



Department of Public Works
Right-of-Way Services

201 W. Colfax Avenue, Dept. 507
Denver, CO 80202
P: 720-865-3001
www.denvergov.org

REQUEST FOR ORDINANCE

TO: John McGrath, City Attorney's Office

FROM: Ted Christianson, PE

PROJECT NO: SUDP No. 2017-SUDP-0004597

DATE: December 22, 2017

SUBJECT: Request for an Ordinance to connect City wastewater facilities to a property outside of the limits of the City.

It is requested that the above subject item be placed on the next available Mayor Council Agenda.

This office has investigated the request of Jim Turner of the City and County of Denver on behalf of the property at 915 South Sheridan Boulevard, in Lakewood, Colorado.

This matter has been checked by this office and has been coordinated with DES - Wastewater who has indicated their agreement.

Therefore, you are requested to initiate Council action to connect City wastewater facilities the following described areas:

SEE ATTACHED FOR PROJECT DESCRIPTION

Cc:

Public Works: Alba Castro

Public Works: Nancy Kuhn

Development Engineering Services: Jim Turner

ORDINANCE/RESOLUTION REQUEST

Please email requests to Angela Casias at
Angela.casias@denvergov.org by **NOON on Monday.**

All fields must be completed.

Incomplete request forms will be returned to sender which may cause a delay in processing.

Date of Request: December 22, 2017

Please mark one: **Bill Request** **or** **Resolution Request**

1. Has your agency submitted this request in the last 12 months?

Yes **No**

If yes, please explain:

2. Title: *(Include a concise, one sentence description – please include name of company or contractor and contract control number - that clearly indicates the type of request: grant acceptance, contract execution, amendment, municipal code change, supplemental request, etc.)*

Request for an Ordinance to connect to City wastewater facilities adjacent to **Council District 3**.

915 South Sheridan Boulevard, Lakewood, CO 80226

2017-SUDP-0004597

3. Requesting Agency: Public Works DES

4. Contact Person: *(With actual knowledge of proposed ordinance/resolution.)*

- **Name:** Jim Turner
- **Phone:** 720-865-3033
- **Email:** Jim.Turner@denvergov.org

5. Contact Person: *(With actual knowledge of proposed ordinance/resolution who will present the item at Mayor-Council and who will be available for first and second reading, if necessary.)*

- **Name:** Angela Casias
- **Phone:** 720-913-8529
- **Email:** angela.casias@denvergov.org

6. General description of proposed ordinance including contract scope of work if applicable:

This is a property outside of the limits of the City that needs to connect to City wastewater facilities, which requires an Ordinance.

****Please complete the following fields:** *(Incomplete fields may result in a delay in processing. If a field is not applicable, please enter N/A for that field.)*

- a. **Contract Control Number:** N/A
- b. **Duration:** Permanent
- c. **Location:** 915 South Sheridan Boulevard, Lakewood, CO 80226
- d. **Affected Council District:** Council District 3
- e. **Benefits:** N/A
- f. **Costs:** N/A

7. Is there any controversy surrounding this ordinance? (Groups or individuals who may have concerns about it?)
Please explain.

None

To be completed by Mayor's Legislative Team:

SIRE Tracking Number: _____

Date Entered: _____

**A POWER OF ATTORNEY MAY AFFECT YOUR LEGAL RIGHTS,
LEGAL ADVICE SHOULD BE OBTAINED IN THE DRAFTING OF
ANY POWER OF ATTORNEY**

LIMITED POWER OF ATTORNEY

That the Undersigned hereby appoints , TitleOne of Colorado, Inc. to be my attorney in fact, to act for me only as to the matters stated below:

Address of Property: **915 S. SHERIDAN BLVD., LAKEWOOD, CO 80226**

Legal Description: **TRACT 110,
KELTON HEIGHTS,
COUNTY OF JEFFERSON,
STATE OF COLORADO.**

Date of Closing: **MAY 29, 2015**

Name of Seller: **WAYNE A. BRAYER, JR.**

Name of Buyer/Borrower: **ERMILO CHAVEZ AND CONCEPCION ESMERALDA CHAVEZ**

Name of Lender making new loan:

POWERS:

In the event a clerical or typographical error is discovered on any document pertaining to this transaction, my agent is hereby authorized to correct any clerical or typographical error and to initial, sign, seal and deliver as my act, any instrument which my agent determines to be necessary to effectuate the correction. Specifically, my agent may make a correction limited to the matters stated below on an original document, and is authorized to rerecord that original document where appropriate. The undersigned declares that any and all corrections made by my agent shall be as valid as if they had been initialed, signed, and delivered by me personally. The undersigned ratifies whatsoever my said agent shall lawfully do or cause to be done in the correction of clerical typographical errors as limited below.

