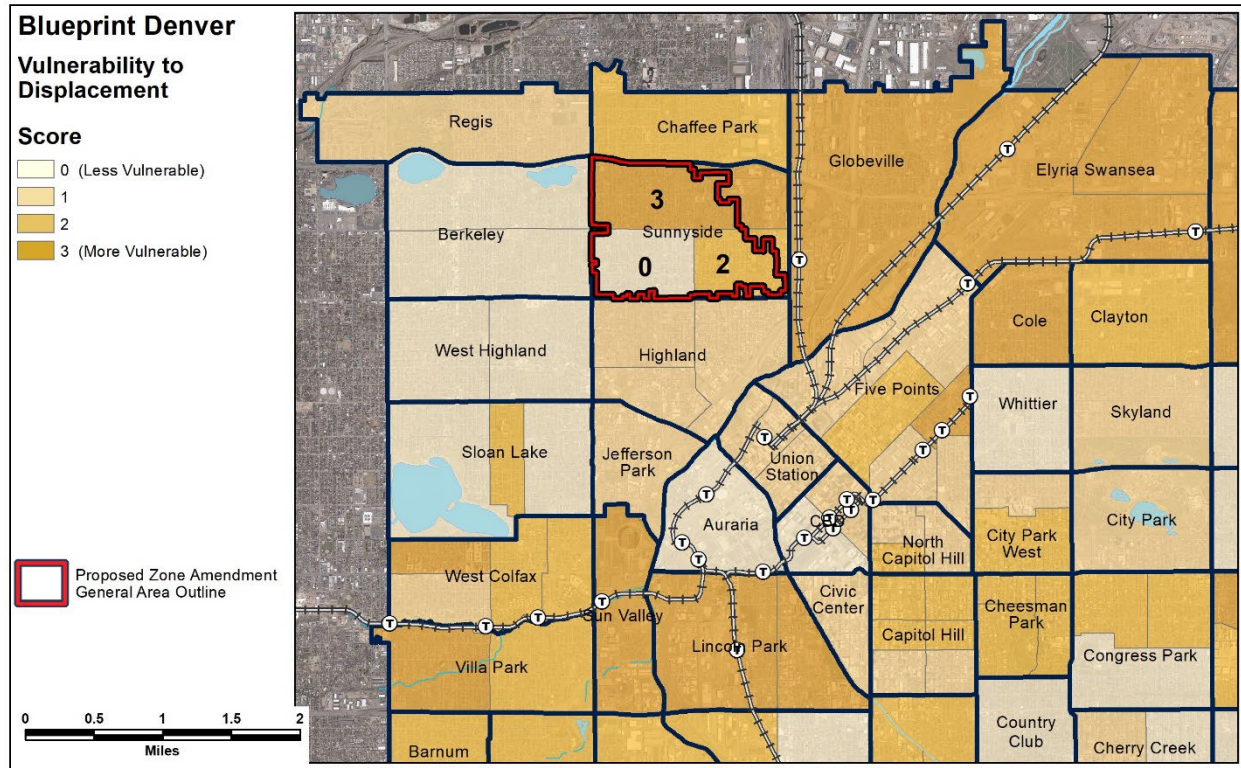


The subject properties are in an area with **average access to opportunity**. The size of the analysis area makes it difficult to draw broad conclusions since scores on metrics vary across the neighborhood. The largest variation in scores across the area applies to properties to the east which have a higher score on access to Frequent or High-Capacity Transit. The proposed rezoning would not change permitted uses or impact transit service so it would likely have **no impact** on access to opportunity.

## II. Vulnerability to Involuntary Displacement

The basis for measuring vulnerability to involuntary displacement is the vulnerability to displacement index developed by the Denver Economic Development and Opportunity Office (now the Department of Housing Stability). This combines U.S. Census data from median household income, percent of renter-occupied units, and percent of residents with less than a college degree.

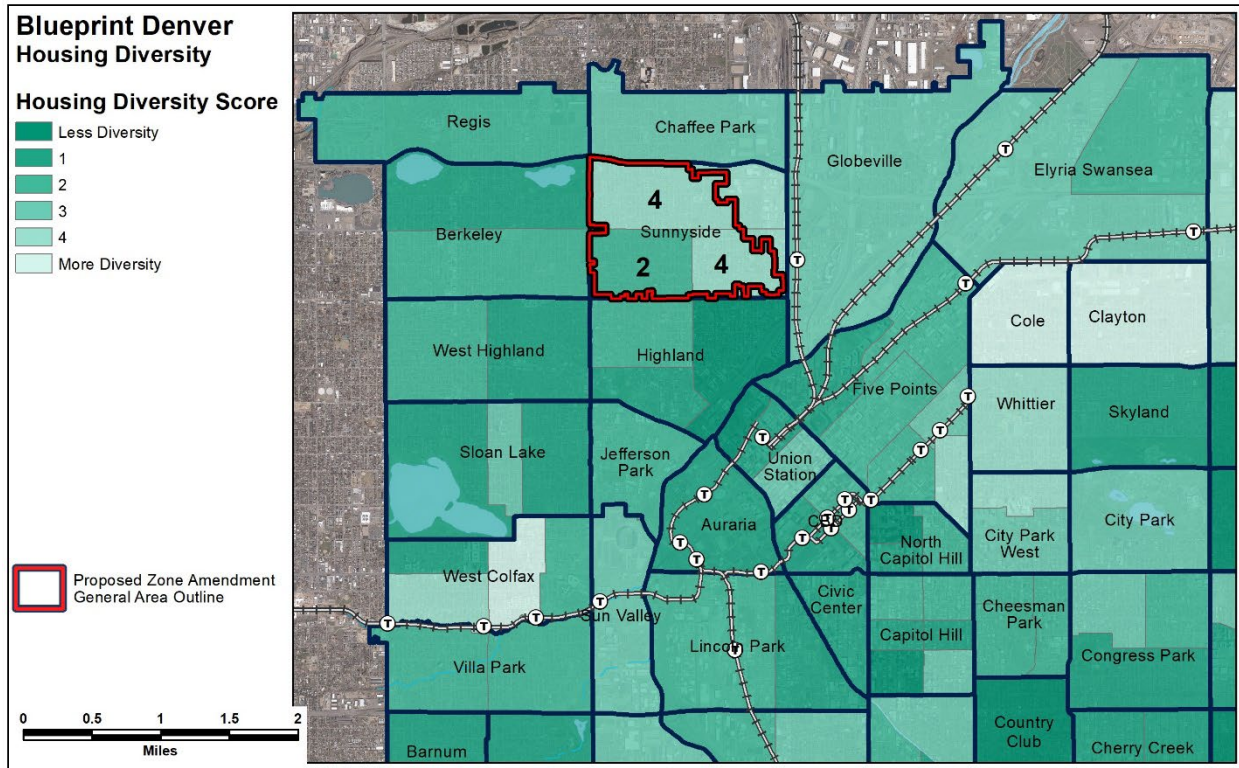




The Sunnyside neighborhood is comprised of three analysis zones for vulnerability to involuntary displacement. The southwest corner bound by Federal Boulevard to the west, 44<sup>th</sup> Avenue to the north, Tejon Street to the east, and 38<sup>th</sup> Avenue to the south scored 0 out of 3, **less vulnerable**. The southeastern corner bound generally by Tejon Street to the west, 44<sup>th</sup> Avenue to the north, Kalamath Street to the east, and 38<sup>th</sup> Avenue to the south scored 2 out of 3, **more vulnerable**. The northern half bound by Federal Boulevard to the west, 48<sup>th</sup> Avenue to the north, Pecos Street to the east, and 44<sup>th</sup> Avenue to the south scored 3 out of 3, **more vulnerable**. Since the proposed text and map amendment would not introduce new permitted uses or increase development potential in the rezoning area, or create additional income restricted units, the rezoning would likely have **no impact** on vulnerability to involuntary displacement.

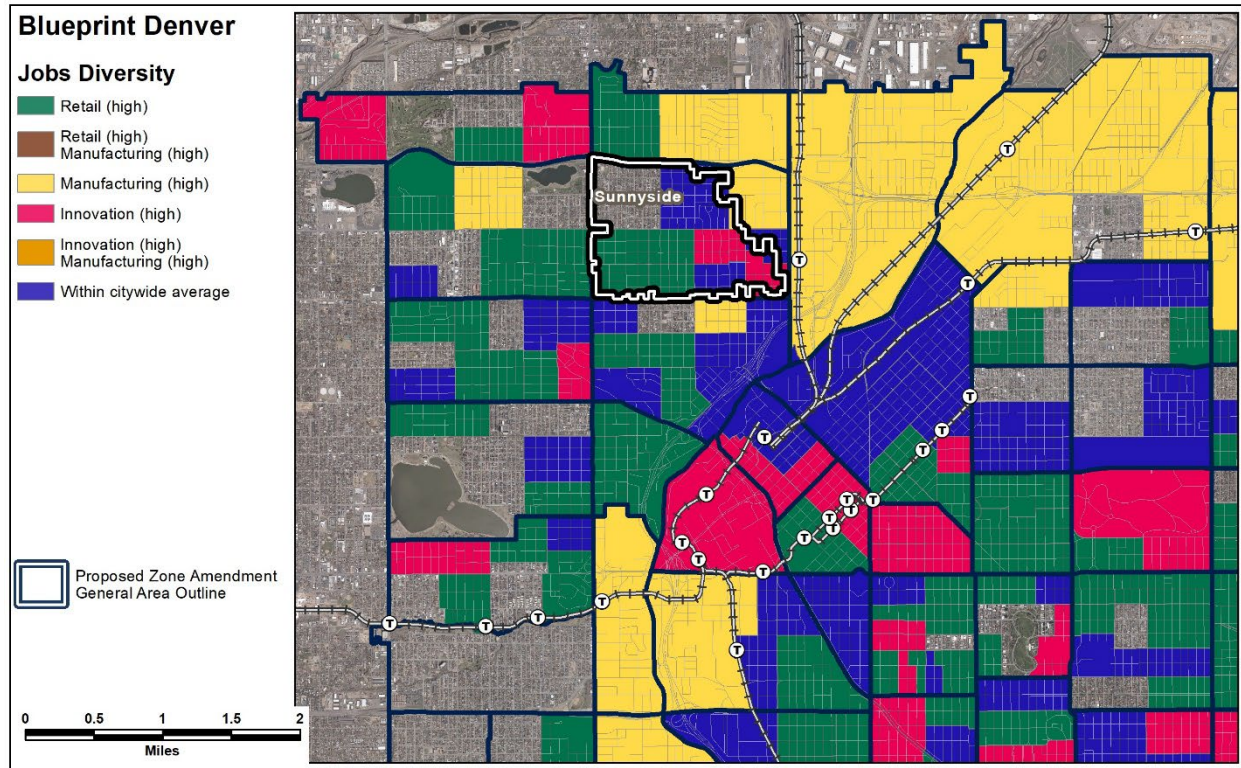
### III. Expanding Housing and Jobs Diversity

The housing diversity map combines census tract-level data measuring the percentage of middle-density housing (housing with 2-19 units on a single zone lot), home size diversity, ownership versus rental, housing costs, and the number of income-restricted units.



The Sunnyside neighborhood is comprised of three analysis zones for housing diversity. The southwest corner bound by Federal Boulevard to the west, 44<sup>th</sup> Avenue to the north, Tejon Street to the east, and 38<sup>th</sup> Avenue to the south scored 2 out of 4, **less diversity**. The southeastern corner bound generally by Tejon Street to the west, 44<sup>th</sup> Avenue to the north, Kalamath Street to the east, and 38<sup>th</sup> Avenue to the south scored 4 out of 5, **more diversity**. The northern half bound by Federal Boulevard to the west, 48<sup>th</sup> Avenue to the north, Pecos Street to the east, and 44<sup>th</sup> Avenue to the south scored 4 out of 5, **more diversity**. The proposed text and map amendment would not change the number of dwelling units permitted on a zone lot or propose any specific development, so it is likely to have **no impact** on most measures of housing diversity. However, the rezoning would incrementally reduce the potential home size for the Urban House building form so it could have a **minor impact** on home size diversity by discouraging demolition of existing, smaller homes and replacement with larger units.





The map above shows the mix of jobs in areas of the city (dominant industry depicted by color) by block group. Since the proposed text and map amendment would not change allowed uses, the rezoning would likely have *no impact* on jobs diversity.

### ***Sunnyside Neighborhood Plan (1992)***

The Sunnyside Neighborhood Plan provides high-level vision for the neighborhood and objectives for land use, beautification, and physical infrastructure improvements. This includes some guidance related to urban design.

The Plan’s Vision states that “there is a desire among residents to promote the diversity of their neighborhood. Houses are a mix of architectural styles - old and new, big and small, brick and frame. People of many different cultures and several generations live together harmoniously. There is a vision among the residents that, someday, the rest of Denver will realize how positive that diversity can be. Sunnyside and northwest Denver will be valued for its diversity which gives it character and charm.”

Top Urban Design priorities in the plan include establishing entry/gateway elements and infrastructure improvements in the right-of-way.

The proposed text and map amendment would continue to allow a variety of architectural styles and a mix of materials. In some areas where there is a consistent pattern of brick homes, the rezoning would apply design standards requiring the use of brick, but would allow other materials to be used in conjunction with it. As such, the proposed rezoning is consistent with the urban design elements of this adopted Plan and would be neutral with respect to other Plan elements.

### **3. Uniformity of District Regulations and Restrictions**

This text amendment would result in uniform regulations applicable to all new development within each underlying zone district.

The proposed rezoning to apply CO-7 and CO-8 would result in the uniform application of the overlay district's building form and design regulations within each underlying zone district in the rezoning area.

### **4. Public Health, Safety and General Welfare**

The proposed text amendment and map amendment would further the public health, safety, and general welfare by implementing *Blueprint Denver*, which recommends the "use [of] conservation overlays in areas where the key goal is to conserve distinctive features in order to enhance and retain existing character" (*Blueprint Denver*, p. 99). The text amendment and map amendment would establish design standards for residential properties that result in development compatible with the existing character of the rezoning area, including requiring elements that would contribute to pedestrian-friendly streets.

### **Attachments**

1. City Council Draft Text Amendment (markup)
2. City Council Draft Text Amendment (clean)
3. Rezoning Application
4. Public Comment Letters



# Denver Zoning Code Text Amendment Sunnyside Conservation Overlay District (CO-7) and Sunnyside Conservation and Brick Overlay District (CO-8)

## CITY COUNCIL DRAFT - 01/20/2023

This document is a draft of a proposed text amendment to create two conservation overlay zone districts for the Sunnyside neighborhood. A conservation overlay is a regulatory mechanism that modifies design standards for buildings in a specified area to facilitate protection of the area's existing character. This draft follows a multi-year overlay development process led by Councilwoman Amanda Sandoval (Council District 1) in close coordination with a neighborhood working group and Sunnyside residents. Councilwoman Sandoval has requested this text amendment to establish two conservation overlay zone districts and a map amendment to apply them as follows:

- **The Sunnyside Conservation Overlay (CO-7)** would apply to portions of the neighborhood as shown on the map on the next page of this document. The CO-7 overlay district would include design standards to ensure that development that occurs in Sunnyside is more visually compatible with existing neighborhood design patterns.
- **The Sunnyside Conservation and Brick Overlay (CO-8)** would apply to portions of the neighborhood as shown on the map on the next page of this document. The CO-8 overlay district would include design standards to ensure that development that occurs in Sunnyside is more visually compatible with existing neighborhood design patterns, and would include requirements that a minimum percentage of exterior walls on new buildings utilize brick materials. The CO-8 overlay is identical to the CO-7 overlay except that it contains this building material requirement not included in CO-7. The CO-8 overlay district is proposed to be added to properties as shown on the map on the next page.

Two overlays are needed to separately address areas of Sunnyside where brick building materials are consistently present today and areas where brick is less common. While two separate overlays are proposed, the design standards in the two overlays were developed in a unified manner for the Sunnyside neighborhood as a whole. The areas designated on the map as CO-8 were determined to have a generally consistent pattern of brick buildings.

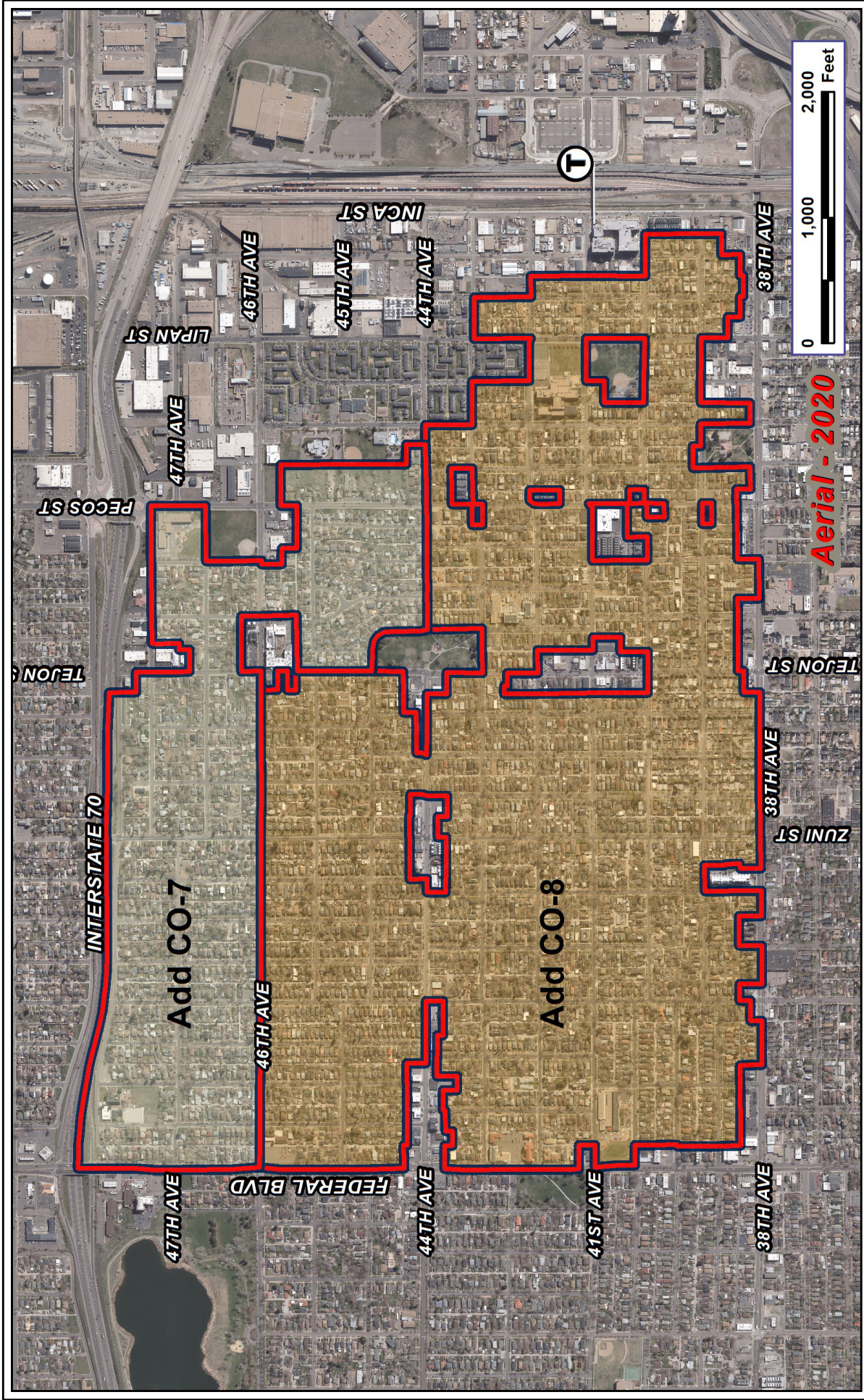
### **Redline Document Conventions**

- Text in red underline is proposed new language.
- Text in red-strikethrough is proposed deleted language.
- Only pages with changes relevant to this text amendment are included in the review file (with the exception of a few pages inserted for context). You may wish to look at other sections for additional context.
- While efforts are made to ensure document quality, cross-referenced section numbers, figure numbers, page numbers, and amendment numbers may appear incorrect since both new and old text appears in a draft. These will be corrected in the final, "clean" version of the text amendment that is filed for adoption by City Council.
- Additionally, please note that coordination will continue throughout the process to ensure constancy of approach and administration with other ongoing text amendments.

Visit [www.denvergov.org/textamendments](http://www.denvergov.org/textamendments) to learn more about this proposed text amendment. Please send any questions or comments to Brad Johnson at [brad.johnson2@denvergov.org](mailto:brad.johnson2@denvergov.org).

**All interested persons and organizations should express their support or concerns at the public hearing before City Council.**





Sunnyside Conservation Overlay Zone Districts (CO-7 and CO-8)  
 Proposed Application of Conservation Overlay Districts

City Council Draft 01.20.23



**3. All Other Design Standards**

All other development and design standards applicable to new development in the underlying zone district may be modified.

**9.4.3.4 Conservation Overlay Districts Established**

The following conservation overlay zone districts are established:

CONSERVATION OVERLAY DISTRICT NAME	ZONING MAP DESIGNATOR
Hilltop Heritage Conservation Overlay District	CO-1
Curtis Park Conservation Overlay District	CO-2
Scottish Village Conservation Overlay District	CO-3
Potter Highlands Conservation Overlay District	CO-4
Krisana Park Conservation Overlay District	CO-5
Bungalow Conservation Overlay District	CO-6
<u>Sunnyside Conservation Overlay District</u>	<u>CO-7</u>
<u>Sunnyside Conservation and Brick Overlay District</u>	<u>CO-8</u>

**9.4.3.5 Effect of Approval**

**A. Zoning Map Designator**

Each Conservation Overlay District shall be shown on the official map by an “CO-#” designator and an appropriate number placed after the underlying zone district designation.

**B. Limitation on Permit Issuance**

No zoning permit for development or for a use within a Conservation Overlay District shall be issued by Community Planning and Development unless the development or use meets the standards set forth in the adopted Conservation Overlay District.

**9.4.3.6 Hilltop Heritage Conservation Overlay District (CO-1)**

**A. Creation**

There is hereby created a conservation overlay zone district designated as Hilltop Heritage Conservation Overlay District CO-1.

**B. Limitation on the Establishment of Zone Lots in the Overlay District**

Any zone lots in this overlay zone district that existed on July 21, 2000, may be amended or subdivided only if each of the zone lots that are created or result therefrom is not less than 75 feet wide at any street (Side Street or Primary Street) setback line for structures and are not less than 9,300 square feet in lot size.

**C. Exceptions Inapplicable**

The exceptions from zone lot width and area requirements for zone lots in Section 1.2.3.3, Flag Zone Lots, shall not apply in this overlay zone district, provided however, zone lots containing at least 27,900 square feet existing on March 7, 2000, may be amended into zone lots in compliance with the zone lot width reduction for flag lots contained in Section 1.2.3.3, Flag Zone Lots, if the resultant zone lots contain at least 9,300 square feet.

**9.4.3.7 Curtis Park Conservation Overlay District (CO-2)**

**A. Creation**

There is hereby created a Conservation Overlay District designated as the Curtis Park Conservation Overlay District.



### 9.4.3.9 Potter Highlands Conservation Overlay (CO-4)

#### A. Creation

There is hereby created a Conservation Overlay District designated as the Potter Highlands Conservation Overlay District.

#### B. Intent

To apply additional building form standards that are consistent with the established character of the Potter Highlands Historic District.

#### C. Applicability

This Potter Highlands Conservation Overlay shall apply only to those areas designated as CO-4 on the Official Zone Map.

#### D. Primary Building Form Standards Applicable to Urban House, Duplex, and Tandem House Building Forms

##### 1. Side Interior Setbacks

- a. For zone lots greater than 30 feet and up to 40 feet in width, the minimum side interior setback shall be 5 feet.

##### 2. Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot Lines

- a. For zone lots 30 feet or less in width, the maximum bulk plane vertical height at the side interior and the side street zone lot line in the front 65% of the zone lot shall be 15 feet.
- b. For zone lots greater than 30 feet in width, the maximum bulk plane vertical height at the side interior and the side street zone lot line in the front 65% of the zone lot shall be 13 feet.

##### 3. Rooftop and/or Second Story Decks

Rooftop and/or Second Story Decks located on or above the roof of any story other than the Street Level Story are prohibited.

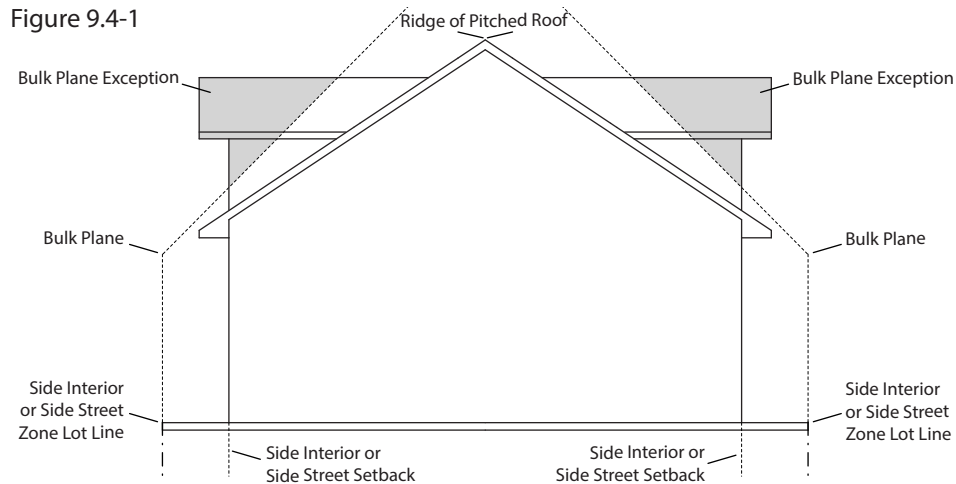
##### 4. Low-Slope Roof Height Limit and Bulk Plane Exception

- a. In the front 65% of zone lot depth:
  - i. A portion of a building with a Low-Slope Roof structures shall have a maximum height of 25 feet.
  - ii. Bulk Plane shall not apply to structures having a portion of a building with a Low-Slope Roof.
- b. In the rear 35% of zone lot depth:
  - i. A portion of a building with a Low-Slope Roof structures shall have a maximum height of 14 feet.
  - ii. Bulk Plane shall not apply to structures having a portion of a building with a Low-Slope Roof.

##### 5. Bulk Plane Exception for Dormers in the Front 65% of Zone Lot Depth

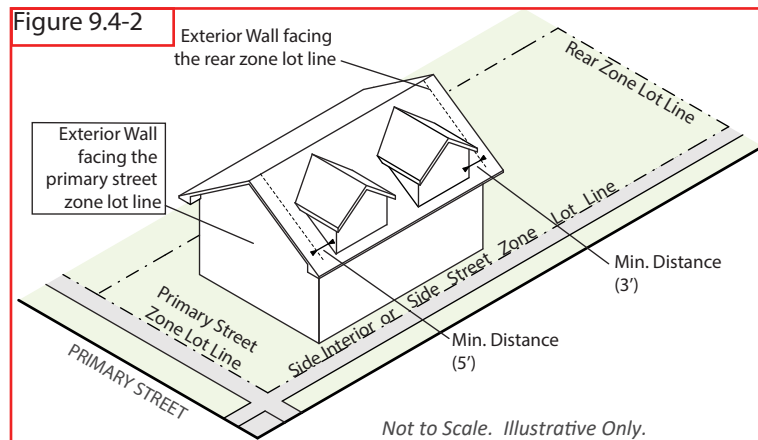
A Dormer may project beyond the bulk plane in the front 65% of the Zone Lot Depth provided the projecting Dormer meets all of the following conditions:

- a. The highest point of the Dormer shall not exceed the height of the ridge of the pitched roof. (See Figure 9.4-1)



Not to Scale. Illustrative Only.

- b. The Dormer shall contain at least one window that faces a side interior or side street zone lot line.
- c. The Dormer shall not have a Low-Slope Roof.
- d. The Dormer's roof overhangs shall not exceed 3 feet, measured perpendicular from the ~~e~~Exterior ~~w~~Wall of the Dormer to the edge of the roof overhang.
- e. The Dormer shall have a minimum distance of 5 feet from the ~~building facade~~ ~~Exte-~~  
~~rior Wall~~ located between the Dormer and the primary street zone lot line, measured perpendicular from the Dormer to the ~~building facade~~ ~~Exterior Wall~~. Roof overhangs may encroach into the minimum distance. (See Figure 9.4-2)
- f. The Dormer shall have a minimum distance of 3 feet from the ~~building facade~~ ~~Exte-~~  
~~rior Wall~~ located between the Dormer and the rear zone lot line, measured perpendicular from the Dormer to the ~~building facade~~ ~~Exterior Wall~~. Roof overhangs may encroach into the minimum distance. (See Figure 9.4-2)

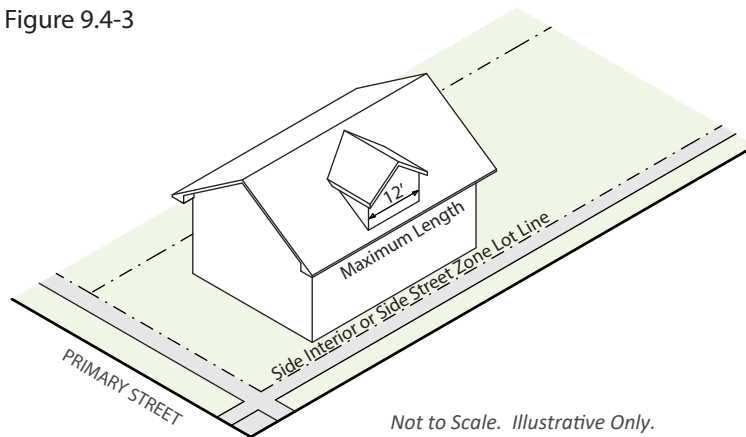


Not to Scale. Illustrative Only.



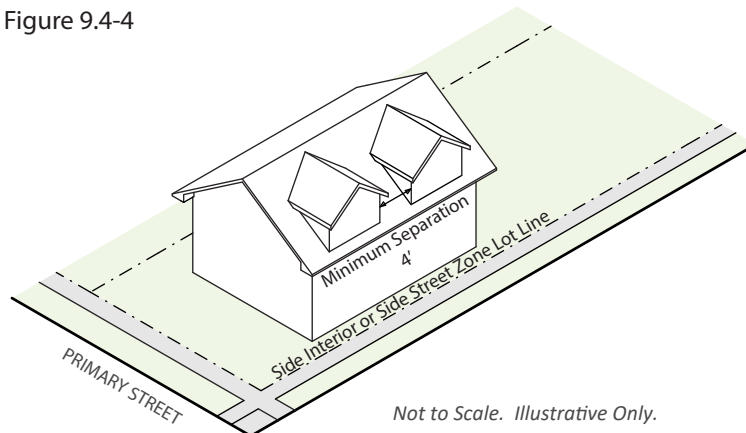
- g. The maximum length of an individual projecting Dormer shall be 12 feet (length is measured from the **e**Exterior **w**Wall surface), measured parallel to the **building facade-Exterior Wall** facing the side interior or side street zone lot line. Roof overhangs shall be excluded from the calculation of maximum length. (See Figure 9.4-3)

Figure 9.4-3



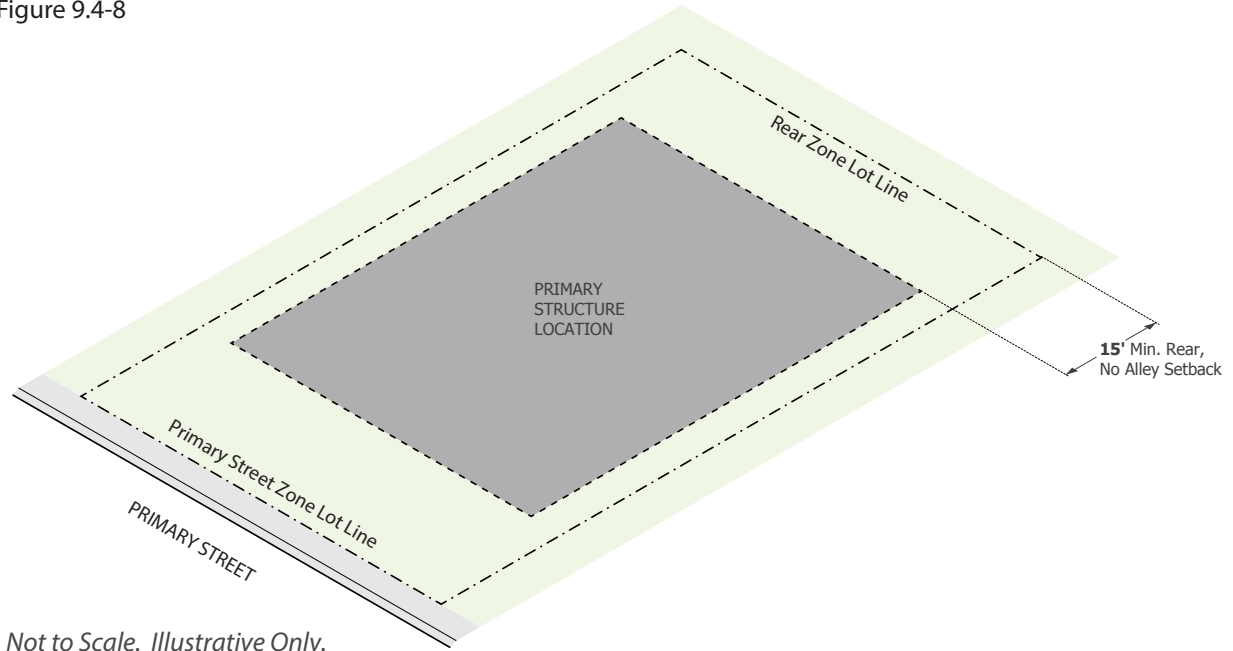
- h. The minimum separation between projecting Dormers shall be 4 feet (separation is measured from the **e**Exterior **w**Wall surface), measured parallel to the building facade facing the side interior or side street zone lot line. Roof overhangs shall be excluded from the calculation of minimum separation. (See Figure 9.4-4)

Figure 9.4-4



- i. The maximum cumulative length of all projecting Dormers shall not exceed 50% of the overall structure length facing the side interior or side street zone lot line within the front 65% of zone lot depth. Maximum cumulative length shall be calculated using the sum of the length of all projecting Dormers divided by the Overall Structure Length (see Article 13 for rule of measurement) in the front 65% of zone lot depth facing the side interior or side street zone lot line. (See Figure 9.4-5)

Figure 9.4-8



#### 6. Rooftop and/or Second Story Decks

Rooftop and/or Second Story Decks are prohibited on the entirety of the zone lot.

#### 9.4.3.11 Bungalow Conservation Overlay (CO-6)

##### A. Creation

There is hereby created a Conservation Overlay District designated as the Bungalow Conservation Overlay District (CO-6).

##### B. Intent

To promote conservation of the mass, scale and other design characteristics of low-scale residential neighborhoods comprised primarily of one and two story 'bungalow' structures within single unit (SU) or two unit (TU) Underlying Zone Districts in the Urban Edge and Urban Neighborhood contexts, including:

- a. To encourage development that is compatible in scale and mass, has raised foundations and incorporates compatible roof forms through the application of Building Height Standards and other Supplemental Design Standards.
- b. To encourage spacing between buildings that reflect the existing pattern of generous and offset (larger to the south and more narrow to the north on east-west oriented Zone Lots) setbacks through the application of Siting Form Standards.
- c. To ensure Low-Slope Roof forms are compatible with existing context, the rhythm of Unenclosed Porches along the street is maintained, that a required Unenclosed Porch along the Primary Street provides a scale transition from the primary building mass to the street, and privacy issues related to upper story outdoor spaces are mitigated through application of Design Element Standards and Supplemental Design Standards.



**C. Applicability**

This Bungalow Conservation Overlay shall apply only to those areas designated as CO-6 on the Official Zone Map.

**D. Primary Building Form Standards Applicable to Allny Allowed Building Forms**

The district-specific standards of the Underlying Zone District for allny allowed Primary Building Form ~~are~~ shall be modified as set forth in the following table.

**1. Intent**

- a. ~~To encourage development that is compatible in scale and mass, has raised foundations and incorporates compatible roof forms through the application of Building Height Standards and other Supplemental Design Standards.~~
- b. ~~To encourage spacing between buildings that reflect the existing pattern of generous and offset (larger to the south and more narrow to the north on east-west oriented Zone Lots) setbacks through the application of Siting Form Standards.~~
- c. ~~To ensure low-slope roof forms are compatible with existing context, the rhythm of porches along the street is maintained, porches provide a scale transition to the street and privacy issues related to upper story outdoor spaces are mitigated through application of Design Element Standards and Supplemental Design Standards.~~

HEIGHT	CO-6 Overlay District			
See Underlying Zone District for Additional Applicable Height Standards Not Listed Below				
Stories, front 65% / rear 35% of Zone Lot depth (max)	2/1			
Feet, front 65% / rear 35% of Zone Lot depth for <a href="#">a portion of a building with a Pitched Roofs</a> (max)	28'/17'			
Feet, front 65% / rear 35% of Zone Lot depth for <a href="#">a portion of a building with a Low-Slope Roofs</a> (max)	22'/17'			
Feet, front 65% of Zone Lot depth, permitted height increase	Not Permitted			
<a href="#">Feet, rear 35% of Zone Lot depth, permitted height increase</a>	<a href="#">Not Permitted</a>			
Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot line in front 65% / rear 35% of Zone Lot depth	14'/10'			

SITING	CO-6 Overlay District			
See Underlying Zone District for Additional Applicable Siting Standards Not Listed Below				
SETBACKS AND BUILDING COVERAGE BY ZONE LOT WIDTH	30' or Less	Greater than 30' and up to 45'	Greater than 45' and up to 75'	75' or Greater
Side Interior, south Side Zone Lot Line (min)	3'	7'	10'	10'
Side Interior, north Side Zone Lot Line (min)	3'	3'	5'	10'
Side Interior, where no south or north Side Zone Lot Line is present (min)	3'	5'	7.5'	10'
GROSS FLOOR AREA BY ZONE LOT SIZE	<a href="#">7,500 sf or Less</a>		<a href="#">Greater than 7,500 sf</a>	
Gross Floor Area (max) (for Stories which have upper surface of their floor above the finished grade at any point)	3,000 sf		3,000 sf plus 40 sf for every 100 sf increase in Zone Lot Size above 7,500 sf	

BUILDING DESIGN ELEMENTS	CO-6 Overlay District	
See Underlying Zone District for Additional Applicable Design Elements Standards Not Listed Below		
GROSS FLOOR AREA BY ZONE LOT SIZE	<a href="#">Zone Lot Area 7,500 sf or Less</a>	<a href="#">Zone Lot Area greater than 7,500 sf</a>
Gross Floor Area Located Above the Front Base Plane (max)	3,000 sf	3,000 sf plus 40 sf for every 100 sf increase in Zone Lot Size above 7,500 sf
BUILDING CONFIGURATION		
Rooftop and/or Second Story Decks	See Section 9.4.3.11.E.1	
Upper Story Stepback, for any portion of building with Low-slope Roof above 15', Primary Street (min)	10'	
<a href="#">ELEVATION OF THE UPPER SURFACE OF THE FLOOR OF THE STREET LEVEL</a>		
<a href="#">Elevation (min/max)</a>	<a href="#">See Section 9.4.3.12.E.2</a>	
STREET LEVEL ACTIVATION		
Pedestrian Access, Primary Street	See Section 9.4.3.11.E.3	

USES	CO-6 Overlay District	
See Underlying Zone District for All Applicable Uses Standards		
See Underlying Zone District and Sections 9.4.3.11.E and 9.4.3.11.F for Supplemental Design Standards and Design Standard Exceptions.		

### E. Supplemental Design Standards for the CO-6 Overlay District

The district-specific standards of the Underlying Zone District for all allowed Primary Building Forms shall be modified as set forth in the Supplemental Design Standards below. The Supplemental Design Standards in this section are in addition to Supplemental Design Standards in the underlying zone district.

#### 1. Rooftop and/or Second Story Decks

- a. Rooftop and/or Second Story Decks located on or above the roof of any story other than the Street Level story are prohibited.
- b. Rooftop and/or Second Story Decks projecting from the building above the Street Level are prohibited.

#### 2. Elevation of the Upper Surface of the Floor of the Street Level

The elevation of the upper surface of the floor of the Street Level in the front 40% of the Zone Lot depth shall be no less than 12 inches and no more than 36 inches above the Front Base Plane elevation, except when a different elevation is required by the Department of Transportation and Infrastructure (DOTI). (See Figure 9.4-9)

- a. ~~The minimum elevation of the upper surface of the floor of the Street Level in the front 40% of the Zone Lot depth shall be 12 inches above the Front Base Plane elevation, except when a lower elevation is required by Denver's Department of Transportation and Infrastructure (DOTI).~~
- b. ~~The maximum elevation of the upper surface of the floor of the Street Level in the front 40% of the Zone Lot depth shall be 36 inches above the Front Base Plane elevation, except when a higher elevation is required by Denver's Department of Transportation and Infrastructure (DOTI).~~

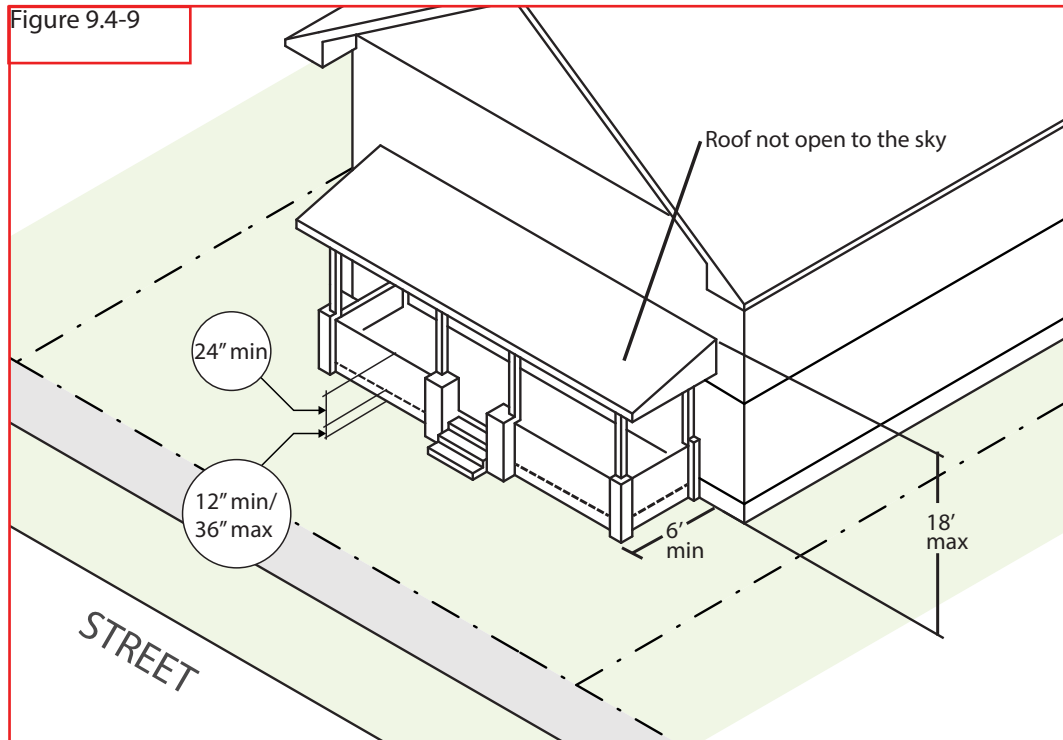
#### 3. Pedestrian Access, Primary Street

- a. An Unenclosed Porch ~~shall be~~ is required.
- b. ~~An~~ At least one Unenclosed Porch ~~or a portion of an Unenclosed Porch~~ shall:
  - i. Be located between the Primary Street-~~facing~~ Zone Lot Line and the Primary Street-facing façade(s) of the Primary Structure;
  - ii. Have an upper walking surface with a minimum area of 120 square feet, including ~~sive of~~ posts, railings, walls or other structural features, but excluding any above grade stairways at the Street Level connected to a Front Unenclosed Porch;
  - iii. Have an upper walking surface a minimum depth of 6 feet as measured perpendicular to the Primary Street Zone Lot Line from the exterior face of the Primary Street-facing façade to the ~~exterior face furthest edge~~ of the Front Unenclosed Porch including ~~sive of~~ posts, railings, walls and other structural features, but excluding the depth of any above grade stairways at the Street Level connected to a Front Unenclosed Porch (See Figure 9.4-9);
  - iv. Not be located below a Story;
  - v. Have partial height walls, railings or guards at its perimeter. Such walls, railings or guards shall extend vertically above the upper walking surface of the Front Unenclosed Porch a minimum of 24 inches except for a portion of the Front Unenclosed Porch where access for persons is provided. The width



of such access shall not exceed 50 percent of the total linear distance of all required partial height walls, railings or guards (See Figure 9.4-9);

- vi. Have a maximum height of 18 feet as measured from the Front Base Plane to the highest point of the Unenclosed Porch. (See Figure 9.4-9);
- vii. Be Have an upper walking surface entirely covered by an impermeable rRoof that is not open to the sky (See Figure 9.4-9); and
- viii. Not abut more than one Exterior Wall.

