



PERMIT AMENDMENT APPLICATION

FOR ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT-OF-WAY

If an Encroachment Permittee desires to make changes to their approved Encroachment and/or the associated Encroachment Permit, the Permittee shall first obtain an Encroachment Permit Amendment. Encroachment Permit Amendments will be approved by either Department of Transportation & Infrastructure (DOTI) or City Council in the same way the Encroachment Permit was originally approved. Questions on this application or the process can be sent to DOTI.ER@denvergov.org.

APPLICATION REQUIREMENTS:

- Completed Amendment Application submitted to DOTI.ER@denvergov.org with the following items:
- Copy of Encroachment Permit, Resolution, or Annual Encroachment Permit Bill
- Permit Amendment Fees (must be paid immediately after ER provides an invoice for your application)
- Revised Permit Application materials in accordance with applicable [Encroachment Permit](#) and

[Small Cell Permit](#) Application Requirements. *Examples include, but are not limited to, revised: plans, calculations, reports, location, area description, permit application with new owner information.*

ENCROACHMENT OWNER/PERMITTEE:

Permittee: _____
Permittee Address: _____
Application Contact: _____
Contact Phone: _____ Contact Email: _____

ENCROACHMENT PERMIT INFORMATION:

Project Name/Description: _____
Permit Number: _____
Adjacent Property Address: _____

REASON FOR PERMIT AMENDMENT *(Please be detailed):*

AUTHORIZED

PERMITTEE SIGNATURE:

DATE: _____

PRINT NAME:

TITLE: _____

COMPANY:

City and County of Denver – Department of Transportation & Infrastructure

Right-of-Way Services | Engineering & Regulatory
201 West Colfax Ave. Dept. 507 | Denver, CO 80202

www.denvergov.org/doti

Phone: 720-865-3003



APPLICATION

FOR ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT-OF-WAY

An Encroachment Permit is required prior to placing privately-owned improvements ("Encroachment" or "Encumbrance") in the public Right-of-Way (ROW). Only Encroachment Permit Applications in accordance with [Rules and Regulations](#) and [Permit Entrance Requirements](#) for Encroachments in the Public Right-of-Way will be considered by the Department of Transportation & Infrastructure (DOTI). **It is the City's sole discretion whether to grant an Encroachment Permit based on any facts the City feels are relevant. Approval is not guaranteed.**

To apply, complete this application and submit together with required application materials in accordance with the [Permit Entrance Requirements](#) to DOTI.ER@denvergov.org. Please type or print clearly. If necessary, attach additional sheets to fully answer any of the following sections. Incomplete applications packages will not be accepted. Questions on this application or the process can be sent to DOTI.ER@denvergov.org.

Check if this application is for Tier Determination only. If checked, the project will not be submitted for full review until confirmation, and remaining submittal requirements, are received by owner.

ADJACENT PROPERTY OWNER:

The adjacent property owner or Authorized Special District will be the Encroachment Owner and Permittee and is the responsible party for the Encroachment in accordance with the Rules and Regulations, including all fees and annual billing.

Company Name: _____
Contact Name: _____
Property Address: _____
Billing Address: _____
Phone: _____ Email: _____

PRIMARY CONTACT:

Check if the same as Adjacent Property Owner

Company Name: _____
Contact Name: _____
Address: _____
Phone: _____ Email: _____



ENCROACHMENT INFORMATION:

Project Name: _____

Adjacent Property Address: _____

Coordinates (Lat/Long): _____

Encroachment Area, in SF: _____

Is this project associated with a LAND DEVELOPMENT REVIEW?

Yes No If 'Yes', provide Project Master, Site Plan and/or Concept Development Project Numbers:

Is the proposed encroachment located in Future Right-of-Way?

Finalizing permit and/or processing resolution for the Encroachment will not occur until the ROW dedication is finalized.

Yes No If 'Yes', provide ROW Dedication Project Number:

Location Description: (e.g. Located on the South side of 23rd Ave, twenty (20) feet from face of curb, and ten (10) feet west of pavement on Private Drive.)

Description of Encroachment:

Describe the proposed encroachment, including the type and quantity of objects.

Reason for Private Improvements in the Public ROW:

Private improvements should be located on private property. Only in cases where there are physical constraints that preclude the placement of private improvements on private property that an encroachment may be considered within the right-of-way. Make your case as to why this is a good use of the public right-of-way.



ATTESTATION:

By submitting this permit application and signing below, I understand and agree to the following:

1. That I am the property owner adjacent to the Encroachment Area, or the authorized representative of a Special District, that is responsible for the placement, maintenance, repair, replacement, removal, site restoration, ownership, or is otherwise responsible for the Encroachment in accordance with the Rules & Regulations for Encroachments and Encumbrances in the Public Right-of-Way.
2. That it is the City's sole discretion to classify the Tier of an Encroachment and whether to grant an Encroachment Permit based on any facts the City feels are relevant. The issuance of an Encroachment Permit confers no rights to the Right-of-Way, the Encroachment Permit is revocable and DOTI can order the removal of the Encroachment and restoration of the Encroachment Area for any reason the City feels relevant.
3. Permittee agrees to defend, indemnify, reimburse and hold harmless the City, its appointed and elected officials, agents and employees for, from and against all liabilities, claims, judgments, suits or demands for damages to persons or property arising out of, resulting from, or relating to an Encroachment Permit and the Encroachment ("Claims"). This indemnity shall be interpreted in the broadest possible manner to indemnify City for any acts or omissions of Permittee or its subcontractors either passive or active, irrespective of fault, including City's negligence whether active or passive.
4. Permittee's duty to defend and indemnify City shall arise at the time written notice of the Claim is first provided to City regardless of whether claimant has filed suit on the Claim. Permittee's duty to defend and indemnify City shall arise even if City is the only party sued by claimant and/or claimant alleges that City's negligence or willful misconduct was the sole cause of claimant's damages.
5. Permittee will defend any and all Claims which may be brought or threatened against City and will pay on behalf of City any expenses incurred by reason of such Claims including, but not limited to, court costs and attorney fees incurred in defending and investigating such Claims or seeking to enforce this indemnity obligation. Such payments on behalf of City shall be in addition to any other legal remedies available to City and shall not be considered City's exclusive remedy.
6. Insurance coverage requirements specified in an Encroachment Permit shall in no way lessen or limit the liability of Permittee under the terms of this indemnification obligation. Permittee shall obtain, at its own expense, any additional insurance that it deems necessary for the City's protection.
7. This defense and indemnification obligation shall survive the expiration or termination of any issued Encroachment Permit.
8. Permittee is fully responsible for all costs to install, maintain, repair, replace, remove, and restore the Encroachment Area, including annual City Encroachment Permit Fees. A lien will be placed on the Permittee's property for failure to remove a revoked or abandoned Encroachment for cost incurred by CCD to remove the Encroachment and restore the Encroachment Area on behalf of the Permittee.
9. Indemnity and Insurance for Tier I and Tier II Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier I or Tier II Encroachment, the Owner of such Tier I or Tier II Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier I or Tier II Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$2,000,000 policy aggregate. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.
10. Indemnity and Insurance for Tier III Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier III Encroachment, the Owner of such Tier III Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier III Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$5,000,000 policy aggregate. A combination of primary and excess coverage may be used to meet the aggregate limit. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.