LIMITATIONS:

My agent is authorized to correct clerical and typographical errors as to the names of the parties to this transaction; the legal description or street address of the real property which is the subject of this transaction; and the date of any document.

My agent is not authorized to make any changes or corrections as to the interest rate stated on the deed of trust or promissory note; the amount of the principal indebtedness stated on the deed of trust or promissory note; or the amount of consideration stated on the deed.

This Power of Attorney is made of my own free will for the purpose of facilitating necessary corrections. The undersigned understands that signing this Power of Attorney is not mandatory.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this day of **May 29, 2015**



EXECUTIVE SUMMARY

Project Title: 2017-SUDP-0004597 Request for an Ordinance to connect to City wastewater facilities for 915 S. Sheridan Blvd, Lakewood, CO.

Description of Proposed Project: This is a property outside of the limits of the City that needs to connect to City wastewater facilities, which requires an Ordinance.

Explanation of why the public right-of-way must be utilized to accomplish the proposed project: N/A

Has a Temp MEP been issued, and if so, what work is underway: N/A

What is the known duration of an MEP: N/A

Will land be dedicated to the City if the vacation goes through: N/A

Will an easement be placed over a vacated area, and if so explain: N/A

Will an easement relinquishment be submitted at a later date: N/A

Additional information: None.

SITE NOTES

- I. RETAINING WALLS OVER 30-INCHES IN HEIGHT MUST BE ENGINEER APPROVED AND RECEIVE SEPERATE APPROVAL. THE WALL MUST BE SETBACK FROM THE PROPERTY LINE A MINIMUM DISTANCE OF THE WALL HEIGHT.
2. GARAGES MUST BE SETBACK A MINIMUM OF 18-FEET FROM THE BACK OF THE SIDEWALK.
3. NO STRUCTURES OVER 30 INCHES IN HEIGHT, INCLUDING BUT NOT LIMITED TO DECKS, COVERED PATIOS, SUNROOMS, STAIRS, AND PATIOS SHALL BE ALLOWED WITHIN THE MINIMUM SETBACK REQUIREMENT.
4. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE AS REQUIRED BY LOCAL STANDARDS TO AN APPROVED RECEPTOR OR EQ.
5. CONTRACTOR TO VERIFY HORIZONTAL PLACEMENT AND FINISH FLOOR ELEVATIONS WITH OWNER AND ARCHITECT PRIOR TO EXCAVATIONS.
6. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS, EASEMENTS, PROPERTY LINES, ETC. PRIOR TO STARTING WORK. SHOULD ANY DISCREPANCIES, OMISSIONS, OR ERRORS OCCUR, NOTIFY THE ARCHITECT IMMEDIATELY.
7. (T.O.F.) INDICATES MINIMUM TOP OF FOUNDATION.
8. SEWER INVERT ELEVATION IS TO BE VERIFIED FOR THE POSSIBLY OF A LIFT STATION NECESSARY FOR BASEMENT SERVICE.
9. ANY GRADING SHOWN IS ONLY A GUIDE AND SHALL NOT BE USED FOR CALCULATING EXACT EXCAVATION QUANTITIES.
10. AN OPEN HOLE INSPECTION PERFORMED BY A LICENSED CIVIL ENGINEER IS HIGHLY RECOMMENDED TO VERIFY THAT SOILS ENCOUNTERED MATCHES THAT DESCRIBED IN THE SOILS REPORT.
- II. IT IS RECOMMENDED THAT BASEMENTS FOUNDED ON EXPANSIVE SOILS NOT BE FINISHED UNTIL THE RECOMMENDATION OF THE FOUNDATION ENGINEER.
12. WHERE DRAINS OCCUR THE DRAIN SHALL BE RUN TO DAYLIGHT WITH A SLOPE OF AT LEAST 1/4' PLF. AS AN ALTERNATIVE, THE DRAIN MAY BE RUN TO A SUMP, THEN PUMPED AWAY FROM THE FOUNDATION.
13. ALL EXTERIOR CONC. FLATWORK TO BE A MIN. 4" THICK 3,000 PSI CONC. W/ FIBER MECH, OVER 2" THICK GRAVEL OR COMPAKTED SAND BASE OVER PROPERLY COMPACTED GRADE. VERIFY FINISH W/ OWNER.
14. SITE PLAN IS BASED UPON KELTON HEIGHTS LOT LINE ADJUSTMENT NO.1 PLAT DRAWING.
15. ALL MATERIALS TO BE DISPOSED OF OFF-SITE ARE TO BE DISPOSED OF IN A LAWFUL LANDFILL AND IN ACCORDANCE WITH GOVERNMENT REQUIREMENTS.
16. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