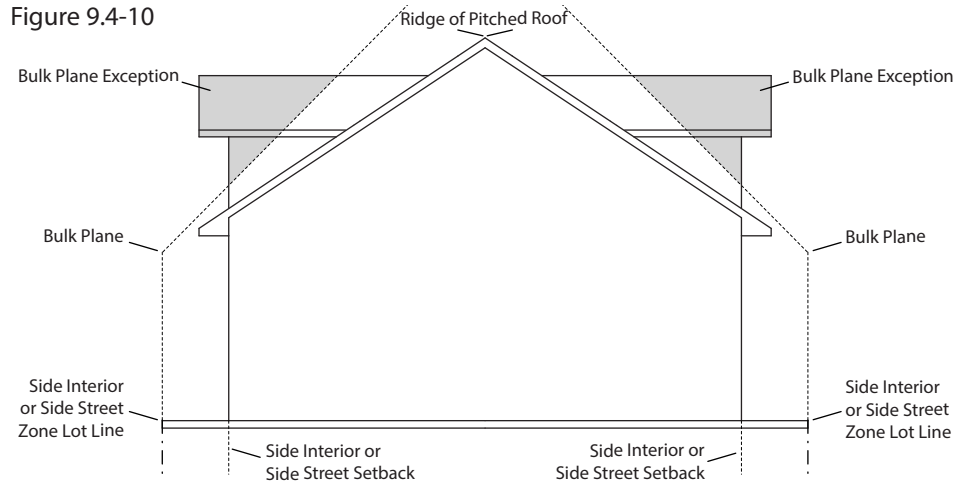


#### F. Design Standard Exceptions for the CO-6 Overlay District

##### 1. Bulk Plane Exceptions for Dormers in the Front 65% of Zone Lot Depth

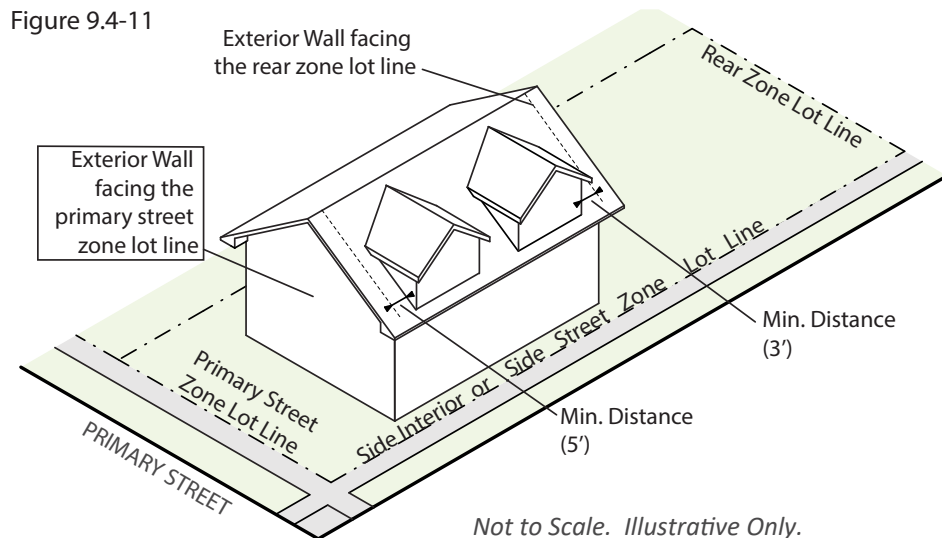
A Dormer may project beyond the bulk plane as specified in the applicable Building Form table in the front 65% of Zone Lot depth provided the projecting Dormer meets all of the following conditions:

- a. The highest point of the Dormer shall not exceed the height of the ridge of the pPitched rRoof. (See Figure 9.4-10)



Not to Scale. Illustrative Only.

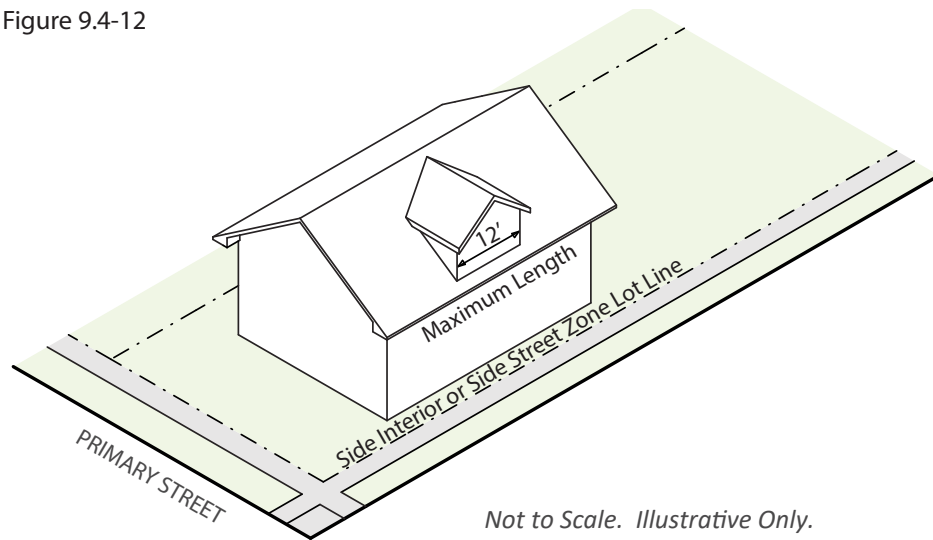
- b. The Dormer shall contain at least one window that faces a side interior or side street zone lot line.
- c. The Dormer shall not have a Low-Slope Roof.
- d. The Dormer's roof overhangs shall not exceed 3 feet, measured perpendicular from the ~~e~~Exterior ~~w~~Wall of the Dormer to the edge of the roof overhang.
- e. The Dormer shall have a minimum distance of 5 feet from the ~~building facade~~ ~~Exte-~~  
~~rior Wall~~ located between the Dormer and the primary street zone lot line, measured perpendicular from the Dormer to the ~~building facade~~ ~~Exterior Wall~~. Roof overhangs may encroach into this minimum distance. (See Figure 9.4-11)
- f. The Dormer shall have a minimum distance of 3 feet from the ~~building facade~~ ~~Exte-~~  
~~rior Wall~~ located between the Dormer and the rear zone lot line, measured perpendicular from the Dormer to the ~~building facade~~ ~~Exterior Wall~~. Roof overhangs may encroach into the minimum distance. (See Figure 9.4-11)



Not to Scale. Illustrative Only.

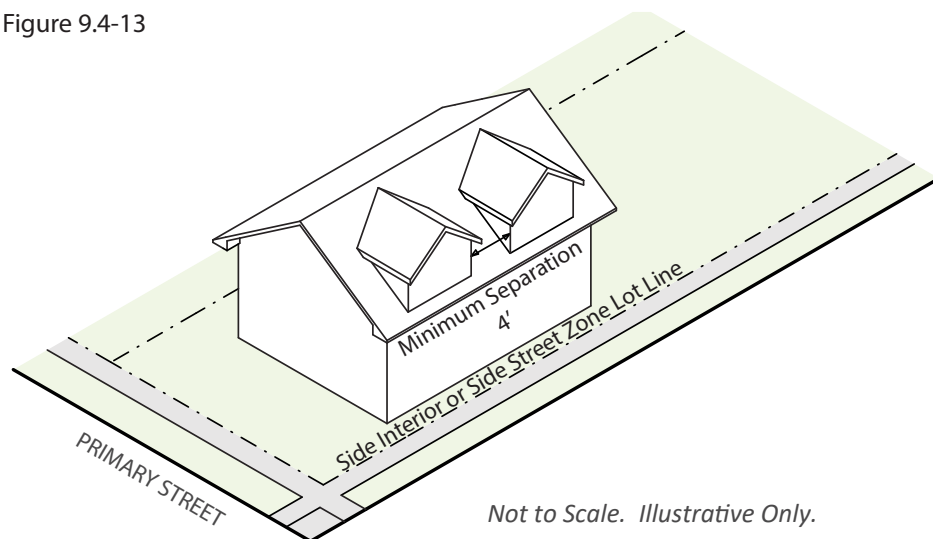
- g. The maximum length of an individual projecting Dormer shall be 12 feet (length is measured from the ~~e~~Exterior ~~w~~Wall surface), measured parallel to the ~~build-~~  
~~ing facade~~ ~~Exterior Wall~~ facing the side interior or side street zone lot line. Roof overhangs shall be excluded from the calculation of maximum length. (See Figure 9.4-12)

Figure 9.4-12



- h. The minimum separation between projecting Dormers shall be 4 feet (separation is measured from the exterior wall surface), measured parallel to the **building facade- Exterior Wall** facing the side interior or side street zone lot line. **The** Roof overhangs shall be excluded from the calculation of minimum separation. (See Figure 9.4-13)

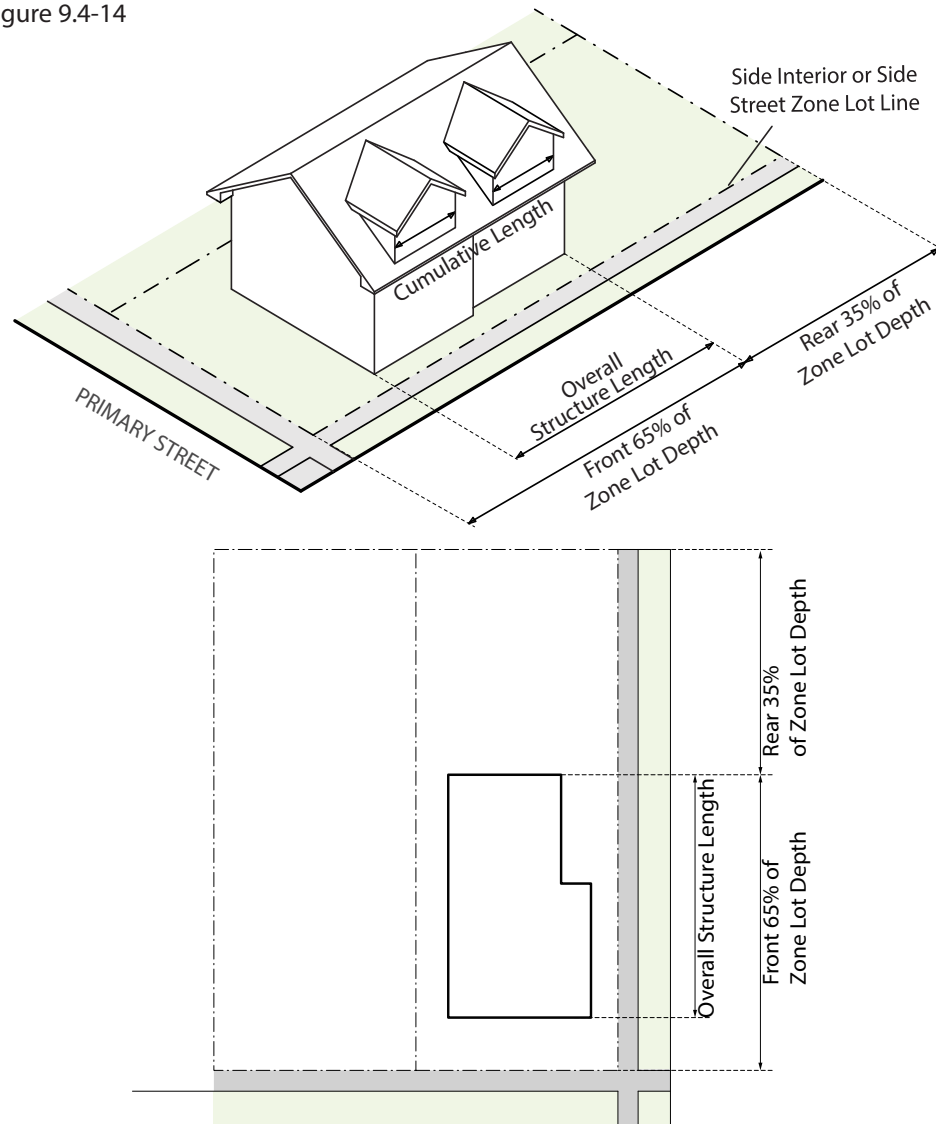
Figure 9.4-13



- i. The maximum cumulative length of all projecting Dormers shall not exceed 50% of the Overall Structure Length facing the side interior or side street zone lot line within the front 65% of zone lot depth. **The M**aximum cumulative length shall be calculated using the sum of the length of all projecting Dormers divided by the Overall Structure Length (see Article 13 for rule of measurement) in the front 65% of zone lot depth facing the side interior or side street zone lot line. (See Figure 9.4-14)



Figure 9.4-14



Not to Scale. Illustrative Only.

2. **Setback Exceptions Permitted Encroachments**

The following Setback Exceptions are in addition to exceptions allowed within the Underlying Zone District.

a. **Intent**

To provide flexibility in the location of barrier-free access structures providing access to any building.

b. **Standard**

Barrier-free access structures providing access to a building may encroach into a required setback area any distance. Barrier-free access structures providing access to a building may encroach any distance into a required Primary Street Setback, Side Street Setback, Side Interior Setback or Rear Setback.

#### **9.4.3.12 Sunnyside Conservation Overlay (CO-7)**

**A. Creation**

There is hereby created a Conservation Overlay District designated as the Sunnyside Conservation Overlay District (CO-7).

**B. Intent**

To promote conservation of the mass, scale and other design characteristics of residential neighborhoods within single unit (SU) or two unit (TU) Underlying Zone Districts in the Sunnyside neighborhood, including:

1. To encourage development that is context-sensitive in scale and mass, and incorporates compatible roof forms through the application of Building Height Standards and Design Elements Standards.
2. To ensure a rhythm of Unenclosed Porches along the street is maintained and that a required Unenclosed Porch along the Primary Street provides a scale transition from the primary building mass to the street through the application of Supplemental Design Standards.

**C. Applicability**

This Sunnyside Conservation Overlay shall apply only to those areas designated as CO-7 on the Official Zone Map.

**D. Primary Building Form Standards Applicable to All Allowed Building Forms**

The district-specific standards of the Underlying Zone District for all allowed Primary Building Forms shall be modified as set forth in the following table.

HEIGHT	CO-7 Overlay District	
<u>See Underlying Zone District for Additional Applicable Height Standards Not Listed Below</u>		
	Urban House and Duplex Building Forms	Tandem House Building Form
<u>Stories, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Pitched Roof (max)</u>	<u>2.5/1</u>	<u>2.5/2.5</u>
<u>Stories, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Low-Slope Roof (max)</u>	<u>2/1</u>	<u>2/2</u>
<u>Feet, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Pitched Roof (max)</u>	<u>30'/17'</u>	<u>30'/24'</u>
<u>Feet, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Low-Slope Roof (max)</u>	<u>22'/17'</u>	<u>22'/22'</u>
<u>Feet, front 65% of Zone Lot depth, permitted height increase</u>	<u>Not Permitted</u>	
<u>Feet, rear 35% of Zone Lot depth, permitted height increase</u>	<u>Not Permitted</u>	
<u>Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot line in front 65% / rear 35% of Zone Lot depth (does not apply to a portion of a building with a Low-Slope Roof)</u>	<u>14'/10'</u>	

DESIGN ELEMENTS	CO-7 Overlay District	
<u>See Underlying Zone District for Additional Applicable Design Elements Standards Not Listed Below</u>		
	Zone Lot Area 7,500 sf or Less	Zone Lot Area greater than 7,500 sf
<u>Gross Floor Area Located Above the Front Base Plane (max) for Urban House Building Form</u>	<u>3,000 sf</u>	<u>3,000 sf plus 40 sf for every 100 sf increase in Zone Lot Size above 7,500 sf</u>
<u>Gross Floor Area Located Above the Front Base Plane (max) for Duplex and Tandem House Building Forms</u>	<u>NA</u>	<u>NA</u>
<b><u>STREET LEVEL ACTIVATION</u></b>		
<u>Pedestrian Access, Primary Street</u>	<u>See Section 9.4.3.12.E.1</u>	

USES	CO-7 Overlay District	
<u>See Underlying Zone District for All Applicable Uses Standards</u>		
<u>See Underlying Zone District and Sections 9.4.3.12.E and 9.4.3.12.F for Supplemental Design Standards and Design Standard Exceptions.</u>		

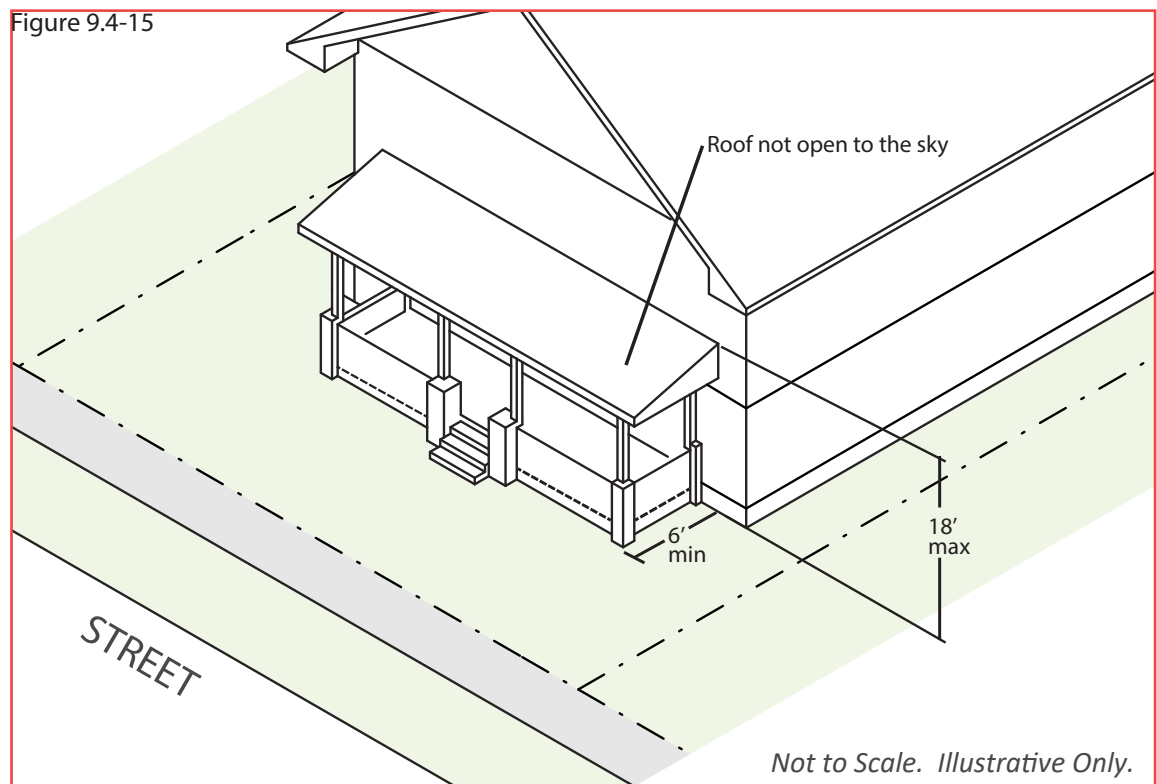


**E. Supplemental Design Standards for the CO-7 Overlay District**

The district-specific standards of the Underlying Zone District for all allowed Primary Building Forms shall be modified as set forth in the Supplemental Design Standards below. The Supplemental Design Standards in this section are in addition to Supplemental Design Standards in the underlying zone district.

**1. Pedestrian Access, Primary Street**

- a. One Unenclosed Porch is required.
- b. At least one Unenclosed Porch or a portion of an Unenclosed Porch shall:
  - i. Be located between the Primary Street Zone Lot Line and the Primary Street-facing façade of the Primary Structure;
  - ii. Have an upper walking surface with a minimum area of 48 square feet, including posts, railings, walls or other structural features, but excluding any above grade stairways at the Street Level connected to an Unenclosed Porch;
  - iii. Have an upper walking surface with a minimum depth of 6 feet as measured perpendicular to the Primary Street Zone Lot Line from the exterior face of the Primary Street-facing façade to the furthest edge of the Unenclosed Porch including posts, railings, walls and other structural features, but excluding the depth of any above grade stairways at the Street Level connected to an Unenclosed Porch (See Figure 9.4-15);
  - iv. Not be located below a Story;
  - v. Have a maximum height of 18 feet as measured from the Front Base Plane to the highest point of the Unenclosed Porch. (See Figure 9.4-15);
  - vi. Have an upper walking surface entirely covered by a Roof that is not open to the sky (See Figure 9.4-15); and
  - vii. Not abut more than two Exterior Walls.



**F. Design Standard Exceptions for the CO-7 Overlay District**

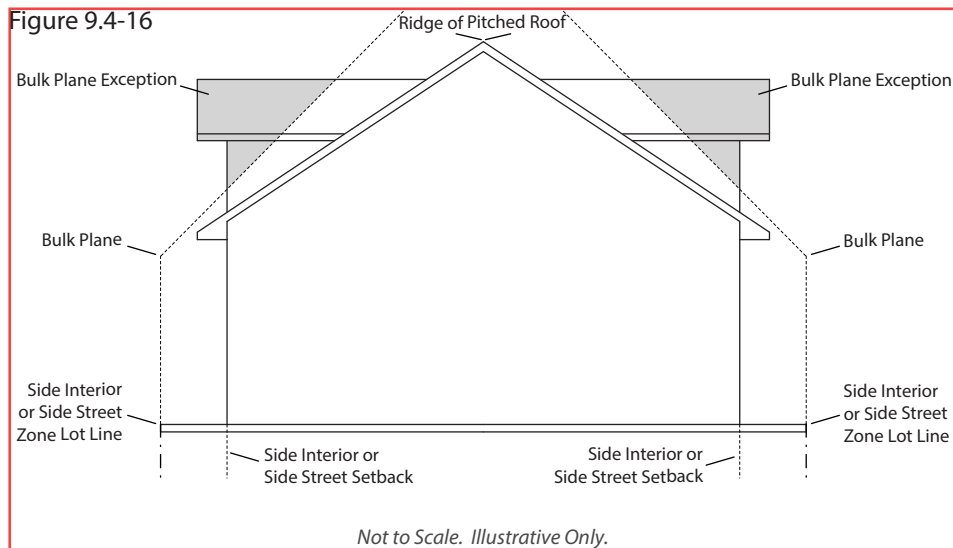
**1. Bulk Plane Exception for Low-Slope Roof**

Bulk Plane shall not apply to a portion of a building with a Low-Slope Roof.

**2. Bulk Plane Exceptions for Dormers in the Front 65% of Zone Lot Depth**

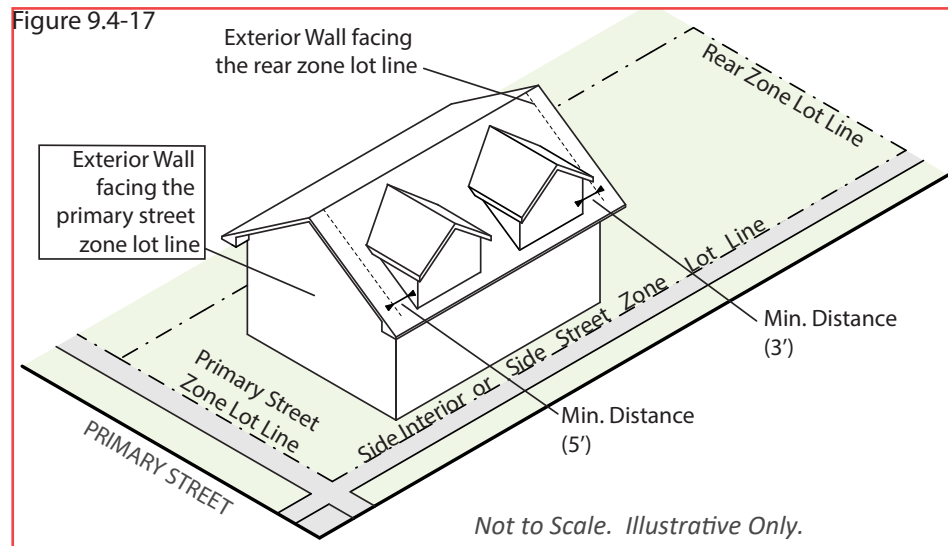
A Dormer may project beyond the bulk plane as specified in the applicable Building Form table in the front 65% of Zone Lot depth provided the projecting Dormer meets all of the following conditions:

- a. The highest point of the Dormer shall not exceed the height of the ridge of the Pitched Roof. (See Figure 9.4-16)

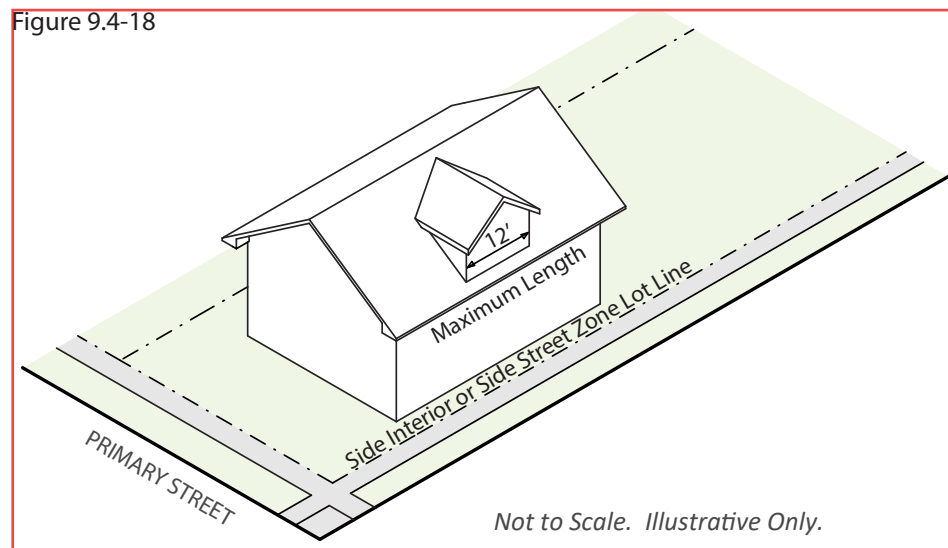


- b. The Dormer shall contain at least one window that faces a Side Interior or Side Street Zone Lot Line.
- c. The Dormer shall have a Pitched Roof.
- d. The Dormer's roof overhangs shall not exceed 3 feet, measured perpendicular from the Exterior Wall of the Dormer to the edge of the roof overhang.
- e. The Dormer shall have a minimum distance of 5 feet from the Exterior Wall located between the Dormer and the primary street zone lot line, measured perpendicular from the Dormer to the Exterior Wall. Roof overhangs may encroach into this minimum distance. (See Figure 9.4-17)

- f. The Dormer shall have a minimum distance of 3 feet from the Exterior Wall located between the Dormer and the rear zone lot line, measured perpendicular from the Dormer to the Exterior Wall. Roof overhangs may encroach into the minimum distance. (See Figure 9.4-17)

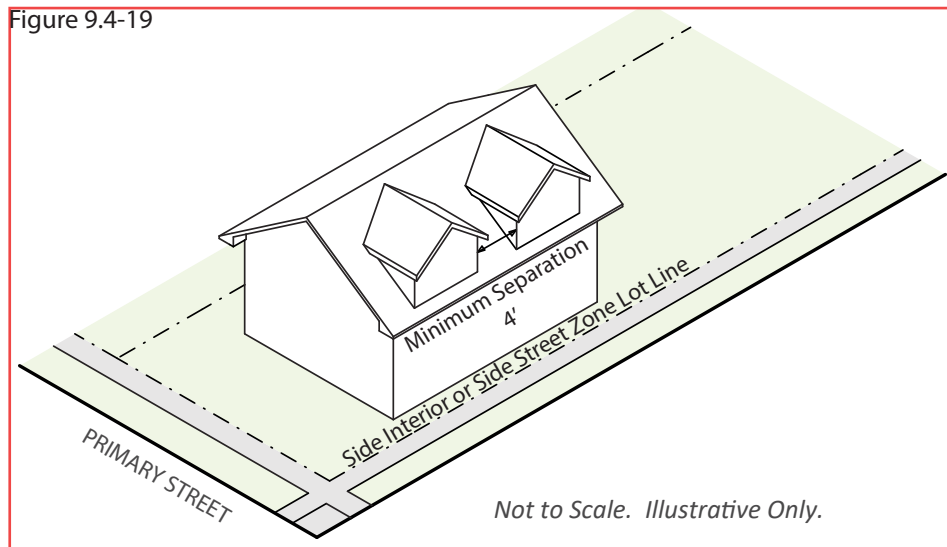


- g. The maximum length of an individual projecting Dormer shall be 12 feet (length is measured from the Exterior Wall surface), measured parallel to the Exterior Wall facing the side interior or side street zone lot line. Roof overhangs shall be excluded from the calculation of maximum length. (See Figure 9.4-18)

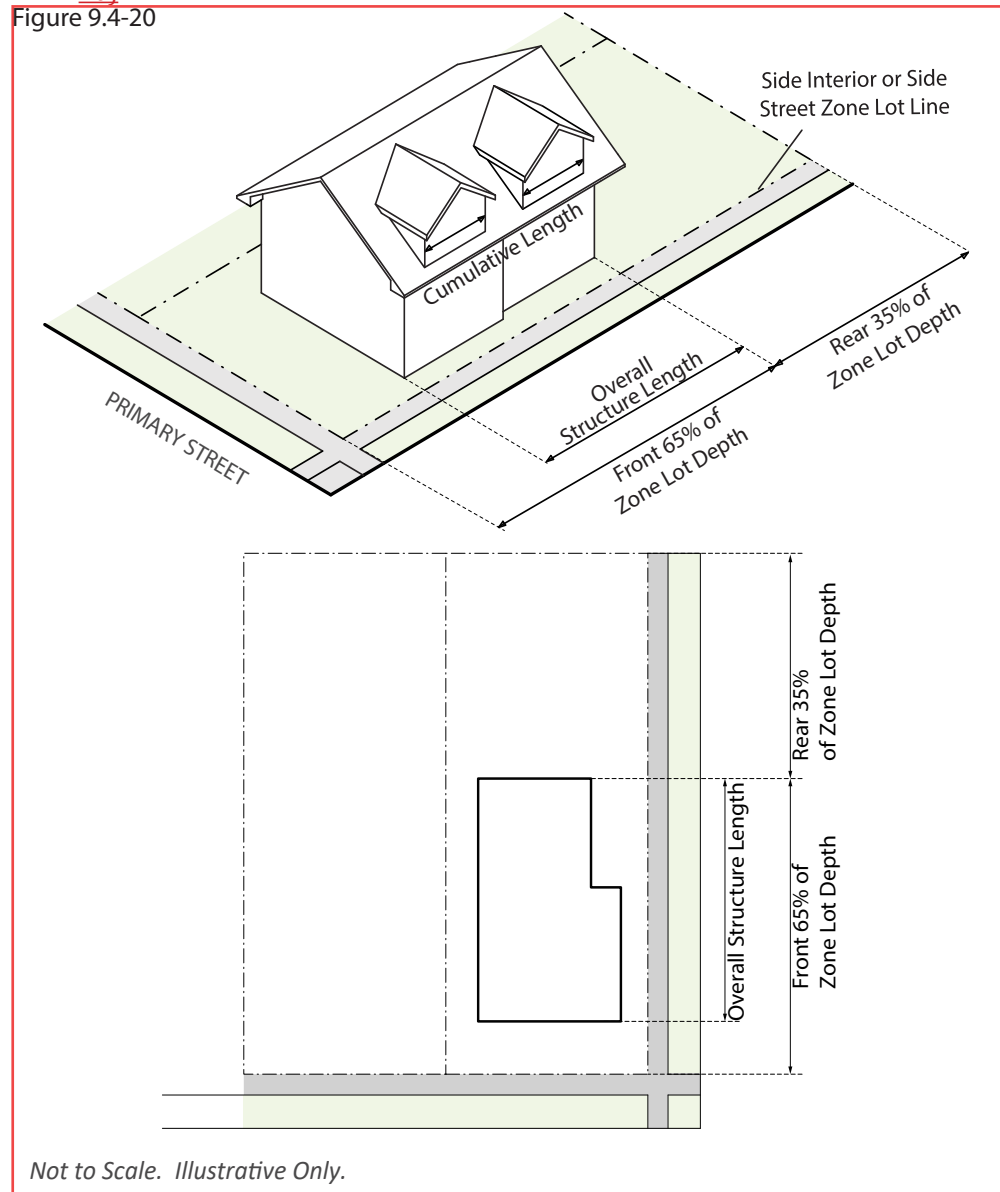




- h. The minimum separation between projecting Dormers shall be 4 feet (separation is measured from the Exterior Wall surface), measured parallel to the Exterior Wall facing the side interior or side street zone lot line. The Roof overhangs shall be excluded from the calculation of minimum separation. (See Figure 9.4-19)



- i. The maximum cumulative length of all projecting Dormers shall not exceed 50% of the Overall Structure Length facing the side interior or side street zone lot line within the front 65% of zone lot depth. The maximum cumulative length shall be calculated using the sum of the length of all projecting Dormers divided by the Overall Structure Length (see Article 13 for rule of measurement) in the front 65% of zone lot depth facing the side interior or side street zone lot line. (See Figure 9.4-20)



### **9.4.3.13 Sunnyside Conservation and Brick Overlay (CO-8)**

#### **A. Creation**

There is hereby created a Conservation Overlay District designated as the Sunnyside Conservation and Brick Overlay District (CO-8).

#### **B. Intent**

To promote conservation of the mass, scale and other design characteristics of residential neighborhoods within single unit (SU) or two unit (TU) Underlying Zone Districts in the Sunnyside neighborhood, including:

1. To encourage development that is context-sensitive in scale and mass, and incorporates compatible roof forms through the application of Building Height Standards and Design Elements Standards.
2. To ensure a rhythm of Unenclosed Porches along the street is maintained and that a required Unenclosed Porch along the Primary Street provides a scale transition from the primary building mass to the street through the application of Supplemental Design Standards.
3. To promote visual compatibility of new development with the strong pattern of existing residential structures with brick cladding while maintaining flexibility for use of additional materials.
4. To promote brick cladding on exterior walls of a residential structure that are most visible from the public street, while allowing additional flexibility on less publicly visible exterior walls.
5. To promote the use of durable materials that express a human scale.

#### **C. Applicability**

This Sunnyside Conservation and Brick Overlay shall apply only to those areas designated as CO-8 on the Official Zone Map.



**D. Primary Building Form Standards Applicable to All Allowed Building Forms**

The district-specific standards of the Underlying Zone District for all allowed Primary Building Forms shall be modified as set forth in the following table.

HEIGHT	CO-8 Overlay District	
<u>See Underlying Zone District for Additional Applicable Height Standards Not Listed Below</u>		
	Urban House and Duplex Building Forms	Tandem House Building Form
<u>Stories, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Pitched Roof (max)</u>	<u>2.5/1</u>	<u>2.5/2.5</u>
<u>Stories, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Low-Slope Roof (max)</u>	<u>2/1</u>	<u>2/2</u>
<u>Feet, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Pitched Roof (max)</u>	<u>30'/17'</u>	<u>30'/24'</u>
<u>Feet, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Low-Slope Roof (max)</u>	<u>22'/17'</u>	<u>22'/22'</u>
<u>Feet, front 65% of Zone Lot depth, permitted height increase</u>	<u>Not Permitted</u>	
<u>Feet, rear 35% of Zone Lot depth, permitted height increase</u>	<u>Not Permitted</u>	
<u>Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot line in front 65% / rear 35% of Zone Lot depth (does not apply to a portion of a building with a Low-Slope Roof)</u>	<u>14'/10'</u>	

DESIGN ELEMENTS	CO-8 Overlay District	
<u>See Underlying Zone District for Additional Applicable Design Elements Standards Not Listed Below</u>		
GROSS FLOOR AREA BY ZONE LOT SIZE	Zone Lot Area 7,500 sf or Less	Zone Lot Area greater than 7,500 sf
<u>Gross Floor Area Located Above the Front Base Plane (max) for Urban House Building Form</u>	<u>3,000 sf</u>	<u>3,000 sf plus 40 sf for every 100 sf increase in Zone Lot Size above 7,500 sf</u>
<u>Gross Floor Area Located Above the Front Base Plane (max) for Duplex and Tandem House Building Forms</u>	<u>NA</u>	<u>NA</u>
STREET LEVEL ACTIVATION		
<u>Pedestrian Access, Primary Street</u>	<u>See Section 9.4.3.13.E.1</u>	
EXTERIOR WALL CLADDING		
<u>Brick cladding for Exterior Walls (min)</u>	<u>See Section 9.4.3.13.E.2</u>	

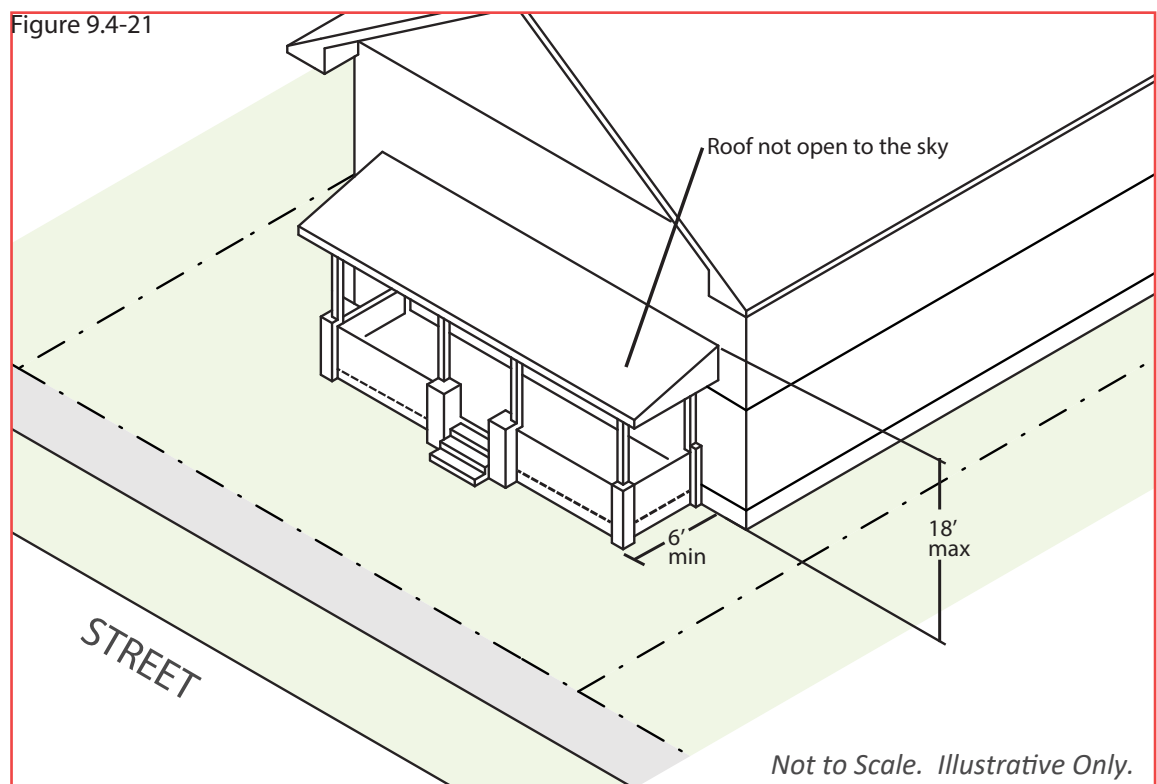
USES	CO-8 Overlay District	
<u>See Underlying Zone District for All Applicable Uses Standards</u>		
<u>See Underlying Zone District and Sections 9.4.3.13.E and 9.4.3.13.F for Supplemental Design Standards and Design Standard Exceptions.</u>		

**E. Supplemental Design Standards for the CO-8 Overlay District**

The district-specific standards of the Underlying Zone District for all allowed Primary Building Forms shall be modified as set forth in the Supplemental Design Standards below. The Supplemental Design Standards in this section are in addition to Supplemental Design Standards in the underlying zone district.

**1. Pedestrian Access, Primary Street**

- a. One Unenclosed Porch is required.
- b. At least one Unenclosed Porch or a portion of an Unenclosed Porch shall:
  - i. Be located between the Primary Street Zone Lot Line and the Primary Street-facing façade of the Primary Structure;
  - ii. Have an upper walking surface with a minimum area of 48 square feet, including posts, railings, walls or other structural features, but excluding any above grade stairways at the Street Level connected to an Unenclosed Porch;
  - iii. Have an upper walking surface a minimum depth of 6 feet as measured perpendicular to the Primary Street Zone Lot Line from the exterior face of the Primary Street-facing façade to the furthest edge of the Unenclosed Porch including posts, railings, walls and other structural features, but excluding the depth of any above grade stairways at the Street Level connected to an Unenclosed Porch (See Figure 9.4-21);
  - iv. Not be located below a Story;
  - v. Have a maximum height of 18 feet as measured from the Front Base Plane to the highest point of the Unenclosed Porch. (See Figure 9.4-21);
  - vi. Have an upper walking surface entirely covered by a Roof that is not open to the sky (See Figure 9.4-21); and
  - vii. Not abut more than two Exterior Walls.



**2. Exterior Wall Cladding**

**a. Applicability**

**i. New Primary Structures**

This Section 9.4.3.12.E.2 applies to Development of a new Primary Structure. This section does not apply to an Alteration, expansion or repair of an existing Primary Structure.

**ii. Exterior Walls in the Front of a Zone Lot**

This Section 9.4.3.12.E.2 applies to Exterior Walls in the front 65% of Zone Lot Depth.

**iii. Street Level and Above**

This Section 9.4.3.12.E.2 applies to Exterior Walls above the upper surface of the floor of the Street Level Story.