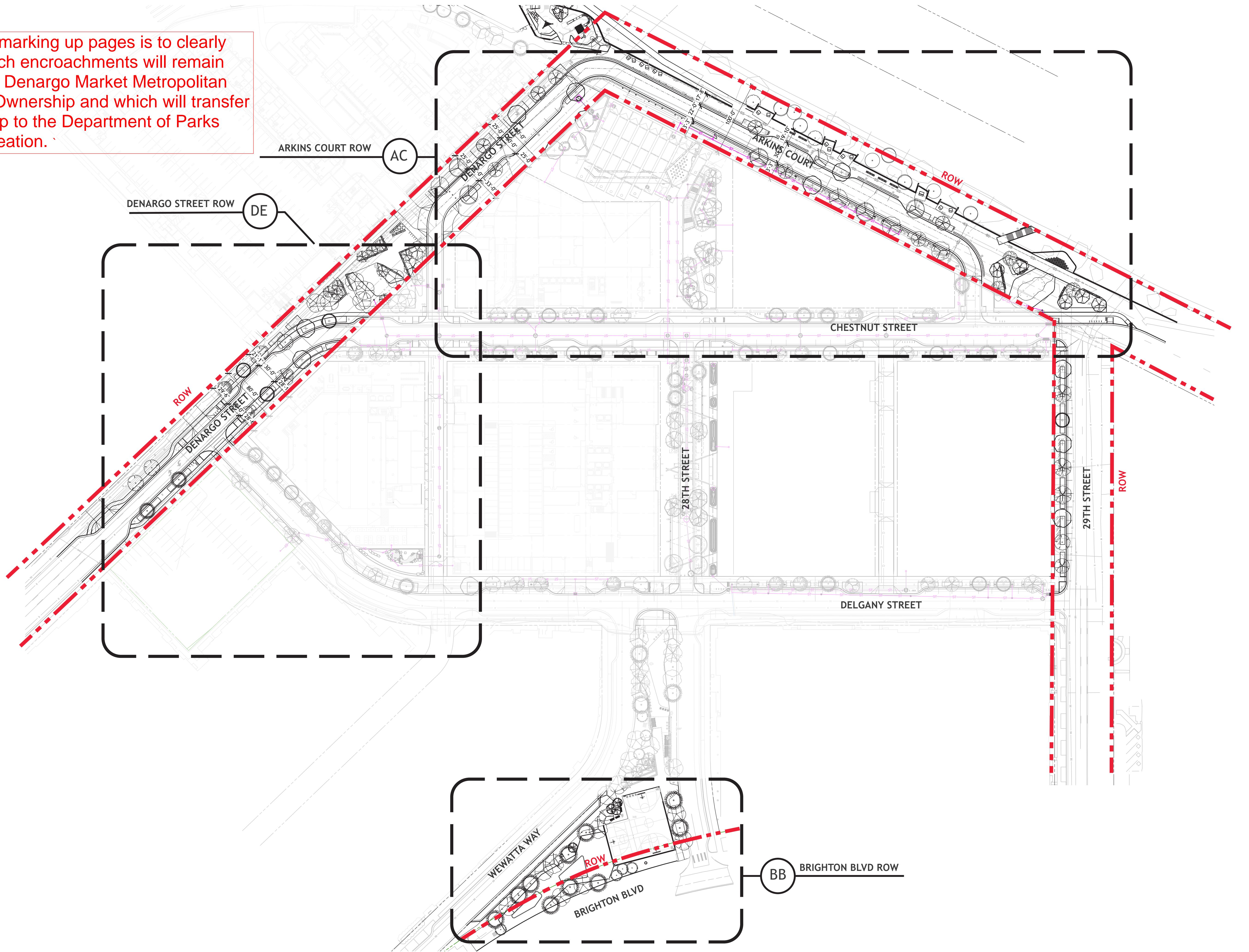
ADJACENT PROPERTY

OWNER SIGNATURE: _____ **DATE:** _____

PRINT NAME: _____ **TITLE:** _____

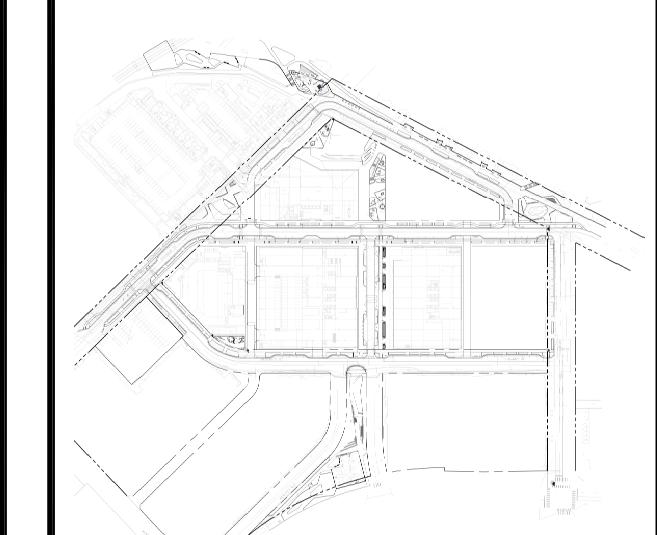
COMPANY: _____

Intent of marking up pages is to clearly show which encroachments will remain under the Denargo Market Metropolitan district's Ownership and which will transfer Ownership to the Department of Parks and Recreation.



NOT FOR CONSTRUCTION

Key Plan



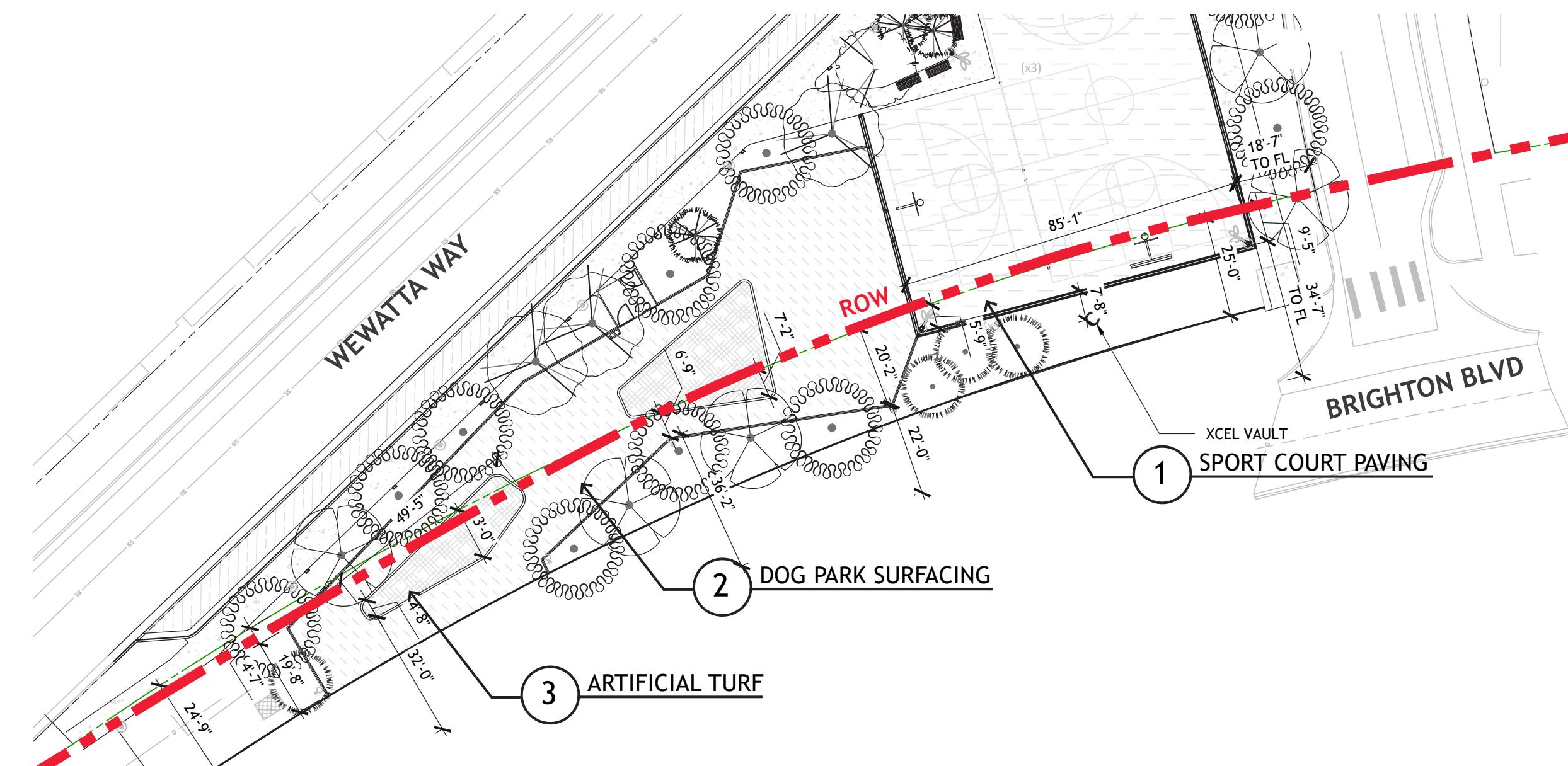
Project Title:
DENARGO MARKET
PUBLIC REALM
& HORIZONTAL
IMPROVEMENTS