OWNERS:
ERMILO CHAVEZ AND
CONCEPCION ESMERALDA CHAVEZ
PHONE: 720-308-2926

NOTE:
CONTRACTOR SHALL
VERIFY ALL FOUNDATION
DIMENSIONS WITH THE
FOUNDATION PLAN.

PROPERTY ADDRESS:
915 SOUTH SHERIDAN BLVD., LAKEWOOD, CO 80226

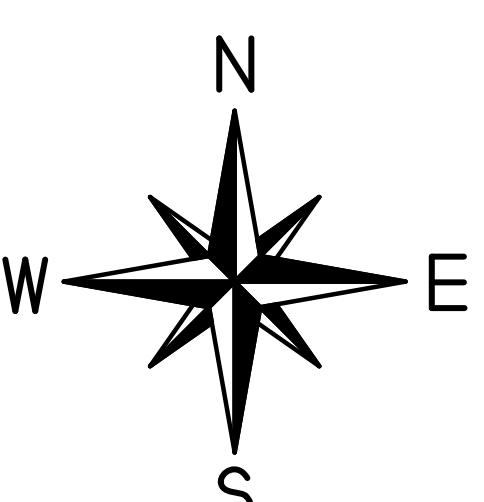
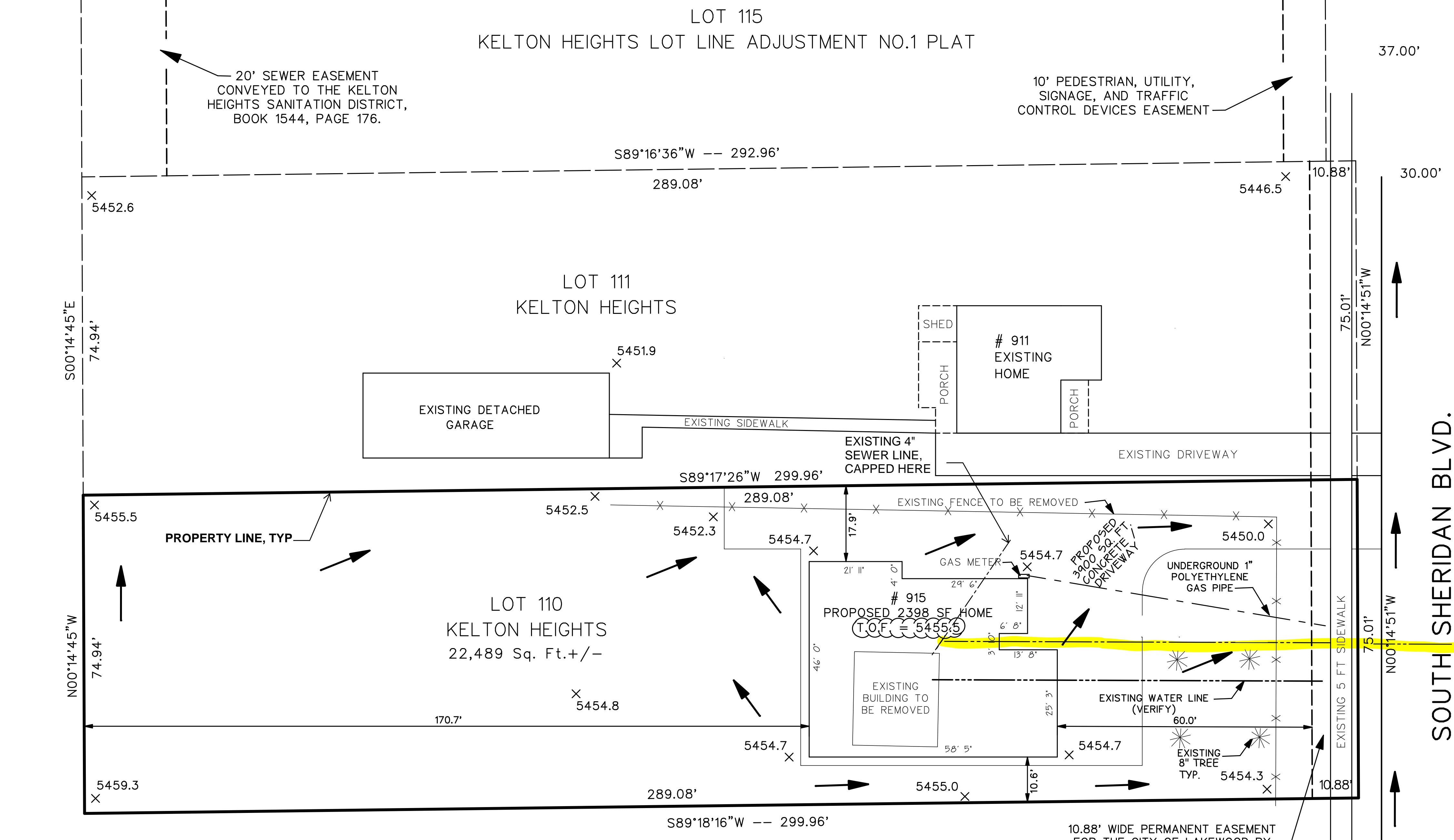
PLOT PLAN: TRACT 110, KELTON HEIGHTS,
PART SE1/4, SECTION 13, T4S, R69W, CITY OF
LAKEWOOD, JEFFERSON COUNTY, COLORADO.