**b. Design Standard**

A minimum percentage of the surface area of Exterior Wall(s), excluding fenestration (windows and doors), shall be clad with with a minimum amount of Brick as indicated below (see Figures 9.4-22 and 9.4-23):

i. Primary Street Zone Lot Line Facing Exterior Walls: 60%

ii. Side Street Zone Lot Line Facing Exterior Walls: 60%

iii. Side Interior Zone Lot Line Facing Exterior Walls: 40%

iv. Rear Zone Lot Line Facing Exterior Walls: No requirement

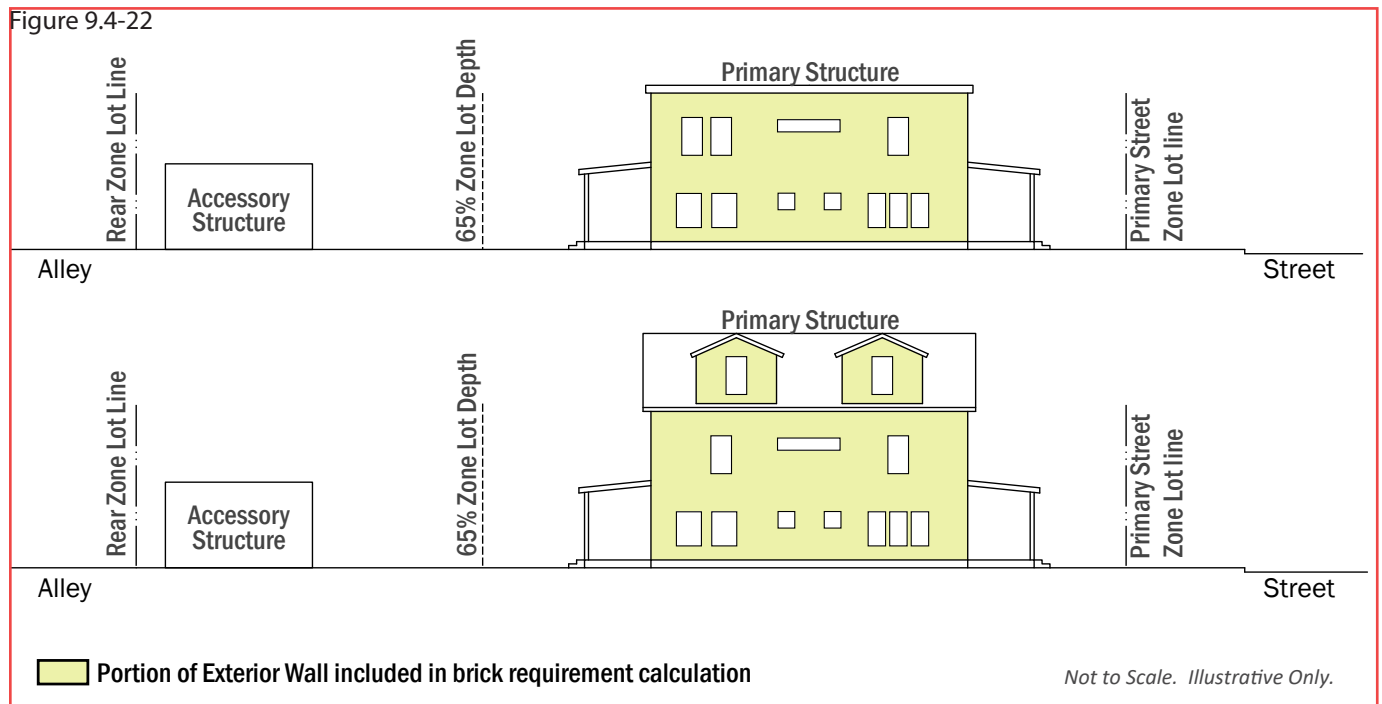
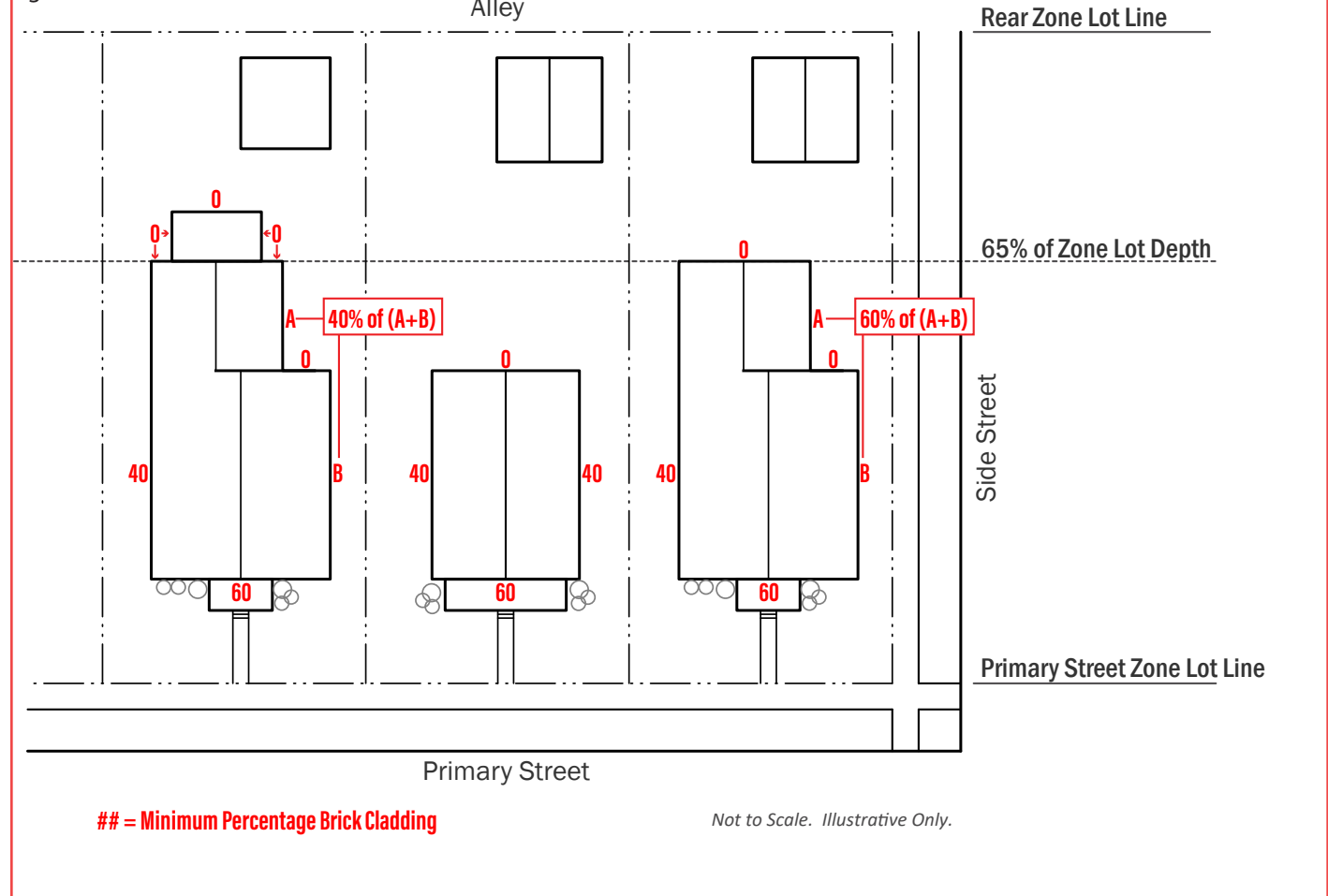


Figure 9.4-23





**F. Design Standard Exceptions for the CO-8 Overlay District**

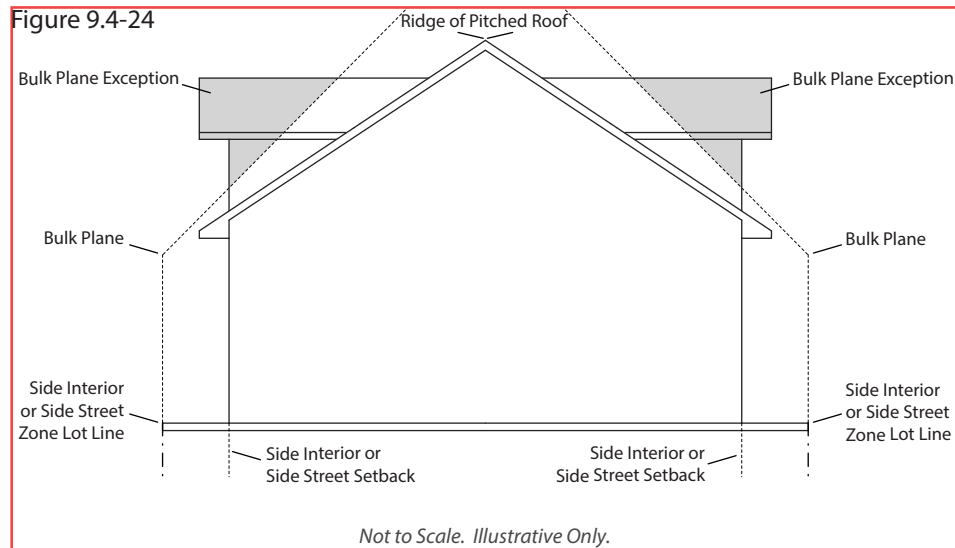
**1. Bulk Plane Exception for Low-Slope Roof**

Bulk Plane shall not apply to a portion of a building with a Low-Slope Roof

**2. Bulk Plane Exceptions for Dormers in the Front 65% of Zone Lot Depth**

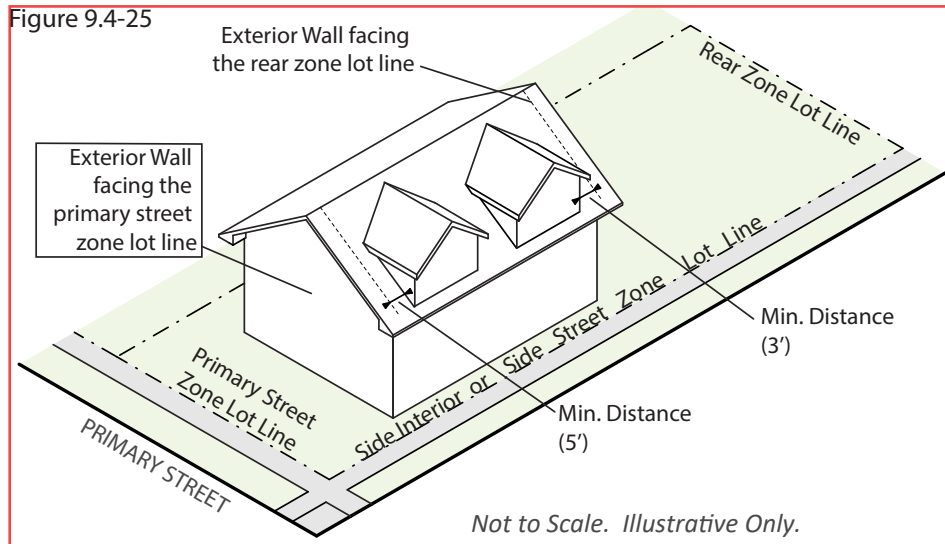
A Dormer may project beyond the bulk plane as specified in the applicable Building Form table in the front 65% of Zone Lot depth provided the projecting Dormer meets all of the following conditions:

- a. The highest point of the Dormer shall not exceed the height of the ridge of the Pitched Roof. (See Figure 9.4-24)

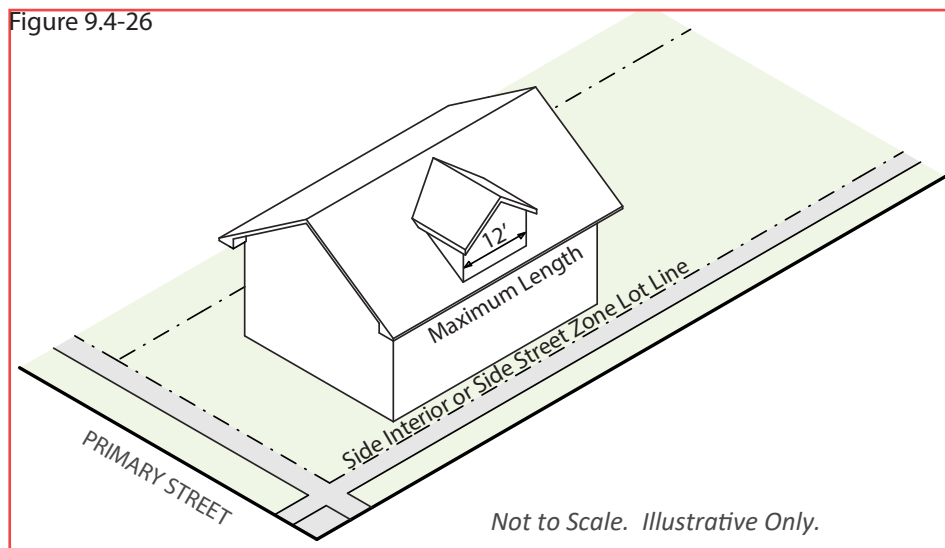


- b. The Dormer shall contain at least one window that faces a Side Interior or Side Street Zone Lot Line.
- c. The Dormer shall have a Pitched Roof.
- d. The Dormer's roof overhangs shall not exceed 3 feet, measured perpendicular from the Exterior Wall of the Dormer to the edge of the roof overhang.
- e. The Dormer shall have a minimum distance of 5 feet from the Exterior Wall located between the Dormer and the primary street zone lot line, measured perpendicular from the Dormer to the Exterior Wall. Roof overhangs may encroach into this minimum distance. (See Figure 9.4-25)

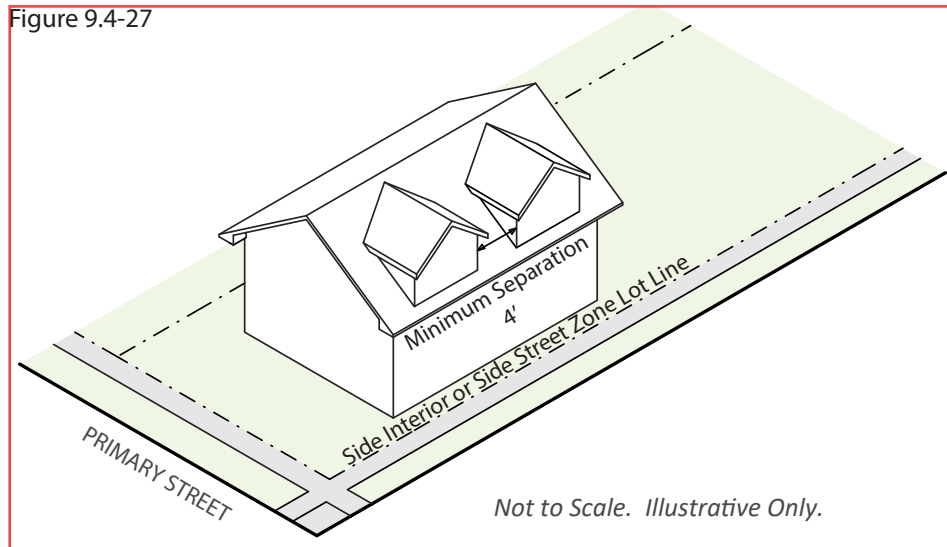
- f. The Dormer shall have a minimum distance of 3 feet from the Exterior Wall located between the Dormer and the rear zone lot line, measured perpendicular from the Dormer to the Exterior Wall. Roof overhangs may encroach into the minimum distance. (See Figure 9.4-25)



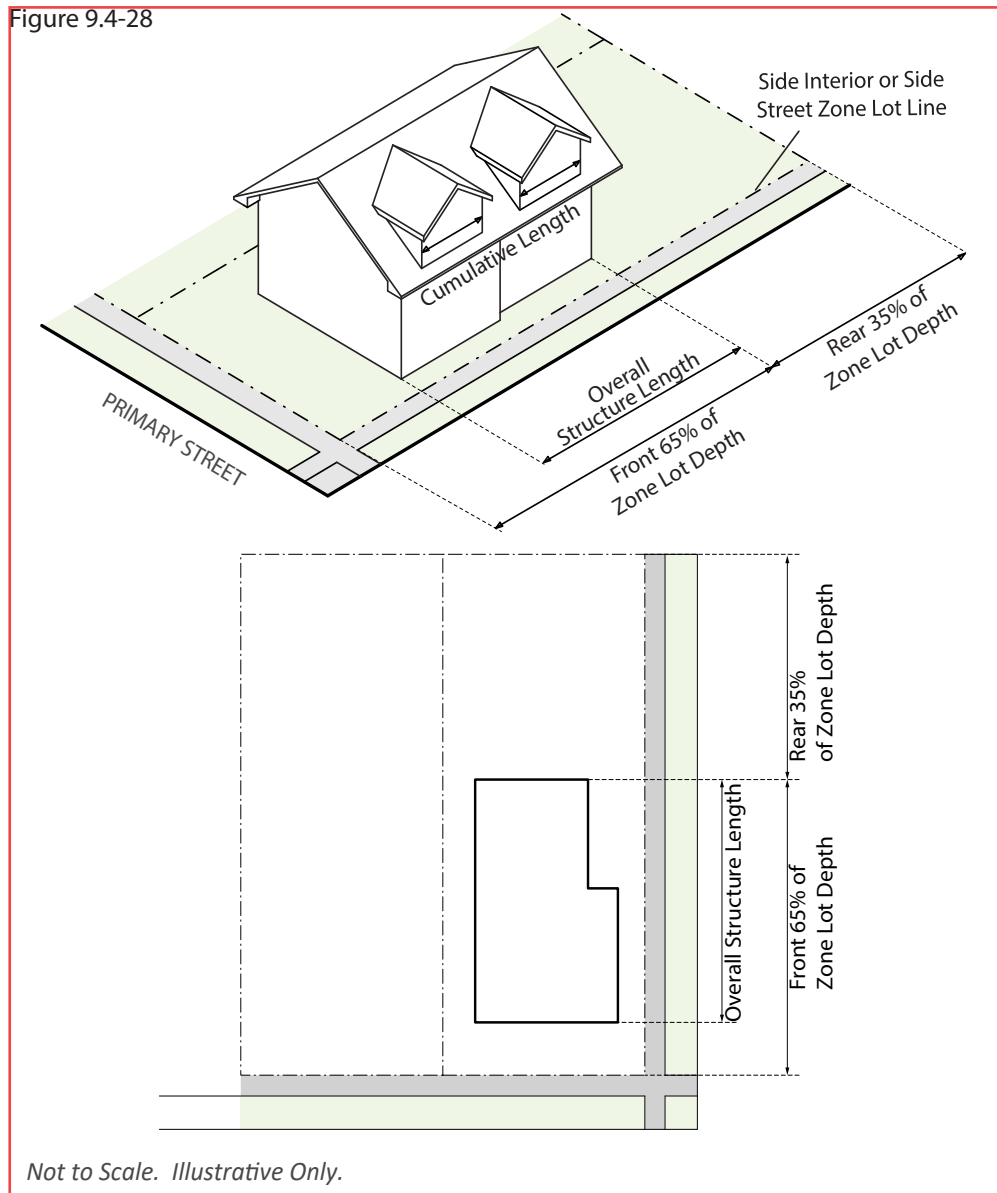
- g. The maximum length of an individual projecting Dormer shall be 12 feet (length is measured from the Exterior Wall surface), measured parallel to the Exterior Wall facing the side interior or side street zone lot line. Roof overhangs shall be excluded from the calculation of maximum length. (See Figure 9.4-26)



- h. The minimum separation between projecting Dormers shall be 4 feet (separation is measured from the Exterior Wall surface), measured parallel to the Exterior Wall facing the side interior or side street zone lot line. The Roof overhangs shall be excluded from the calculation of minimum separation. (See Figure 9.4-27).



- i. The maximum cumulative length of all projecting Dormers shall not exceed 50% of the Overall Structure Length facing the side interior or side street zone lot line within the front 65% of zone lot depth. The maximum cumulative length shall be calculated using the sum of the length of all projecting Dormers divided by the Overall Structure Length (see Article 13 for rule of measurement) in the front 65% of zone lot depth facing the side interior or side street zone lot line. (See Figure 9.4-28)





### 13.1.6.6 Exterior Wall Types

#### A. Rule of Measurement for Determining Exterior Wall Types

1. **Primary Street Zone Lot Line Facing Exterior Wall**

An Exterior Wall is "Primary Street Zone Lot Line facing" if any portion of the Exterior Wall faces a Primary Street Zone Lot Line, which shall be determined by extending a line equal to the width of the Exterior Wall and perpendicular to the Exterior Wall towards the zone lot boundary. If any portion of said line touches the applicable Primary Street Zone Lot Line, then such Exterior Wall is "Primary Street Zone Lot Line facing." See Figure 13.1-118.

2. **Side Street Zone Lot Line Facing Exterior Wall**

An Exterior Wall is "Side Street Zone Lot Line facing" if the Exterior Wall faces a Side Street Zone Lot Line, which shall be determined by extending a line equal to the width of the Exterior Wall and perpendicular to the Exterior Wall towards the zone lot boundary. If any portion of said line touches the applicable Side Street Zone Lot Line and no portion of said line touches the Primary Street Zone Lot Line, then such Exterior Wall is "Side Street Zone Lot Line facing." See Figure 13.1-118.

3. **Side Interior Zone Lot Line Facing Exterior Wall**

An Exterior Wall is "Side Interior Zone Lot Line facing" if the Exterior Wall faces a Side Interior Zone Lot Line(s), which shall be determined by extending a line equal to the width of the Exterior Wall and perpendicular to the Exterior Wall towards the zone lot boundary. If any portion of said line touches the applicable Side Interior Zone Lot Line and no portion touches a Street Zone Lot Line, then such Exterior Wall is "Side Interior Zone Lot Line facing." See Figure 13.1-118.

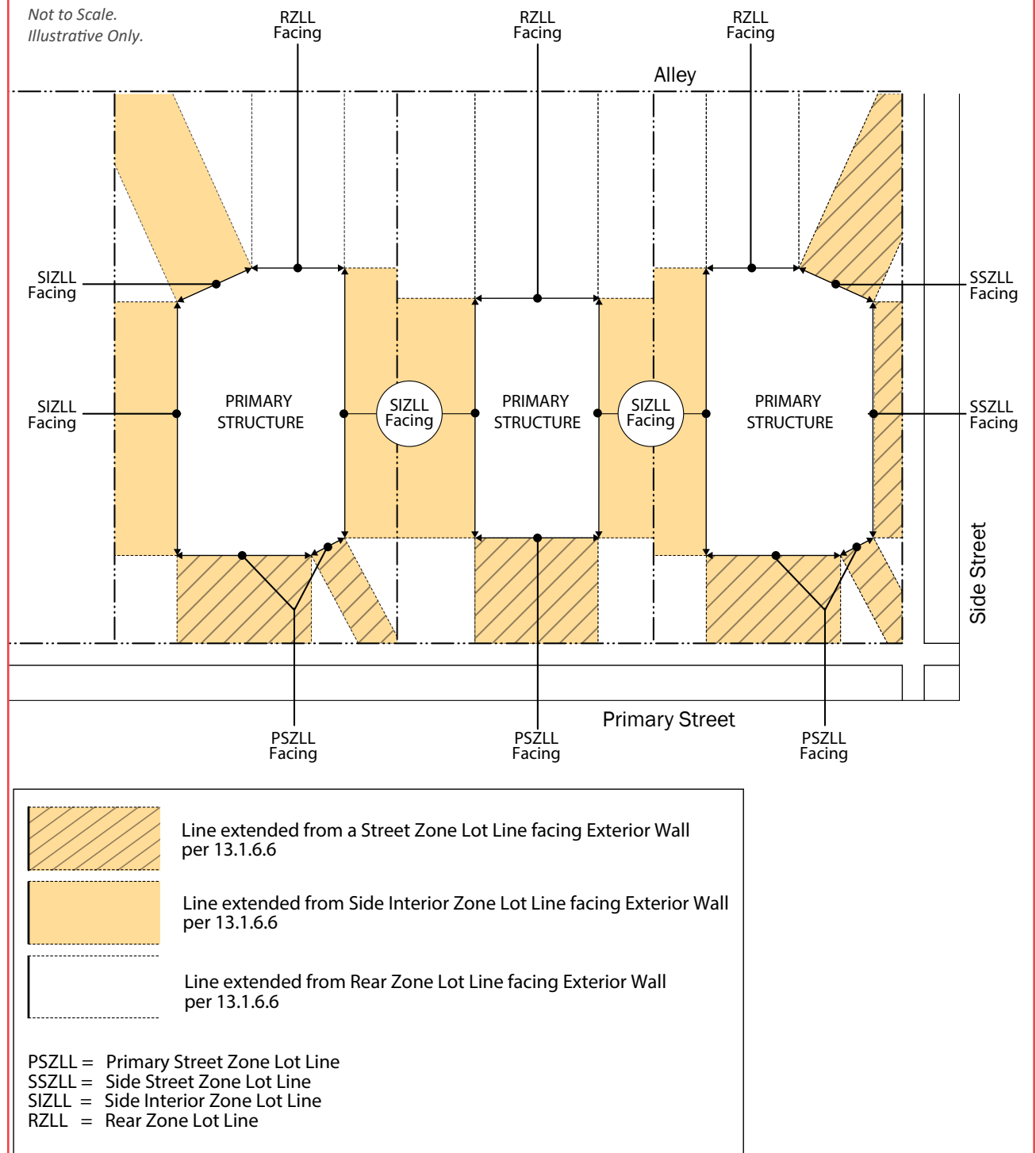
4. **Rear Zone Lot Line Facing Exterior Wall**

An Exterior Wall is "Rear Zone Lot Line facing" if the Exterior Wall faces a Rear Zone Lot Line, which shall be determined by extending a line equal to the width of the Exterior Wall and perpendicular to the Exterior Wall towards the zone lot boundary. If the entirety of said line touches the applicable Rear Zone Lot Line, then such Exterior Wall is "Rear Zone Lot Line facing." See Figure 13.1-118.

#### B. Multiple Side Interior Zone Lot Lines

Where a Zone Lot has more than one Side Interior Zone Line or more than one contiguous series of Side Interior Zone Lot Lines, the minimum Brick cladding percentage shall be calculated for each individual Side Zone Lot Line or series of contiguous Side Zone Lot Lines for determining the requirement for a Side Interior Zone Lot Line Facing Exterior Wall(s).

Figure 13.1-118



**B**

**Backhaul or Backhaul Network:** The lines that connect a provider’s tower/cell sites to one or more cellular telephone switching offices, and/or long distance providers, or the public switched telephone network.

**Balcony, Exterior:** An elevated floor space projecting beyond the exterior walls of a building that is not supported on the ground by posts, columns, or similar supporting structural elements. Generally, an exterior balcony is intended to be used for outdoor living, gardening, or other actively used outdoor space. An exterior balcony shall not include a landing abutting an entry.

**Berm:** A mound of earth, or the act of pushing earth into a mound, usually for the purpose of shielding or buffering uses, or to control the direction of water flow.

**Billboard:** See “Outdoor General Advertising Device”.

**Block:** A tract of land bounded by platted streets, public parks, cemeteries, railroad rights-of-way, shore lines, or corporate boundaries of the city.

**Block, Square:** A block with contiguous sides, where the difference in length between the sides of the block is no greater than 50 feet.

**Block, Oblong:** A block with contiguous long and short sides, where the long side of the block is 50 feet or more greater in length than the short side of the block.

**Block Face:** See definition of “Face Block.”

**Brick:** For purposes of the Sunnyside Conservation and Brick Overlay (CO-8) only, Brick is a masonry architectural cladding material (including terra cotta) composed of rectilinear modular units with joints between each unit where no face of a unit exceeds 46 square inches in area. Brick shall be expressed in its natural state without stucco or other coatings. Brick may be applied as a veneer or panel system where the individual modular units are preattached with clips, mortar or other means into larger sheets that are then applied as architectural cladding. Brick does not include concrete masonry units, natural stone, stone panel systems or rain screen systems.

**Build-to:** An alignment at the primary street or side street setback line of a zone lot, or within a range of setback from the zone lot line abutting a street, along which a Street-facing, primary building wall must be built.

**Building:** Any covered structure intended for the shelter, housing or enclosure of any person, animal or chattel.

**Building Connector:** A walkway covered by a Roof and used exclusively as a pedestrian trafficway external to the Structures it connects.

**Building, Principal or Primary:** A building in which is conducted the principal or primary use of the zone lot on which it is situated.

**Building Form Standards:** Standards applicable to the development of buildings and structures in this Code which, taken together, regulate building height (Building Height Standards), building siting (Siting Standards), building design elements (Design Element Standards), and the permitted use of buildings (Use Building Form Standards).

**3. All Other Design Standards**

All other development and design standards applicable to new development in the underlying zone district may be modified.

**9.4.3.4 Conservation Overlay Districts Established**

The following conservation overlay zone districts are established:

CONSERVATION OVERLAY DISTRICT NAME	ZONING MAP DESIGNATOR
Hilltop Heritage Conservation Overlay District	CO-1
Curtis Park Conservation Overlay District	CO-2
Scottish Village Conservation Overlay District	CO-3
Potter Highlands Conservation Overlay District	CO-4
Krisana Park Conservation Overlay District	CO-5
Bungalow Conservation Overlay District	CO-6
Sunnyside Conservation Overlay District	CO-7
Sunnyside Conservation and Brick Overlay District	CO-8

**9.4.3.5 Effect of Approval**

**A. Zoning Map Designator**

Each Conservation Overlay District shall be shown on the official map by an “CO-#” designator and an appropriate number placed after the underlying zone district designation.

**B. Limitation on Permit Issuance**

No zoning permit for development or for a use within a Conservation Overlay District shall be issued by Community Planning and Development unless the development or use meets the standards set forth in the adopted Conservation Overlay District.

**9.4.3.6 Hilltop Heritage Conservation Overlay District (CO-1)**

**A. Creation**

There is hereby created a conservation overlay zone district designated as Hilltop Heritage Conservation Overlay District CO-1.

**B. Limitation on the Establishment of Zone Lots in the Overlay District**

Any zone lots in this overlay zone district that existed on July 21, 2000, may be amended or subdivided only if each of the zone lots that are created or result therefrom is not less than 75 feet wide at any street (Side Street or Primary Street) setback line for structures and are not less than 9,300 square feet in lot size.

**C. Exceptions Inapplicable**

The exceptions from zone lot width and area requirements for zone lots in Section 1.2.3.3, Flag Zone Lots, shall not apply in this overlay zone district, provided however, zone lots containing at least 27,900 square feet existing on March 7, 2000, may be amended into zone lots in compliance with the zone lot width reduction for flag lots contained in Section 1.2.3.3, Flag Zone Lots, if the resultant zone lots contain at least 9,300 square feet.

**9.4.3.7 Curtis Park Conservation Overlay District (CO-2)**

**A. Creation**

There is hereby created a Conservation Overlay District designated as the Curtis Park Conservation Overlay District.



### 9.4.3.9 Potter Highlands Conservation Overlay (CO-4)

#### A. Creation

There is hereby created a Conservation Overlay District designated as the Potter Highlands Conservation Overlay District.

#### B. Intent

To apply additional building form standards that are consistent with the established character of the Potter Highlands Historic District.

#### C. Applicability

This Potter Highlands Conservation Overlay shall apply only to those areas designated as CO-4 on the Official Zone Map.

#### D. Primary Building Form Standards Applicable to Urban House, Duplex, and Tandem House Building Forms

##### 1. Side Interior Setbacks

- a. For zone lots greater than 30 feet and up to 40 feet in width, the minimum side interior setback shall be 5 feet.

##### 2. Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot Lines

- a. For zone lots 30 feet or less in width, the maximum bulk plane vertical height at the side interior and the side street zone lot line in the front 65% of the zone lot shall be 15 feet.
- b. For zone lots greater than 30 feet in width, the maximum bulk plane vertical height at the side interior and the side street zone lot line in the front 65% of the zone lot shall be 13 feet.

##### 3. Rooftop and/or Second Story Decks

Rooftop and/or Second Story Decks located on or above the roof of any story other than the Street Level Story are prohibited.

##### 4. Low-Slope Roof Height Limit and Bulk Plane Exception

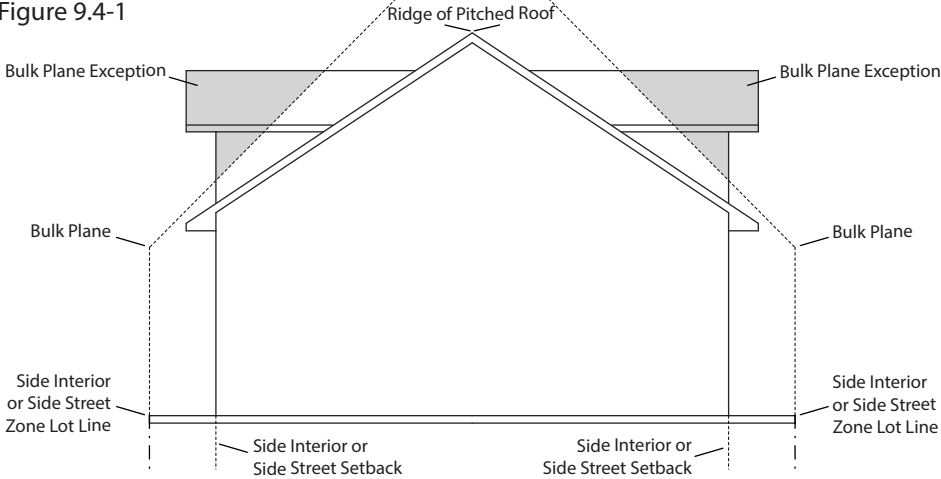
- a. In the front 65% of zone lot depth:
  - i. A portion of a building with a Low-Slope Roof shall have a maximum height of 25 feet.
  - ii. Bulk Plane shall not apply to a portion of a building with a Low-Slope Roof.
- b. In the rear 35% of zone lot depth:
  - i. A portion of a building with a Low-Slope Roof shall have a maximum height of 14 feet.
  - ii. Bulk Plane shall not apply to a portion of a building with a Low-Slope Roof.

##### 5. Bulk Plane Exception for Dormers in the Front 65% of Zone Lot Depth

A Dormer may project beyond the bulk plane in the front 65% of the Zone Lot Depth provided the projecting Dormer meets all of the following conditions:

- a. The highest point of the Dormer shall not exceed the height of the ridge of the pitched roof. (See Figure 9.4-1)

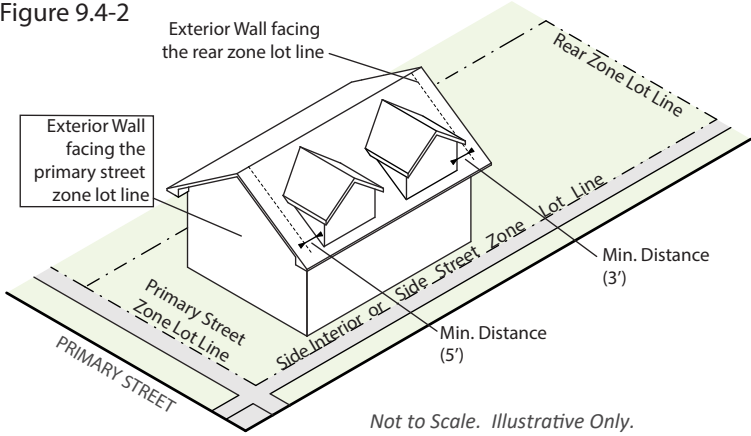
Figure 9.4-1



Not to Scale. Illustrative Only.

- b. The Dormer shall contain at least one window that faces a side interior or side street zone lot line.
- c. The Dormer shall not have a Low-Slope Roof.
- d. The Dormer's roof overhangs shall not exceed 3 feet, measured perpendicular from the Exterior Wall of the Dormer to the edge of the roof overhang.
- e. The Dormer shall have a minimum distance of 5 feet from the Exterior Wall located between the Dormer and the primary street zone lot line, measured perpendicular from the Dormer to the Exterior Wall. Roof overhangs may encroach into the minimum distance. (See Figure 9.4-2)
- f. The Dormer shall have a minimum distance of 3 feet from the Exterior Wall located between the Dormer and the rear zone lot line, measured perpendicular from the Dormer to the Exterior Wall. Roof overhangs may encroach into the minimum distance. (See Figure 9.4-2)

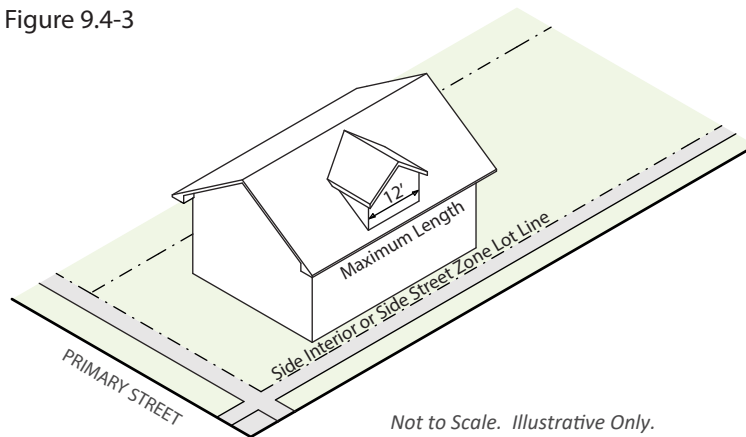
Figure 9.4-2



Not to Scale. Illustrative Only.

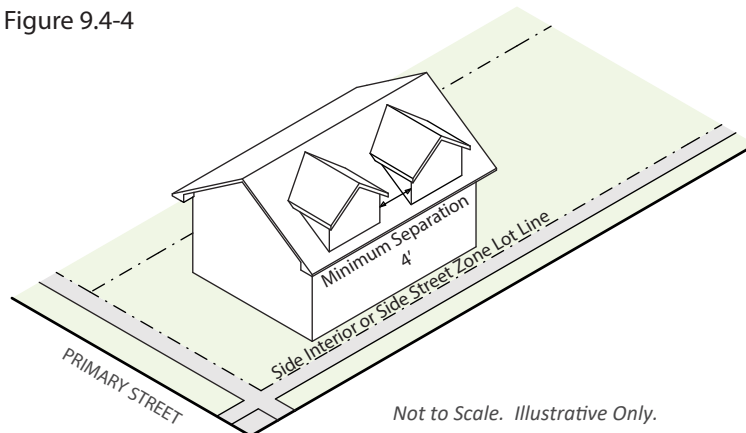
- g. The maximum length of an individual projecting Dormer shall be 12 feet (length is measured from the Exterior Wall surface), measured parallel to the Exterior Wall facing the side interior or side street zone lot line. Roof overhangs shall be excluded from the calculation of maximum length. (See Figure 9.4-3)

Figure 9.4-3



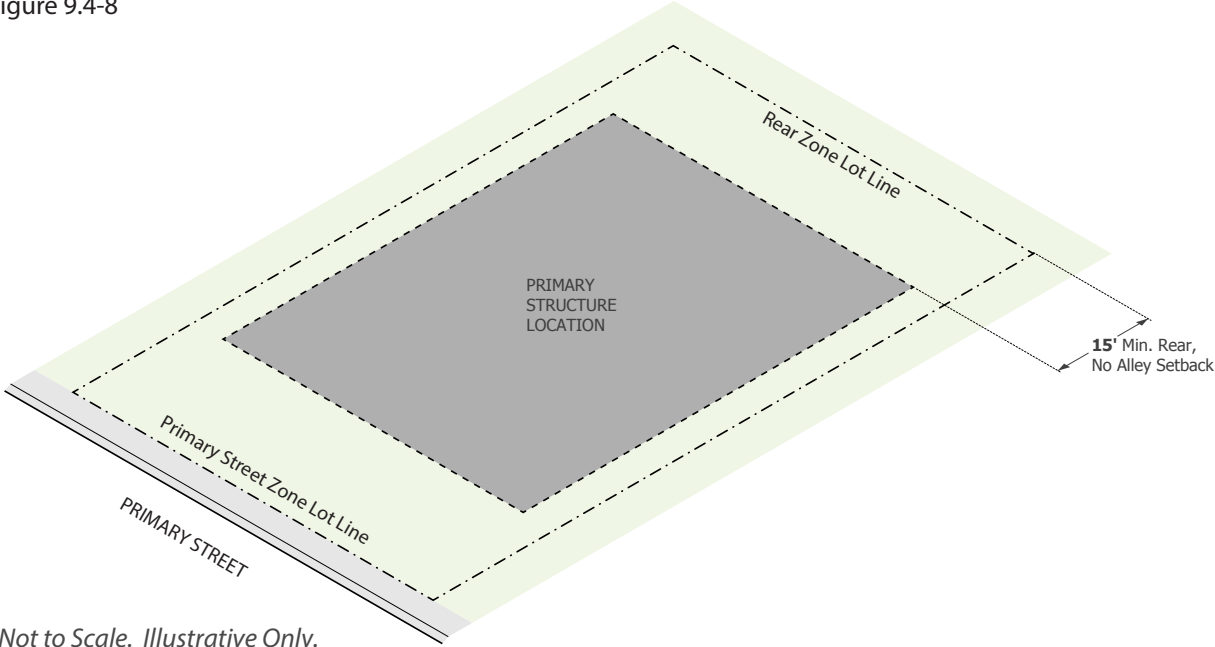
- h. The minimum separation between projecting Dormers shall be 4 feet (separation is measured from the Exterior Wall surface), measured parallel to the building facade facing the side interior or side street zone lot line. Roof overhangs shall be excluded from the calculation of minimum separation. (See Figure 9.4-4)

Figure 9.4-4



- i. The maximum cumulative length of all projecting Dormers shall not exceed 50% of the overall structure length facing the side interior or side street zone lot line within the front 65% of zone lot depth. Maximum cumulative length shall be calculated using the sum of the length of all projecting Dormers divided by the Overall Structure Length (see Article 13 for rule of measurement) in the front 65% of zone lot depth facing the side interior or side street zone lot line. (See Figure 9.4-5)

Figure 9.4-8



**6. Rooftop and/or Second Story Decks**  
Rooftop and/or Second Story Decks are prohibited on the entirety of the zone lot.

**9.4.3.11 Bungalow Conservation Overlay (CO-6)**

- A. Creation**  
There is hereby created a Conservation Overlay District designated as the Bungalow Conservation Overlay District (CO-6).
- B. Intent**  
To promote conservation of the mass, scale and other design characteristics of low-scale residential neighborhoods comprised primarily of one and two story 'bungalow' structures within single unit (SU) or two unit (TU) Underlying Zone Districts in the Urban Edge and Urban Neighborhood contexts, including:
  - a. To encourage development that is compatible in scale and mass, has raised foundations and incorporates compatible roof forms through the application of Building Height Standards and other Supplemental Design Standards.
  - b. To encourage spacing between buildings that reflect the existing pattern of generous and offset (larger to the south and more narrow to the north on east-west oriented Zone Lots) setbacks through the application of Siting Form Standards.
  - c. To ensure Low-Slope Roof forms are compatible with existing context, the rhythm of Unenclosed Porches along the street is maintained, that a required Unenclosed Porch along the Primary Street provides a scale transition from the primary building mass to the street, and privacy issues related to upper story outdoor spaces are mitigated through application of Design Element Standards and Supplemental Design Standards.
- C. Applicability**  
This Bungalow Conservation Overlay shall apply only to those areas designated as CO-6 on the Official Zone Map.



**D. Primary Building Form Standards Applicable to All Allowed Building Forms**

The district-specific standards of the Underlying Zone District for all allowed Primary Building Form shall be modified as set forth in the following table.