Drawing Title:
TEIR II
ENCROACHMENTS

Project No.: 18157.00 Scale: 1"=60'-0"
Drawn By: PP, LT, BT, AS, JP, MS
Checked By: AP, SE, DD
Approved By: JB
Date: 07.08.2022

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No changes this Page

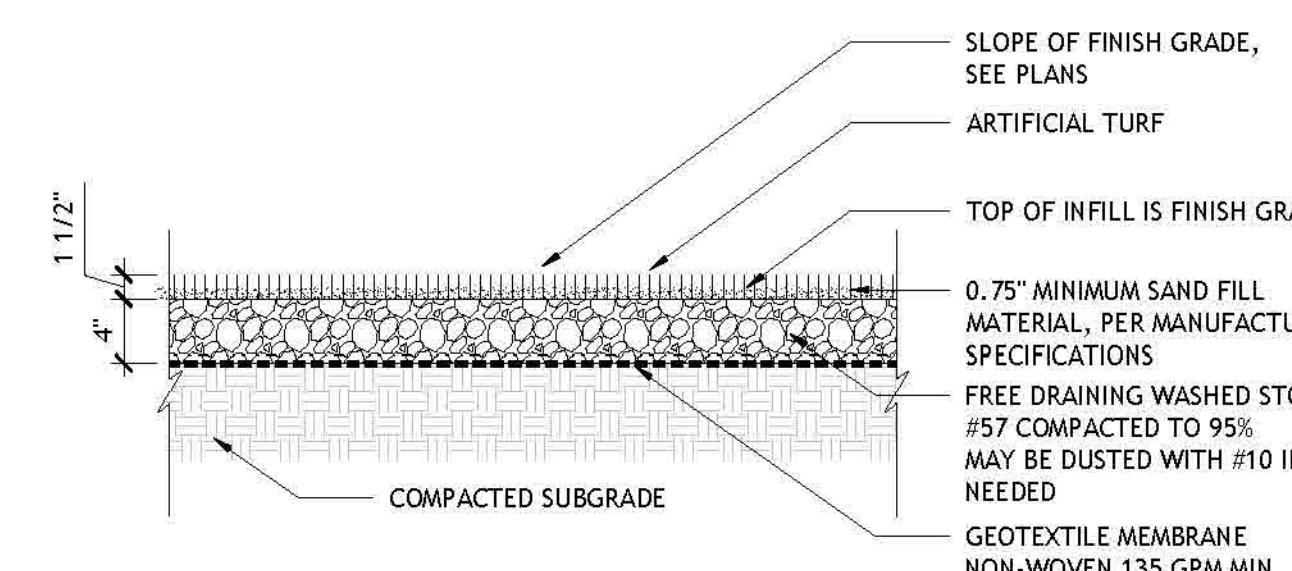


BB BRIGHTON BLVD ROW
1"=30'-0"

NARRATIVE

THE ARTIFICIAL TURF SURFACING PLACED IN THE ROW ALONG BRIGHTON BLVD IS SUITABLE FOR THE PROPOSED DOG PARK PROGRAM.

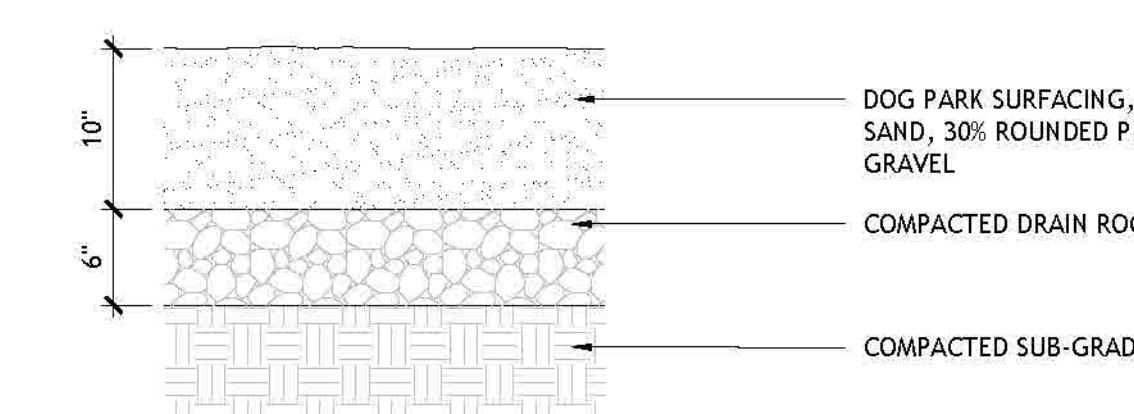
THE ARTIFICIAL TURF SURFACING IS COMPOSED OF POLYETHYLENE, WOVEN TURF MAT, TURF 1-1/4" PILE HEIGHT 1/2" SAND INFILL ON A 6" COMPACTED AGGREGATE BASE COURSE WITH A 4" COMPACTED SUBGRADE.



3 ARTIFICIAL TURF
1"=1'-0"

NARRATIVE

THE SURFACING MATERIAL PLACED IN THE ROW ALONG BRIGHTON BLVD IS SUITABLE FOR THE PROPOSED DOG PARK PROGRAM. THE SURFACING IS COMPOSED OF 70% SAND, 30% PEA GRAVEL MIXTURE.