ALPHA SURVEYING CO.

P.O. BOX 392, FORT LUPTON, COLORADO 80621
CELL/TEXT: 303-550-3374
E-MAIL: ALPHASURVEYING@AOL.COM

PATH: D:\134S9 ERMIL 915 S.SHERIDAN PLOT15.VCD	CONTACT: ERMIL CHAVEZ
REVISIONS	BY
FDBK: DATA	DATE: APRIL 4, 2017

PG: COLL. FILE NO. 13-4S9-08



ORIGINAL
SCALE: 1" = 15'
0 7.5' 15' 30'

DISTANCE UNITS NOTE:
THE LINEAR UNIT FOR THE
DISTANCE MEASUREMENTS
SHOWN HEREON IS THE
U.S. SURVEY FOOT.
(1200/3937 METERS)

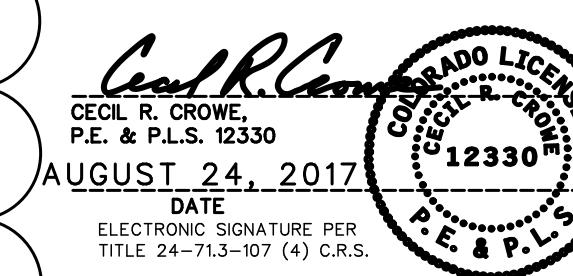
SITE DATA		
TYPE	COVERAGE	%
EXISTING BUILDINGS (TO BE REMOVED)	441 SQ. FT.	2%
NEW BUILDINGS	2399 SQ. FT.	10%
DRIVEWAY AREA	4029 SQ. FT.	17%
OPEN SPACE	16061 SQ. FT.	73%
TOTAL LOT AREA	22489 SQ. FT.	100%