HEIGHT	CO-6 Overlay District
See Underlying Zone District for Additional Applicable Height Standards Not Listed Below	
Stories, front 65% / rear 35% of Zone Lot depth (max)	2/1
Feet, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Pitched Roof (max)	28'/17'
Feet, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Low-Slope Roof (max)	22'/17'
Feet, front 65% of Zone Lot depth, permitted height increase	Not Permitted
Feet, rear 35% of Zone Lot depth, permitted height increase	Not Permitted
Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot line in front 65% / rear 35% of Zone Lot depth	14'/10'

SITING	CO-6 Overlay District			
See Underlying Zone District for Additional Applicable Siting Standards Not Listed Below				
SETBACKS AND BUILDING COVERAGE BY ZONE LOT WIDTH	30' or Less	Greater than 30' and up to 45'	Greater than 45' and up to 75'	75' or Greater
Side Interior, south Side Zone Lot Line (min)	3'	7'	10'	10'
Side Interior, north Side Zone Lot Line (min)	3'	3'	5'	10'
Side Interior, where no south or north Side Zone Lot Line is present (min)	3'	5'	7.5'	10'

DESIGN ELEMENTS	CO-6 Overlay District	
See Underlying Zone District for Additional Applicable Design Elements Standards Not Listed Below		
GROSS FLOOR AREA BY ZONE LOT SIZE	Zone Lot Area 7,500 sf or Less	Zone Lot Area greater than 7,500 sf
Gross Floor Area Located Above the Front Base Plane (max)	3,000 sf	3,000 sf plus 40 sf for every 100 sf increase in Zone Lot Size above 7,500 sf
BUILDING CONFIGURATION		
Rooftop and/or Second Story Decks	See Section 9.4.3.11.E.1	
Upper Story Stepback, for any portion of building with Low-slope Roof above 15', Primary Street (min)	10'	
ELEVATION OF THE UPPER SURFACE OF THE FLOOR OF THE STREET LEVEL		
Elevation (min/max)	See Section 9.4.3.12.E.2	
STREET LEVEL ACTIVATION		
Pedestrian Access, Primary Street	See Section 9.4.3.11.E.3	

USES	CO-6 Overlay District
See Underlying Zone District for All Applicable Uses Standards	
See Underlying Zone District and Sections 9.4.3.11.E and 9.4.3.11.F for Supplemental Design Standards and Design Standard Exceptions.	

**E. Supplemental Design Standards for the CO-6 Overlay District**

The district-specific standards of the Underlying Zone District for all allowed Primary Building Forms shall be modified as set forth in the Supplemental Design Standards below. The Supplemental Design Standards in this section are in addition to Supplemental Design Standards in the underlying zone district.

**1. Rooftop and/or Second Story Decks**

- a. Rooftop and/or Second Story Decks located on or above the roof of any story other than the Street Level story are prohibited.
- b. Rooftop and/or Second Story Decks projecting from the building above the Street Level are prohibited.

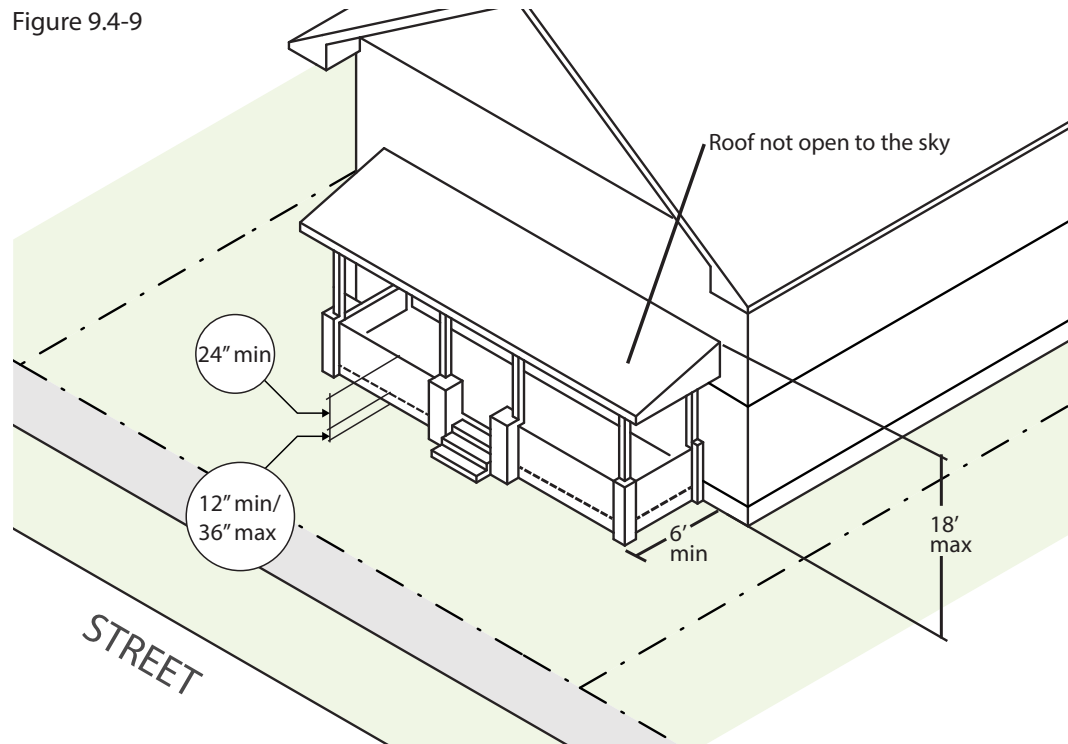
**2. Elevation of the Upper Surface of the Floor of the Street Level**

The elevation of the upper surface of the floor of the Street Level in the front 40% of the Zone Lot depth shall be no less than 12 inches and no more than 36 inches above the Front Base Plane elevation, except when a different elevation is required by the Department of Transportation and Infrastructure (DOTI). (See Figure 9.4-9)

**3. Pedestrian Access, Primary Street**

- a. An Unenclosed Porch is required.
- b. At least one Unenclosed Porch or a portion of an Unenclosed Porch shall:
  - i. Be located between the Primary Street Zone Lot Line and the Primary Street-facing façade(s) of the Primary Structure;
  - ii. Have an upper walking surface with a minimum area of 120 square feet, including posts, railings, walls or other structural features, but excluding any above grade stairways at the Street Level connected to a Unenclosed Porch;
  - iii. Have an upper walking surface a minimum depth of 6 feet as measured perpendicular to the Primary Street Zone Lot Line from the exterior face of the Primary Street-facing façade to the furthest edge of the Unenclosed Porch including posts, railings, walls and other structural features, but excluding the depth of any above grade stairways at the Street Level connected to a Unenclosed Porch (See Figure 9.4-9);
  - iv. Not be located below a Story;
  - v. Have partial height walls, railings or guards at its perimeter. Such walls, railings or guards shall extend vertically above the upper walking surface of the Unenclosed Porch a minimum of 24 inches except for a portion of the Unenclosed Porch where access is provided. The width of such access shall not exceed 50 percent of the total linear distance of all required partial height walls, railings or guards (See Figure 9.4-9);
  - vi. Have a maximum height of 18 feet as measured from the Front Base Plane to the highest point of the Unenclosed Porch. (See Figure 9.4-9);
  - vii. Have an upper walking surface entirely covered by a Roof that is not open to the sky (See Figure 9.4-9); and
  - viii. Not abut more than one Exterior Wall.

Figure 9.4-9



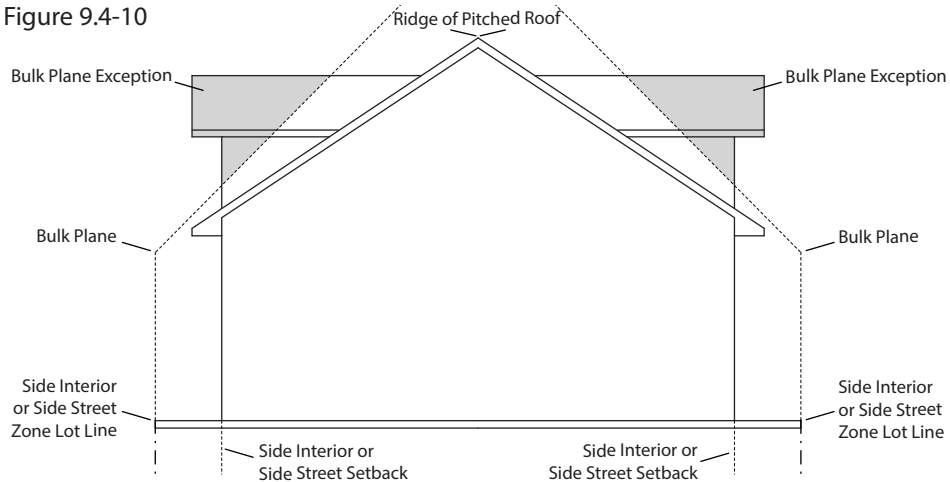
**F. Design Standard Exceptions for the CO-6 Overlay District**

**1. Bulk Plane Exceptions for Dormers in the Front 65% of Zone Lot Depth**

A Dormer may project beyond the bulk plane as specified in the applicable Building Form table in the front 65% of Zone Lot depth provided the projecting Dormer meets all of the following conditions:

- a. The highest point of the Dormer shall not exceed the height of the ridge of the Pitched Roof. (See Figure 9.4-10)

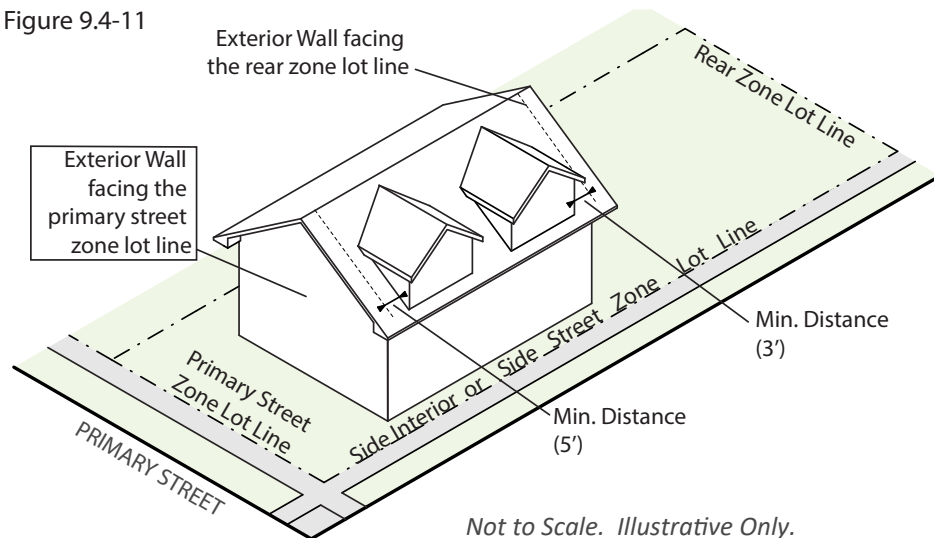
Figure 9.4-10



Not to Scale. Illustrative Only.

- b. The Dormer shall contain at least one window that faces a side interior or side street zone lot line.
- c. The Dormer shall not have a Low-Slope Roof.
- d. The Dormer's roof overhangs shall not exceed 3 feet, measured perpendicular from the Exterior Wall of the Dormer to the edge of the roof overhang.
- e. The Dormer shall have a minimum distance of 5 feet from the Exterior Wall located between the Dormer and the primary street zone lot line, measured perpendicular from the Dormer to the Exterior Wall . Roof overhangs may encroach into this minimum distance. (See Figure 9.4-11)
- f. The Dormer shall have a minimum distance of 3 feet from the Exterior Wall located between the Dormer and the rear zone lot line, measured perpendicular from the Dormer to the Exterior Wall . Roof overhangs may encroach into the minimum distance. (See Figure 9.4-11)

Figure 9.4-11

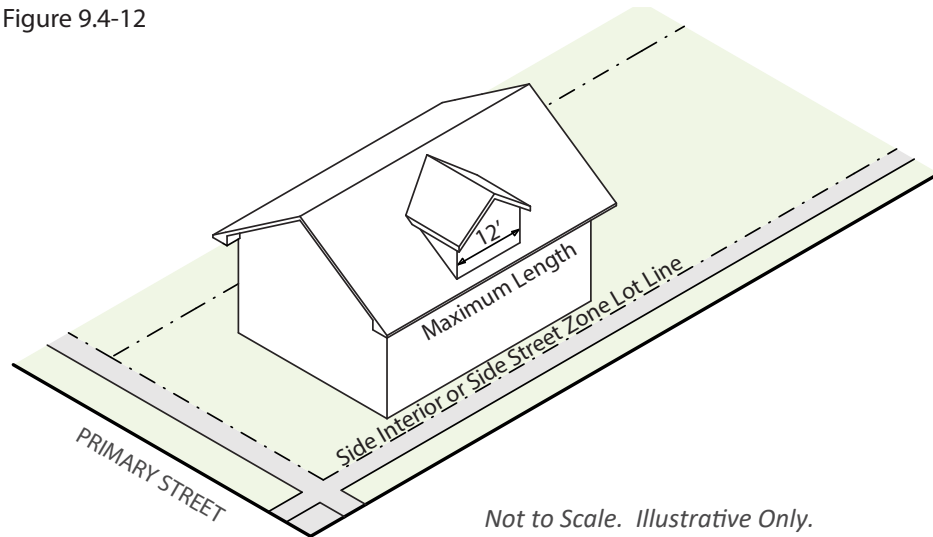


Not to Scale. Illustrative Only.

- g. The maximum length of an individual projecting Dormer shall be 12 feet (length is measured from the Exterior Wall surface), measured parallel to the Exterior Wall facing the side interior or side street zone lot line. Roof overhangs shall be excluded from the calculation of maximum length. (See Figure 9.4-12)

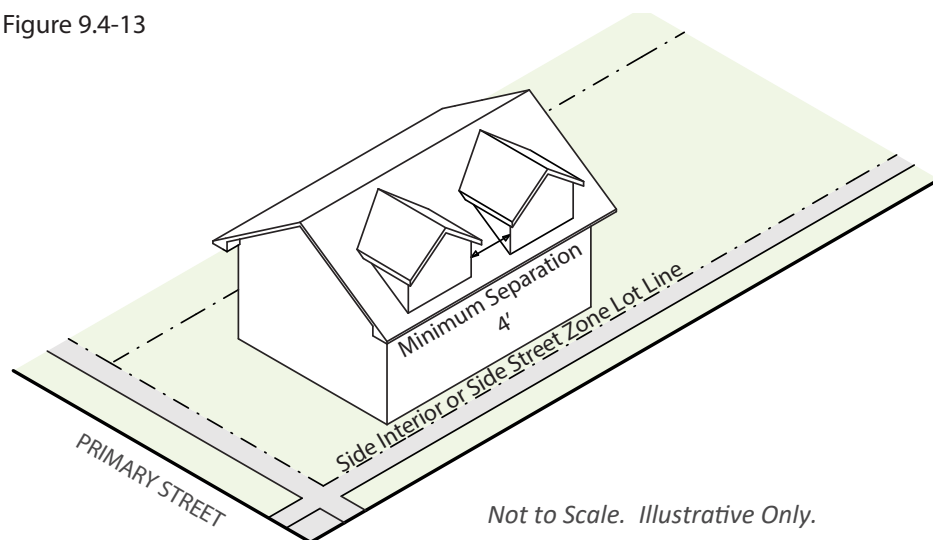


Figure 9.4-12



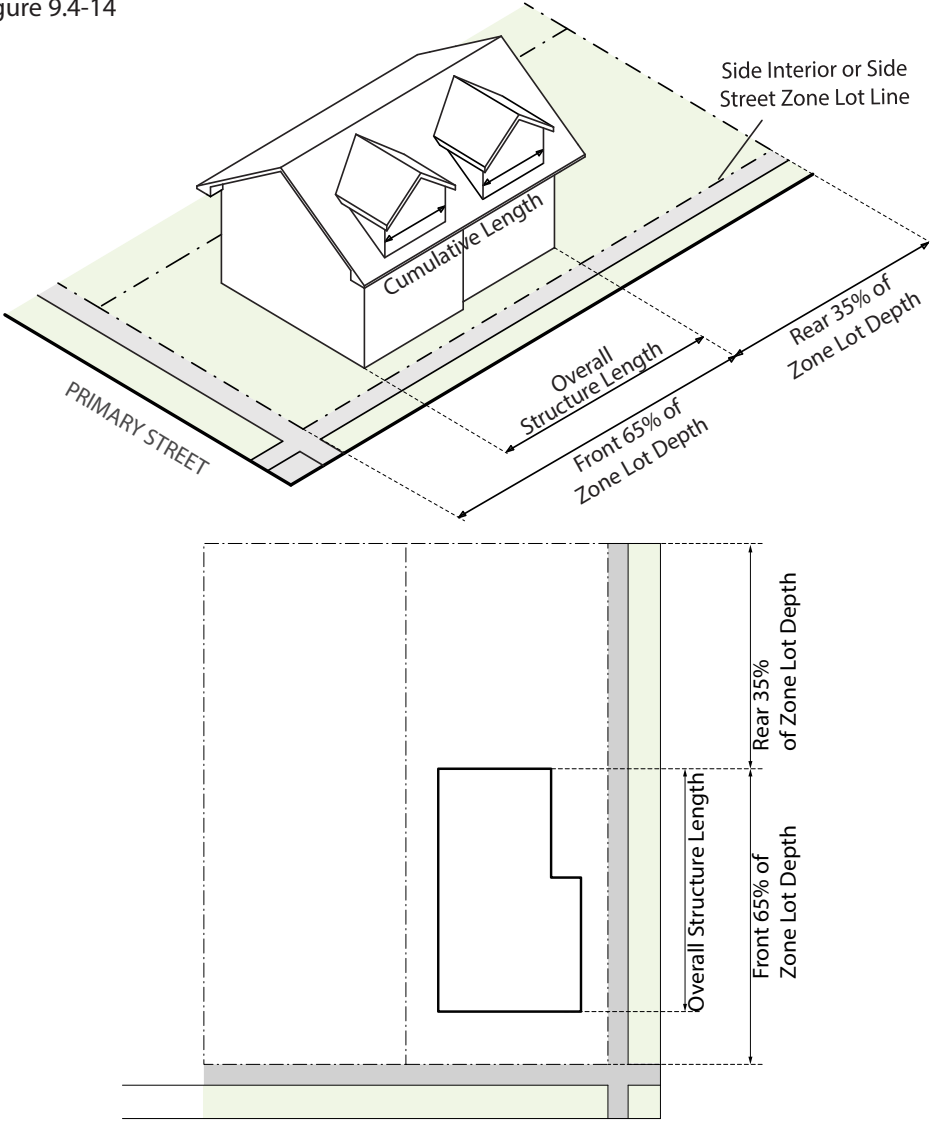
- h. The minimum separation between projecting Dormers shall be 4 feet (separation is measured from the exterior wall surface), measured parallel to the Exterior Wall facing the side interior or side street zone lot line. The Roof overhangs shall be excluded from the calculation of minimum separation. (See Figure 9.4-13)

Figure 9.4-13



- i. The maximum cumulative length of all projecting Dormers shall not exceed 50% of the Overall Structure Length facing the side interior or side street zone lot line within the front 65% of zone lot depth. The maximum cumulative length shall be calculated using the sum of the length of all projecting Dormers divided by the Overall Structure Length (see Article 13 for rule of measurement) in the front 65% of zone lot depth facing the side interior or side street zone lot line. (See Figure 9.4-14)

Figure 9.4-14



Not to Scale. Illustrative Only.

**2. Setback Exceptions**

The following Setback Exceptions are in addition to exceptions allowed within the Underlying Zone District.

- a. **Intent**  
To provide flexibility in the location of barrier-free access structures providing access to any building.
- b. **Standard**  
Barrier-free access structures providing access to a building may encroach any distance into a required Primary Street Setback, Side Street Setback, Side Interior Setback or Rear Setback.

### **9.4.3.12 Sunnyside Conservation Overlay (CO-7)**

#### **A. Creation**

There is hereby created a Conservation Overlay District designated as the Sunnyside Conservation Overlay District (CO-7).

#### **B. Intent**

To promote conservation of the mass, scale and other design characteristics of residential neighborhoods within single unit (SU) or two unit (TU) Underlying Zone Districts in the Sunnyside neighborhood, including:

1. To encourage development that is context-sensitive in scale and mass, and incorporates compatible roof forms through the application of Building Height Standards and Design Elements Standards.
2. To ensure a rhythm of Unenclosed Porches along the street is maintained and that a required Unenclosed Porch along the Primary Street provides a scale transition from the primary building mass to the street through the application of Supplemental Design Standards.

#### **C. Applicability**

This Sunnyside Conservation Overlay shall apply only to those areas designated as CO-7 on the Official Zone Map.

**D. Primary Building Form Standards Applicable to All Allowed Building Forms**

The district-specific standards of the Underlying Zone District for all allowed Primary Building Forms shall be modified as set forth in the following table.

HEIGHT	CO-7 Overlay District	
See Underlying Zone District for Additional Applicable Height Standards Not Listed Below		
	Urban House and Duplex Building Forms	Tandem House Building Form
Stories, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Pitched Roof (max)	2.5/1	2.5/2.5
Stories, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Low-Slope Roof (max)	2/1	2/2
Feet, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Pitched Roof (max)	30'/17'	30'/24'
Feet, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Low-Slope Roof (max)	22'/17'	22'/22'
Feet, front 65% of Zone Lot depth, permitted height increase	Not Permitted	
Feet, rear 35% of Zone Lot depth, permitted height increase	Not Permitted	
Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot line in front 65% / rear 35% of Zone Lot depth (does not apply to a portion of a building with a Low-Slope Roof)	14'/10'	

DESIGN ELEMENTS	CO-7 Overlay District	
See Underlying Zone District for Additional Applicable Design Elements Standards Not Listed Below		
	Zone Lot Area 7,500 sf or Less	Zone Lot Area greater than 7,500 sf
Gross Floor Area Located Above the Front Base Plane (max) for Urban House Building Form	3,000 sf	3,000 sf plus 40 sf for every 100 sf increase in Zone Lot Size above 7,500 sf
Gross Floor Area Located Above the Front Base Plane (max) for Duplex and Tandem House Building Forms	NA	NA
STREET LEVEL ACTIVATION		
Pedestrian Access, Primary Street	See Section 9.4.3.12.E.1	

USES	CO-7 Overlay District	
See Underlying Zone District for All Applicable Uses Standards		
See Underlying Zone District and Sections 9.4.3.12.E and 9.4.3.12.F for Supplemental Design Standards and Design Standard Exceptions.		



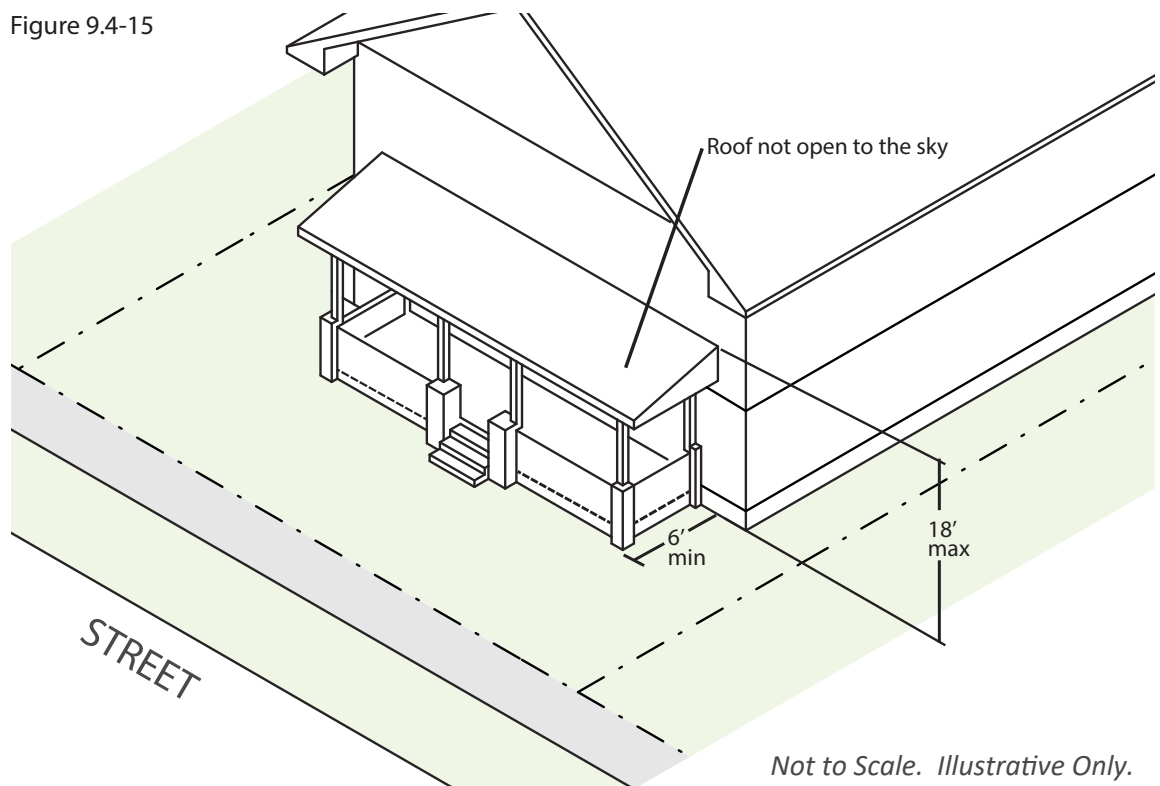
### E. Supplemental Design Standards for the CO-7 Overlay District

The district-specific standards of the Underlying Zone District for all allowed Primary Building Forms shall be modified as set forth in the Supplemental Design Standards below. The Supplemental Design Standards in this section are in addition to Supplemental Design Standards in the underlying zone district.

#### 1. Pedestrian Access, Primary Street

- a. One Unenclosed Porch is required.
- b. At least one Unenclosed Porch or a portion of an Unenclosed Porch shall:
  - i. Be located between the Primary Street Zone Lot Line and the Primary Street-facing façade of the Primary Structure;
  - ii. Have an upper walking surface with a minimum area of 48 square feet, including posts, railings, walls or other structural features, but excluding any above grade stairways at the Street Level connected to an Unenclosed Porch;
  - iii. Have an upper walking surface with a minimum depth of 6 feet as measured perpendicular to the Primary Street Zone Lot Line from the exterior face of the Primary Street-facing façade to the furthest edge of the Unenclosed Porch including posts, railings, walls and other structural features, but excluding the depth of any above grade stairways at the Street Level connected to an Unenclosed Porch (See Figure 9.4-15);
  - iv. Not be located below a Story;
  - v. Have a maximum height of 18 feet as measured from the Front Base Plane to the highest point of the Unenclosed Porch. (See Figure 9.4-15);
  - vi. Have an upper walking surface entirely covered by a Roof that is not open to the sky (See Figure 9.4-15); and
  - vii. Not abut more than two Exterior Walls.

Figure 9.4-15



**F. Design Standard Exceptions for the CO-7 Overlay District**

**1. Bulk Plane Exception for Low-Slope Roof**

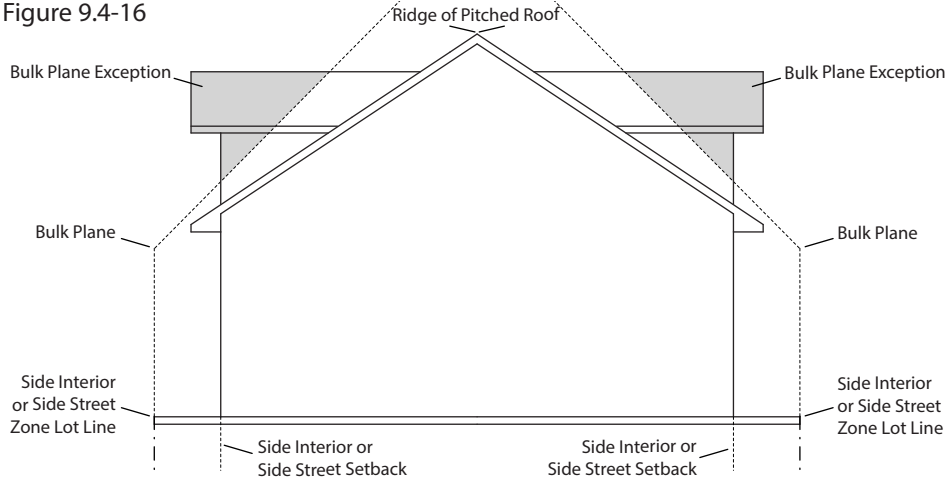
Bulk Plane shall not apply to a portion of a building with a Low-Slope Roof.

**2. Bulk Plane Exceptions for Dormers in the Front 65% of Zone Lot Depth**

A Dormer may project beyond the bulk plane as specified in the applicable Building Form table in the front 65% of Zone Lot depth provided the projecting Dormer meets all of the following conditions:

- a. The highest point of the Dormer shall not exceed the height of the ridge of the Pitched Roof. (See Figure 9.4-16)

Figure 9.4-16

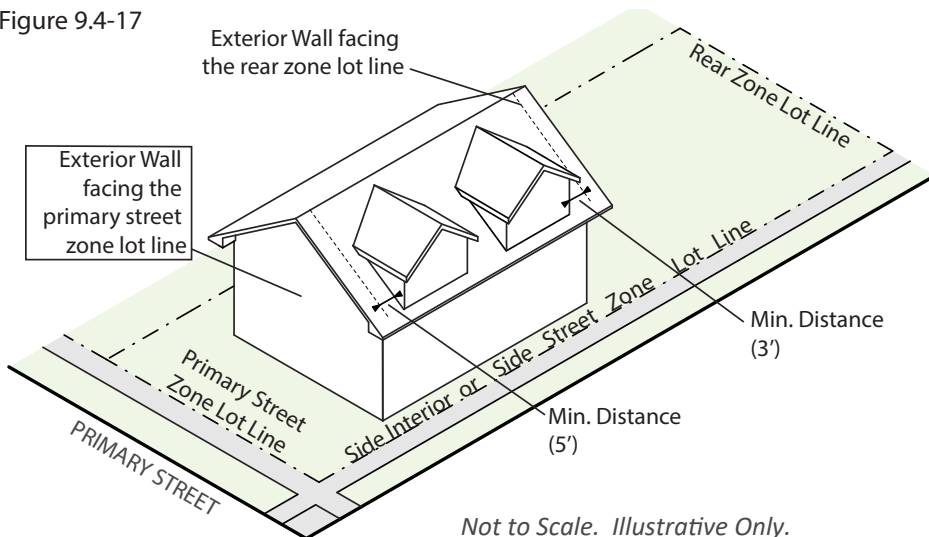


*Not to Scale. Illustrative Only.*

- b. The Dormer shall contain at least one window that faces a Side Interior or Side Street Zone Lot Line.
- c. The Dormer shall have a Pitched Roof.
- d. The Dormer's roof overhangs shall not exceed 3 feet, measured perpendicular from the Exterior Wall of the Dormer to the edge of the roof overhang.
- e. The Dormer shall have a minimum distance of 5 feet from the Exterior Wall located between the Dormer and the primary street zone lot line, measured perpendicular from the Dormer to the Exterior Wall. Roof overhangs may encroach into this minimum distance. (See Figure 9.4-17)

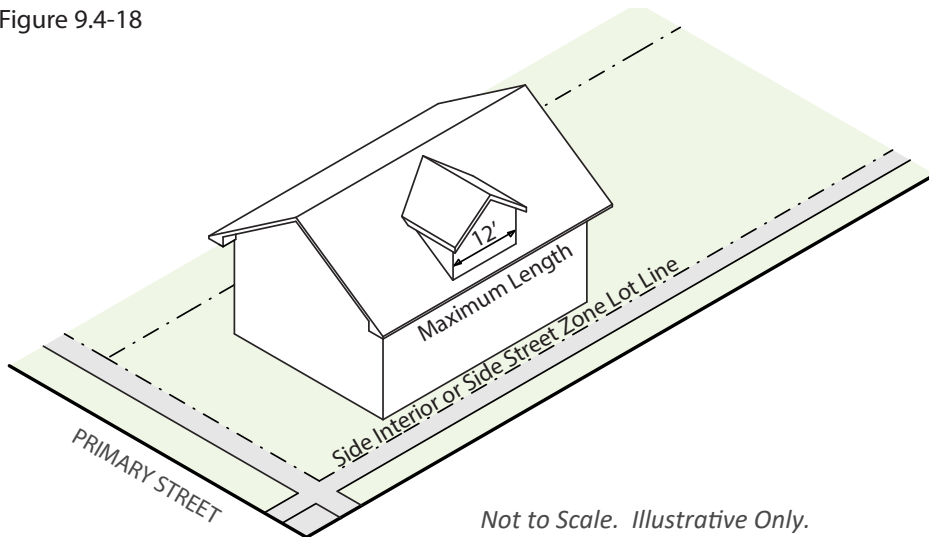
- f. The Dormer shall have a minimum distance of 3 feet from the Exterior Wall located between the Dormer and the rear zone lot line, measured perpendicular from the Dormer to the Exterior Wall. Roof overhangs may encroach into the minimum distance. (See Figure 9.4-17)

Figure 9.4-17



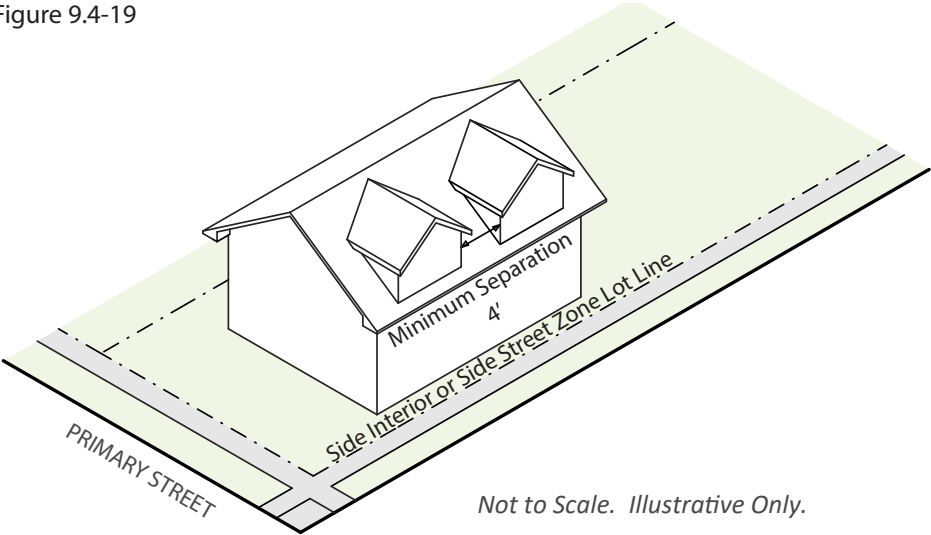
- g. The maximum length of an individual projecting Dormer shall be 12 feet (length is measured from the Exterior Wall surface), measured parallel to the Exterior Wall facing the side interior or side street zone lot line. Roof overhangs shall be excluded from the calculation of maximum length. (See Figure 9.4-18)

Figure 9.4-18



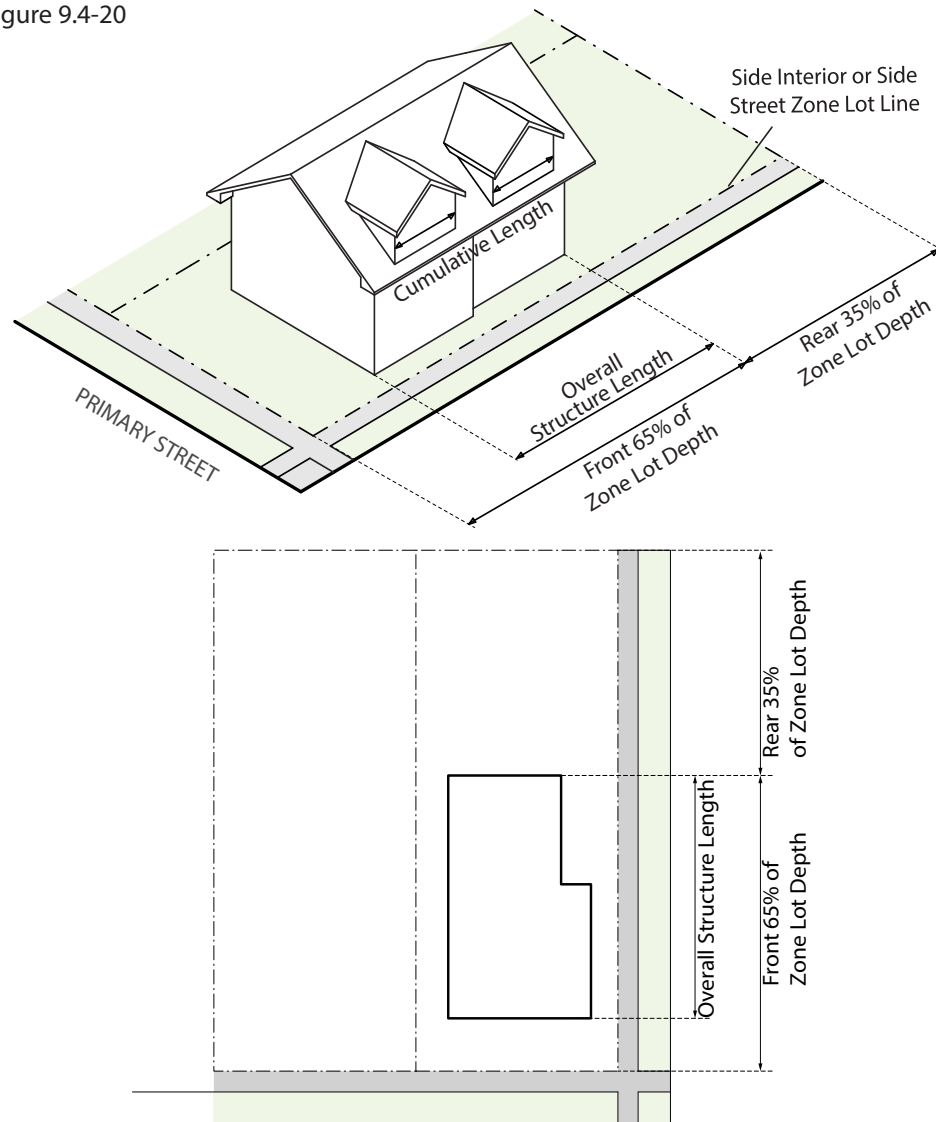
- h. The minimum separation between projecting Dormers shall be 4 feet (separation is measured from the Exterior Wall surface), measured parallel to the Exterior Wall facing the side interior or side street zone lot line. The Roof overhangs shall be excluded from the calculation of minimum separation. (See Figure 9.4-19)

Figure 9.4-19



- i. The maximum cumulative length of all projecting Dormers shall not exceed 50% of the Overall Structure Length facing the side interior or side street zone lot line within the front 65% of zone lot depth. The maximum cumulative length shall be calculated using the sum of the length of all projecting Dormers divided by the Overall Structure Length (see Article 13 for rule of measurement) in the front 65% of zone lot depth facing the side interior or side street zone lot line. (See Figure 9.4-20)

Figure 9.4-20



Not to Scale. Illustrative Only.



### 9.4.3.13 Sunnyside Conservation and Brick Overlay (CO-8)

#### A. Creation

There is hereby created a Conservation Overlay District designated as the Sunnyside Conservation and Brick Overlay District (CO-8).

#### B. Intent

To promote conservation of the mass, scale and other design characteristics of residential neighborhoods within single unit (SU) or two unit (TU) Underlying Zone Districts in the Sunnyside neighborhood, including:

1. To encourage development that is context-sensitive in scale and mass, and incorporates compatible roof forms through the application of Building Height Standards and Design Elements Standards.
2. To ensure a rhythm of Unenclosed Porches along the street is maintained and that a required Unenclosed Porch along the Primary Street provides a scale transition from the primary building mass to the street through the application of Supplemental Design Standards..
3. To promote visual compatibility of new development with the strong pattern of existing residential structures with brick cladding while maintaining flexibility for use of additional materials.
4. To promote brick cladding on exterior walls of a residential structure that are most visible from the public street, while allowing additional flexibility on less publicly visible exterior walls.
5. To promote the use of durable materials that express a human scale.

#### C. Applicability

This Sunnyside Conservation and Brick Overlay shall apply only to those areas designated as CO-8 on the Official Zone Map.

**D. Primary Building Form Standards Applicable to All Allowed Building Forms**

The district-specific standards of the Underlying Zone District for all allowed Primary Building Forms shall be modified as set forth in the following table.

HEIGHT	CO-8 Overlay District	
See Underlying Zone District for Additional Applicable Height Standards Not Listed Below		
	Urban House and Duplex Building Forms	Tandem House Building Form
Stories, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Pitched Roof (max)	2.5/1	2.5/2.5
Stories, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Low-Slope Roof (max)	2/1	2/2
Feet, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Pitched Roof (max)	30'/17'	30'/24'
Feet, front 65% / rear 35% of Zone Lot depth for a portion of a building with a Low-Slope Roof (max)	22'/17'	22'/22'
Feet, front 65% of Zone Lot depth, permitted height increase	Not Permitted	
Feet, rear 35% of Zone Lot depth, permitted height increase	Not Permitted	
Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot line in front 65% / rear 35% of Zone Lot depth (does not apply to a portion of a building with a Low-Slope Roof)	14'/10'	

DESIGN ELEMENTS	CO-8 Overlay District	
See Underlying Zone District for Additional Applicable Design Elements Standards Not Listed Below		
GROSS FLOOR AREA BY ZONE LOT SIZE	Zone Lot Area 7,500 sf or Less	Zone Lot Area greater than 7,500 sf
Gross Floor Area Located Above the Front Base Plane (max) for Urban House Building Form	3,000 sf	3,000 sf plus 40 sf for every 100 sf increase in Zone Lot Size above 7,500 sf
Gross Floor Area Located Above the Front Base Plane (max) for Duplex and Tandem House Building Forms	NA	NA
STREET LEVEL ACTIVATION		
Pedestrian Access, Primary Street	See Section 9.4.3.13.E.1	
EXTERIOR WALL CLADDING		
Brick cladding for Exterior Walls (min)	See Section 9.4.3.13.E.2	

USES	CO-8 Overlay District	
See Underlying Zone District for All Applicable Uses Standards		
See Underlying Zone District and Sections 9.4.3.13.E and 9.4.3.13.F for Supplemental Design Standards and Design Standard Exceptions.		

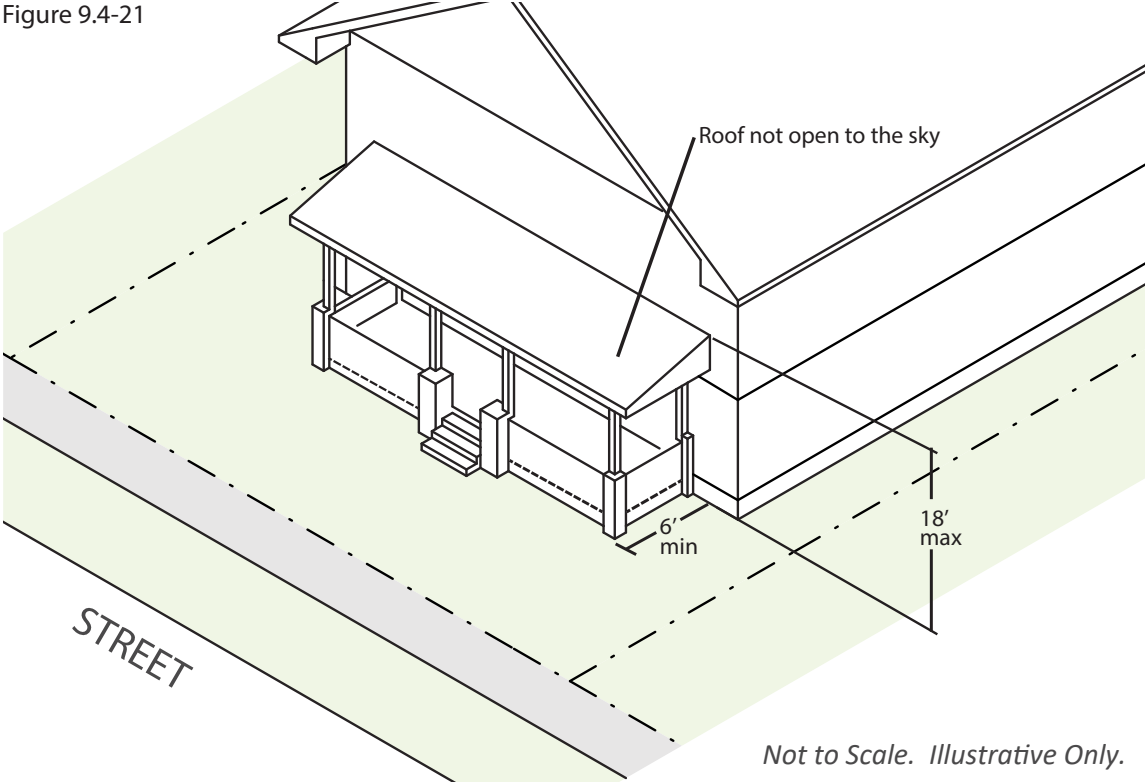
**E. Supplemental Design Standards for the CO-8 Overlay District**

The district-specific standards of the Underlying Zone District for all allowed Primary Building Forms shall be modified as set forth in the Supplemental Design Standards below. The Supplemental Design Standards in this section are in addition to Supplemental Design Standards in the underlying zone district.