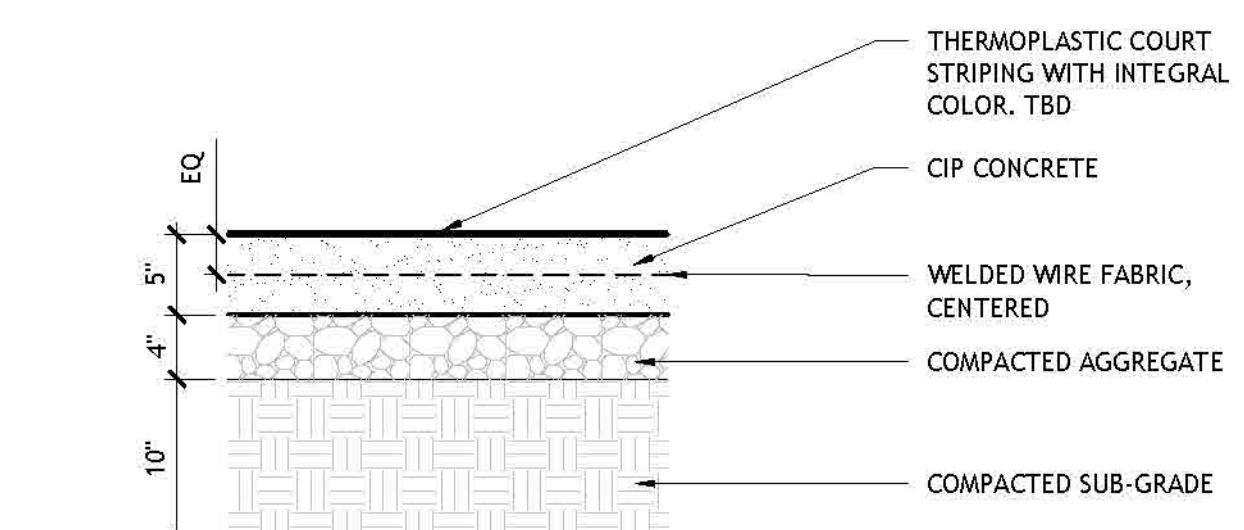


2 DOG PARK SURFACING
1"=1'-0"

NARRATIVE

THE SPORT COURT SURFACING PLACED IN THE ROW ALONG BRIGHTON BLVD IS SUITABLE FOR THE PROPOSED SPORT COURT PROGRAM.

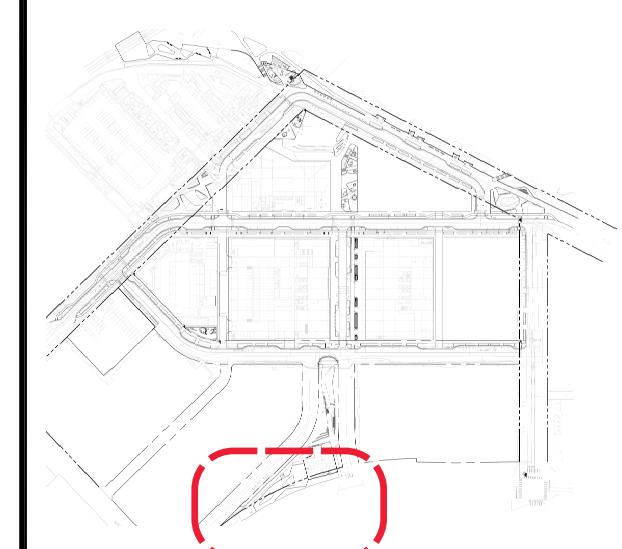
THE SPORT COURT SURFACING IS COMPOSED OF A 4" CAST IN PLACE PORTLAND CEMENT CONCRETE BASE AT 4,000 PSI, 6" COMPACTED SUBGRADE, WITH A MEDIUM BROOM FINISH, 1/4" ACRYLIC SURFACING WITH INTEGRAL COLOR.