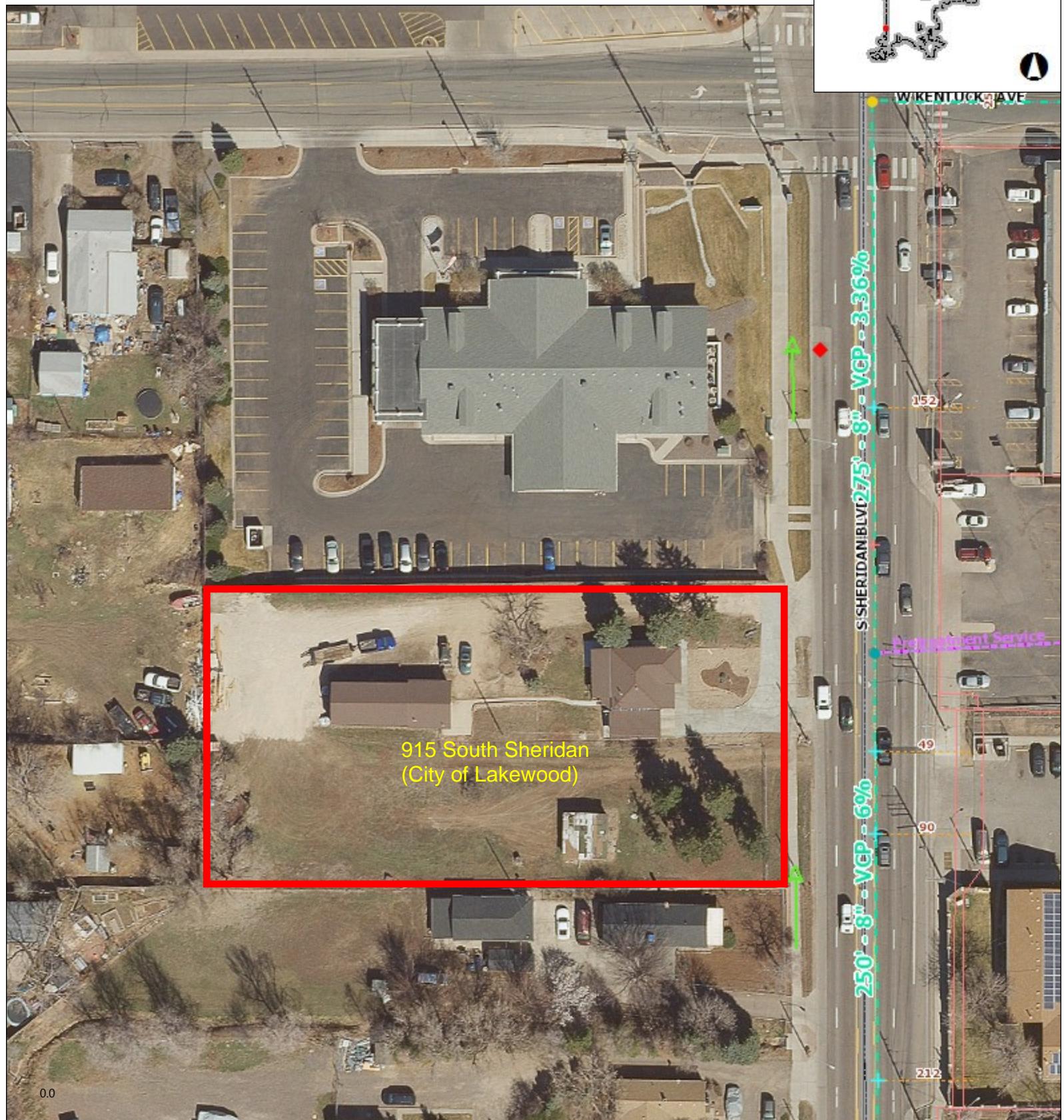
SURETY

LANDSCAPING SHALL BE INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY (CO). IN THE EVENT THAT WEATHER CONDITIONS PREVENT INSTALLATION OF LANDSCAPING, THE OWNER WILL BE REQUIRED TO POST COLLATERAL WITH THE CITY AND SIGN A COLLATERAL AGREEMENT PRIOR TO THE INSURANCE OF A CO. UPON SUCCESSFUL INSTALLATION OF THE REQUIRED LANDSCAPING, THE COLLATERAL BE REFUNDED TO THE DEPOSITOR LISTED ON THE AGREEMENT. FAILURE TO INSTALL THE REQUIRED LANDSCAPING WILL RESULT IN FORFICTION OF THE LANDSCAPE COLLATERAL. THE CITY OF LAKEWOOD DOES NOT ISSUE A TEMPORARY CERTIFICATE OF OCCUPANCY.

MAINTENANCE

THE LAND OWNERS, OR SUCCESSORS IN INTEREST SHALL BE RESPONSIBLE FOR THE REGULAR AND PROPER MAINTENANCE OF ALL LANDSCAPING ELEMENTS INSTALLED ON THE RIGHT-OF-WAY OR ON PRIVATE PROPERTY, FROM THE BACK OF CURB OF THE STREET AND TO KEEP THEM IN GOOD AND HEALTHY CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS, LITTER AND ALL LANDSCAPING STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED AS NECESSARY TO MAINTAIN THEM IN A STRUCTURALLY SOUND CONDITION.