**1. Pedestrian Access, Primary Street**

- a. One Unenclosed Porch is required.
- b. At least one Unenclosed Porch or a portion of an Unenclosed Porch shall:
  - i. Be located between the Primary Street Zone Lot Line and the Primary Street-facing façade of the Primary Structure;
  - ii. Have an upper walking surface with a minimum area of 48 square feet, including posts, railings, walls or other structural features, but excluding any above grade stairways at the Street Level connected to an Unenclosed Porch;
  - iii. Have an upper walking surface a minimum depth of 6 feet as measured perpendicular to the Primary Street Zone Lot Line from the exterior face of the Primary Street-facing façade to the furthest edge of the Unenclosed Porch including posts, railings, walls and other structural features, but excluding the depth of any above grade stairways at the Street Level connected to an Unenclosed Porch (See Figure 9.4-21);
  - iv. Not be located below a Story;
  - v. Have a maximum height of 18 feet as measured from the Front Base Plane to the highest point of the Unenclosed Porch. (See Figure 9.4-21);
  - vi. Have an upper walking surface entirely covered by a Roof that is not open to the sky (See Figure 9.4-21); and
  - vii. Not abut more than two Exterior Walls.

Figure 9.4-21



## 2. Exterior Wall Cladding

### a. Applicability

#### i. New Primary Structures

This Section 9.4.3.12.E.2 applies to Development of a new Primary Structure. This section does not apply to an Alteration, expansion or repair of an existing Primary Structure.

#### ii. Exterior Walls in the Front of a Zone Lot

This Section 9.4.3.12.E.2 applies to Exterior Walls in the front 65% of Zone Lot Depth.

#### iii. Street Level and Above

This Section 9.4.3.12.E.2 applies to Exterior Walls above the upper surface of the floor of the Street Level Story.

### b. Design Standard

A minimum percentage of the surface area of Exterior Wall(s), excluding fenestration (windows and doors), shall be clad with with a minimum amount of Brick as indicated below (see Figures 9.4-22 and 9.4-23):

- i. Primary Street Zone Lot Line Facing Exterior Walls: 60%
- ii. Side Street Zone Lot Line Facing Exterior Walls: 60%
- iii. Side Interior Zone Lot Line Facing Exterior Walls: 40%
- iv. Rear Zone Lot Line Facing Exterior Walls: No requirement

Figure 9.4-22

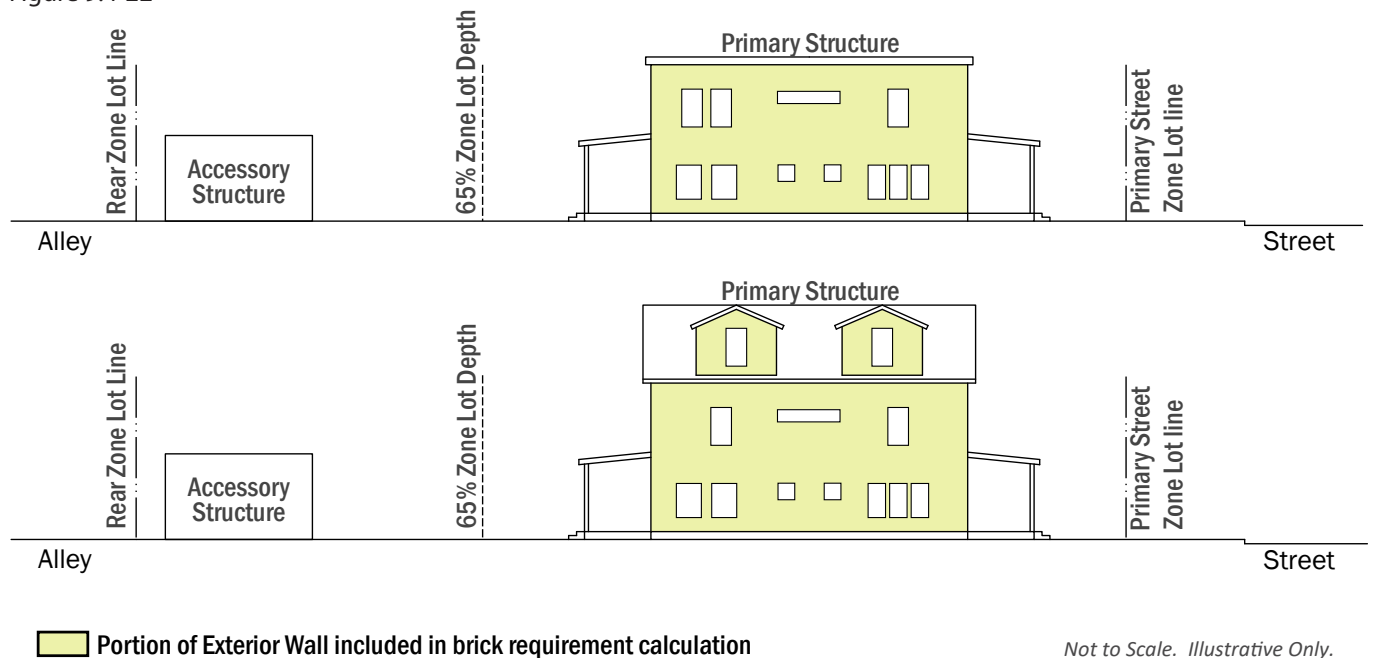
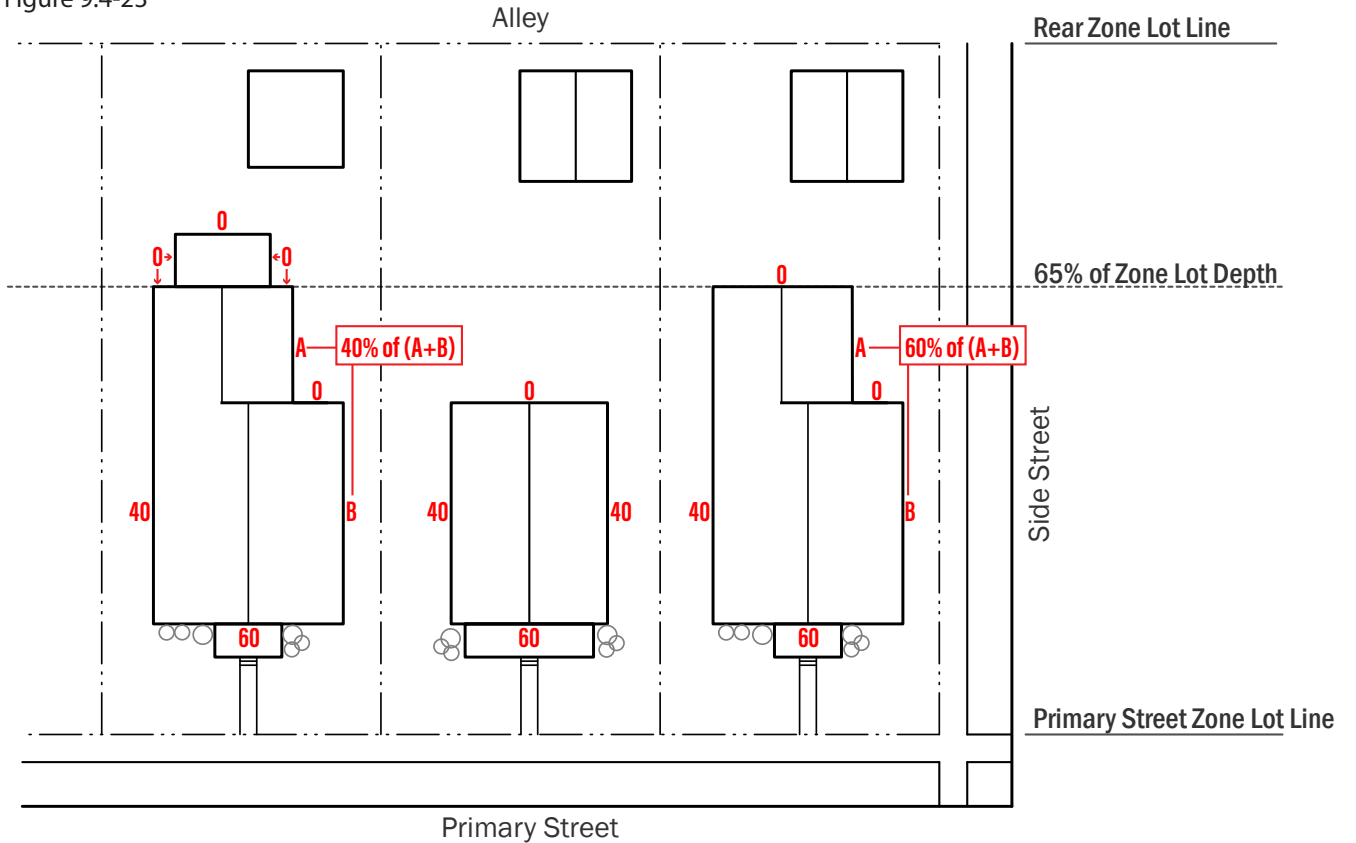


Figure 9.4-23



## = Minimum Percentage Brick Cladding

Not to Scale. Illustrative Only.



## F. Design Standard Exceptions for the CO-8 Overlay District

### 1. Bulk Plane Exception for Low-Slope Roof

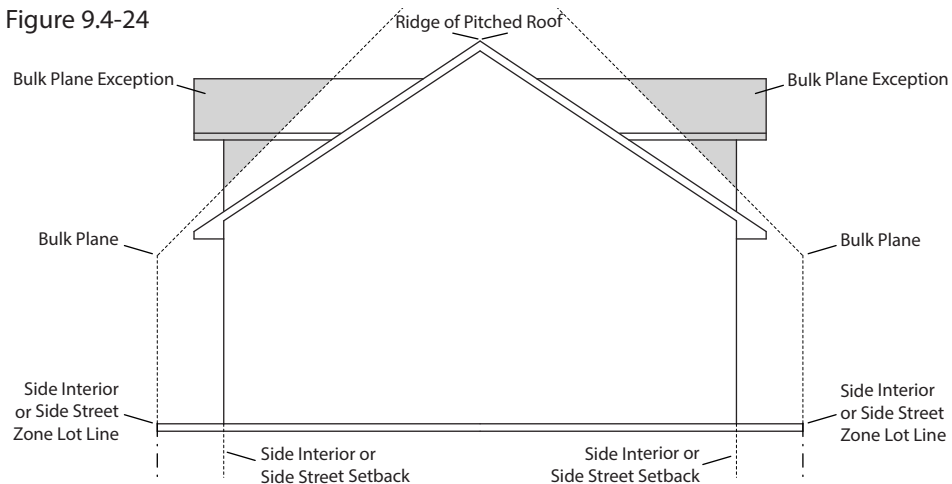
Bulk Plane shall not apply to a portion of a building with a Low-Slope Roof

### 2. Bulk Plane Exceptions for Dormers in the Front 65% of Zone Lot Depth

A Dormer may project beyond the bulk plane as specified in the applicable Building Form table in the front 65% of Zone Lot depth provided the projecting Dormer meets all of the following conditions:

- a. The highest point of the Dormer shall not exceed the height of the ridge of the Pitched Roof. (See Figure 9.4-24)

Figure 9.4-24

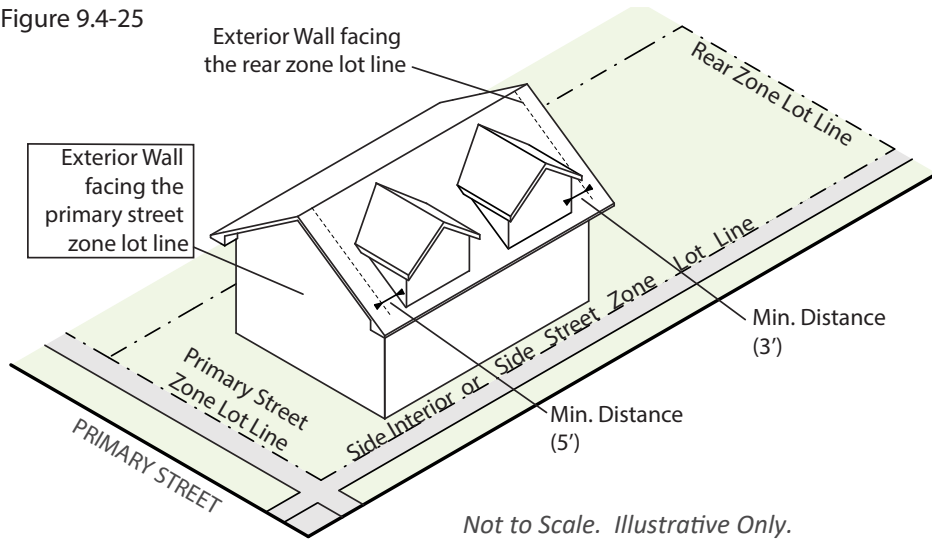


*Not to Scale. Illustrative Only.*

- b. The Dormer shall contain at least one window that faces a Side Interior or Side Street Zone Lot Line.
- c. The Dormer shall have a Pitched Roof.
- d. The Dormer's roof overhangs shall not exceed 3 feet, measured perpendicular from the Exterior Wall of the Dormer to the edge of the roof overhang.
- e. The Dormer shall have a minimum distance of 5 feet from the Exterior Wall located between the Dormer and the primary street zone lot line, measured perpendicular from the Dormer to the Exterior Wall. Roof overhangs may encroach into this minimum distance. (See Figure 9.4-25)

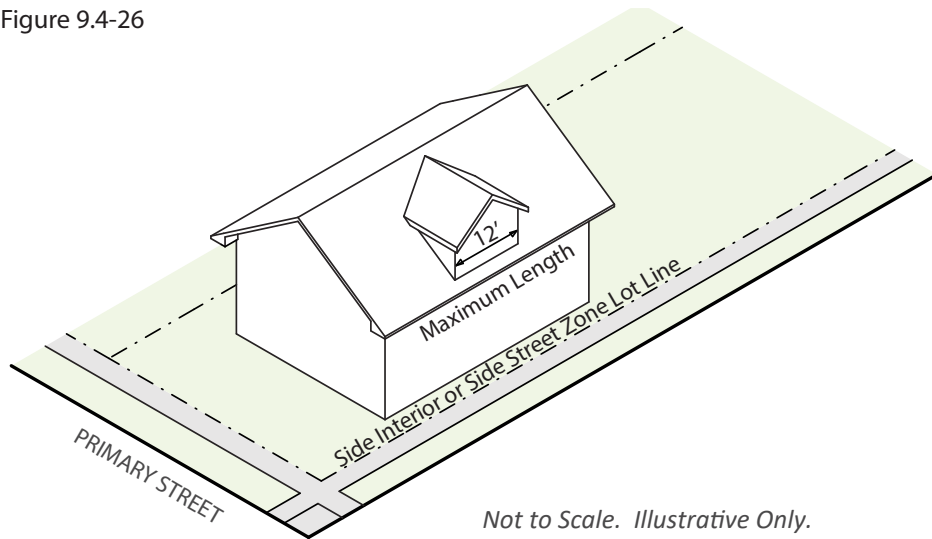
- f. The Dormer shall have a minimum distance of 3 feet from the Exterior Wall located between the Dormer and the rear zone lot line, measured perpendicular from the Dormer to the Exterior Wall. Roof overhangs may encroach into the minimum distance. (See Figure 9.4-25)

Figure 9.4-25



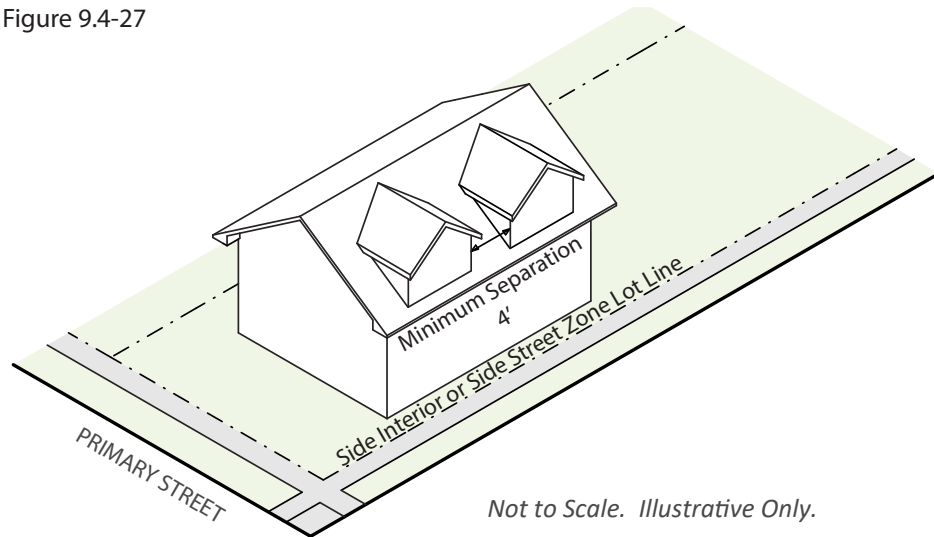
- g. The maximum length of an individual projecting Dormer shall be 12 feet (length is measured from the Exterior Wall surface), measured parallel to the Exterior Wall facing the side interior or side street zone lot line. Roof overhangs shall be excluded from the calculation of maximum length. (See Figure 9.4-26)

Figure 9.4-26



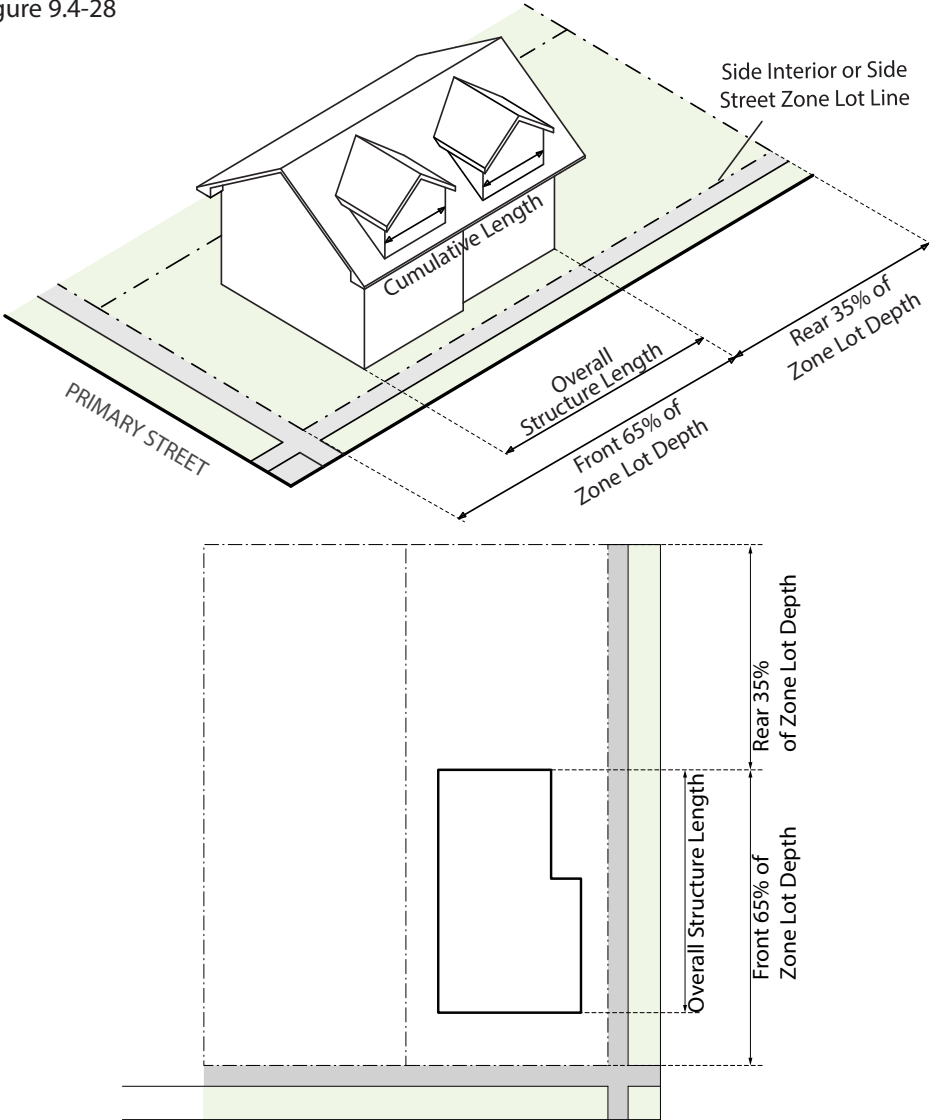
- h. The minimum separation between projecting Dormers shall be 4 feet (separation is measured from the Exterior Wall surface), measured parallel to the Exterior Wall facing the side interior or side street zone lot line. The Roof overhangs shall be excluded from the calculation of minimum separation. (See Figure 9.4-27)

Figure 9.4-27



- i. The maximum cumulative length of all projecting Dormers shall not exceed 50% of the Overall Structure Length facing the side interior or side street zone lot line within the front 65% of zone lot depth. The maximum cumulative length shall be calculated using the sum of the length of all projecting Dormers divided by the Overall Structure Length (see Article 13 for rule of measurement) in the front 65% of zone lot depth facing the side interior or side street zone lot line. (See Figure 9.4-28)

Figure 9.4-28



Not to Scale. Illustrative Only.

### 13.1.6.6 Exterior Wall Types

#### A. Rule of Measurement for Determining Exterior Wall Types

**1. Primary Street Zone Lot Line Facing Exterior Wall**

An Exterior Wall is "Primary Street Zone Lot Line facing" if any portion of the Exterior Wall faces a Primary Street Zone Lot Line, which shall be determined by extending a line equal to the width of the Exterior Wall and perpendicular to the Exterior Wall towards the zone lot boundary. If any portion of said line touches the applicable Primary Street Zone Lot Line, then such Exterior Wall is "Primary Street Zone Lot Line facing." See Figure 13.1-118.

**2. Side Street Zone Lot Line Facing Exterior Wall**

An Exterior Wall is "Side Street Zone Lot Line facing" if the Exterior Wall faces a Side Street Zone Lot Line, which shall be determined by extending a line equal to the width of the Exterior Wall and perpendicular to the Exterior Wall towards the zone lot boundary. If any portion of said line touches the applicable Side Street Zone Lot Line and no portion of said line touches the Primary Street Zone Lot Line, then such Exterior Wall is "Side Street Zone Lot Line facing." See Figure 13.1-118.

**3. Side Interior Zone Lot Line Facing Exterior Wall**

An Exterior Wall is "Side Interior Zone Lot Line facing" if the Exterior Wall faces a Side Interior Zone Lot Line(s), which shall be determined by extending a line equal to the width of the Exterior Wall and perpendicular to the Exterior Wall towards the zone lot boundary. If any portion of said line touches the applicable Side Interior Zone Lot Line and no portion touches a Street Zone Lot Line, then such Exterior Wall is "Side Interior Zone Lot Line facing." See Figure 13.1-118.

**4. Rear Zone Lot Line Facing Exterior Wall**

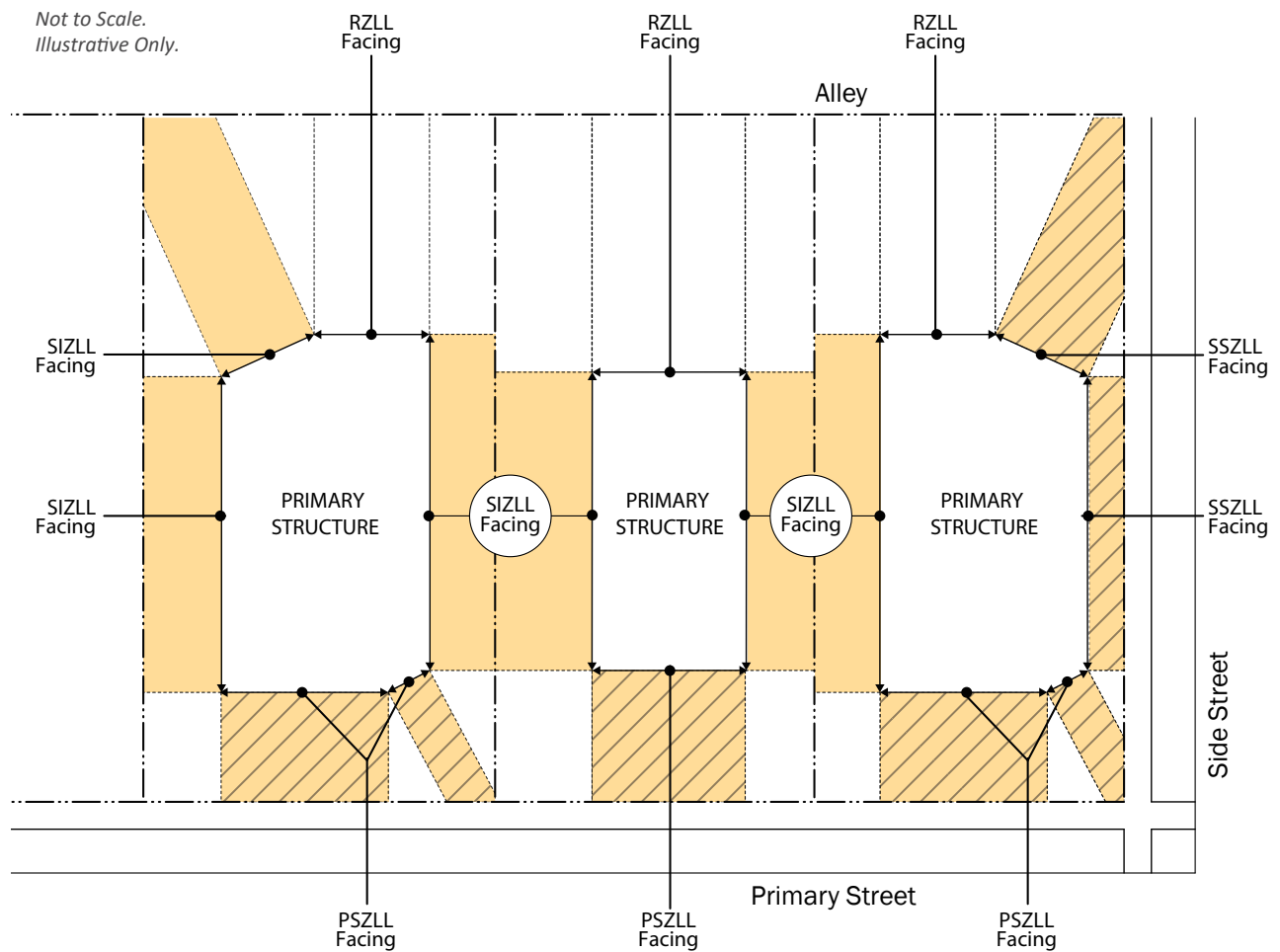
An Exterior Wall is "Rear Zone Lot Line facing" if the Exterior Wall faces a Rear Zone Lot Line, which shall be determined by extending a line equal to the width of the Exterior Wall and perpendicular to the Exterior Wall towards the zone lot boundary. If the entirety of said line touches the applicable Rear Zone Lot Line, then such Exterior Wall is "Rear Zone Lot Line facing." See Figure 13.1-118.




#### B. Multiple Side Interior Zone Lot Lines

Where a Zone Lot has more than one Side Interior Zone Line or more than one contiguous series of Side Interior Zone Lot Lines, the minimum Brick cladding percentage shall be calculated for each individual Side Zone Lot Line or series of contiguous Side Zone Lot Lines for determining the requirement for a Side Interior Zone Lot Line Facing Exterior Wall(s).



Figure 13.1-118



	Line extended from a Street Zone Lot Line facing Exterior Wall per 13.1.6.6
	Line extended from Side Interior Zone Lot Line facing Exterior Wall per 13.1.6.6
	Line extended from Rear Zone Lot Line facing Exterior Wall per 13.1.6.6

PSZLL = Primary Street Zone Lot Line  
 SSZLL = Side Street Zone Lot Line  
 SIZLL = Side Interior Zone Lot Line  
 RZLL = Rear Zone Lot Line

**B**

**Backhaul or Backhaul Network:** The lines that connect a provider’s tower/cell sites to one or more cellular telephone switching offices, and/or long distance providers, or the public switched telephone network.

**Balcony, Exterior:** An elevated floor space projecting beyond the exterior walls of a building that is not supported on the ground by posts, columns, or similar supporting structural elements. Generally, an exterior balcony is intended to be used for outdoor living, gardening, or other actively used outdoor space. An exterior balcony shall not include a landing abutting an entry.

**Berm:** A mound of earth, or the act of pushing earth into a mound, usually for the purpose of shielding or buffering uses, or to control the direction of water flow.

**Billboard:** See “Outdoor General Advertising Device”.

**Block:** A tract of land bounded by platted streets, public parks, cemeteries, railroad rights-of-way, shore lines, or corporate boundaries of the city.

**Block, Square:** A block with contiguous sides, where the difference in length between the sides of the block is no greater than 50 feet.

**Block, Oblong:** A block with contiguous long and short sides, where the long side of the block is 50 feet or more greater in length than the short side of the block.

**Block Face:** See definition of “Face Block.”

**Brick:** For purposes of the Sunnyside Conservation and Brick Overlay (CO-8) only, Brick is a masonry architectural cladding material (including terra cotta) composed of rectilinear modular units with joints between each unit where no face of a unit exceeds 46 square inches in area. Brick shall be expressed in its natural state without stucco or other coatings. Brick may be applied as a veneer or panel system where the individual modular units are preattached with clips, mortar or other means into larger sheets that are then applied as architectural cladding. Brick does not include concrete masonry units, natural stone, stone panel systems or rain screen systems.

**Build-to:** An alignment at the primary street or side street setback line of a zone lot, or within a range of setback from the zone lot line abutting a street, along which a Street-facing, primary building wall must be built.

**Building:** Any covered structure intended for the shelter, housing or enclosure of any person, animal or chattel.

**Building Connector:** A walkway covered by a Roof and used exclusively as a pedestrian trafficway external to the Structures it connects.

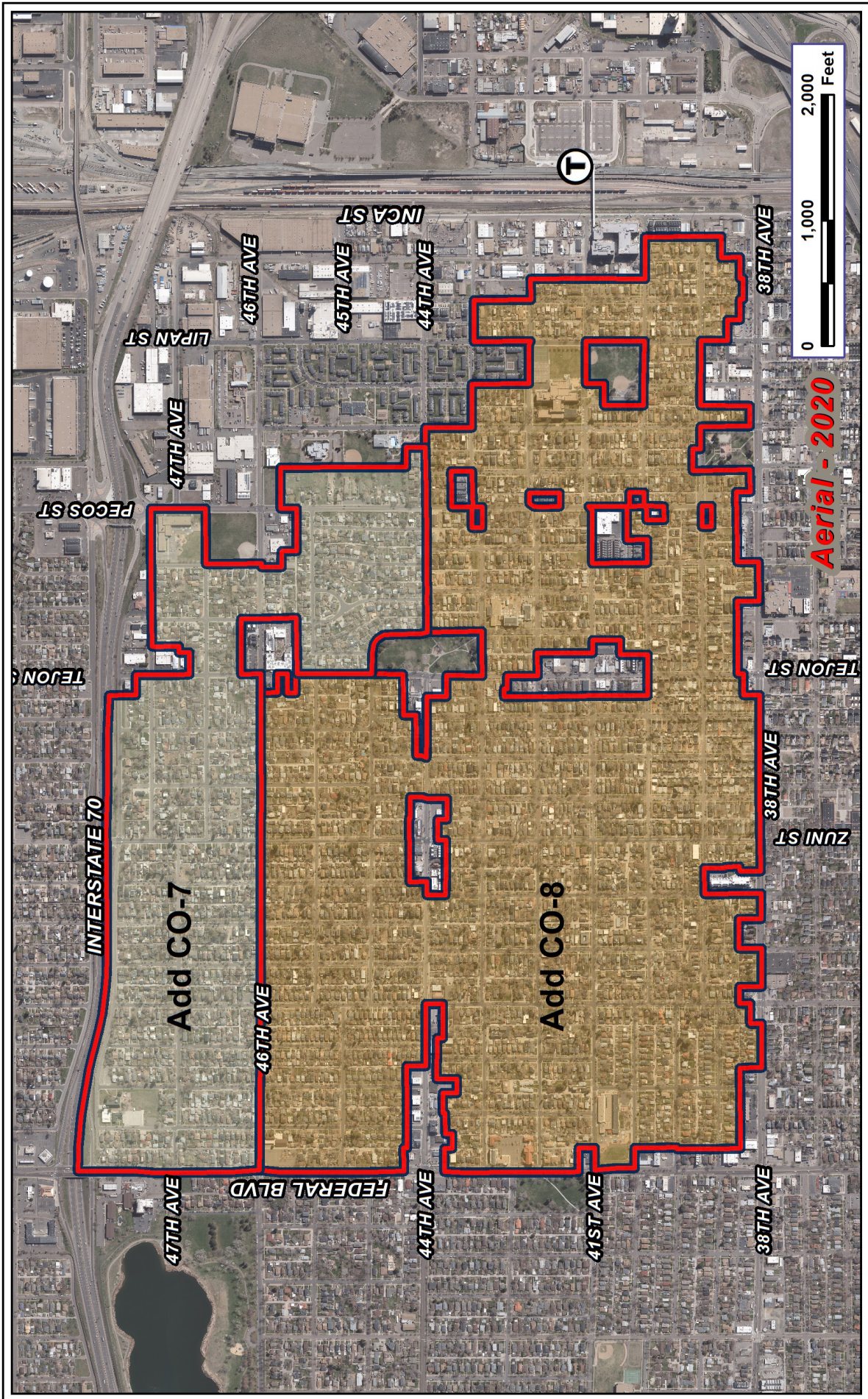
**Building, Principal or Primary:** A building in which is conducted the principal or primary use of the zone lot on which it is situated.

**Building Form Standards:** Standards applicable to the development of buildings and structures in this Code which, taken together, regulate building height (Building Height Standards), building siting (Siting Standards), building design elements (Design Element Standards), and the permitted use of buildings (Use Building Form Standards).

## Zone Map Amendment (Rezoning) - Legislative Rezoning Proposal

PROPERTY OWNER INFORMATION		REPRESENTATIVE*	
Property Owner Name	Multiple owners	Representative Name	Councilwoman Amanda P. Sandoval Legislative Rezoning
Address		Address	1810 Platte Street
City, State, Zip		City, State, Zip	Denver, CO 80202
Telephone		Telephone	720-337-7701
Email		Email	amanda.sandoval@denvergov.org
SUBJECT PROPERTY INFORMATION			
Location (address and/or boundary description):	Multiple properties in the Sunnyside neighborhood. See attached map and legal descriptions.		
Assessor's Parcel Numbers:	Multiple		
Area in Acres or Square Feet:	Approximately 651 acres		
Current Zone Districts:	U-SU-C, U-SU-C1, U-SU-B1, and U-TU-C		
PROPOSAL			
Proposed Zone Districts:	Maintain underlying zone districts and apply the CO-7 Sunnyside Conservation Overlay and the CO-8 Sunnyside Conservation and Brick Overlay to areas designated on the Official Zone Map.		
REVIEW CRITERIA			
General Review Criteria: The proposal must comply with all of the general review criteria DZC Sec. 12.4.10.13	<input checked="" type="checkbox"/>	Consistency with Adopted Plans: The proposed official map amendment is consistent with the City's adopted plans, <i>Please provide an attachment describing relevant adopted plans and how proposed map amendment is consistent with those plan recommendations; or, describe how the map amendment is necessary to provide for an unanticipated community need.</i>	
	<input checked="" type="checkbox"/>	Uniformity of District Regulations and Restrictions: The proposed official map amendment results in regulations and restrictions that are uniform for each kind of building throughout each district having the same classification and bearing the same symbol or designation on the official map, but the regulations in one district may differ from those in other districts.	
	<input checked="" type="checkbox"/>	Public Health, Safety and General Welfare: The proposed official map amendment furthers the public health, safety, and general welfare of the City.	







**Legislative Zone Map Amendment 19i-00066**  
**DRAFT legal Description V1 10/18/2022**

That the zoning classifications of the area in the City and County of Denver described as follows or included within the following boundaries shall be and hereby are changed from

**U-SU-C, U-SU-C1, U-TU-C to U-SU-C CO-7, U-SU-C1 CO-7, U-TU-C CO-7**

**BLOCK 2 HOMERS ADDITION**

Block 2, Lots 1 to 48

**BOULEVARD GARDENS**

Block 2, Lots 1 to 48

Block 3, Lots 1 to 48

No Block Number, Lots 1 to 5

**CHAFFE PARK SUBDIVISION**

Block 1, Lots 1 to 27

Block 2, Lots 1 to 28

Block 3, Lots 1 to 5

Block 4, Lots 1 to 28

Block 5, Lots 1 to 28

Block 6, Lots 1 to 14

**DECKER'S SUBDIVISION**

Block 16, Lots 1 to 9

**FINCH AND IVES ADDITION**

Block 1, Lots 1 to 48

**HARTZELL RESUBDIVISION OF LOTS 1 AND 2, BLOCK 17, NORTH HIGHLANDS**

Block 17, Lots 1 to 8

**HOMERS ADDITION**

Block 1, Lots 1 to 48

**KAISERS ADDITION**

Block 1, Lots 1 to 47

**LOSASSO ADDITION**

All of Block 1



**NORTH BOULEVARD HEIGHTS**

Block 1, Lots 7 to 42

Block 2, Lots 7 to 42

Block 3, Lots 7 to 42

Block 4, Lots 5 to 43

Block 5, Lots 2 to 46

**NORTH HIGHLANDS**

Block 4, Lot 3 and the South 100' of the East 120', and the East 50' of the West 50' of Lot 4

Block 5, Lots 3 to 4

Block 6, Lots 3 to 4

Block 7, Lots 1 to 38

Block 8, Lots 1 to 38

Block 9, Lots 1 to 38

Block 10, Lot 1, the South 100' of the West 136.92', and the East 50' of Lot 3, and Lot 4

Block 11, Lots 1 to 4

Block 12, Lots 1 to 4

Block 14, Lots 1 to 4

Block 15, Lots 1 and 2, and the North 60' of Lots 3 and 4

Block 16, Lots 3 and 4

Block 17, Lots 3 and 4

Block 18, Lots 1 to 4

Block 22, Adjacent to Block 1, Lot 7 Chaffee Park Sub (4560 N. Tejon St.

Block 23, Lots 1 to 27

Block 24, Lots 5 to 7

**SUNNYSIDE ACRES**

No Block Number, the West 155' of Lot 21, and Lots 32 to 40

**TERRE BONNE BLOCK 1 AND 2, PLAT OF**

Block 1, Lots 1 to 22

Block 2, Lots 1 to 9

**The Unplatted Parcels by Street and Address:****W. 46th Ave.**

2505

**W. 47th Ave.**

2801, 2837, 2895

**N. Alcott St.**

4609, 4621, 4625, 4639, 4645, 4651, 4657, 4665, 4675, 4685, 4695

**N. Beach Ct.**

4600, 4610, 4620, 4630, 4636, 4640, 4650, 4660, 4670, 4676, 4680, 4690

**N. Eliot St.**

4722, 4726, 4732, 4742, 4752, 4780

**N. Elm Ct.**

4705, 4715, 4721, 4725, 4735, 4745, 4755, 4771

TOGETHER WITH

All Vacated Street or Alley Rights of Way lying adjacent to described areas.

In addition thereto those portions of all abutting public rights-of-way, but only to the centerline thereof, which are immediately adjacent to the aforesaid specifically described area.