1 SPORT COURT PAVING
1"=1'-0"

NOT FOR CONSTRUCTION

Key Plan

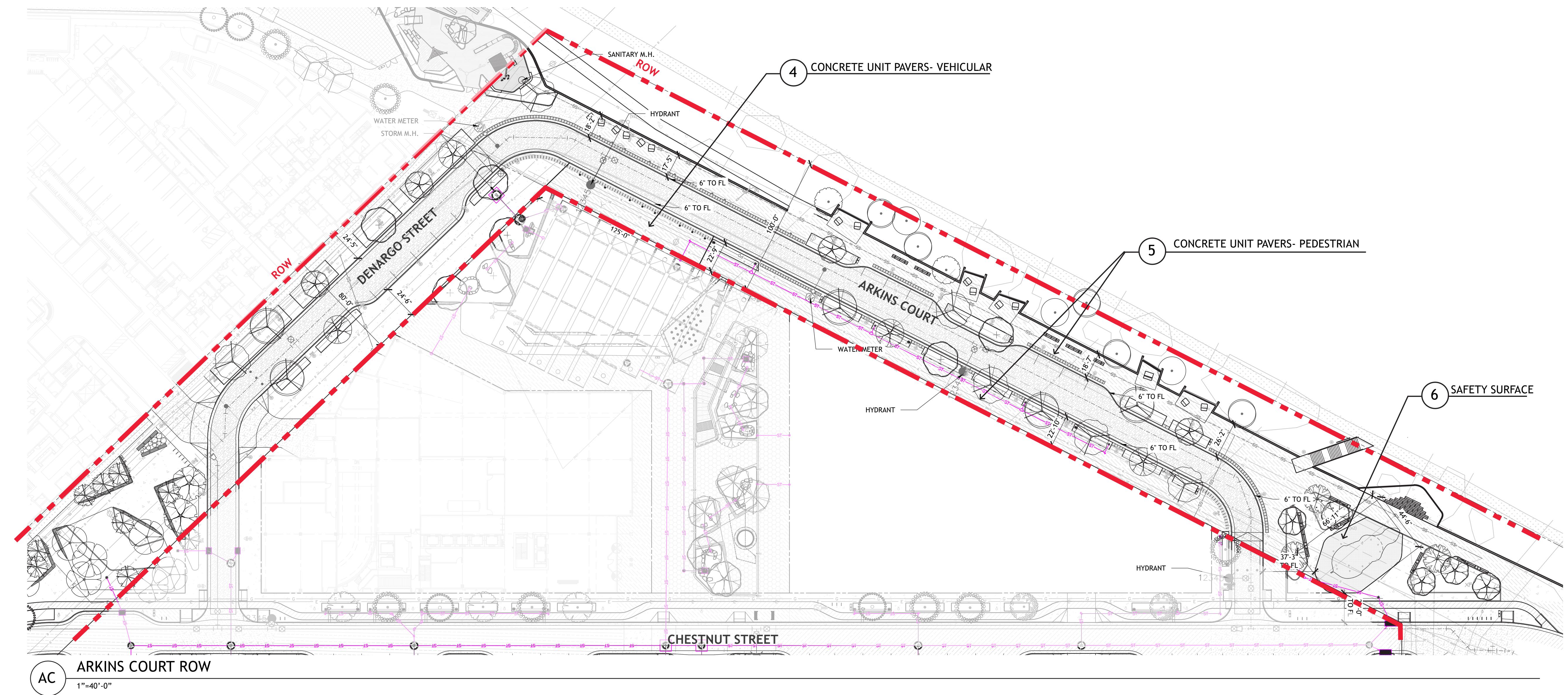


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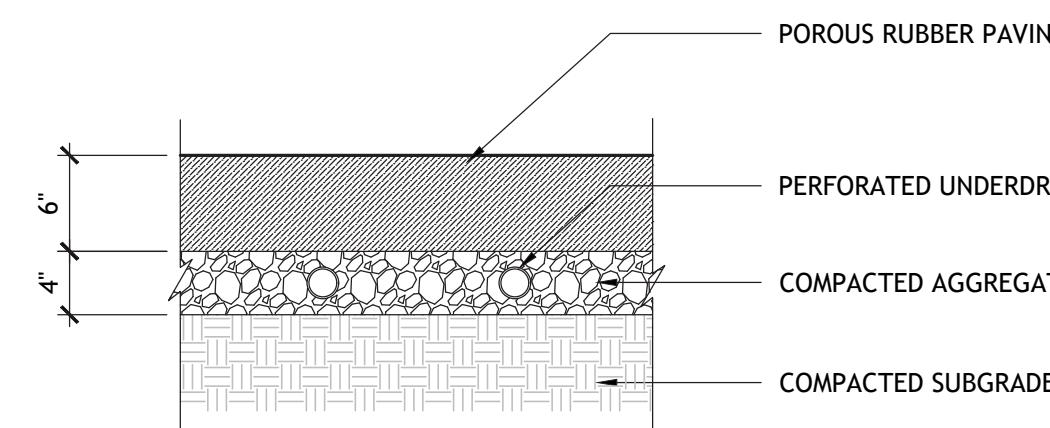
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NARRATIVE

POURED-IN-PLACE PLAY SURFACE IS PROPOSED UNDER THE RINO BOULDERING STRUCTURE IN ORDER TO MEET FALL SAFETY REQUIREMENTS.

CAST IN SPACE RUBBER SURFACING OVER IMPACT ATTENUATION MATERIAL (6" FALL HEIGHT), 4" COMPACTED AGGREGATE UNDERLAYER.



NOTE:
1. SLOPE SUBSURFACE PAVING TO AREA DRAIN. MAINTAIN A MINIMUM SLOPE OF .75%
2. THICKNESS: [1 1/4" (31.75 mm) FOR 4' CRITICAL FALL HEIGHT] [3" (76 mm) FOR 8' CRITICAL FALL HEIGHT] [4" (102 mm) FOR 10' CRITICAL FALL HEIGHT]
3. HOLD EQUIPMENT FOUNDATIONS BELOW BOTTOM OF IMPACT LATER

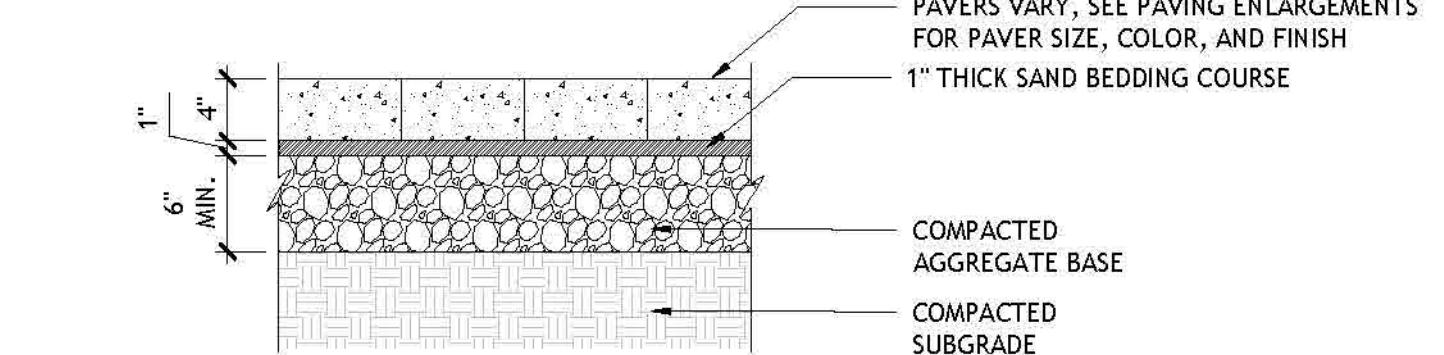
6 SAFETY SURFACE

Ownership to be changed to DPR

NARRATIVE

CONCRETE UNIT PAVERS ARE THE PROPOSED SIDEWALK SURFACING MATERIAL ALONG ARKINS COURT. THE MATERIAL IS PROPOSED IN ORDER TO PROVIDE A HIGH-QUALITY PUBLIC SPACE.