The City and County of Denver shall not be liable for damages of any kind arising out of the use of this information. The information is provided "as is" without warranty of any kind, express or implied, including, but not limited to the fitness for a particular use.



BANCROFT CLOVER WATER & SANITATION DISTRICT

November 7, 2017

Mr. Ermilo Chavez
990 S. Garrison St.
Lakewood, CO 80226

RE: Sanitary sewer service at 915 S. Sheridan Blvd. Lakewood, CO 80226

Dear Mr. Chavez,

I am writing regarding your request for sanitary sewer service at 915 S. Sheridan Boulevard, Lakewood CO, 80226. This property is located within the boundaries of Bancroft-Clover Water & Sanitation District and can be served potable water from the District's system. However, the District has no sanitary sewer facilities in the area that can serve the property. Due to the lack of District sanitary sewer facilities available to serve this property, the District grants its permission for you, as the property owner, to seek sanitary sewer service from the City and County of Denver. Potable water service will continue to be served from Bancroft-Clover Water & Sanitation District.

Thank you,


Tim Lowe
District Manager
Bancroft-Clover Water & Sanitation District



CITY AND COUNTY OF DENVER

Department of Public Works - Development Services



Sewer Use and Drainage Permit

Address:

915 S. Sheridan Blvd. (Outside of City Limits)

Permit # 2017-SUDP-0004597

Project Name: New SFR

DRAFT

Application Date: 11/14/2017		Ready Date: 11/14/2017				
Type of Work: New Service Area Code: 04080000		Use: Residential SFRE: 1	Reduced or Exempt Fee: Tap Size: 0.75			
Fee Type	Fund/Org/No	Fee Amount	Transaction Number	Payment Date	Void	
Report to Metro:	Total Permit Fees:		Exemption or Fee Reduction:			

Upon proper inspection and issuance of a Sewer Connection Permit and compliance with the terms and conditions of this Permit as well as those of the associated Application, authorization to connect to the sewer system is hereby granted. All Wastewater Management Division rules and regulations, criteria, standards, details, etc., shall apply as a minimum unless specifically exempted in writing. All inspection requests must be called in to Wastewater, at the (303) 446-3759 number, no later than 3:30 P.M. on the previous business day. No inspection requests will be accepted after 3:30 P.M. If work under this Permit is not properly completed, this Permit shall become void. If work under this Permit is not commenced within one year from the date of issuance or, if after partial completion, the work is discontinued for a period of one year, this Permit shall become void. Failure to comply with this Permit may result in the imposition

TYPE OF CONNECTION: New

DRAFT
REQUIRED INSPECTIONS FOR THIS PERMIT

See permit conditions below for more detailed information.

Inspection Type	Inspection Status	Inspection Scheduled Date/Inspection Date
Sanitary Sewer Inspection	Pending	

SEWER PERMIT CONDITIONS:	
Number:	Condition:
1	This permit is issued for one (1) Single Family Residence with detached garage only (located in City of Lakewood, Jefferson County) with sanitary sewer service line connection to a sanitary sewer main located within the City and County of Denver only. Any additional Residential Unit (Carriage Unit, Accessory Dwelling Unit, etc.) to this property will require a Supplemental Sewer Use and Drainage Permit.
2	Any future additions to, modifications of, or changes of use to this residential structure must be reviewed and approved in writing by the city and County of Denver Development Services for potential impacts to a Denver Public Sanitary Main. Sanitary sewer connection fees, in accordance with RMC Chapter 56, Article 3, Division 3, Sec 56-92.5, will apply to this project and are non-refundable.
	Billing for ongoing carriage, treatment and disposal charges will be based on water usage and shall be 150% of the amount that would be charged for areas inside the boundaries of the city per residential connection or residential equivalent, in accordance with RMC Chapter 56, Article 3, Division 3, Secs. 56-97 through 56-101.

Office Copy

Site Copy - MUST BE POSTED ON SITE

Printed On: 12/22/2017

Issued Date:

Issued By:

Page 1 of 3

Billing for this property will be sent directly to the owner of this property to address:

915 S. Sheridan Blvd.
Lakewood, CO 80226

3 Increases to carriage, treatment and disposal charges may occur from time to time and will apply at the same rate / time for this property as for all other Denver Residents.

4 A copy of the domestic water tap application (Application for Water Supply License) for the new three quarter (3/4) inch domestic water tap must be submitted to PWPO, PRIOR to any sanitary building sewer construction or connection.