That the zoning classifications of the area in the City and County of Denver described as follows or included within the following boundaries shall be and hereby are changed from

**U-SU-B1, U-SU-C, U-SU-C1, U-TU-C to U-SU-B1 CO-8, U-SU-C CO-8, U-SU-C1 CO-8, U-TU-C CO-8**

**A RESUBDIVISION (OF BLOCK 2 SUNNYSIDE)**

Block 2 , Lots 1 to 40

**A SUBDIVISION OF LOTS 1 AND 2 AND A PART OF 4 BLOCK 8 SUNNYSIDE ADDITION TO THE CITY OF DENVER**

All Lots in Subdivision

**Anderson's Subdivision of Lots 1 and 4 in Block 26 Perrin's Addition**

Block 26 , Lots 1 to 17, and the East 8 1/2' of Lot 18

**BARENSCHEER RE-SUBDIVISION OF SOUTH 141 FEET OF BLOCK 30 NORTH HIGHLANDS**

Block 30 , Lots 9 to 13

**BARENSCHEER RE-SUBDIVISION OF WEST 125 FEET OF BLOCK 30 NORTH HIGHLANDS**

Block 30 , Lots 1 to 8

**Bill Bros Addition**

Block 1 , Lots 1 to 46

Block 2 , Lots 1 to 46

**Block 3, Hawthorne Place**

Block 3 , Lots 12 to 45

**Boulevard Heights 2nd Filing being a Resubdivision of Blocks 9, 16, 17, and 18 of Perrin's Subdivision**

Block 9 , Lots 1 to 38

Block 16 , Lots 1 to 38

Block 17 , Lots 1 to 38

Block 18 , Lots 1 to 11, and Lots 16 to 38

**Boulevard Heights Being a Subdivision of Blocks 7 and 8 Perrin's Subdivision**

Block 7 , Lots 1 to 38

Block 8 , Lots 1 to 38

**Cable Heights**

Block 1 , Lots 16 to 30

Block 2 , Lots 1 to 30

Block 3 , Lots 1 to 20

**CARLSON HILL ADDITION**

Block 1 , Lots 1 to 48

Block 2 , Lots 1 to 48

**Central Subdivision of Lots 2, 3 and 4 Block 21 NORTH HIGHLANDS**

Block 28 , Lots 1 to 9, and Lots 17 to 24

**CLOUGH ADDITION**

Block 1 , Lots 1 to 19, and Lots 31 to 49

Block 2 , Lots 1 to 19, and Lots 31 to 49

Block 3 , Lots 1 to 19

**DAVIS'S SUBDIVISION OF SOUTH 1/2 OF BLOCK 5 OF SUNNY SIDE ADDITION TO DENVER**

All Lots in Subdivision

**Doss Brothers Resubdivision of part of block 28 NORTH HIGHLANDS**

Block 28 , Lots 1 to 33

**Downing's Addition to North Denver**

Block 1 , Lots 3 to 10, and Lots 21 to 28

Block 2 , Lots 3 to 28

Block 6 , Lots 1 to 30

Block 7 , Lots 1 to 30

Block 8 , Lots 1 to 30

Block 9 , Lots 9 to 30

Block 10 , Lots 1 to 30

Block 11 , Lots 1 to 30

Block 12 , Lots 1 to 30

Block 14 , Lots 1 to 15, and Lots 27 to 30

Block 15 , Lots 1 to 30

Block 16 , Lots 1 to 12, and Lots 16 to 30

Block 17 , Lots 1 to 30

Block 18 , Lots 1 to 14, and Lots 16 to 30

Block 19 , Lots 1 to 30

Block 20 , Lots 1 to 30

Block 22 , Lots 1 to 14

Block 24 , Lots 1 to 9, the North 12.5 FT of Lot 10, and Lots 17 to 30

**EARL M HOWLANDS ADDITION**

Block 1 , Lots 1 to 30

Block 2 , Lots 1 to 14

**FIRST ADDITION TO SUNNYSIDE**

Block 10 , Lots 16 to 30

Block 11 , Lots 1 to 30

Block 12 , Lots 1 to 11, the North 1/2 of Lot 12, and Lots 16 to 30

Block 13 , Lots 1 to 30

Block 14 , Lots 1 to 30

Block 15 , Lots 1 to 30

Block 16 , Lots 1 to 30

Block 17 , Lots 1 to 30

Block 18 , Lots 1 to 30

**HAHNS ADDITION**

Block 1 , Lots 1 to 24

Block 2 , Lots 1 to 24

**Hale's Resubdivision of part of Lot 4 Block 24 Perrin's Subdivision**

Block 24 , Lots A, B, C, D

**Hammond Resubdivision of Lots 2, 3 and 4, Block 19 Perrin's Subdivision**

Block 19 , Lots 1 to 27

**HANMERS ADDITION TO DENVER**

Block 1 , Lots 16 to 30

Block 2 , Lots 16 to 30

Block 3 , Lots 16 to 30

**Harrison's Resubdivision of Lot 1 Block 24 Perrin's Subdivision**

Block 24 , Lots 1 to 9

**Hawthorne Place**

Block 1 , Lots 12 to 29

**Hawthorne Place**

Block 2 , Lots 12 to 47

**HENRICHS 2ND ADDITION**

Block 1 , Lots 10 to 15

Block 2 , Lots 1 to 15

Block 3 , Lots 1 to 15



**HENRICHS ADDITION**

Block 1 , Lots 1 to 16

Block 2 , Lots 1 to 16

Block 3 , Lots 1 to 30

Block 4 , Lots 1 to 20, and Lots 25 to 35

**HOMERS 2ND ADDITION**

Block 1 , Lots 1 to 48

**Humphrey's Addition**

Block 1 , Lots 1 to 15, the North 7.5' of Lot 17, and Lots 18 to 30

Block 2 , Lots 1 to 30

Block 3 , Lots 1 to 30

Block 5 , Lots 1 to 30

Block 6 , Lots 1 to 30

Block 7 , Lots 1 to 30

Block 8 , Lots 1 to 30

**Key and Oldens Resubdivision of Block No. 6 Perrins Subdivision**

Block 6 , Lots 1 to 10, the South 18.75' of Lot 11, the South 30' of Lots 15 to 18, and Lots 22 to 36

**Kurtz Place**

Block 1 , Lots 6 to 19, and Lots 22 to 49

**Kurtz Place 2nd Filing**

Block 2 , Lots 1 to 27

**LAURENZANO SUBDIVISION**

No Block Number, Lots 1 to 5

**MANNIX ADDITION TO DENVER**

Block 1 , Lots 1 to 14

Block 2 , Lots 1 to 9

**McGinty's Resubdivision of Lot 2 Block 21 Perrin's Subdivision**

Block 21 , Lots 1 to 10

**Merriman and Hunt's Resubdivision of Block 27 Perrin's Subdivision**

Block 27 , Lots 1 to 9, and Lots 27 to 38

**MONTELIUS AND WALKERS RE-SUBDIVISION OF THE NORTH 1/2 OF BLOCK 5 OF SUNNY SIDE ADDITION TO DENVER**

All Lots in Subdivision

**MRS. E.L. WICKHAM'S SUBDIVISION OF PART OF THE SOUTH HALF OF BLOCK 4, SUNNYSIDE ADD**

All Lots in Subdivision

**NORTH HIGHLANDS**

Block 1 , Lots 1 to 10, the North 2/3 of Lot 11, and Lots 20 to 30

Block 2 , Lots 1 to 30

Block 3 , Lots 1 to 13, and Lots 18 to 30

Block 4 , Lots 1 to 9, and Lots 22 to 30

Block 19 , Lots 1 to 18

Block 20 , Lots 1 to 18

All of Block 21 except the East 125' of the North 100'

Block 28 , Lot 3

Block 29 , Lots 1 to 4

Block 30 , Lots 1 to 4

**Perrin's Subdivision**

Block 4 , Lot 1 Except the North 100', the South 163' of Lot 2, and Lots 3 and 4

Block 5 , the East 125' of Lot 1, and Lots 3 and 4

Block 13 , Lots 2 to 3

Block 19 , Lot 1

Block 21 , Lot 1

Block 22 , Lot 1, and Lots 3 to 4

Block 23 , Lots 3 to 4

Block 24 , Lots 2 to 3, and the West 60' and the North 100' of the East 125' of Lot 4

**Perrin's Subdivision of Lot 2 Block 5 Perrin's Subdivision**

Block 5 , Lots 3 to 5

**Prospect Place Subdivision in Block 25 Perrin's Addition to Denver**

Block 25 , Lots 1 to 11, and Lots 16 to 19

**RE-SUBDIVISION OF BLOCK 7 SUNNYSIDE ADDITION TO DENVER**

Block 7 , Lots 17 to 29, and Lots 32 to 38

**Resubdivision of blocks 1, 2, 3, 10, 11, 12, E. 1/2 13, W. 1/2 14, and 15 of Perrins Subdivision**

Block 1 , Lots 4 to 17

Block 2 , Lots 1 to 20

Block 3 , Lots 1 to 20

Block 10 , Lots 1 to 20

Block 11 , Lots 1 to 20

Block 12 , Lots 1 to 20

Block 13 , Lots 11 to 20

Block 14 , Lots 1 to 10

Block 15 , Lots 1 to 20

**Resubdivision of E. 1/2 Block 14 Perrins Addition**

Block 14 , Lots 1 to 19

**Resubdivision of Lot 2 Block 22 Perrin's Subdivision**

Block 22 , Lots 1 to 9

**Resubdivision of Lots 1 and 2 Block 23 Perrin's Addition**

Block 23 , Lots 1 to 20

**RE-SUBDIVISION OF LOTS 1 AND 2, BLOCK 4, SUNNY SIDE ADDITION TO DENVER**

All Lots in Subdivision

**Resubdivision of Lots 1&2 Block 25 Perrin's Subdivision**

Block 25 , Lots 1 to 20, and Lot 22

**Resubdivision of the south half Block 21 Perrin's Addition**

Block 21 , Lots 1 to 21

**Resubdivision of the W1/2 of Block 26 Perrin's Subdivision**

Block 26 , Lots 1 to 11

**ROBINSON AND ROBINSON ADDITION**

Block 1 , Lots 1 to 24

**SUBDIVISION OF BLOCK 6, SUNNYSIDE ADDITION TO THE CITY OF DENVER**

Block 6 , All lots except the East 80' of Lots 22 to 25

**SUBDIVISION OF BLOCK NINE (9), SUNNYSIDE ADDITION TO THE CITY OF DENVER**

Block 9 , Lots 1 to 16, and Lots 33 to 41

**SUNNYSIDE ADDITION TO THE CITY OF DENVER**

Block 1 , Lot 3 Except the East 40.5' of the South 125', and the North 62' of Lot 4

Block 3 , the East 125' of Lot 1, the East 50' of Lot 3, and all of Lot 4

Block 4 , the North 50' of Lot 4

Block 8 , the East 91' 2" of the South 125' of Lot 3, and the East 38' of the South 125' of Lot 4

**Sunnyside Annex**

Block 1 , Lots 1 to 30

Block 2 , Lots 16 to 30

**VAN CAMPS ADDITION TO DENVER**

Block 1 , Lots 1 to 18

Block 2 , Lots 1 to 34

Block 3 , Lots 1 to 30

Block 4 , Lots 1 to 15

Block 5 , Lots 1 to 17, the East 78' of Lot 27, and Lots 28 to 34

Block 6 , Lots 1 to 18

**VanCamp's Resubdivision of Block 20 Perrin's Subdivision**

Block 20 , Lots 1 to 40

**Viaduct Addition to Denver**

Block 16 , Lots 1 to 30

Block 17 , Lots 1 to 30

Block 18 , Lots 1 to 15

Block 31 , Lots 1 to 15

Block 32 , Lots 1 to 30

Block 33 , Lots 1 to 30

Block 34 , Lots 1 to 30

Block 35 , Lots 1 to 15

Block 46 , Lots 1 to 5

Block 47 , Lots 1 to 12, and lots 20 to 30

Block 48 , Lots 1 to 7, and Lots 20 to 30

**W.H. Andersons Subdivision**

Block 1 , Lots 1 to 2, and Lots 15 to 44

**Wilson's Re-Subdivision of part of Block 21 NORTH HIGHLANDS**

Block 21 , Lots 10 to 16, the West 106' of Lots 24 and 25, and Lots A and B

**YEAGERS SUBDIVISION**

Block 1, Lots 1 to 40, and Lot A

**ZIEHL AND MCLAINS ADDITION TO THE CITY OF DENVER**

Blocks 1 to 11, Lots 1 to 30

Block 12 , Lots 1 to 11 and 20 to 30

**The Unplatted Parcels by Street and Address:**

**W. 39th Ave.**

2700, 2720, 2728, 2744

**N. Clay St.**

3855, 3865, 3867, 3871, 3875

**W. Denver Pl.**

2735, 2741

**N. Federal Blvd.**

4030, 4512, 4518

**N. Vallejo St.**

4223

**N. Wyandot St.**

4233, 4243, 4251, 4259

**N. Zuni St.**

4030, 4034, 4040, 4046, 4096

4232, 4238, 4240, 4242, 4250

4302, 4314, 4320, 4334, 4336, 4340, 4342

TOGETHER WITH

All Vacated Street or Alley Rights of Way lying adjacent to described areas.

In addition thereto those portions of all abutting public rights-of-way, but only to the centerline thereof, which are immediately adjacent to the aforesaid specifically described area.





THE HONORABLE

*Amanda P. Sandoval*  
COUNCILWOMAN DISTRICT 1

*City and County of Denver*  
CITY COUNCIL

City and County Building  
1437 Bannock Street, Room 451  
Denver, CO 80202

p: 720.337.7701  
amanda.sandoval@denvergov.org

October 7<sup>th</sup>, 2022

Sarah Showalter  
Director of Planning Services  
Community Planning and Development  
City and County of Denver  
201 W. Colfax Ave.  
Denver, CO 80202

Director Showalter,

I am asking that Community Planning and Development prepare a rezoning of the subject areas identified in this application to apply the CO-7 – Sunnyside Conservation Overlay and the CO-8 – Sunnyside Conservation and Brick Overlay. These overlays will ensure that the Sunnyside neighborhood retains its beloved traditional residential elements and pedestrian-friendly urbanism as it grows.

Sunnyside is one of Denver’s original neighborhoods. It contains a diverse set of architectural styles and has a unified character of modest, working-class homes with projecting front porches, pitched roofs and small footprints. Some modifications and infill have occurred over the years, but the traditional visual characteristics established at the neighborhood’s beginnings remain strongly intact.

These overlays have been community-driven from the beginning. Motivated by concerns about potential loss of character, neighborhood residents and Council District 1 studied the neighborhood’s features, evaluated potential development allowed under existing zoning and explored regulatory modifications to better ensure conservation of character. The effort included establishment of a neighborhood working group and robust outreach with the broader neighborhood. Over the past three years, the working group has carefully vetted the overlays to avoid unintended consequences and made thoughtful modifications based on feedback from the community, Planning Board, and other subject-matter experts and stakeholders.

After years of research and careful development, I am thrilled to be bringing forward these overlay rezonings and look forward to seeing them benefit the Sunnyside neighborhood.

Respectfully,

Councilwoman Amanda P. Sandoval  
City and County of Denver Council District 1

# CO-7 – Sunnyside Conservation Overlay and CO-8 – Sunnyside Conservation and Brick Overlay Application

## 1. Consistency with Adopted Plans

The following adopted plans apply to this application:

- Denver Comprehensive Plan 2040 (2019)
- Blueprint Denver (2019)
- Housing an Inclusive Denver (2018)

### Denver Comprehensive Plan 2040

The proposed rezoning is consistent with many of the adopted *Denver Comprehensive Plan 2040* strategies, including:

#### Equitable, Affordable, and Inclusive

- *Goal 4, Strategy C – Incentivize the reuse of existing smaller and affordable homes (p. 29).*

The CO-7 and CO-8 overlays may make the reuse, expansion, and renovation of existing smaller and affordable homes more attractive compared to demolishing and building new. When a new house is constructed, design standards and size restrictions within the overlays will ensure a smaller above ground square footage. This has the potential of making infill development less expensive than new development that would max out the square footage allowed under the current Urban House standards.

#### Strong and Authentic Neighborhoods

- *Goal 2, Strategy B – Establish a scalable, predictable, and adaptable approach to improve design quality across the city (p. 34).*

The CO-7 and CO-8 overlays adjust the more generic Urban House, Duplex, and Tandem House forms to produce higher quality designs that are better tuned to and compatible with traditional residential forms.

#### Environmentally Resilient

- *Goal 7, Strategy C – Prioritize the use of existing buildings and explore incentives to salvage or reuse materials from demolished structures (p. 54).*

Construction and demolition debris make up 20 percent of landfill waste nationally<sup>1</sup>. Preserving a house and/or adding to it is generally more environmentally sustainable than demolishing and

---

<sup>1</sup> Jennifer Brown, “Colorado Isn’t Running out of Space for Trash, but That’s Not the Point,” The Colorado Sun (The Colorado Sun, September 17, 2018), <https://coloradosun.com/2018/09/17/where-does-colorados-trash-go/>.

building entirely new. As mentioned previously, the CO-7 and CO-8 overlays may incentivize the reuse, expansion, and renovation of existing homes compared to scraping and replacing homes.

### Blueprint Denver

*Blueprint Denver* was adopted in 2019 as a supplement to *Comprehensive Plan 2040* and establishes an integrated framework for the city's land use and transportation decisions. There are four key components of *Blueprint Denver* that apply to this rezoning application:

1. Neighborhood Context
2. Place Type
3. Plan Policies and Strategies
4. Equity Concepts

### **Blueprint Denver Urban Neighborhood Context**

In *Blueprint Denver*, future neighborhood contexts are used to help understand differences between land use, built form, and mobility at a city-wide scale. The subject site is shown on the context map as Urban Neighborhood Context. The description is used to guide appropriate zone districts (p. 66).

The Urban neighborhood context predominantly contains “small, multi-unit residential and low-intensity mixed-use buildings ... embedded in single-unit and two-unit residential areas. Block patterns are a regular grid with consistent alley access. Where they occur, multi-unit buildings are low-scale. Mixed-use buildings are sited in a pedestrian-friendly manner near the street” (p. 222). U-SU-C, U-SU-C1, U-SU-B1, and U-TU-C are zone districts within the Urban neighborhood context that are “intended to promote and protect residential neighborhoods within the character of the Urban Neighborhood Context.” “The building form standards, design standards and uses work together to promote desirable residential areas” and “the regulations provide a consistent framework to property owners, developers, and neighborhood residents to reinforce desired development patterns, encourage affordable housing, and accommodate reinvestment in residential districts.” (DZC 5.2.2.1).

The application of the CO-7 and CO-8 overlays are consistent with the Blueprint future neighborhood context of Urban because they will promote the residential character by retaining the scale and pattern of single- and two-unit residential uses compatible with the existing residential area.

### **Blueprint Denver Low Residential Future Place Type**

The subject site is designated within a Low Residential future place on the *Blueprint Denver* Future Places map. This place is “predominately single- and two-unit uses on small or medium lots. Accessory dwelling units and duplexes are appropriate and can be thoughtfully integrated where compatible,” and “buildings are generally up to 2.5 stories in height” (p. 214). U-SU-C, U-SU-C1, and U-SU-B1 are single unit residential districts, and U-TU-C is a two-unit residential district, which are consistent with the Low Residential future place description.

The application of the CO-7 and CO-8 overlays will not change this base zoning, and therefore is consistent with Blueprint Denver's guidance for the Low Residential Future Place Type.

In addition, modeling of the overlays show they do not block the construction of market-feasible two-unit structures. The application of CO-7 and CO-8 will only modify form standards to improve compatibility of design outcomes.

### **Blueprint Denver Street Types**

In *Blueprint Denver*, street types work in concert with future places to evaluate the appropriateness of the intensity of the adjacent development (p.67). Most streets within the proposed rezoning area are classified in *Blueprint Denver* as undesignated or local streets, which are “most often characterized by residential uses [and] provide the lowest degree of through travel but the highest degree of property access” (p. 154).

The second largest street type group is the Residential type. W. 48<sup>th</sup> Ave., W. 46<sup>th</sup> Ave., N. Zuni St., N. Lipan St., and portions of N. Tejon St. are Residential Collectors. These “are in between a local street and an arterial street; they collect movement from local streets and convey it to arterial streets” (p. 154). N. Pecos St. and Federal Boulevard are Residential Arterials, which are “designed for the highest amount of through movement and the lowest degree of property access” (p. 154).

*Blueprint Denver* describes residential streets as those with “primarily residential uses, but may also include schools, civic uses, parks, small retail nodes and other similar uses. Buildings on residential streets usually have a modest setback. The depth of the setback varies by neighborhood context” (p. 160). The proposed map amendment to apply the CO-7 and CO-8 overlays is consistent with these street types as it will continue to allow low-intensity residential uses along these streets and does not modify front setback requirements.

The remaining street type designation in the subject area is in the Main Street street type. Most of W. 44<sup>th</sup> Ave. and part of N. Tejon St. are Main Street Collectors, while W. 38<sup>th</sup> Ave. is a Main Street Arterial. The Main Street street type is “characterized by a mix of uses including retail, services and restaurants, as well as residential. Buildings are pedestrian- oriented, with little front setback, a continuous street wall, and high transparency. Street level uses are highly activated, including cafe seating in the right-of-way.”

The proposed map amendment to apply the CO-7 and CO-8 overlays is consistent with these street types as it will not modify front setback requirements and additionally only apply to Urban House, Duplex and Tandem House building forms, and does not apply to properties that allow mixed use or commercial building forms.

### **Blueprint Denver Growth Strategy**

*Blueprint Denver’s* growth strategy map is a version of the future places map, showing the aspiration for distributing future growth in Denver (p. 51). The subject property is part of the “All other areas of the city” growth area. These areas anticipate experiencing around 20% of new housing growth and 10% of new employment growth by 2040 (p. 51). This growth area is mostly composed of “residential areas with embedded local centers and corridors” that are planned to “take a smaller amount of growth intended to strengthen the existing character of our neighborhoods” (p. 49).

The proposed map amendment to apply the CO-7 and CO-8 overlays will continue to allow low-intensity growth as identified in *Blueprint Denver* but with design that is more compatible with

existing context. The overlays do not modify the permitted number or type of dwelling units allowed on a zone lot. The overlays additionally only apply to single and two-unit and do not prevent any future rezonings to higher intensity zone districts. As such, the proposed map amendment would maintain consistency with Blueprint Denver's Growth Strategy.

### **Blueprint Denver Conservation Overlay Policies**

*Blueprint Denver Land Use & Built Form: Design Quality & Preservation, Policy 2, Strategy B* recommends “using conservation overlays in areas where the key goal is to conserve distinctive features in order to enhance and retain existing character. Although these overlays can be area-specific, they can also be used for multiple areas of the city where common conservation outcomes are desired.” The CO-7 and CO-8 overlays are designed to preserve the pattern of modest, working-class traditional residential building forms found in Sunnyside. For more data on the existing character of Sunnyside see Appendix B.

In addition, the rezoning is consistent with to **Land Use & Built Form, General, Policy 11 Strategy C**, which directs city-led rezonings to utilize “a robust and inclusive community input process.” The effort to create and apply the overlays was community-initiated and community-driven over the past three years. A public outreach process was launched in 2021 including mailers to affected property owners; an online survey with 398 responses showing majority support for the rezoning; three community town halls; and numerous communications to community members from the Sunnyside United Neighbors, Inc. and the Council District 1 office (see Appendices A and C for outreach details).

### **Blueprint Denver Equity Concepts**

*Blueprint Denver* has three equity concepts: Improving access to opportunity; reducing vulnerability to displacement; and expanding housing and jobs diversity. *Blueprint Denver* states that equity concepts “should be used to evaluate large area rezonings” (p. 67) and therefore are applicable to this rezoning application.

#### **Access to Opportunity**

In total, Sunnyside scores as Average for access to opportunity, defined as access to basic goods, services, and amenities to improve quality-of-life. However, there are subtle geographic variations. The areas to the east score higher on access to Frequent or High-Capacity Transit. The proposed rezoning to U-SU-C, U-SU-C1, U-SU-B1, and U-TU-C with the CO-7 and CO-8 overlays will not have a direct impact on access to opportunity because it does not change the baseline zoning that governs allowed uses in the area or impact access to transit.

#### **Vulnerability to Displacement**

As with Access to Opportunity, there are differences between the west and east sides of the neighborhood: the southwestern portion of Sunnyside is indicated as an area with low vulnerability to displacement, or 1 out of 3. In contrast, the northern and eastern portions of Sunnyside (north of W. 45<sup>th</sup> Ave. and east of N. Shoshone St.) score more moderate, as 2 out of 3. There is the potential for this rezoning to stabilize market pressures caused by redevelopment and, in turn, encourage continued use of existing modest, working-class, affordable housing in the more vulnerable areas, which include the U-TU-C zones. However, the proposed rezoning to apply the CO-7 and CO-8 overlays is expected to have an insignificant impact on the vulnerability to displacement.



### **Housing Diversity**

Sunnyside is indicated as an area with moderate housing diversity. The northern portion of the neighborhood (north of W. 44<sup>th</sup> Ave.) scored slightly higher with 4 out of 5 indicators showing housing diversity. Whereas the southern portion of Sunnyside (south of W. 44<sup>th</sup> Ave.) has slightly less housing diversity with a score of 3 out of 5. The proposed application of CO-7 and CO-8 overlays will have no effect on housing diversity as they do not change the number of dwelling units nor type of building forms allowed. However, the overlays have the potential to stabilize housing costs by reducing the replacement of naturally attainable and affordable housing with larger, more expensive housing types. In addition, the conservation overlay will continue to allow existing duplexes in single unit zone districts to be rebuilt under Denver Zoning Code provisions.

### **Job Diversity**

Sunnyside has moderate job diversity. In the southern portion of the neighborhood (south of W. 44<sup>th</sup> Ave.) there is more emphasis on retail jobs. In contrast, the northeast area of Sunnyside (north of W. 44<sup>th</sup> Ave. and east of N. Zuni St.) has a greater emphasis on manufacturing. The proposed rezoning to apply the CO-7 and CO-8 overlays does not change the existing single and two-unit residential zoning to allow additional uses that would create additional jobs, and therefore will not have a direct impact on job diversity in the neighborhood.

## **2. Uniformity of District Regulations and Restrictions**

The proposed rezoning to U-SU-C, U-SU-C1, U-SU-B1, and U-TU-C with the CO-7 and CO-8 overlays will result in the uniform application of zone district use and design regulations.

## **3. Public Health, Safety and General Welfare**

The proposed official map amendment furthers the public health, safety, and general welfare of the City through implementing adopted plans around conservation overlays, thereby preserving the characteristics of Denver’s traditional built forms. Furthermore, the design standards will result in design elements that support walkability by providing visual interest and enhanced visual and physical relationships between the public right-of-way and private residences.

## **4. Additional Review Criteria for Conservation Overlay**

In addition to review criteria listed above, the application of CO-7 and CO-8 meets the required criteria of a Conservation Overlay District below per 9.4.3.2.C:

### **1. The district contains distinctive building features, such as period of construction, style, size, scale, detailing, mass, color and material;**

Sunnyside was developed as one of Denver’s original subdivisions of modest, working-class homes. The traditional building forms such as bungalows, cottages, and small duplexes are reflective of the area being a historically affordable and attainable neighborhood. While a diversity of architectural styles can be found within Sunnyside, houses are characterized by traditional building elements such as pitched roofs and front porches. Please see Appendix B for detailed breakdown of the existing conditions and how they relate to the standards of CO-7 and CO-8.

Appendix A: Sunnyside Overlay Outreach

**Project Website**

- Versions in English and Spanish, explaining the overlay, linking to community meetings and survey: <http://bit.ly/sunnysideoverlay>

**Property Owner Mailers**

- Notice of town halls and link to information mailed to all property owners, with list generated by City Assessor.

**Sunnyside Conservation Overlay/Superposición de Sunnyside**

**Notice to property owners - We need *your* input!**

Sunnyside United Neighbors Inc. (SUNI) has been working with Councilwoman Sandoval on a conservation overlay that would make new buildings fit in better with the existing character of Sunnyside.

**Noticia a propietarios - Necesitamos *suas* ideas**

Los Vecinos Unidos de Sunnyside Inc (SUNI) han estado trabajando con la Concejala Amanda Sandoval en una superposición de conservación que aseguraría que edificios nuevos encajaría con edificios existentes.

<p><b>Take a survey &amp; attend a town hall</b></p> <p><b>In person:</b> Denver Bookbinding 1401 W. 47<sup>th</sup> Ave. Sat., July 31<sup>st</sup>, 10am-11:30am Thurs., August 12<sup>th</sup>, 6:30pm-8pm</p> <p><b>Virtual:</b> Register on the website below Wed., July 28<sup>th</sup>, 6:30pm-8pm</p>		<p><b>Tome una encuesta y asista la reunión comunitaria</b></p> <p><b>Presencial:</b> Denver Bookbinding 1401 W. 47<sup>th</sup> Ave. Sabado, 31 de Julio, 10-11:30am Jueves, 12 de agosto, 6:30pm-8pm</p> <p><b>Virtual:</b> Registrarse en el sitio web abajo Miércoles, 28 de julio, 6:30-8pm</p>	
---	--	--	--



More information / Más información:  
[bit.ly/sunnysideoverlay](http://bit.ly/sunnysideoverlay)  
720-337-7704



**Interested in other neighborhood issues?**  
Join the **Near Northwest Area Plan** to address topics such as housing, parks and safety.  
[denvergov.org/nearnorthwestplan](http://denvergov.org/nearnorthwestplan) • 720-865-3266

**¿Tiene interés en otros asuntos del barrio?**  
El **Plan del Área Near Northwest** abordará temas como parques, vivienda, y seguridad.

**Flyers**

- Distributed to all properties in early July 2021.

**Sunnyside Conservation Overlay**  
Enhancing the design of new buildings

Over the past several years, a lot of new development has occurred in Sunnyside, especially in areas zoned to allow duplexes. Compared to existing homes, many new buildings are significantly larger and taller, have flat roofs and lack porches. In other words, they are out of character with the existing context of Sunnyside.

In response, community members from Sunnyside United Neighbors Inc. (SUNI) have worked with Councilwoman Amanda Sandoval and her office to develop a proposal for a conservation overlay. This overlay would add extra design standards on new development to help it fit in better with the neighborhood and follow a more human, pedestrian-friendly scale.

**We need YOUR input!**  
Learn more, take a survey and share information with your neighbors:  
Visit [bit.ly/sunnysideoverlay](http://bit.ly/sunnysideoverlay) or call 720-337-7704

**Interested in other neighborhood issues?**  
The Near Northwest Area Plan is an opportunity to discuss development and many other important aspects of the Sunnyside neighborhood. Visit:  
[denvergov.org/nearnorthwestplan](http://denvergov.org/nearnorthwestplan) or call 720-865-3266

Office of Councilwoman Amanda P. Sandoval • [districtone@denvergov.org](mailto:districtone@denvergov.org) • 720-337-7704

**La Superposición de Sunnyside**  
Mejorando el diseño de edificios nuevos

Durante los años pasados, mucha urbanización ha ocurrido en Sunnyside, especialmente en zonas que permiten los dúplexes. En comparación con casas existentes, muchos edificios nuevos son más grandes y altos, tienen techos planos y faltan porches. Es decir, están fuera de carácter de Sunnyside.

En respuesta, miembros de la comunidad de Vecinos Unidos de Sunnyside Inc. (SUNI) han trabajado con la Concejala Amanda Sandoval y su oficina para desarrollar una propuesta para una superposición de conservación. Esta superposición añadiría normas extras de diseño en desarrollo nuevo para ayudarlo a encajar mejor con el barrio y seguir una escala más humana y amigable para peatones.

**¡Necesitamos sus opiniones!**  
Aprenda más, tome una encuesta y comparta información con sus vecinos:  
Visite [bit.ly/sunnysideoverlay](http://bit.ly/sunnysideoverlay) o llame a 720-337-7704

**Reuniones de la Comunidad**  
Únase a la Concejala Amanda Sandoval, SUNI y los empleados de Planificación y Desarrollo Comunitario para conocer la propuesta. Servicios de traducción proporcionados a pedido.

**PRESENCIAL**  
Denver Bookbinding, 1401 W 47th Ave.  
Sábado, 31 de julio, 10am-11:30am  
Jueves, 12 de agosto, 6:30pm-8pm

**VIRTUAL (Zoom)**  
Regístrese en [bit.ly/sunnysideoverlay](http://bit.ly/sunnysideoverlay)  
Miércoles, 28 de julio, 6:30pm-8pm

**¿Tiene interés en otros asuntos del barrio?**  
El Plan del Área Near Northwest es su oportunidad de hablar sobre el desarrollo y muchos otros aspectos importantes de Sunnyside. Visite:  
[denvergov.org/nearnorthwestplan](http://denvergov.org/nearnorthwestplan) o llame 720-865-3266

Office of Councilwoman Amanda P. Sandoval • [districtone@denvergov.org](mailto:districtone@denvergov.org) • 720-337-7704

**Town Halls**

- In person July 31<sup>st</sup> and August 12<sup>th</sup>, 2021
- Virtual July 28<sup>th</sup>, 2021

**Posters**

- In English and Spanish, placed in key areas.



**Sunnyside Conservation Overlay**  
Enhancing the design of new buildings

Over the past several years, a lot of new development has occurred in Sunnyside, especially in areas zoned to allow duplexes. Compared to existing homes, many new buildings are significantly larger and taller, have flat roofs and lack porches. In other words, they are out of character with the existing context of Sunnyside.

In response, community members from Sunnyside United Neighbors Inc. (SUNI) have worked with Councilwoman Amanda Sandoval and her office to develop a proposal for a conservation overlay. This overlay would add extra design standards on new development to help it fit in better with the neighborhood and follow a more human, pedestrian-friendly scale.



**La Superposición de Sunnyside**  
Mejorando el diseño de edificios nuevos

Durante los años pasados, mucha urbanización ha ocurrido en Sunnyside, especialmente en zonas que permiten los duplexes. En comparación con casas existentes, muchos edificios nuevos son más grandes y altos, tienen techos planos y faltan porches. Es decir, están fuera de carácter de Sunnyside.

En respuesta, miembros de la comunidad de Vecinos Unidos de Sunnyside Inc. (SUNI) han trabajado con la Concejala Amanda Sandoval y su oficina para desarrollar una propuesta para una superposición de conservación. Esta superposición añadiría normas extras de diseño en desarrollo nuevo para ayudarlo a encajar mejor con el barrio y seguir una escala más humana y amigable para peatones.

**We need YOUR input!**  
Learn more, take a survey and share information with your neighbors:  
Visit [bit.ly/sunnysideoverlay](https://bit.ly/sunnysideoverlay) or call 720-337-7704



SCAN ME

**¡Necesitamos sus piniones!**  
Aprenda más, tome una encuesta y comparta información con sus vecinos:  
Visite [bit.ly/sunnysideoverlay](https://bit.ly/sunnysideoverlay) o llame a 720-337-7704



SCAN ME

**Community Town Halls**  
Join Councilwoman Amanda Sandoval, SUNI and Community Planning and Development staff to learn about the proposal. Language translation services provided upon request.

<b>IN PERSON</b> Denver Bookbinding, 1401 W. 47th Ave. Saturday, July 31, 10am-11:30am Thursday, August 12th, 6:30pm-8pm	<b>VIRTUAL (Zoom)</b> Register at <a href="https://bit.ly/sunnysideoverlay">bit.ly/sunnysideoverlay</a> Wednesday, July 28, 6:30pm-8pm
---	--

**Reuniones de la Comunidad**  
Únase a la Concejala Amanda Sandoval, SUNI y los empleados de Planificación y Desarrollo Comunitario para conocer la propuesta. Servicios de traducción proporcionados a pedido.


<b>PRESENCIAL</b> Denver Bookbinding, 1401 W. 47th Ave. Sábado, 31 de julio, 10am-11:30am Jueves, 12 de agosto, 6:30pm-8pm	<b>VIRTUAL (Zoom)</b> Regístrese en <a href="https://bit.ly/sunnysideoverlay">bit.ly/sunnysideoverlay</a> Miércoles, 28 de julio, 6:30pm-8pm
---	--

**Interested in other neighborhood issues?**  
The Near Northwest Area Plan is an opportunity to discuss development and many other important aspects of the Sunnyside neighborhood. Visit:  
[denvergov.org/nearnorthwestplan](https://denvergov.org/nearnorthwestplan) or call 720-865-3266



Office of Councilwoman Amanda P. Sandoval • [districtone@denvergov.org](mailto:districtone@denvergov.org) • 720-337-7704

**¿Tiene interés en otros asuntos del barrio?**  
El Plan del Área Near Northwest es su oportunidad de hablar sobre el desarrollo y muchos otros aspectos importantes de Sunnyside. Visite:  
[denvergov.org/nearnorthwestplan](https://denvergov.org/nearnorthwestplan) o llame 720-865-3266



Office of Councilwoman Amanda P. Sandoval • [districtone@denvergov.org](mailto:districtone@denvergov.org) • 720-337-7704

**Yard Signs**

- Placed on several key properties, advertising open house.

## Appendix B: Background Data Report

This Background Data Report provides information and justification for the design standards included in the conservation overlays. Numbers one through six apply to both the CO-7 and CO-8 overlays. Number seven, however, is only relevant to the CO-8 overlay.

### 1. Reduce Bulk Plane

Reduce bulk plane height at side lot line from 17' to 14'.

### 2. Low-slope roof height

A Low-slope roof is limited to 22' and two stories.

## NEIGHBORHOOD PATTERN

### Height in Stories

Data from Discover Denver show that 251 structures, or 7.5% of total structures, have primarily Flat roof forms.<sup>2</sup> The most common roof form is Gable (1693, 50.6%) followed by Hipped (856, 25.6%). Of the Flat roofed structures, the vast majority (212, 84.5%) are one story, while staff identified 12 (4.8%) as 1.5 stories and 25 (10%) as two stories. Notably, only two Flat roofed structures (1%) are taller than two stories.

### Height in Feet

Staff analyzed the average height in feet of the 25 Flat-roofed, two-story structures using the 2018 Building Outlines LIDAR dataset. Since the proposed overlay only applies to in single and two-unit zones, structures labeled as Commercial/Mixed-use (9 structures) and Industrial/Institutional (7 structures) were excluded. Of the remaining residential structures (9 structures, both single and multi-unit), the mean height is 22 feet with a mode of 21 feet.

### Conclusion

This data clearly show that the characteristic massing of residential structures taller than one story involves a reduction of mass due to some form of sloped roof. Two-story flat roof structures are exceedingly rare, and flat roofed residential structures over two stories (which is allowed by the current zoning) is nearly non-existent. The proposed height cap for low-slope roofs and the reduced bulk plane will work together ensure new construction is more consistent and harmonious with existing structures.

---

<sup>2</sup> Discover Denver allowed the indication of at least two roof forms. The form listed first is the primary roof form.



**4127 North Alcott Street**

Sunnyside’s only two-story, flat roofed, single-unit residential structure originally built as a residence.



3. Low-Slope Roof Structure Bulk Plane Exception

Bulk Plane shall not apply to structures having a Low-Slope Roof.

**NEIGHBORHOOD PATTERN**

This element is carried over from the CO-4 – Potter Highlands Conservation Overlay. As found in Potter Highland, traditional two-story low-slope roof structures in Sunnyside nearly universally violate the Urban House, Duplex, and Tandem House bulk planes. See examples below:



**4413 North Umatilla Street**

Original two-story residential building



**4355 North Umatilla Street**

Original two-story residential building





#### 4. Dormers

Bulk plane exception for Dormers in the front 65% of zone lot depth.

Allowing dormers to project beyond the bulk plane encourages development using the traditional architectural elements reflected in existing Sunnyside structures. See below example:

#### **4238 North Alcott Street**

Original classic cottage with dormers



#### 5. Required Porch

The overlays will require a front porch that protrudes from the front façade by at least 6' and a minimum area of 48 square feet.

#### **Prevalence of Porches and Porch Types<sup>3</sup>**

Data from Discover Denver show that a porch is the most common entrance type among residential structures (either full width porch, partial width, or wrap-around), appearing in 65.5% (1,856) of all such structures. Stoops (high and low) are the second most common entrance type at 22% (625). This means that, in total, 87.5% of residential structures (2,481) have an entrance feature (either a porch or stoop) that projects from the front façade. Only 10.1% of structures have a recessed porch, and, significantly, just 2.2% of structures (62) have no porch or stoop.

<sup>3</sup> [Drawing]Office of Councilwoman Amanda P. Sandoval 06-15-2022



### Porch Size and Depth

Discover Denver does not define entry features by precise dimensions. However, Stoop is defined as “smaller than a porch – enough space for a milk box and and/or a few plants, but not enough space to put a small table and chairs.” Porch, Full Width, is a “porch that spans the full width of the building and projects outward from the front façade of the building.”

The definition of Porch – Partial Width, is a bit more nebulous in that it simply “does not span the front façade of the building.” However, to logically differentiate it from the Stoop, it must be large enough to have space for a small table and chairs. Staff used this assumption to create the minimum dimensions recommended in the overlay (whereas 6 feet is a commonly referenced minimum dimension for a usable porch).

### Conclusion

The data clearly show that the prevailing pattern of residential construction in the subject area includes an entry feature that protrudes from the front façade of the structure. In addition, according to the Discover Denver definition, most structures have a porch large enough to accommodate at least a modest table and chairs. Requiring a minimum size porch for a primary structure will continue this key feature of transition between the private and public realms and help break up the appearance of building mass.

### 6. Above Ground Gross Floor Area

For the Urban House building form, there is a gross floor area cap of 3,000 square feet for zone lots 7,500 square feet or less. An extra 40 square feet of gross floor area is allowed for every 100 square feet increase in zone lot size over 7,500 square feet.

### Existing Floor Area

According to analysis of the Property dataset from the Denver Assessor, the average size of a single unit residential structure in the subject area is 1,165 square feet. Of the 2,519 properties in the dataset, only 13 existing structures are over 3,000 square feet and of these, eight (62%) were built after 2010.

### Single Unit Residential Structures Larger than 3,000 square feet

	<i>Address</i>	<i>Year Built</i>	<i>Floor Area</i>
1	2539 W 39TH AVE	2019	5,305
2	2935 W 42ND AVE	1944	4,784
3	2958 W 40TH AVE	2014	3,569
4	4616 N ALCOTT ST	1905	3,457
5	3841 N JASON ST	2019	3,319
6	4233 N VALLEJO ST	1932	3,222
7	3933 N TEJON ST	1889	3,177
8	3935 N JASON ST	2019	3,097
9	4220 N ELIOT ST	1890	3,052
10	2627 W 40TH AVE	2018	3,042
11	4220 N WYANDOT ST	2014	3,036
12	4636 N BRYANT ST	2017	3,034
13	4201 N QUIVAS ST	2015	3,027

### Conclusion

The above ground gross floor area cap will apply only to single-unit structures under the Urban House form. This will help keep building size in alignment with the modest existing residential structures that reflect the area’s origins as a “working class, affordable neighborhood.”<sup>4</sup>

### 7. Brick Requirement

Within the CO-8 overlay mapped area, new construction is required to use a percentage of brick.

### NEIGHBORHOOD PATTERN

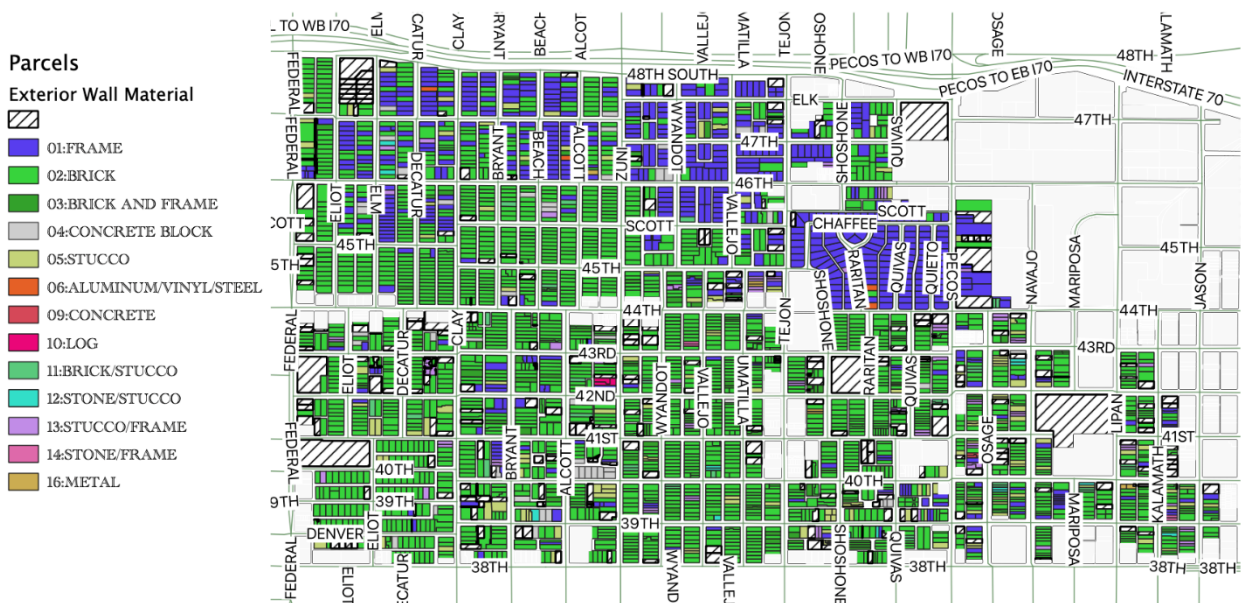
#### Existing Wall Materials<sup>5</sup>

According to analysis of the Exterior Wall Material dataset from the Denver Assessor, 68.5% of residential structures use brick as an exterior building/cladding material. Frame construction is most common in the several post-WW2 subdivisions north of W. 44<sup>th</sup> Ave.