THE CONCRETE UNIT PAVER AREAS WITH PEDESTRIAN TRAFFIC ONLY WILL HAVE THE FOLLOWING PROFILE: 2" CONCRETE UNIT PAVERS ON A 1" BEDDING SAND AND 4" CAST IN PLACE PORTLAND CEMENT CONCRETE, 4,000 PSI, BASE WITH 6" OF COMPACTED SUBGRADE.



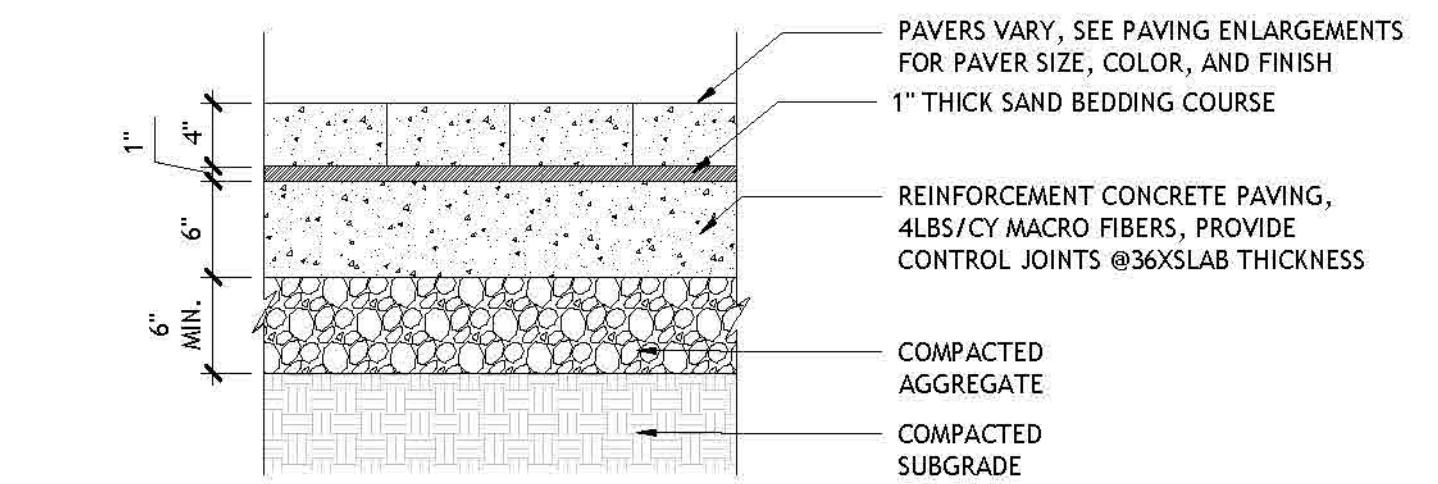
5 CONCRETE UNIT PAVERS - PEDESTRIAN

Both types of Paver's on plan north side of Arkins Ct. roadway to be transferred to DPR. Plan southside of Arkins Ct. to remain unchanged.

NARRATIVE

CONCRETE UNIT PAVERS ARE THE PROPOSED SIDEWALK SURFACING MATERIAL ALONG ARKINS COURT. THE MATERIAL IS PROPOSED IN ORDER TO PROVIDE A HIGH-QUALITY PUBLIC SPACE.

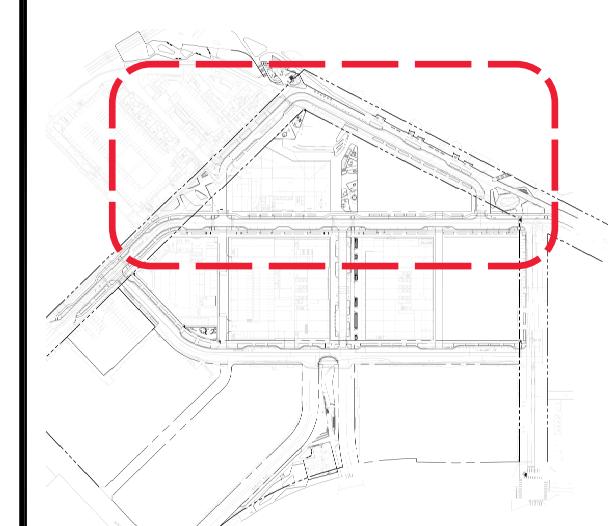
CONCRETE UNIT PAVER AREAS WITH VEHICULAR AND PEDESTRIAN TRAFFIC WILL HAVE THE FOLLOWING PROFILE: 3.5" CONCRETE UNIT PAVERS ON A 1" BEDDING SAND AND 6" REINFORCED CAST IN PLACE PORTLAND CEMENT CONCRETE, 4,000 PSI, BASE WITH REINFORCED WOVEN WIRE MESH ON 6" OF COMPACTED SUBGRADE.