5 Anytime an existing domestic water tap is reactivated or increased in pipe size, or a new domestic water tap is added, a Sewer Use & Drainage Permit must be obtained from Development Services
ANY CHANGE IN THE BUILDING SEWER SIZE, CONFIGURATION OR LOCATION, FROM WHAT WAS ORGINALLY SUBMITTED AND APPROVED BY DEVELOPMENT SERVICES MUST BE RESUBMITTED FOR REVIEW AND APPROVAL PRIOR TO ANY SANITARY BUILDING SEWER CONSTRUCTION.

6 Any portion of the building sewer being built over, or any portion within two (2) feet of a building, must be replaced with approved material (Schedule 40 PVC, ABS/DWV, or Cast Iron pipe). All new and replaced sewers beyond two (2) feet from the building must be inspected and approved by PW DES Plumbing Inspection.

7 NO SANITARY EJECTORS ARE AUTHORIZED UNDER THE TERMS OF THIS PERMIT

The properly licensed sewer contractor must confirm if the existing public sanitary main has been lined prior to connection. The connection to the main shall be coordinated with the PW WMD Plumbing Inspector as to the proper connection method, if the public sanitary main is lined.

A 1:1 ratio to the bearing point must be maintained on all sanitary service lines.

The new four (4) inch building sewer service line and connection to the existing eight (8) inch public sanitary main (ID#26293SAGM) in S. Sheridan Boulevard via WYE FITTING (NO CORE DRILLING), must be inspected and water tested by PWDES Plumbing Inspection. Installation must conform to PW WMD standards regarding workmanship and materials, to include the use of Class B bedding material conforming to ASTM C-33, gradation size 67. All work must be done by a properly licensed Plumbing or Sewer Contractor and the licensed Plumbing or Sewer Contractor must call PWPO at 303-446-3759 with valid license and permit numbers, no later than 3:30 P.M. on the previous business day, to schedule inspections.

8 The properly licensed sewer contractor must coordinate all cleanout locations AND SIZES with the PW WMD Plumbing Inspector. An approved type of two-way cleanout shall be installed outside of the building near the connection between the building drain and building sewer, on ALL building sewer lines exiting the building or in compliance with section 708 of the 2009 IPC. Cleanouts are NOT permitted to be located in the garage floor slab or in the public right-of way. All cleanouts located within vehicle travel paths must be equipped with traffic-rated cleanouts. Additional cleanouts shall be installed at intervals not to exceed 100 feet and for each aggregate horizontal change in direction exceeding 135 degrees.

9 A pH level of 5.0 or above must be maintained prior to discharge to the sanitary sewer.

10 All construction activities associated with this permit are subject to the conditions and requirements of Erosion & Sediment Control / Construction Activities Stormwater Discharge Permit as reviewed and approved by Lakewood, Jefferson County.

PLEASE NOTE: The owner/developer is responsible for improvements/repairs in the right-of-way adjacent to this site. No Certificate of Occupancy will be validated by Public Works Construction until these improvements/repairs are complete. Contact the DES Construction Inspector PRIOR to starting construction. Call 303-446-3469 for the name and number of the area inspector. Any work within the public right-of-way will require a Street Cut, Construction, and/or Street Occupancy Permit(s) from Public Works Permit Operations, located at 2000 W. 3rd Ave., Room 107, phone number 303-446-3759. It is the Licensed Contractor's responsibility to obtain the proper permit(s).

FLOODPLAIN PERMIT CONDITIONS:

Number: Condition:

Standard Comments and Condition:

Conditions:

Anytime an existing domestic water tap is reactivated or increased in pipe size, or a new domestic water tap is added, a Sewer Use & Drainage permit must be obtained from Development Services.

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PLEASE NOTE: The owner/developer is responsible for improvements/repairs in the right-of-way adjacent to this site. No Certificate of Occupancy will be validated by Public Works Construction until these improvements/repairs are complete. Contact the DES Construction Inspector PRIOR to starting construction. Call 303-446-3469 for the name and number of the inspector. Any work within the public right-of-way will require a Street Cut, Construction, and/or Street Occupancy Permit(s) from Public Works Permit Operations, located at 2000 W. 3rd Ave., Room 107, phone number 303-446-3759. It is the Licensed Contractor's responsibility to obtain the proper permit(s).

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