<sup>4</sup> LU.5 Existing Conditions report, Near Northwest Area Plan

<sup>5</sup> [Drawing] Office of Councilwoman Amanda P. Sandoval 09-17-2021

Exterior Wall Material	Count	Percentage
<b>BRICK</b>	<b>2045</b>	<b>62.7%</b>
FRAME	638	19.6%
STUCCO	152	4.7%
STUCCO/FRAME	145	4.4%
<b>BRICK AND FRAME</b>	<b>127</b>	<b>3.9%</b>
<b>BRICK/STUCCO</b>	<b>63</b>	<b>1.9%</b>
CONCRETE BLOCK	56	1.7%
STONE/STUCCO	14	0.4%
METAL	7	0.2%
ALUMINUM/VINYL/STEEL	4	0.1%
STONE/FRAME	4	0.1%
CONCRETE	2	0.1%
LOG	2	0.1%
<b>Total</b>	<b>3259</b>	<b>100.0%</b>
















**CO-8 – Sunnyside Conservation and Brick Overlay District**

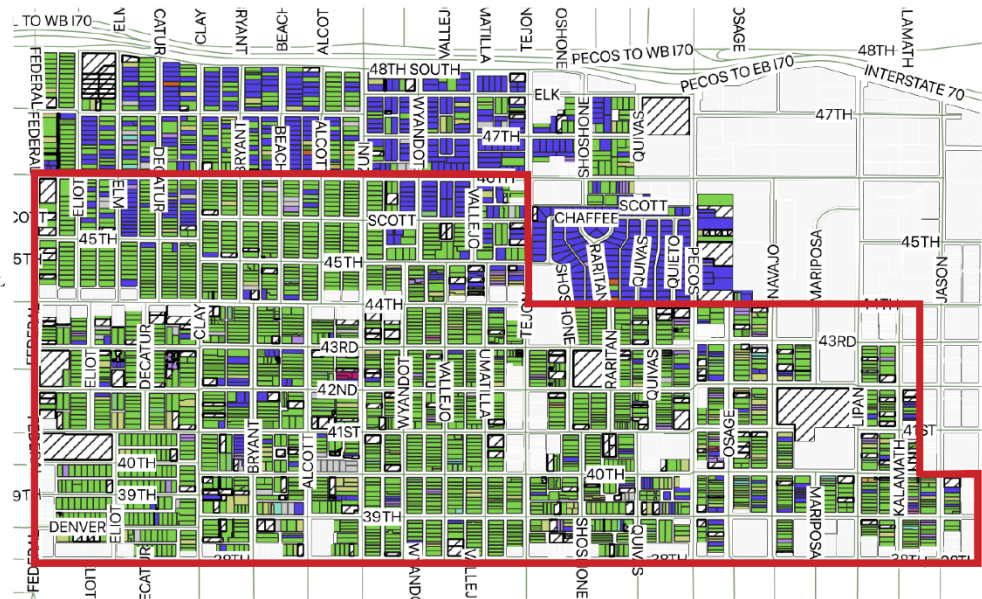
The CO-8 – Sunnyside Conservation and Brick Overlay seeks to promote visual compatibility of future developments with existing structures. The overlay district applies predominantly to the parts of the neighborhood where brick is a defining characteristic.



**Parcels**

**Exterior Wall Material**

-  01:FRAME
-  02:BRICK
-  03:BRICK AND FRAME
-  04:CONCRETE BLOCK
-  05:STUCCO
-  06:ALUMINUM/VINYL/STEEL
-  09:CONCRETE
-  10:LOG
-  11:BRICK/STUCCO
-  12:STONE/STUCCO
-  13:STUCCO/FRAME
-  14:STONE/FRAME
-  16:METAL



**Conclusion**

Brick is a key, character-defining feature of the mapped area for the CO-8 – Sunnyside Conservation and Brick Overlay District. Brick is a long-lasting cladding material in Denver’s harsh climate and provides warmth and a sense of mass reduction to emphasize the pedestrian scale in Denver’s neighborhoods.



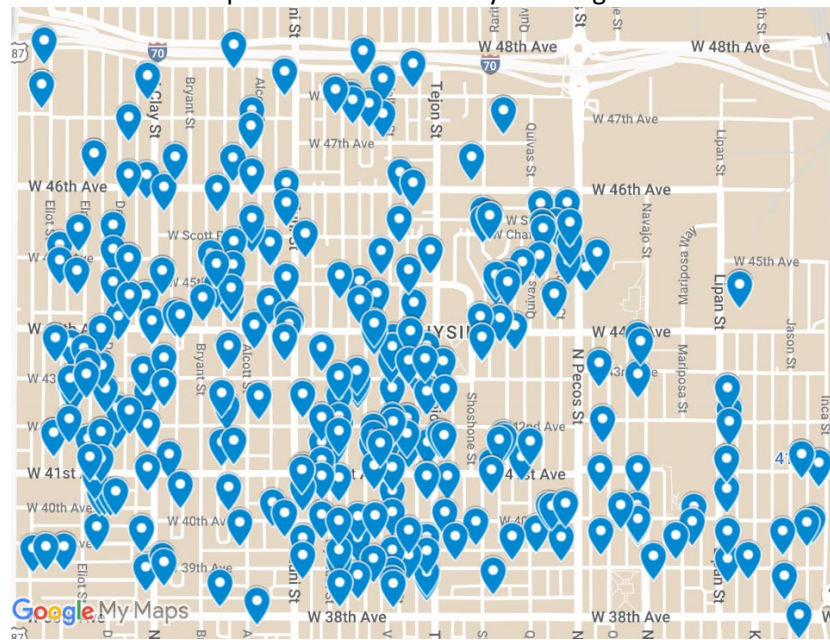
### Appendix C: Survey Results

A community survey on the proposed overlay was open July through November 2021 and received 398 responses. Note these responses are to an earlier version of the overlay. The current CO-7 and CO-8 overlays requested in this application have been adjusted based on analysis of responses.

The CO-7 and CO-8 overlays are reflective of the survey responses that showed support for reducing the bulk plane, a height limit for low-slope roofs, allowing dormers to pierce the bulk plane, and requiring front porches. More than half of respondents (52%) were also interested in requiring brick for some or all new construction. This helped inform the decision to split the overlay into one without a brick requirement (CO-7) and one with a brick requirement (CO-8). The CO-8 – Sunnyside Conservation and Brick Overlay applies to areas where brick is a character-defining feature and common exterior building/cladding material. The CO-7 – Sunnyside Conservation Overlay District, however, is absent of a brick requirement and applies to areas where frame construction and vinyl siding is more common.

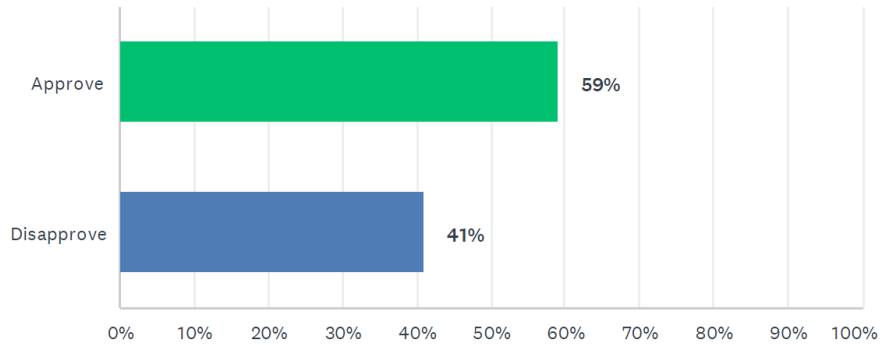
### Sunnyside Overlay Survey Final Results

Distribution of responses from the Sunnyside neighborhood



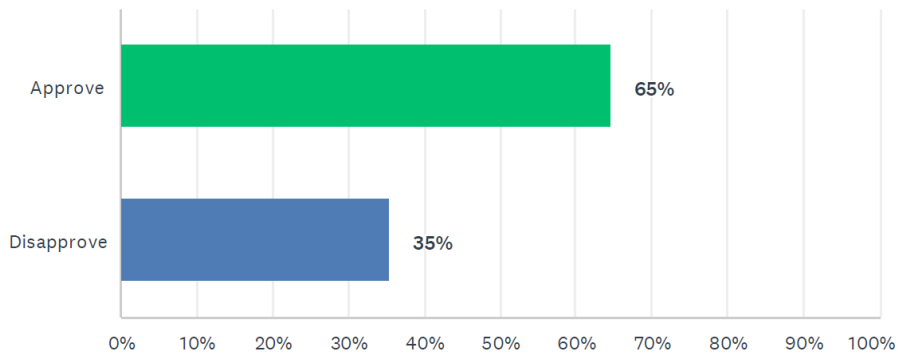
### Q2 Proposal 1: Reduce the Bulk Plane

Answered: 356 Skipped: 48



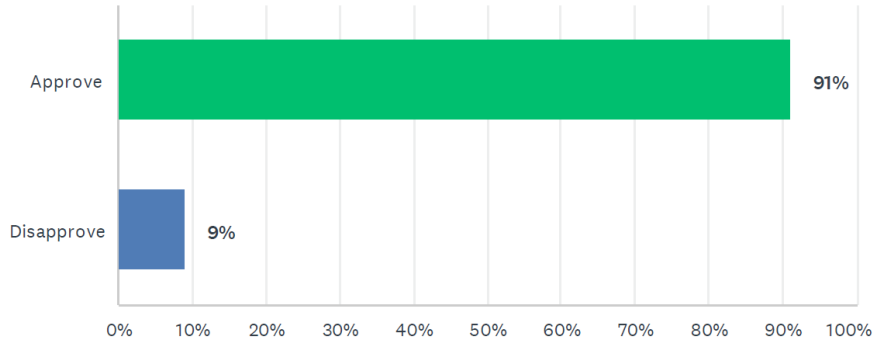
### Q3 Proposal 2: Height limit for low-slope roofs

Answered: 356 Skipped: 48



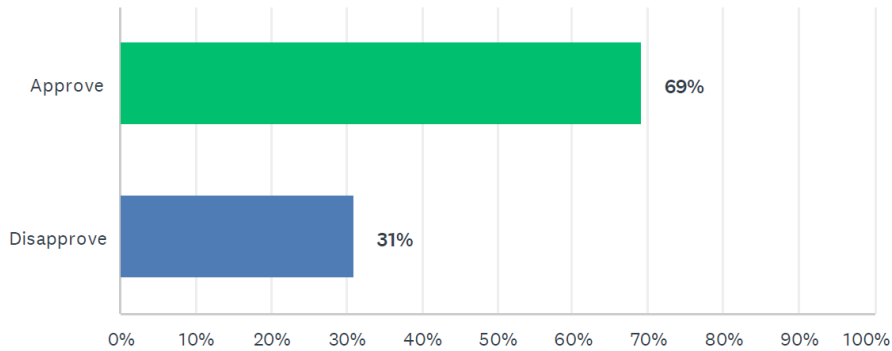
### Q4 Proposal 3: Allow Dormers to Pierce the Bulk Plane

Answered: 356 Skipped: 48



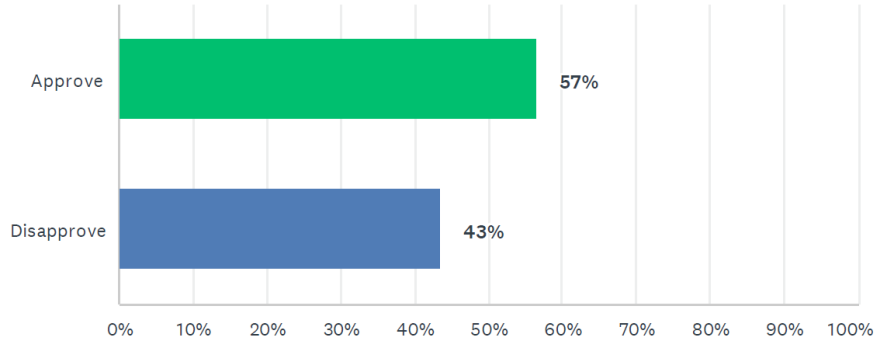
### Q5 Proposal 4: Require Front Porches

Answered: 349 Skipped: 55



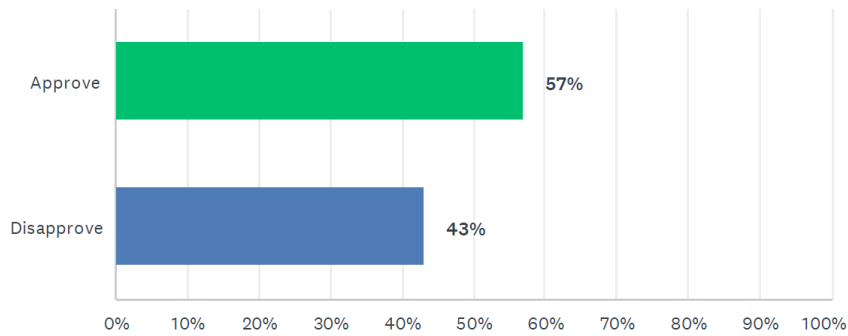
### Q8 Proposal 5: Cap overall square footage

Answered: 352 Skipped: 52



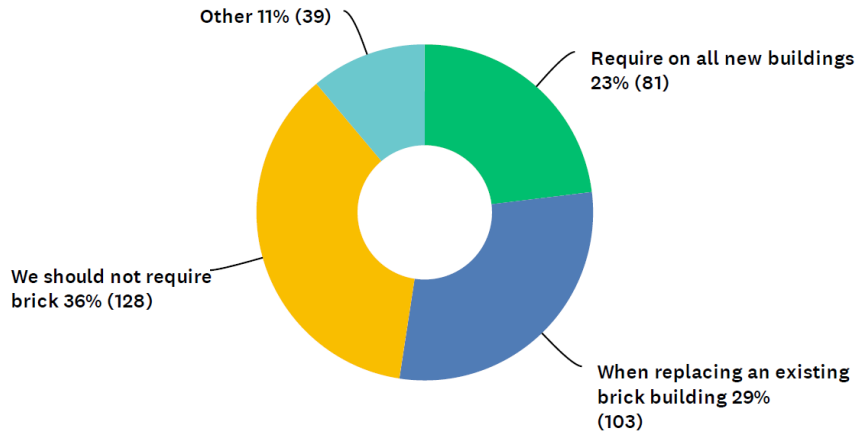
### Q9 Proposal 6: Set a minimum and maximum Building Base Height

Answered: 351 Skipped: 53



### Q10 How should brick be required?

Answered: 351 Skipped: 53





## Appendix D

The CO-7 and CO-8 overlays are the product of many years of discussions, evaluations, and outreach by the Sunnyside Conservation Overlay Committee. A debt of gratitude is owed to former Sunnyside United Neighbors Inc. (SUNI) Planning & Community Development Committee member and resident, Katherine Cornwell, who was instrumental in laying the foundation for the overlays. Her hard work and dedication at the beginning of this effort helped inform the group and its decisions. Below are the Sunnyside Conservation Overlay Committee members that served throughout the entire process.

### Kevin Anderson

Kevin Anderson, with his wife Erika Rundiks, returned from serving as Peace Corps Volunteers in 2000, bought a home in Denver's Sunnyside neighborhood, and raised a daughter who thrived at Academia Ana Marie Sandoval, Skinner Middle School, and North High School. They loved the area's variety of small brick homes, cultural diversity, and proximity to the city center. In 2006 Kevin became a founding Partner of ArcWest Architects and has focused his career on residential design in Denver's historic districts and city center neighborhoods. Kevin's involvement with new custom homes, home additions, ADU's, and developer driven speculative builds has allowed Kevin to understand the challenges and deficiencies of the current Denver Zoning Code.

### James Berezniak

James Berezniak and his wife have lived in the Sunnyside neighborhood since 2008 and are currently raising their young son in the neighborhood. James is a former board member of SUNI and a former co-chair of the SUNI Planning & Community Development committee. Prior to moving to Denver in 2004, Mr. Berezniak grew up in Chicago and his wife, Savanna, is a third generation Coloradan. James is a certified public accountant and the owner and lead consultant of Berezniak Consulting Inc., a finance and accounting firm. Mr. Berezniak is a graduate of the University of Notre Dame with a B.A. in accounting and computer applications.

### Bill Hare

After a 30-year career in marketing and general management, Bill and his wife Noelle moved to Denver seven years ago to buy Little Colorado (a manufacturer of wood children's furniture at 44th and Lipan) and live close to their grandson. He co-chaired the SUNI Planning & Community Development Committee for four years from 2018-2021. Bill lives in West Highlands and is Vice President of West Highlands Neighborhood Association.

### Rod Kazenske

Rod Kazenske has been in the building & design industry for over 40 year and practicing architecture for over 27 years. He restructured his practice and firm as Yardstick Studio, LLC in 2017, to focus solely on architectural design. He currently designs residential and equestrian projects in Colorado and several other states across the US. Rod has lived in the Sunnyside neighborhood for more than 23 years and is also a board member of The Congress for New Urbanism's (CNU) Colorado Chapter.

Trupti Suthar

Trupti Suthar has lived in Sunnyside since 2015. She has been involved in the community through the RNO and served on multiple working groups including Globeville Drainage, Federal Boulevard Transit, Community Transportation Network and is currently a steering committee member for the Near Northwest Neighborhood Planning Initiative. She is the current board chair and president of SUNI, co-chair of the SUNI Planning & Community Development Committee, and enjoys interacting with the residents and businesses and bringing the community together around shared issues and goals.

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Cara Thornton <cth Thornton@fortislawpartners.com>  
**Sent:** Thursday, October 27, 2022 12:08 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] FW: Notice of Rezoning Application

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Mr. Johnson:

I am a longtime resident of the Sunnyside neighborhood (bought house in 2004) and just received notice of overlay changes. Despite Ms. Suthar's representations below and despite being a member of SUNI, I have not received information in the mail or otherwise during the last four years that would have highlighted these proposed changes or otherwise brought them to the forefront of topics in communications received.

In any event, the president of SUNI said I should direct my comments and questions to you. Thanks in advance for your time.

My questions primarily pertain to the 3000 square foot limitation on lots 7500 sq. feet and under and are as follows:

1. Do these gross square footage amounts include all levels of the home vertically or just the ground square footage?
2. Is this for all structures on the property such that the primary residence and an ADU must, as combined, fall within the 3000 square foot limitation?
3. I presume variances are available if these overlays are ultimately approved?

Where do I send public comments? The disconnect in attempting to impose extremely limiting overlays on homeowners while simultaneously permitting large ugly apartment buildings with no ground floor retail space is surprising and disappointing to say the least.

Again, thanks for your time. My cell is below if phone is easier.

Sincerely,

Cara Thornton  
(303) 859-6983 mobile

---

**From:** Trupti Suthar <wannafly.suthar@gmail.com>  
**Sent:** Thursday, October 27, 2022 11:25 AM  
**To:** Cara Thornton <cth Thornton@fortislawpartners.com>  
**Subject:** Re: Notice of Rezoning Application

Hi Cara. I'll add you to our distribution list. Our monthly meetings are the 2nd Thursday of the month, 6:30-8pm via zoom. All agendas and zoom info can be found on our public Google drive:

[https://drive.google.com/drive/folders/178Pomw\\_7jT2TRR2Qmn9BuEGPSiPm\\_pkB](https://drive.google.com/drive/folders/178Pomw_7jT2TRR2Qmn9BuEGPSiPm_pkB)

Regarding the overlays specifically, this has been a 4yr process with community and city council that included outreach via with postcards, online surveys and 4 town halls. It's now at the public review phase so all comments and questions should be directed to Brad Johnson at Denver Community Planning and Development.

Not sure if you saw the info on the city's website as well so adding link below.

<https://www.denvergov.org/Government/Agencies-Departments-Offices/Agencies-Departments-Offices-Directory/Community-Planning-and-Development/Denver-Zoning-Code/Text-Amendments#section-2>

Thanks,  
Trupti Suthar

On Thu, Oct 27, 2022, 9:41 AM Cara Thornton <[cthorton@fortislawpartners.com](mailto:cthorton@fortislawpartners.com)> wrote:

Hi:

I just received Official Notice of Rezoning Application for Sunnyside to impose two separate conservation overlays on the neighborhood. When I delved into the details of these proposals, I was surprised to notice that in addition to certain design and preservation aspects, there are proposed limitations on square footage, etc.

I intend to provide public comments on the proposal but would also like to be included in the next meeting of the planning and development committee to learn more about the intentions behind these proposals. Can you please add me to any list for such meetings?

Thanks in advance for your time.



**Cara Thornton**

1900 Wazee Street, Suite 300

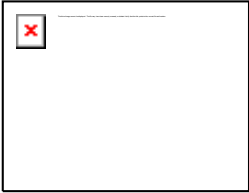
Denver, CO 80202

(303) 565-8067 direct

(303) 859-6983 mobile

[www.fortislawpartners.com](http://www.fortislawpartners.com)

*Experienced. Effective. Practical. Reasonable.*



The contents of this e-mail and its attachments are intended solely for the addressee(s). This e-mail transmission may be confidential and subject to privilege protecting communications between attorneys and clients. If you are not the named addressee, or if this message has been addressed to you in error, you are directed not to read, disclose, reproduce, distribute, disseminate or otherwise use this transmission. Delivery of this message to any person other than the intended recipient is not intended in any way to waive privilege or confidentiality. If you have received this transmission in error, please alert the sender by reply e-mail.



# Planning Board Comments



Submission date: 30 October 2022, 7:29PM  
Receipt number: 453  
Related form version: 2

## Your information

Name	Carly Lenderts
Address or neighborhood	Sunnyside
ZIP code	80211
Email	clenderts@gmail.com

## Agenda item you are commenting on

Rezoning

## Rezoning

Address of rezoning	Sunnyside (various addresses)
Case number	#2019I-00066

## Draft plan

Plan area or neighborhood

## Proposed text amendment

Project name

## Historic district application

Name of proposed historic district

## Comprehensive Sign Plan

Address of comprehensive sign plan

Case number

## DURA Renewal Plan

Address of renewal project

Name of project

## Other

Name of project you would like to comment on

## Submit your comments

Would you like to express support or opposition to the project? **Moderate opposition**

Your comment:

Hi - I have some comments to share on the proposed zoning overlays for Sunnyside:

- I think the sqft limit is reasonable. I don't want to see the neighborhood become like Wash Park, where the older bungalows are getting demolished for huge mega mansions.
- However, requiring brick and front porches seems like an overreach that is based on individual style tastes. Requiring these design elements does nothing to address the housing shortage in Denver.
- I would rather the city spend its time finding ways to up-zone the larger lots for triplexes, fourplexes and townhome developments. Sunnyside has many large vacant or under-utilized lots that should not be zoned for only one or two units when there is so much demand for additional housing. Adding density to larger lots would do more to prevent involuntary displacement than adopting these design standards.
- Large duplexes with flat roofs may not have the historic charm of brick bungalows, but they are appealing for many and offer an opportunity for families to continue living in the city. They are also a more efficient use of space than having a small home on a large lot.

If you have an additional document or image that you would like to add to your comment, you may upload it below. Files may not be larger than 5MB.

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Ryan Bash <bashy20@gmail.com>  
**Sent:** Tuesday, November 1, 2022 11:24 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] Opposition to Sunnyside Overlays CO-7 & CO-8

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Brad,

I'm a resident of Sunnyside and would like to make public opposition to the proposed Conservation Overlays for the following reasons

- 1) Denver is in an affordable housing crisis and this overlay only makes housing more expensive. More expensive by requiring brick facade and making the above grade square footage smaller which limits the ability to share housing costs with roommates and extended family.
- 2) Data is showing "Households with Children" in Sunnyside are rapidly decreasing. We are seeing this with declining school enrollment in our neighborhood and the proposed closure of Columbian Elementary. We need to encourage families to move to our neighborhood to retain some diversity and vibrancy. Please do not put limits on our housing size that will put us at a disadvantage compared to other Denver neighborhoods at attracting families.
- 2) The zoning code is already overly complex. We do not need to add more complexities and place further restrictions on our property rights.

This proposal is addressing aesthetics when we could be making strides on accomplishing goals set forth in Blueprint Denver.

Ryan Bash

**From:** [Levi Fuller](#)  
**To:** [Rezoning - CPD](#)  
**Subject:** [EXTERNAL] 2525 W 38th - Rezoning  
**Date:** Saturday, November 5, 2022 11:20:50 AM

---

Hello,  
I live at 2525 W 38th Ave, Denver, CO.  
I received a notice of a rezoning application proposing additional Conservation Overlay restrictions.

I am vehemently opposed to introducing additional restrictions in my neighborhood - how can I vote against this rezoning proposal to make my voice matter?

Why do some people feel the need to control everyone's lives? I moved to Sunnyside due to the freedom I am allowed, and not to a neighborhood with an HOA. As a homeowner, restrictive zoning will put me at a disadvantage compared to other homeowners who improved their homes without the same restrictions in place.

-Levi  
Get [Outlook for Android](#)



## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** yvonne Gates <yvonnegates@comcast.net>  
**Sent:** Saturday, October 29, 2022 9:33 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** Re: [EXTERNAL] Application number #2019i-00066

Good morning Brad,

Thank you for responding to my email so soon,

I certainly hope that these new rules will not apply to projects that are in the pipeline. I am building a beautiful home for my daughter and her family; because of the high cost, 70% of my materials are purchased and stored. If I had not, we could not build this home, and it would be a substantial financial impact to redesign and start over. The long City/County process of reviewing the plans has already impacted the cost of financing the home with the increased interest rates. I hope we can move forward with no other negative impacts.

I will send my official comments about these changes before the comment period expires. This official notice of rezoning application is the first notice I have received regarding about amendments that would impact the construction of homes. I have never received a survey or any communication regarding design standards in the community. Changes such as these could have a significant impact on my project. I have had several companies wanting to purchase my land, but I am not interested in selling, and I am not a builder who intends to sell this home. My project is 100% for my family. What can I do to ensure that I receive future notifications that would keep me abreast of possible changes in the community?

Thanks

Yvonne

On Oct 28, 2022, at 8:10 AM, Johnson, Brad - CPD CE2159 City Planner Principal <[Brad.Johnson2@denvergov.org](mailto:Brad.Johnson2@denvergov.org)> wrote:

Good morning Yvonne and thanks for your email. The new rules Councilwoman Sandoval is proposing are only in draft form. You can still comment on them to me if you'd like. Ultimately the proposed regulations have to be approved by a vote of the full city council. That would happen sometime in February 2023 at the earliest. Until they are adopted by city council, the existing rules continue to apply. We haven't gotten into the details of how and when the adopted regulations would go into effect after a future potential adoption by city council, but typically changes in the rules would grant an exception to building permits that are already in process and active. Have you submitted for permits already on your project?

I appreciate your suggestions about adding clarity around this to the website. I will address it ASAP in coordination with Councilwoman Sandoval.

Thanks,

Brad

Get [Outlook for iOS](#)

**From:** yvonne Gates <[yvonnegates@comcast.net](mailto:yvonnegates@comcast.net)>

**Sent:** Thursday, October 27, 2022 10:12:45 PM

**To:** Johnson, Brad - CPD CE2159 City Planner Principal <[Brad.Johnson2@denvergov.org](mailto:Brad.Johnson2@denvergov.org)>

**Subject:** [EXTERNAL] Application number #2019i-00066

Good morning Mr. Johnson,

I received a notice today indicating that Councilwoman Sandoval is proposing amendments to the building design of homes in the sunnyside community. I am in the building permit process and would like to know if the proposed recommendation or amendments would impact projects currently in the process of permitting.

The language outlined on the website needs to be more specific and provide a clear understanding of the proposed amendments. Please clarify the proposed design standards that are required to be compatible with existing neighborhood design patterns. I am extremely concerned because my home has been designed and building materials purchased.

Please advise how these amendments would impact the construction of my home. I have submitted the required documents for building permits and need a better understanding of the exposure to these proposed changes.

Thank you for any information you can provide.

Sincerely

Yvonne Gates

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Reggie Robba <r.robba@unionrock.com>  
**Sent:** Thursday, November 10, 2022 3:43 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] Sunnyside Overlay

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Brad,

I appreciate the overall intent of having new buildings fit into the neighborhood. That said, I suggest maintaining the current vertical bulk plane at 17 feet for pitched roofs. Dropping from 17 to 14 feet would make a 2<sup>nd</sup> story unlivable or narrow. Additionally, building something like a historic Denver Square, which we see in the neighborhood, might be unachievable given the siting recommendations (7' South / 3' North) + the vertical bulk plane decrease. I assume if someone were building a new Denver Square, it would be welcome by the Committee pushing this forward.



Thanks,  
Reggie

**From:** [Rob Hering](#)  
**To:** [Planningboard - CPD](#); [Rob Hering](#); [Marianne Martin](#)  
**Subject:** [EXTERNAL] Sunnyside CO-7 and CO-8, don't do it  
**Date:** Monday, November 14, 2022 10:39:01 AM

---

Dear City of Denver People,

Please throw conservation overlays CO-7 and CO-8 in the trash. The architecture in the Sunnyside neighborhood is already very mixed,... early 1900s, 1950s, 1970s, and 2000s. The conservation overlays (COs) will not preserve any "feel" of the neighborhood, there is no "feel". The result of the COs will be a negative financial impact on the current property owners, and blight in the neighborhood. Then will be eventual redevelopment by big money developers, big projects, big cubes, because the city will waive the CO restrictions, and wont preserve any "feel" of the neighborhood.

Let me explain...

1. Small time re-developers won't buy the old houses to build a new house under the restrictive COs. New buyers don't want to buy something like that for the price required for the build. There's no profit for the re-developers. So that's not going to happen.
2. Most of those old houses are cracked and falling down and a renovation is not a viable option. The old houses are not structurally viable and not energy efficient.
3. So now that redevelopment is not an option, the old houses will continue to fall into the ground. Blight in the neighborhood. Then the city will allow a big money developer to breach the COs for a large scale re-development.

Voila... no "feel" preserved and current owners lose money and big money wins again.

Please stay out of it. Let the free market work in the best interest of the neighborhood property owners.

Thanks,  
Marianne Martin and Rob Hering  
owners of 3847-3851 Kalamath  
303-324-5328  
[rhering@indra.com](mailto:rhering@indra.com)

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Rob Withers <robrwithers@gmail.com>  
**Sent:** Tuesday, November 15, 2022 7:25 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] Conservation Overlay -7 and -8

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Brad,

I am the owner of a home in Sunnyside. I received a postcard about the Conservation Overlay -7 and -8. I listened to the recording of the Oct 22 meeting that explained the overlay. I am curious when this new overlay will go into effect or are there more hurdles to follow. It was unclear to me next steps and timing of implementation.

Could you provide more information on that? Will existing pending building permit applications be grandfathered in?

Thanks for you time and commitment to the effort.

Take care,  
Rob Withers  
720.934.4803



## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Nate Irwin <nate@irwin.xyz>  
**Sent:** Friday, December 9, 2022 8:34 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] I support the Sunnyside conservation overlays

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Nate Irwin and I own the property located at 4408 Decatur St in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,

Nate Irwin

To Whom It May Concern,

My name is Lilette Kirkland and I own the property located at 4301 Wyandot St in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

I've been involved in this planning process throughout and in fact completed a major renovation to my property that would conform to the requirements. I can attest that many in the neighborhood are thrilled with the results of my renovation and continuously express their strong appreciation for the fact we honored the look of our existing home and neighborhood when designing the outcome, while bringing the home to modern standards and conveniences. It can be done!

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,

Lilette Kirkland

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Kerrie Beyer <nursekerrie85@gmail.com>  
**Sent:** Friday, December 9, 2022 10:13 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Sunnyside Conservation Overlay

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Kerrie Beyer and I own the property located at 3931 Navajo Street in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Best,  
Kerrie Beyer

Sent from my iPhone

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Aron Anderson <anderson.aron@gmail.com>  
**Sent:** Friday, December 9, 2022 10:20 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide; Trupti Suthar  
**Subject:** [EXTERNAL] Letter of Support for Sunnyside Conservation Overlays

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Aron and I own the property located at 4352 Eliot Street in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,

Aron Anderson

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Dustin Peterson <Dustin@10poundgorilla.com>  
**Sent:** Friday, December 9, 2022 11:44 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal; Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] CO 7and CO8 support

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

Hello, I own the property located at 4593 Zuni Street in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Sincerely,  
Dustin Peterson

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Johanna Jamison <jamison.johanna7@gmail.com>  
**Sent:** Friday, December 9, 2022 12:28 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** James Ganswindt; Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Letter of support for Sunnyside COs 7 & 8

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Brad, Our names are Johanna Jamison and James Ganswindt and we own properties located at 45th and Elm and 42nd and Bryant in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood. The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism. Sincerely, Johanna Jamison and James Ganswindt



## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Carmen Madrid <cmadrid0701@gmail.com>  
**Sent:** Friday, December 9, 2022 12:32 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Sunnyside Conservation Overlay

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Concern,

My name is Carmen Madrid and I own the property located at 4536 Quivas Street in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,  
Carmen Madrid

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Kimberly Nuffer <kimberly@rocketlettuce.net>  
**Sent:** Saturday, December 10, 2022 7:42 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Sunnyside Conservation Overlay

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Kimberly Nuffer and own the property located at 4023 Umatilla St in the Sunnyside Neighborhood. I am writing to express my support of Sunnyside United Neighbors, Inc.'s proposed Conservation Overlays 7 & 8 sponsored by City Council District 1's representative Amanda Sandoval for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 overlays are the result of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood workforce housing building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved, time-honored character and pedestrian-friendly urbanism.

You will find that CO-7 & CO-8 conservation overlays meet the standards of approval for overlay districts (Denver Zoning Code Sec 9.4.3.2.c Review Criteria for Approval of Districts). Furthermore you will find that our due diligence included a statistically significant survey of neighborhood sentiment for the overlays. Neighbors overwhelming support adoption. Therefore, it is our hope you will find the proposed overlays meet the standards of approval and advise City Council to adopt these proposed districts. Thank you for your service to the people of Denver and your consideration of this matter.

Sincerely,

Kimberly Nuffer

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Darcy Owen <darcyowen64@gmail.com>  
**Sent:** Saturday, December 10, 2022 9:26 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal; Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Sunnyside Conservation

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Darcy Owen and I own the property located at 45th and Beach Ct in the Sunnyside Neighborhood. I have lived in the Sunnyside neighborhood since 1992 and I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,  
Darcy Owen

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Robby Schwarz <robby@btankinc.com>  
**Sent:** Saturday, December 10, 2022 10:07 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Sunnyside Neighborhood Conservation Overlays 7 & 8

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Robby Schwarz and my wife and I own the property located at 4456 Beach Ct in the Sunnyside Neighborhood and have lived in the neighborhood since 1992. Since that time I have seen tremendous change come to the neighborhood and would like to do my part to ensure that the development that has occurred on Tennison Street does not happen in the same way in other Northwest Denver neighborhoods. I therefore am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,

**Robby Schwarz**  
Boulder County Marshall Fire New Homes Building Advisor

**BUILDTank<sup>inc.</sup>**

Principal Thinker

303-927-0025

[robby@btankinc.com](mailto:robby@btankinc.com)

Thinking **ZERO** to 360°

[www.btankinc.com](http://www.btankinc.com)

[LinkedIn](#) [Instagram](#)

**BUILD***Tank* **build***CAST* *on your favorite podcast platform*

Free Access to the ICC codes at: <https://codes.iccsafe.org/public/collections/I-Codes>

Click Here For  
Colorado Codes Helpline

## **Johnson, Brad - CPD CE2159 City Planner Principal**

---

**From:** Lindsey Krenzer <lindsey.krenzer@gmail.com>  
**Sent:** Sunday, December 11, 2022 12:12 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Sunnyside Conversation Overlays Support

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Lindsey Krenzer and I own the property located at 4112 Tejon St in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. I have followed and contributed to the process along the way.

The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism. The plan allows for growth while keeping our neighborhood feel and reducing displacement.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,

Lindsey Krenzer

--

Lindsey Krenzer  
636-358-0567  
[lindsey.krenzer@gmail.com](mailto:lindsey.krenzer@gmail.com)



## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Daniel Sandoval <danielericssandoval@gmail.com>  
**Sent:** Tuesday, December 13, 2022 3:55 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Support for Sunnyside Conservation Overlay

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Hi Brad! I wanted to send a message over with my support for the upcoming conservation overlay proposal. Please find it below:

To Whom It May Concern,

My name is Dani Sandoval and I rent the property located at 3924 Pecos St in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,

Daniel (Dani) Sandoval  
+1 541 602 5146

## **Johnson, Brad - CPD CE2159 City Planner Principal**

---

**From:** amber kiley <amberkiley@gmail.com>  
**Sent:** Tuesday, December 13, 2022 10:43 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL]

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Amber and I live at the property located at 4400 Julian St in the Harkness Heights neighborhood. I am writing to express my support of Sunnyside United Neighbors, Inc.'s proposed Conservation Overlays 7 & 8 sponsored by City Council District 1's representative Amanda Sandoval for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 overlays are the result of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood workforce housing building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved, time-honored character and pedestrian-friendly urbanism.

You will find that CO-7 & CO-8 conservation overlays meet the standards of approval for overlay districts (Denver Zoning Code Sec 9.4.3.2.c Review Criteria for Approval of Districts). Furthermore you will find that our due diligence included a statistically significant survey of neighborhood sentiment for the overlays. Neighbors overwhelmingly support adoption. Therefore, it is our hope you will find the proposed overlays meet the standards of approval and advise City Council to adopt these proposed districts. Thank you for your service to the people of Denver and your consideration of this matter.

Sincerely,

Amber Kiley

To Whom It May Concern,

My name is Constantin Nickonov, and I am a homeowner (4301 Wyandot St.) and resident in the Denver's Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 and 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts here.

These proposed conservation overlays (CO-7 and CO-8) are the results of over five years of community-led efforts to preserve Sunnyside's traditional neighborhood building forms (such as bungalows, small duplexes, and cottages); and will create modest, but meaningful, change in the massing and appearance of new development. As someone who's participated in the process and recently completed an extensive remodel that adheres to all of the proposed guidelines, I believe that it's both possible/practical and desirable to sustain the existing character of our surroundings — and that the overlays will allow Sunnyside to change and grow, while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 and CO-8 conservation overlays. Please feel free to contact me with any questions you may have, and for additional details.

Sincerely,

Constantin Nickonov  
nickonov@yahoo.com

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Garrett Phillips <garrett\_phillips@yahoo.com>  
**Sent:** Tuesday, December 20, 2022 12:28 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] Letter of Support for Sunnyside Overlays

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is **Garrett Phillips** and I own the property located at **4402 Decatur Street (corner of 44th Avenue and North Decatur St.)** in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlay 7 & 8 for the Sunnyside neighborhood for the Urban-Single-Unit (U-SU) and Urban-Two-Unit U-TU) zone districts.

The CO-7 and CO-8 are the results of over a 5-year community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I hope you will consider voting in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,

Garrett Phillips  
Denver, CO  
720-289-5892

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Mary Sandoval <mary.sandoval.ms@gmail.com>  
**Sent:** Wednesday, December 21, 2022 10:21 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] Conservation overlays for Sunnyside Neighborhood

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Mary Helen Sandoval and I own the property located at 4332 Umatilla Street in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlay 7 & 8 for the Sunnyside neighborhood for the Urban-Single-Unit (U-SU) and Urban-Two-Unit U-TU) zone districts.

The CO-7 and CO-8 are the results of over a 5-year community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I hope you will vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,

Mary Helen Sandoval

Mary Helen Sandoval  
TJC Real Estate  
720-838-6686

All Persons, especially the deprived and oppressed, have a right to the justice that empowers them to share a more human life. Mary Luke Tobin, SL

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** MiLinda <Milinda\_g@hotmail.com>  
**Sent:** Wednesday, December 21, 2022 11:31 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] Sunnyside neighborhood

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Martha **Garcia** and I own the property located at **2350 w 47th ave** in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlay 7 & 8 for the Sunnyside neighborhood for the Urban-Single-Unit (U-SU) and Urban-Two-Unit U-TU) zone districts.

The CO-7 and CO-8 are the results of over a 5-year community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I hope you will consider voting in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,  
Martha Garcia

Sent from my iPhone



## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Thomas Medlin <thomas.medlin@gmail.com>  
**Sent:** Wednesday, December 21, 2022 11:38 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Sunnyside conservation overlays

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Greetings,

My name is Tom Medlin and I own the property located at 40th and Navajo in the Sunnyside Neighborhood. I am writing to express my support of the proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Regards,

Tom Medlin

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Trupti Suthar <wannafly.suthar@gmail.com>  
**Sent:** Wednesday, December 21, 2022 1:10 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Sunnyside Conservation Overlay 7 & 8

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Trupti Suthar and I own the property located at 4223 Tejon St in the Sunnyside Neighborhood. I am writing to express my support of Sunnyside United Neighbors, Inc.'s proposed Conservation Overlays 7 & 8 sponsored by City Council District 1's representative Amanda Sandoval for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 overlays are the result of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood workforce housing building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved, time-honored character and pedestrian-friendly urbanism.

You will find that CO-7 & CO-8 conservation overlays meet the standards of approval for overlay districts (Denver Zoning Code Sec 9.4.3.2.c Review Criteria for Approval of Districts). Furthermore you will find that our due diligence included a statistically significant survey of neighborhood sentiment for the overlays. Neighbors overwhelmingly support adoption. Therefore, it is our hope you will find the proposed overlays meet the standards of approval and advise City Council to adopt these proposed districts. Thank you for your service to the people of Denver and your consideration of this matter.

Sincerely,

Trupti Suthar

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Quyen Do <quyendoh@hotmail.com>  
**Sent:** Wednesday, December 21, 2022 10:45 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** melissa.hirn@denvergov.org  
**Subject:** [EXTERNAL] No to conservation overlay

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Hello there,

I wanted to express my rejection of the conservation overlay in Sunnyside. I reside at 4138 Umatilla, in a 1910 home. I think it's ridiculous to force my neighbors to do all of the things in the conservation overlay. The lack of response to the survey and long opposition meetings should be sufficient evidence that this should not move forward.

I believe the only reason this is still an issue is because of a few very loud people, not because of the overall sentiment of Sunnyside. Please do not move forward with this ridiculous overstep.

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Mattias Sullivan <sullivanmf@gmail.com>  
**Sent:** Thursday, December 22, 2022 12:50 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL]

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Matt Sullivan and I own the property located at 40th and Wyandot Street in the Sunnyside Neighborhood. I am writing to express my support of Sunnyside United Neighbors, Inc.'s proposed Conservation Overlays 7 & 8 sponsored by City Council District 1's representative Amanda Sandoval for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 overlays are the result of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood workforce housing building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved, time-honored character and pedestrian-friendly urbanism.

You will find that CO-7 & CO-8 conservation overlays meet the standards of approval for overlay districts (Denver Zoning Code Sec 9.4.3.2.c Review Criteria for Approval of Districts). Furthermore, you will find that our due diligence included a statistically significant survey of neighborhood sentiment for the overlays. Neighbors overwhelmingly support adoption. Therefore, it is our hope you will find the proposed overlays meet the standards of approval and advise City Council to adopt these proposed districts. Thank you for your service to the people of Denver and your consideration of this matter.

Sincerely,  
Matt Sullivan

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Michelle Davis <mrDavis00@gmail.com>  
**Sent:** Thursday, December 22, 2022 1:55 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Sunnyside Residential Conservation Overlay Districts

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Michelle Davis and I own the property located at 3925 Umatilla Street in the Sunnyside Neighborhood. I am writing to express my support of Sunnyside United Neighbors, Inc.'s proposed Conservation Overlays 7 & 8 sponsored by City Council District 1's representative Amanda Sandoval for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 overlays are the result of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood workforce housing building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved, time-honored character and pedestrian-friendly urbanism.

You will find that CO-7 & CO-8 conservation overlays meet the standards of approval for overlay districts (Denver Zoning Code Sec 9.4.3.2.c Review Criteria for Approval of Districts). Furthermore, you will find that our due diligence included a statistically significant survey of neighborhood sentiment for the overlays. Neighbors overwhelmingly support adoption. Therefore, it is our hope you will find the proposed overlays meet the standards of approval and advise City Council to adopt these proposed districts. Thank you for your service to the people of Denver and your consideration of this matter.

Sincerely,  
Michelle Davis

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** ramon@razrgroup.com  
**Sent:** Thursday, December 22, 2022 3:54 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Support: Sunnyside United Neighbors, Inc.'s proposed Conservation Overlays 7 & 8

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Ramon C. Bargas and I own the property located at 2601 W 39<sup>th</sup> Ave, Denver, CO in the Sunnyside Neighborhood. I am writing to express my support of Sunnyside United Neighbors, Inc.'s proposed Conservation Overlays 7 & 8 sponsored by City Council District 1's representative Amanda Sandoval for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 overlays are the result of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood workforce housing building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved, time-honored character and pedestrian-friendly urbanism.

You will find that CO-7 & CO-8 conservation overlays meet the standards of approval for overlay districts (Denver Zoning Code Sec 9.4.3.2.c Review Criteria for Approval of Districts).

Furthermore, you will find that our due diligence included a statistically significant survey of neighborhood sentiment for the overlays. Neighbors overwhelmingly support adoption.

Therefore, it is our hope you will find the proposed overlays meet the standards of approval and advise City Council to adopt these proposed districts. Thank you for your service to the people of Denver and your consideration of this matter.

Sincerely,

Ramon C. Bargas  
Broker Associate

**RazrGroup** with Keller Williams Realty Urban Elite  
KW Commercial  
Residential – Commercial – Investments – Development  
3550 W 38<sup>th</sup> Avenue, Suite 20  
Denver, CO 80211  
C: (720) 234-5134 | O: (720) 772-7297  
F: (303) 458-0757  
E: [ramon@razrgroup.com](mailto:ramon@razrgroup.com)

Find me on: [Web](#) | [LinkedIn](#) | [Twitter](#) | [Facebook](#) | [Instagram](#)



## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** John Koziol <koziol.john@gmail.com>  
**Sent:** Thursday, December 22, 2022 4:11 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] No on CO-7 and CO-8

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hello,

I am an 8 year resident of Sunnyside and do not believe that anyone should be forced to build homes to someone else's design standards. This is a form of censorship. If I wanted to live in cookie cutter houses that all look the same, I would move to a suburban HOA neighborhood. No one person or group of people should be judge and jury on what is acceptable design.

*"In a free country the individual has the right to accept or reject any work of art for himself or herself personally, but does not have the right to suppress those works of art to which he or she may object or those artists who he or she does not agree."*

*- National Art Education Association Board of Directors Motion #17,  
September, 1991*

Thank you for your consideration.

John Koziol  
4636 Bryant Street  
Denver, CO 80211

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Katherine Cornwell <katherine.cornwell@icloud.com>  
**Sent:** Friday, December 23, 2022 10:48 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal; Horn, Melissa A. - CC YA2245 City Council Aide  
**Cc:** Trupti Suthar  
**Subject:** [EXTERNAL] Sunnyside residential character conservation overlays letter of support

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To the Members of the Denver Planning Board,

My name is Katherine Cornwell and I own the property located at 4457 Beach Ct, in the Sunnyside Neighborhood. I am also part of the development team that designed, built, and owns the property at 4445 Beach Ct. This new build project voluntarily complied with the more stringent character conservation overlay I wrote and upon which the SUNI proposal is based. While I am disappointed that the more stringent standards have been diminished to what is contained in the proposal before you, I still support the Sunnyside United Neighbors, Inc.'s proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood. In recent years, Sunnyside's character and attainable workforce housing has been commoditized by developers seeking to maximize profits by scraping the small, attainable units. In their place they have constructed ugly, awkward buildings that simply look like cheap materials slapped together in the form of the bulk plane, making it clear that the only driver of design is maximizing square footage to reap maximum profits. By contrast, our development team has proven that good design is financially feasible, and can deliver homes that complement the mass and scale of the existing traditional character even when building a more modern architectural style.

The CO-7 and CO-8 overlays are the result of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood workforce housing building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining some of its beloved, time-honored character and pedestrian-friendly urbanism.

You will find that CO-7 & CO-8 conservation overlays meet the standards of approval for overlay districts (Denver Zoning Code Sec 9.4.3.2.c Review Criteria for Approval of Districts). Furthermore you will find that our due diligence included a statistically significant survey of neighborhood sentiment for the overlays. Neighbors overwhelming support adoption. Therefore, it is our hope you will find the proposed overlays meet the standards of approval and advise City Council to adopt these proposed districts. Thank you for your service to the people of Denver and your consideration of this matter.

Sincerely,

Katherine Cornwell

Sent from my iPhone

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Brittany Albrinck <brittanyalbrinck@gmail.com>  
**Sent:** Friday, December 23, 2022 1:59 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Conservation Overlay - Sunnyside

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Brittany Albrinck and I own the property located 3843 Vallejo St in the Sunnyside Neighborhood. I am writing to express my support of Sunnyside United Neighbors, Inc.'s proposed Conservation Overlays 7 & 8 sponsored by City Council District 1's representative Amanda Sandoval for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The [CO-7](#) and CO-8 overlays are the result of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood workforce housing building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved, time-honored character and pedestrian-friendly urbanism.

You will find that [CO-7](#) & [CO-8](#) conservation overlays meet the standards of approval for overlay districts (Denver Zoning Code Sec 9.4.3.2.c Review Criteria for Approval of Districts). Furthermore, you will find that our due diligence included a statistically significant survey of neighborhood sentiment for the overlays. Neighbors overwhelmingly support adoption. Therefore, it is our hope you will find the proposed overlays meet the standards of approval and advise City Council to adopt these proposed districts. Thank you for your service to the people of Denver and your consideration of this matter.

Sincerely,  
Brittany Albrinck

## **Johnson, Brad - CPD CE2159 City Planner Principal**

---

**From:** cheryl ADunne <aderdunne@gmail.com>  
**Sent:** Saturday, December 24, 2022 10:50 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Conservation Overlays 7 & 8

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Brad,

My name is Cheryl Ader-Dunne and I own the property at 4557 Alcott (Scott and Alcott) in the Sunnyside Neighborhood and have lived here since 2001.

I am writing to express my support of Sunnyside United Neighbors, Inc.'s proposed Conservation Overlays 7 & 8 sponsored by City Council District 1's representative Amanda Sandoval for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood. The CO-7 and CO-8 overlays are the result of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood workforce housing building forms such as bungalows, small duplexes, and cottages. I chose this neighborhood because of the character in the types of houses it offered over 21 years ago. I would like to see the character maintained as the city of Denver continues to grow.

The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved, time-honored character and pedestrian-friendly urbanism.

You will find that CO-7 & CO-8 conservation overlays meet the standards of approval for overlay districts (Denver Zoning Code Sec 9.4.3.2.c Review Criteria for Approval of Districts). Furthermore, you will find that our due diligence included a statistically significant survey of neighborhood sentiment for the overlays. Neighbors overwhelmingly support adoption.

Therefore, it is our hope you will find the proposed overlays meet the standards of approval and advise City Council to adopt these proposed districts. Thank you for your service to the people of Denver and your consideration of this matter.

Sincerely,  
Cheryl Ader-Dunne

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Chris MacDermaid <chrism80026@yahoo.com>  
**Sent:** Saturday, December 24, 2022 11:11 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Re: Sunnyside Conservation Overlay 7 & 8

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Chris MacDermaid. I own the property at 4223 Tejon St in the Sunnyside Neighborhood. I am writing to express my support of Sunnyside United Neighbors, Inc.'s proposed Conservation Overlays 7 & 8 sponsored by City Council District 1's representative Amanda Sandoval for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 overlays are the result of years of community-led effort to preserve Sunnyside's traditional neighborhood workforce housing building forms. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved, time-honored character and pedestrian-friendly urbanism.

The CO-7 & CO-8 conservation overlays meet the standards of approval for overlay districts (Denver Zoning Code Sec 9.4.3.2.c Review Criteria for Approval of Districts). Due diligence for the overlays included a statistically significant survey of neighborhood sentiment. Neighbors overwhelmingly supported the adoption. I ask that you recommend the City Council adopt these proposed districts.

Thank you,

Chris MacDermaid

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Sam Axelrath <sam.axelrath@gmail.com>  
**Sent:** Sunday, December 25, 2022 2:59 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Sunnyside overlay

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Hello,

My name is Sam Axelrath and I am a homeowner in the Sunnyside Neighborhood, near Bryant and 44th. I am writing to express my support of Sunnyside United Neighbors, Inc.'s proposed Conservation Overlays 7 & 8 sponsored by City Council District 1's representative Amanda Sandoval for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 overlays are the result of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood workforce housing building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved, time-honored character and pedestrian-friendly urbanism.

You will find that CO-7 & CO-8 conservation overlays meet the standards of approval for overlay districts (Denver Zoning Code Sec 9.4.3.2.c Review Criteria for Approval of Districts). Furthermore you will find that our due diligence included a statistically significant survey of neighborhood sentiment for the overlays. Neighbors overwhelmingly support adoption. Therefore, it is our hope you will find the proposed overlays meet the standards of approval and advise City Council to adopt these proposed districts. Thank you for your service to the people of Denver and your consideration of this matter.

Sincerely,

Sam Axelrath



## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Keith Howard <KeithHoward06@comcast.net>  
**Sent:** Monday, December 26, 2022 9:54 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Sunnyside Conservation Overlays

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Dear Mr. Johnson,

My name is Keith Howard. I own 4303 Umatilla St., a 1906 foursquare in Sunnyside where I have resided for 29 years. In nearly three decades I've seen many changes to this old neighborhood, including a considerable amount of new construction, some of which seems notably discordant.

I support the two Conservation Overlays (CO-7 and CO-8) that Councilwoman Sandoval is now proposing. These concern the U-SU and U-TU zone districts in Sunnyside. The overlay proposals are the product of a very extended period of community consideration that aimed at preserving some of the scale and character of the Sunnyside neighborhood. The Overlays will require modest but meaningful changes to the mass and appearance of new residential development.

City neighborhoods are not static: there will continue to be new residential development in Sunnyside. But I believe that the proposed Overlays will encourage a design approach that will harmonize better with the traditional residential character of Sunnyside. There is much here that is worth preserving.

I encourage you to support, and to vote in favor of, the CO-7 and CO-8 conservation overlays.

Very sincerely yours,

Keith Howard

KATHRYN WIRKUS-QUINN & MATTHEW QUINN

4148 Wyandot Street Denver, Colorado 80211 303-886-1710

[wirkus7020@msn.com](mailto:wirkus7020@msn.com)

---

To Whom It May Concern,

My name is Kathryn Wirkus and I own the property located at 4148 Wyandot St in the Sunnyside Neighborhood. My husband and I are writing to express our support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. We believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Over the last three years we have seen many of the period homes that give the area its character demolished and replaced by extremely large three-story flat roof duplexes. These large homes are both out of keeping with the urban form of Sunnyside and dwarf and overshadow the existing one or one and a half story Victorians and early 20<sup>th</sup> century homes. We ourselves have lost most of our natural light to a new three-story duplex being built next door.

The alternative 'pop top' and pitched roof single home developments which have been undertaken in the area recently show it is possible to achieve commercial developments in a form suitable to the area's urban form. The proposed conservation overlays will create the necessary modest but meaningful change in the massing and appearance of future development.

Thank you for your time. we encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,

Kathryn F. Wirkus-Quinn & Matthew J. Quinn

# Planning Board Comments



Submission date: **28 October 2022, 12:29PM**  
Receipt number: **452**  
Related form version: **2**

## Your information

Name	Jennifer LaVoo
Address or neighborhood	4584 N. Clay Street
ZIP code	80211
Email	jenniferlavoo@mac.com

## Agenda item you are commenting on

Rezoning

## Rezoning

Address of rezoning	Multiple
Case number	#2019i-00066

## Draft plan

Plan area or neighborhood

## Proposed text amendment

Project name

## Historic district application

Name of proposed historic district

## Comprehensive Sign Plan

Address of comprehensive sign plan

Case number

## DURA Renewal Plan

Address of renewal project

Name of project

## Other

Name of project you would like to comment on

## Submit your comments

Would you like to express support or opposition to the project?

**Strong support**

Your comment:

**Hello! Just received the mailer about the proposed CO-8 Overlay District for my neighborhood. I'm very excited to read about the requirements to keep the Sunnyside character by requiring brick, sloped roofs, height restrictions, and porches. I read the submission by Councilperson Sandoval, and I appreciate the extensive research that went into the proposal. I fully support this rezoning. Thank you!**

If you have an additional document or image that you would like to add to your comment, you may upload it below. Files may not be larger than 5MB.

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Jennifer LaVoo <jenniferlavoo@mac.com>  
**Sent:** Monday, December 26, 2022 3:49 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Support for Conservation Overlays

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Jennifer LaVoo, and my husband and I own the property located at 4584 N. Clay Street in the Sunnyside Neighborhood. I am writing to express my support of Sunnyside United Neighbors, Inc.'s proposed Conservation Overlays 7 & 8 sponsored by City Council District 1's representative Amanda Sandoval for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 overlays are the result of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood workforce housing building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved, time-honored character and pedestrian-friendly urbanism.

You will find that CO-7 & CO-8 conservation overlays meet the standards of approval for overlay districts (Denver Zoning Code Sec 9.4.3.2.c Review Criteria for Approval of Districts). Furthermore, you will find that our due diligence included a statistically significant survey of neighborhood sentiment for the overlays. Neighbors overwhelmingly support adoption. Therefore, it is our hope you will find the proposed overlays meet the standards of approval and advise City Council to adopt these proposed districts. Thank you for your service to the people of Denver and your consideration of this matter.

Sincerely,  
Jennifer LaVoo

# Planning Board Comments



Submission date: 27 December 2022, 7:32PM  
Receipt number: 463  
Related form version: 3

## Your information

Name	yvonne Gates
Address or neighborhood	3875 Quivas St
ZIP code	80211
Email	yvonnegates@comcast.net

## Agenda item you are commenting on

Zoning Code Text Amendment

## Rezoning

Address of rezoning

Case number

## Draft plan

Plan area or neighborhood

## Proposed text amendment

Project name	Multiple properties in the Sunnyside Neighborhood
--------------	---

## Historic district application

Name of proposed historic district

## Comprehensive Sign Plan

Address of comprehensive sign plan

Case number

## DURA Renewal Plan

Address of renewal project

Name of project

## Other

Name of project you would like to comment on

## Submit your comments

Would you like to express support or opposition to the project?



Your comment:

I am requesting that the new rules proposed by the Commissioner in District 1 exclude properties that have submitted plans for review and building permits. Imposing these restrictions would severely impact property owners that have incurred costs for engineering, structural, civil, soil reports, architectural plans, HEERS raters, and a host of other expenses not limited to materials cost.

In today's economic environments, with the high cost of construction, interest rates, and delays in plan reviews, this proposal would add additional hardship for individuals interested in trying to help your child with housing for their family. Young adults are being priced out of homeownership and building a home that would meet their family's needs and size. I have no opinion about the suggested proposal, but these conditions would severely harm my daughter's dream home; I am not a spec builder; I am a mother who wanted to help my only child become a homeowner. I am requesting that projects in the building department for review for a permit not be harmed by the proposed zoning. Thank you for your consideration and understanding.

**Yvonne Gates**

If you have an additional document or image that you would like to add to your comment, you may upload it below. Files may not be larger than 5MB.

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** COLLEEN CALLAHAN <colleencallahan25@msn.com>  
**Sent:** Tuesday, January 3, 2023 10:40 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Sunnyside Conservation

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Colleen Callahan and I own the property located at 4429 Beach Ct. in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood. I want to preserve the original styles of the homes that make Sunnyside such a lovely neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,

Colleen Callahan  
Customer Success Leadership  
303-501-5008  
colleencallahan25@msn.com

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Will Chesser <w\_chesser@hotmail.com>  
**Sent:** Tuesday, January 3, 2023 12:40 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal; Horn, Melissa A. - CC YA2245 City Council Aide  
**Cc:** Jamie Parrish  
**Subject:** [EXTERNAL] Sunnyside Conservation Overlays -STATEMENT OF SUPPORT

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

To Whom It May Concern,  
Happy New Year! I hope this finds you well. I am writing to state my **enthusiatic support** for the application for conservation overlays in Sunnyside.

My family and I have lived in a 1904 home in Sunnyside at 43<sup>rd</sup> and Tejon. Like many I have been saddened to see the erosion of the character of the neighborhood with the loss of original homes with front porches, respectful set backs, and vegetation lost to unsustainable new development. We love our historic home in Sunnyside and the neighborhood filled with historic properties, the open space of Chaffee Park, and walkable mom and pop businesses to support and frequent. My wife and I also own a home in the West Highlands Neighborhood inside the Packard's Hill Historic District and can speak personally to the benefits from the establishment of the Packard's Hill Historic District and we firmly believe that the families, community, and history of the area are better today for a multitude of reasons having historic district designation. Districts whether conservation or historic are methods for conserving and preserving history, culture, character, and architecture. In addition to these compelling reasons - they also help in the fight to curb climate change as construction waste is one of the highest contributors toward landfill mass and new materials come at a monetary and energy cost.

Today, I am writing to you to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

**Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.**

All the best to you and yours in 2023!

Will Chesser and family

----- Forwarded message -----

**From:** Horn, Melissa A. - CC YA2245 City Council Aide <[Melissa.Horn@denvergov.org](mailto:Melissa.Horn@denvergov.org)>  
**Date:** Fri, Dec 30, 2022 at 8:38 AM  
**Subject:** Sunnyside Conservation Overlays - Speakers Needed!  
**To:** Horn, Melissa A. - CC YA2245 City Council Aide <[Melissa.Horn@denvergov.org](mailto:Melissa.Horn@denvergov.org)>  
**Cc:** Volpe-Beasley, Gina J. - CC YA2246 City Council Aide Senior <[Gina.Volpe@denvergov.org](mailto:Gina.Volpe@denvergov.org)>

Hello, Sunnyside community!

The application for the Sunnyside conservation overlays (CO-7 and CO-8) will have its first **public hearing at Planning Board, Wednesday, January 4, at 3pm!**

**Speakers needed!** [Sign up to speak on Zoom](#) or watch the discussion on [Denver 8](#).

We still need letters of support! Letters must be received by 5:00 pm on Tuesday, **January 3** to be provided to Planning Board members for consideration. A sample letter is pasted below. You are welcome to use it as-is or customize the language. Please send your letter/comments either as an attachment or simply in the body of an email to our project planner, Brad Johnson, [brad.johnson2@denvergov.org](mailto:brad.johnson2@denvergov.org) and cc' me at [melissa.horn@denvergov.org](mailto:melissa.horn@denvergov.org)

Please let me know if you have any questions!

Best,  
Melissa Horn

### Sample Letter

To Whom It May Concern,

My name is **[Your Name]** and I **[own/rent]** the property located at **[Address or Cross Streets]** in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,  
**[Your Name]**



**Melissa Horn | Council Aide**  
Office of Councilwoman Amanda P.  
Sandoval Council District 1, NW Denver  
(720) 337-7704 | 1810 Platte St. Denver



---

DISCOVER YOUR CITY: [311](#) | [denvergov.org](http://denvergov.org) | [Denver 8 TV](#) | [Facebook](#) | [Sign up for our Newsletter](#)

\*Correspondence with this office is an open record under the Colorado Open Records Act and must be made available to anyone requesting it unless the correspondence clearly states or implies a request for confidentiality. Please expressly indicate whether you wish for your communication to remain confidential.

--

"Never doubt that a small group of thoughtful, committed citizens can change the world; indeed, it's the only thing that ever has."

-Margaret Mead

--

"Never doubt that a small group of thoughtful, committed citizens can change the world; indeed, it's the only thing that ever has."

-Margaret Mead

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Deantha Gutierrez <deanthagutierrez@yahoo.com>  
**Sent:** Friday, December 30, 2022 1:34 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] CO-7 and CO-8 proposal support letter  
**Attachments:** home pictures congestion.docx

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

To Whom It May Concern

My name is Deantha Valencia and my husband and I own the property located at 4431 Vallejo Street in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

Our home belonged to my husband's grandparents since the 1960's. After their passing, we were overjoyed to purchase the home which held so many memories and keep the house in the family. We purchased the home in 2009. Unfortunately in 2016, our neighbor sold their home and a developer came in and put up a 3 story double unit box. Then another developer moved in and put a home in the backyard of the property one house over. As a result, we live in a house with massive congestion on one side and normal Sunnyside neighbourhood on the other. It is sad that greed has affected Sunnyside to this point. I strongly URGE you to vote in favour of the CO-7 and CO-8 conservation overlays so other Sunnyside residents won't have to live like we do. We will likely move away if our other neighbor sells their house and we end up sandwiched between two monstrosities like the residents at 4020 Tejon St. This would be so sad for our entire family as this neighbourhood holds so many great memories for all of us.

I have attached photos to show you how we have been forced to live.

Thank you for your time and consideration,  
Deantha Valencia

This is a picture of the neighborhood before 2016. We are the red roof on the left.



This is now our house in the middle (red brick) and the 3 story box built in 2016 on the right.





Photo on the left: This is my view from my dining room where I can see the outdoors as the neighbor's house does not start right at the property line.

Photo on the right: This is my view from my kitchen window where the new build from 2016 sits so close and tall that as I do dishes, I see a wall and sometimes my neighbor getting out of their shower. Yuck!



This is my backyard view to the south. Normal spacing between houses.



This is my backyard view to the north. Congested.



Oh look, yet another house to the left. That makes 3 houses that overlook us when we are enjoying our backyard. This photo is a big reason I put outdoor seating on the opposite side of my house so that we could enjoy being in our own backyard without 3 other residences watching down on us.



## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Paul Hammond <paulhammond@comcast.net>  
**Sent:** Monday, January 2, 2023 7:27 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Support Message for CO-7 and CO8 Conservation Overlays

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Paul Hammond, and together with my partner Peter Gagnon I own the property located at 2750 W 40th Avenue in the Sunnyside neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 and 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The proposed CO-7 and CO-8 are the results of more than 5-years of community-led effort to understand, honor and preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages, and the neighbor-friendly and street-welcoming characteristics these building forms espouse. The proposed overlays would create modest but meaningful changes in the massing and appearance of new development, and I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage the Denver Planning Board to vote in favor of the CO-7 and CO-8 conservation overlays.

Sincerely,  
Paul Hammond

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Larry H <durangolarry@gmail.com>  
**Sent:** Sunday, January 1, 2023 3:30 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal; Horn, Melissa A. - CC YA2245 City Council Aide  
**Cc:** Sandoval, Amanda P. - CC Member District 1 Denver City Council; Larry H  
**Subject:** [EXTERNAL] Conservation District 7 & 8

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

TO:  
[brad.johnson2@denvergov.org](mailto:brad.johnson2@denvergov.org)  
CC:  
[melissa.horn@denvergov.org](mailto:melissa.horn@denvergov.org)

To Whom It May Concern,

My name is Larry L. Holland and I own the property located at 40th Ave/Pecos Street in the Sunnyside Neighborhood. I am writing to express my support of Sunnyside United Neighbors, Inc.'s proposed Conservation Overlays 7 & 8 sponsored by City Council District 1's representative Amanda Sandoval for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 overlays are the result of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood workforce housing building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved, time-honored character and pedestrian-friendly urbanism.

You will find that CO-7 & CO-8 conservation overlays meet the standards of approval for overlay districts (Denver Zoning Code Sec 9.4.3.2.c Review Criteria for Approval of Districts). Furthermore, you will find that our due diligence included a statistically significant survey of neighborhood sentiment for the overlays. Neighbors overwhelmingly support adoption. Therefore, it is our hope you will find the proposed overlays meet the standards of approval and advise City Council to adopt these proposed districts. Thank you for your service to the people of Denver and your consideration of this matter.

Sincerely,  
Larry L. Holland

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Londell Jackson <londelljacksonmed@gmail.com>  
**Sent:** Friday, December 30, 2022 1:40 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide; John H. Schmahl  
**Subject:** [EXTERNAL] RE: Proposed Conservation Overlays 7 & 8 in the Sunnyside neighborhood.

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Londell Jackson and with my husband, John Schmahl, we own the property located at 4135 Umatilla Street in the Sunnyside Neighborhood. I am writing to express my **support** of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. As an Advancing Equity Rezoning Project (AERP) team member, I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism and completely meets the understood goals, objectives, and purpose of the AERP.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays. Should you have any desire to speak with me directly prior to the hearing which I plan to attend, please feel free to contact me as my contact information is below.

[Àse,](#)  
Londell



**Londell D. Jackson, M.Ed.**

(720) 227-5998 |  
[LondellJacksonMEd@gmail.com](mailto:LondellJacksonMEd@gmail.com)

"I co-create a world where people live vulnerably and courageously by being loving, open, and empathetic while embracing diversity, equity, inclusion, and accessibility."



**[Click here to schedule a meeting](#)**



To Whom It May Concern,

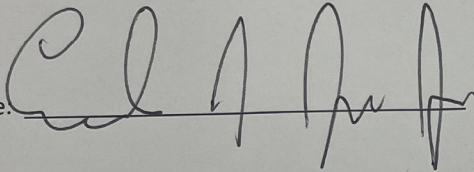
My name is EDWARD J. JAKUBOWSKI and I [own/rent] the property located at 2530 W. 44TH AV. in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,

Name.



January 3, 2023

To Whom It May Concern,

My name is Katharine Mahoney and I own the property located at 4145 Pecos Street in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Additionally, I know I could sell my lot and get in equity as my house sits on a double plus lot but my beautiful home would be torn down and a massive new duplex built in its place without the style, character, and look/feel of the traditional Northwest Denver homes we all love so much.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,  
Katharine Mahoney



## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** molly north <manorth@gmail.com>  
**Sent:** Friday, December 30, 2022 10:27 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal; Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Sunnyside Conservation Overlays  
**Attachments:** ~

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Molly North and I own the property located at 4401 Vallejo Street in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,

Molly North



## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Jamie Parrish <jamienparrish@gmail.com>  
**Sent:** Sunday, January 1, 2023 10:17 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Letter of Support | Sunnyside Conservation Overlays (CO-7 and CO-8)

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,  
Happy New Year to you and yours.

Thank you for an opportunity to write a letter regarding the application for conservation overlays in Sunnyside.

My name is Jamie Chesser. My husband, two kids under 12, and I live in a 1904 home off of Chaffee Park at 43rd and Tejon. We love our historic home in Sunnyside and the neighborhood filled with historic properties, the open space of Chaffee Park, and walkable mom and pop businesses to support and frequent. We also own a home in the West Highlands Neighborhood inside the Packard's Hill Historic District.

Having lived in the West Highlands both before and after the establishment of the Packard's Hill Historic District - I firmly believe that the families, community, and history of the area are better today for a multitude of reasons having historic district designation. Districts whether conservation or historic are methods for conserving and preserving history, culture, character, and architecture. In addition to these compelling reasons - they also help in the fight to curb climate change as construction waste is one of the highest contributors toward landfill mass and new materials come at a monetary and energy cost.

Today, I am writing to you to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.  
All the best to you and yours in 2023!  
Jamie Chesser and family

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Rick Wehner <srwehner1@gmail.com>  
**Sent:** Tuesday, January 3, 2023 9:42 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Vote in Favor of CO-7 and CO-8

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

My name is **Stephen Wehner** and I currently live part time in Sunnyside while I look to purchase a house in the neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Stephen Wehner

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Becky Ykema <beckyykema@gmail.com>  
**Sent:** Tuesday, January 3, 2023 11:29 AM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] In Favor of CO-7 & 8

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

To Whom It May Concern,  
Happy New Year to you and yours!

Thank you for an opportunity to write a letter regarding the application for conservation overlays in Sunnyside.

My name is Becky Ykema. My family and I live at 4209 Tejon Street on the corner of 42nd and Tejon.

Today, I am writing to you to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays. All the best to you and yours in 2023!

Becky Ykema  
[www.beckyykema.com](http://www.beckyykema.com)

## **Johnson, Brad - CPD CE2159 City Planner Principal**

---

**From:** nils emerick <naemerick@gmail.com>  
**Sent:** Wednesday, January 11, 2023 7:01 PM  
**To:** dence - City Council  
**Cc:** Johnson, Brad - CPD CE2159 City Planner Principal; Horn, Melissa A. - CC YA2245 City Council Aide; SUNI Neighborhood  
**Subject:** [EXTERNAL] SUPPORT: Sunnyside Neighborhood Overlays 7 & 8

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Denver City Council Members, Board of Adjustment, LUTI Committee members, and others.

As an owner of multiple properties in the Sunnyside Neighborhood, located at **3815 Jason St** and **1740/42 W 40th Ave**, I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

I am a former SUNI Board Member and Planning and Community Development Chair from 2014-2019. This has been a long time effort comprising countless hours of door to door, in-person, surveys, and other outreach and involvement of neighbors and businesses within Sunnyside. Overlays 7 & \* have captured both the sentiment and intent of a broad swath of perspectives, including input from residents, developers, property owners, and various city offices.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,  
**Niles Emerick**

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Justin Butler <justinbutler768@gmail.com>  
**Sent:** Tuesday, February 14, 2023 9:33 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] Opposition to Sunnyside Overlays CO-7 & CO-8

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Hey Brad,

Hope all is well. I am a long time resident of Sunnyside and wanted to send an email as to why I am strongly opposed to the Conservation Overlay.

We bought a home in Sunnyside because we loved the neighborhood and the fact that there was potential to build out and update the current property. It seems very unfair to implement such strict restrictions to an area that had no design conservation prior. Additionally, there is already a wide variety of architectural styles so this overlay will not preserve any neighborhood feel. This will only have a negative financial impact on current property owners.

Additionally, Denver is in an affordable housing crisis and this overlay only makes things worse by requiring expensive brick facades and limiting above grade square footage so its harder for people to share living costs.

Such severe restrictions are going to push current residents out of the area, and deter potential new residents from moving in. This seems like a way to make sunnyside regress rather than progress.

I also noticed that a large majority of people writing in to express their support of this overlay just copied and pasted the same template. I think this should be taken into consideration because it shows the supporting side barely put any thought into this and were just told to send something in.

Thanks,

Justin

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Jen H <JHejaily@msn.com>  
**Sent:** Wednesday, January 18, 2023 3:23 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] Sunnyside Overlay - Public Comment to Oppose

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Brad,

I would like to add my comments for opposing the Sunnyside Overlay Zoning Change Proposal.

I am a Sunnyside resident and homeowner on Alcott St near 46<sup>th</sup> Ave.

The following are my comments to oppose:

- 1) Sunnyside is not a neighborhood with architectural continuity or significance, so I do not believe we should be creating overlays to try to preserve the already varied and inconsistent building forms. Sunnyside is not an example of a historic district like Potter Highlands or Curtis Park.
- 2) Overlays make the existing zoning rules more complicated and difficult for anyone building new construction or making changes or additions to their homes. It's widely known that the city is already working on delayed timelines for approving projects and issuing permits. These overlays will create complicated rules that will further delay permits, which are costing homeowners and builders time and money.
- 3) Some of the main people behind this effort have the resources to build magazine-worthy homes. Not everyone has that privilege. The example that is repeatedly pointed to is the home at 4445 Beach Ct., where a nice duplex once stood. The former duplex fit in perfectly within the neighborhood, but was demolished to build a beautiful new home that very few people could ever afford to build. This demonstrates that the overlay caters to those with seemingly limitless budgets. The average person could not afford the design or finishes that this home at 4445 Beach Ct boasts.
- 4) Housing availability and affordability is much more of a priority than these vanity overlays. We should focus on better zoning for ADUs and apply design standards to new ADUs before we try to act like an HOA imposing standards on the public. ADUs create more housing with rent that is considered affordable for Denver. This is more important than the restrictions of this overlay.
- 5) Land is expensive in Sunnyside. If you can find property, the land is easily \$500k, so there should be no new overlay restrictions on the square footage that can be built. This works against housing affordability. Expensive land + reduced square footage constructed = higher cost per square foot to a buyer.
- 6) Requiring front porches is an antiquated concept. I do agree that front porches can look nice and create curb appeal, but if you stroll around the neighborhood, the number of dilapidated porches that have become eyesores is significant. I walk my dog frequently and the only time I see people on their porches is smoking cigarettes or marijuana.
- 7) Bulk plane should not be reduced. Again, this is only going to create homes that cost more per square foot, and homes with lower ceilings that are less livable and marketable.
- 8) Brick. I wanted to add a brick façade to my house, but by the time I got to that phase of construction, everything was running over budget and it was going to cost an additional \$14k for brick. This is an unfair financial burden. You can still make a house look great without the mandate of brick.
- 9) Dormers would be the only part of this overlay that I would support.

Thank you for your time, and for listening to my legitimate concerns about this unnecessary overlay.



Best Regards,  
Jennifer Hejaily  
Sunnyside Resident

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Jan Geier <jangeier@att.net>  
**Sent:** Wednesday, February 15, 2023 1:36 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] Sunnyside

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Brad,

I own a property in district 1 and don't believe the overlay being proposed is beneficial for the future of Sunnyside. With the proximity to downtown Denver we should really be looking at how we can increase the affordable housing and density versus limiting the bulk plane, height, and square footage. This is restricting families that are growing to have adequate space to stay and expand on their homes. This is especially true on narrower lots where a 14' side bulk plane height makes the 2nd level not very usable. To me it seems like we are trying to add additional restrictions where there doesn't need to be. We are dividing a neighborhood in half with these restrictions versus allowing everyone who moved to Sunnyside an opportunity to build the home they want and will love.

Thanks,  
Jan

Sent from my iPhone

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Lucas Geier <lucas@roofdeckandgarden.com>  
**Sent:** Thursday, February 9, 2023 3:16 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] Sunnyside Overlay Opposition

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hey Brad,

Hope all is well. I was able to find the overlay standards and wanted to send an email outlining my strong opposition to this Sunnyside Conservation Overlay. We bought a home in this neighborhood in 2018 as we loved the area and wanted to get a property we could eventually build onto once we start a family. Now with our family starting to grow we have started the architectural plans and have already spent \$1000's to finalize the house we can grow into as well as the style we prefer. Reducing the bulk plane which is already very limited for how wide our lot is as well as the max height requires us to do a full redesign and not get the indoor/outdoor feel we were going for. It seems very unfair to implement this to an area that had no design conservation prior and so many homes already built that don't comply with the new standards. The best part of Northwest Denver is the diversity of people, food and housing and it doesn't seem like enough people have given their input on supporting or denying this.

I also notice that there are more letters in support of this than opposing but they are all using the same template barely putting their own thought into the support.

Lastly, please let me know the most effective way to talk about the opposition to this matter as I have sent the powerpoint to a lot of other people in the neighborhood who feel the same way I do. Thanks

Lucas Geier  
Principal / Landscape Designer  
P. 720.429.8659  
E. [lucas@roofdeckandgarden.com](mailto:lucas@roofdeckandgarden.com)  
Denver, CO Summit + Eagle County  
[www.roofdeckandgarden.com](http://www.roofdeckandgarden.com)  
-Licensed General Contractor  
-Accredited Green Roof Professional In Training

**R**OOOF  
**D**ECK +  
**G**ARDEN

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Joe Petraccione <jpetraccione4@gmail.com>  
**Sent:** Wednesday, February 15, 2023 2:10 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] Sunnyside Overlay Opposition

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Brad,

I am a resident of Sunnyside and I am voicing my opposition to the proposed Conservation Overlays for our neighborhood.

Quite frankly, I am disappointed that this proposition has gotten this far. Sunnyside is a neighborhood that thrives because of the diversity of its people. These overlays will crush our unique community into an assembly line of cookie-cutter imitations. By approving these limited building restrictions, you are turning homes into houses. Homes are a safe space in an otherwise chaotic world, these are not just houses to us. These are the places we will raise our children, spend time with friends, and escape to a place we can truly call our own. By voting to approve these building restrictions, you are telling us that our space is no longer ours to control. That we MUST have a front porch in our homes. That we MUST have a brick façade on the front of OUR homes. Sunnyside has bloomed into a bustling, loving community of diverse people without the oversight of an HOA, we do not need one now.

I walk my dog through the streets of Sunnyside three times a day and I enjoy every minute of it. Rain, snow, pandemic, or otherwise, I am on the streets, head held high with the pride of Sunnyside in my eyes. I can't help but admire the personal touches that everyone has made to their homes. An addition to the side of the house for an incoming baby. A new workshop built for a side-hustle small business. This is a neighborhood where we decide how our homes look and how it suits us.

You're going to discourage new families from coming here. People are going to see all the red tape that they must circumvent to live here and turn-tail. We all have ideas of what our dream homes look like, and despite what you may think, it's not all front porches, brick cladding, and restricted square footage.

You're going to drive away the current residents of Sunnyside who finally have the money to renovate or rebuild and can't get their dream designs approved before the overlay hammer strikes the neighborhood anvil. Are we going to jeopardize the wonderfully unique neighborhood we built so that we can look like a 1950's "utopia?"

I love Sunnyside and would hate to see it turn into Central Park.

Sunnyside needs homes, not houses.

Thank you and vote no,

Joe from Sunnyside

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Garrette Reaves <garrette@roofdeckandgarden.com>  
**Sent:** Wednesday, February 15, 2023 12:36 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] Sunnyside overlay opposition

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Hey Brad,

I hope your day is going well! I am reaching out to express my opposition to the proposed Overlay and the new height restrictions that are being considered. As a local business owner in the area, specializing in roof decks, I strongly believe that outdoor space is a necessity in urban areas to maximize space and enhance the quality of life for residents. If the new height restrictions pass, it would make it very difficult, if not impossible, to incorporate roof decks into new construction. This would not only take revenue away from a local small business like mine but also minimize people's outdoor space, which is crucial for their mental and physical well-being. Thank you for your attention to this matter.

Thanks,

Garrette Reaves  
Project Manager  
815.579.0921  
Denver, CO Summit + Eagle County  
[www.rdggardendesign.com](http://www.rdggardendesign.com)



## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Geier, Rosemary <RGeier@enclarapharmacia.com>  
**Sent:** Friday, February 10, 2023 6:18 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] Sunnyside Overlay Opposition

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Brad,

Good evening. I was told to reach out to you regarding my concerns about the Sunnyside overlay district. I appreciate you taking the time to read this.

I am extremely worried about this proposed overlay district. My husband and I bought our house in Sunnyside in 2018 and ever since, we have been dreaming of and planning a renovation to make it the perfect forever home. When we were searching for homes, we knew we would need to renovate as we could not afford an already renovated house. We purposely did not look for houses in historic districts, such as Potter Highlands, because we did not want the regulations that come with living in a historic district. Had we known an overlay was a possibility in Sunnyside, we would have never bought our house. We already have architectural plans for our renovations. However, we were unable to start the renovations sooner because we had to use money for IVF to start a family. I am currently 9 months pregnant and we now are able to start looking into financing for the renovations since my IVF treatments are over. Unfortunately, if this overlay is approved, we would be unable to build the house that we have already spent thousands of dollars on drawings for. It really makes me sad because we have fallen in love with Sunnyside and have been looking forward to raising our family here. But we would likely sell our house if this is passed as the restrictions do not work for our family.

Aside from my personal feelings on the matter, I am also concerned about the impact this will have on future home values. I have noticed that some of the supporters of this overlay district have houses that don't comply with the proposed square footage or bulk plane restrictions. If the overlay were to be passed, these houses will inevitably go up in value due to them being grandfathered in. While homes like mine, will decrease in value due to the restrictions. I'm curious to know if some of the supporters' motivations are truly based on preserving history or rather if they are selfishly thinking this will be good for their own property value. I feel that if someone is truly passionate about living in a historically preserved neighborhood, they should buy a house in a historic neighborhood such as Potter Highlands. Also, if they are truly passionate about living in a historically preserved neighborhood, they should take the time to write about their support in their own words rather than copying a pasting a canned response that someone created.

Everyone in Sunnyside bought housing knowing it was not historically preserved. So to make these changes after people have spent their life savings on houses seems like it is hurting the people of Sunnyside rather than helping them. It is making Sunnyside less diverse, making renovations more expensive, putting restrictions on growing families looking for additional space, and decreasing property value for those who bought homes under the pretense that there were no historical overlays.

Again, I really appreciate your time in reading this. Unfortunately, I will likely be unable to voice my concerns at the meeting as I am being induced on February 26<sup>th</sup>. However, I can promise if I'm not in active labor, I will be on the zoom call from the hospital to express my concerns 😊

Thanks and have a great weekend!

**Rosie Geier, PharmD**

Clinical Manager

**Enclara Pharmacia**

1601 Cherry St, Suite 1800 | Philadelphia, PA 19102

Direct: 215.668.7812

Email: RGeier@enclarapharmacia.com

[www.enclarapharmacia.com](http://www.enclarapharmacia.com)

*This information transmitted is intended only for the person or entity to which it is addressed and may contain confidential and/or privileged material, the disclosure of which is governed by applicable law. Any review, retransmission, dissemination or other use of, or taking of any action reliance upon this information by persons or entities other than the intended recipient is prohibited. If you receive this in error, please contact the sender and destroy the materials contained in this message.*



## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Candice Walkinshaw <candice.walkinshaw@gmail.com>  
**Sent:** Monday, February 13, 2023 6:24 PM  
**To:** Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] Sunnyside Overlay

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Please do not pass the Sunnyside overlay. It's like attempting to preserve someone's idyllic and not factual view of Sunnyside. Mandate bars on windows if you want to preserve the charm of Sunnyside.

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** paulhammond@comcast.net  
**Sent:** Saturday, February 18, 2023 10:37 AM  
**To:** dence - City Council  
**Cc:** Johnson, Brad - CPD CE2159 City Planner Principal; Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Support Letter: Conservation Overlays CO-7 and CO8

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Honorable Denver Councilmembers:

My name is Paul Hammond, and together with my partner Peter Gagnon I own the property located at 2750 W 40th Avenue in the Sunnyside neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 and 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The proposed CO-7 and CO-8 are the results of more than 5 years of community-led effort to understand, honor, and preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages, along with the neighbor-friendly and street-welcoming characteristics these building forms espouse. The proposed overlays would create modest but meaningful changes in the massing and appearance of new development, and I believe the overlays will also still allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage the Denver City Council to vote in favor of adopting the CO-7 and CO-8 conservation overlays.

Sincerely,  
Paul Hammond

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Carmen Madrid <cmadrid0701@gmail.com>  
**Sent:** Monday, February 13, 2023 7:51 PM  
**To:** dencc - City Council  
**Cc:** Horn, Melissa A. - CC YA2245 City Council Aide; Johnson, Brad - CPD CE2159 City Planner Principal  
**Subject:** [EXTERNAL] Sunnyside conservation overlay

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is **Carmen Madrid and I own the** property located at **4536 Quivas Street in the** Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,  
**Carmen Madrid**

## **Johnson, Brad - CPD CE2159 City Planner Principal**

---

**From:** susiepeek@juno.com  
**Sent:** Friday, January 13, 2023 9:34 PM  
**To:** dencc - City Council  
**Cc:** Johnson, Brad - CPD CE2159 City Planner Principal; Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Sunnyside conservation overlays

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

To Whom It May Concern,

My name is Susie and I own the property located at **4249 Umatilla St.** in the Sunnyside Neighborhood. I am writing to express my support of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 for the Urban, Single-Unit (U-SU) and Urban, Two-Unit (U-TU) zone districts in the Sunnyside neighborhood.

The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

Thank you for your time. I encourage you to vote in favor of the CO-7 & CO-8 conservation overlays.

Sincerely,  
**Susie Peek**

## Johnson, Brad - CPD CE2159 City Planner Principal

---

**From:** Stephanie Sterling <sterliss@gmail.com>  
**Sent:** Saturday, January 14, 2023 6:20 PM  
**To:** dencc - City Council  
**Cc:** Johnson, Brad - CPD CE2159 City Planner Principal; Horn, Melissa A. - CC YA2245 City Council Aide  
**Subject:** [EXTERNAL] Support Sunnyside Conservation Overlays

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Hello,

My name is Stephanie Sterling and I own the property located at 4518 Quieto Ct. in the Sunnyside Neighborhood. I am writing to express my **support** of Councilwoman Amanda P. Sandoval's proposed Conservation Overlays 7 & 8 in the Sunnyside neighborhood.

The unbridled maximalist development in our neighborhood has been damaging its character. The CO-7 and CO-8 are the results of more than 5-years of community-led effort to preserve Sunnyside's traditional neighborhood building forms such as bungalows, small duplexes, and cottages. The proposed overlays will create modest but meaningful change in the massing and appearance of new development. I believe the overlays will allow the Sunnyside neighborhood to change and grow while retaining its beloved traditional residential elements and pedestrian-friendly urbanism.

I encourage you to vote **in favor of** the CO-7 & CO-8 conservation overlays.

Sincerely,  
Stephanie