4 CONCRETE UNIT PAVERS - VEHICULAR

NOT FOR CONSTRUCTION

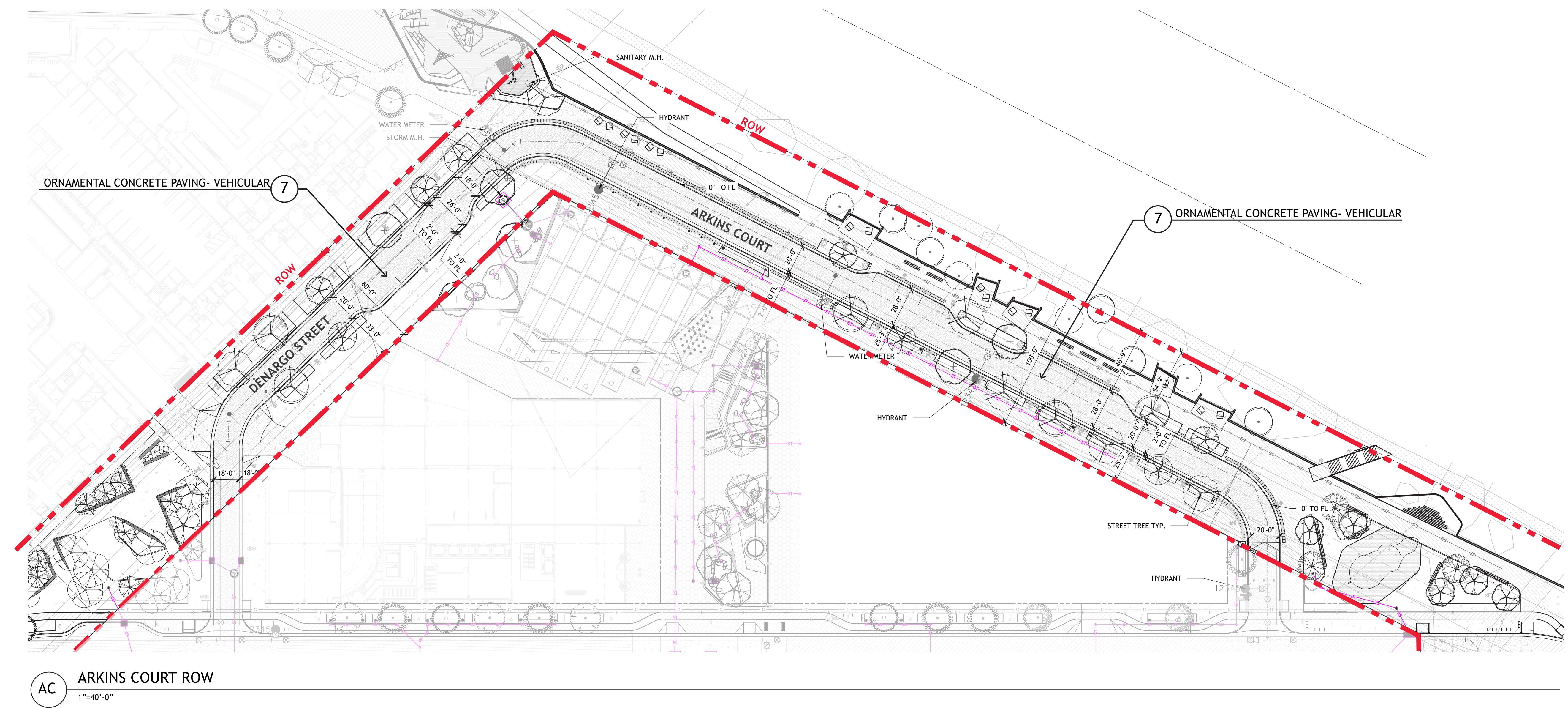
Key Plan



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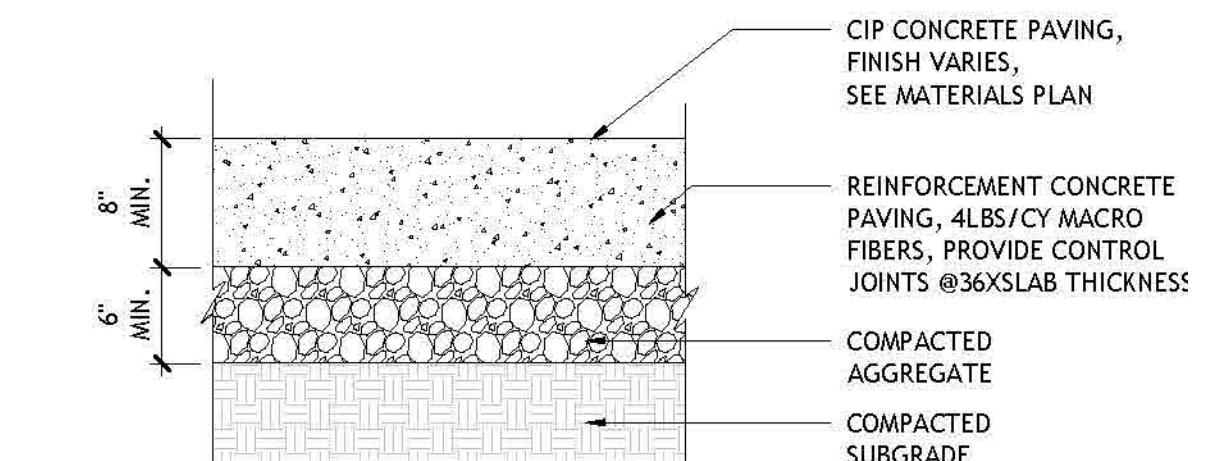


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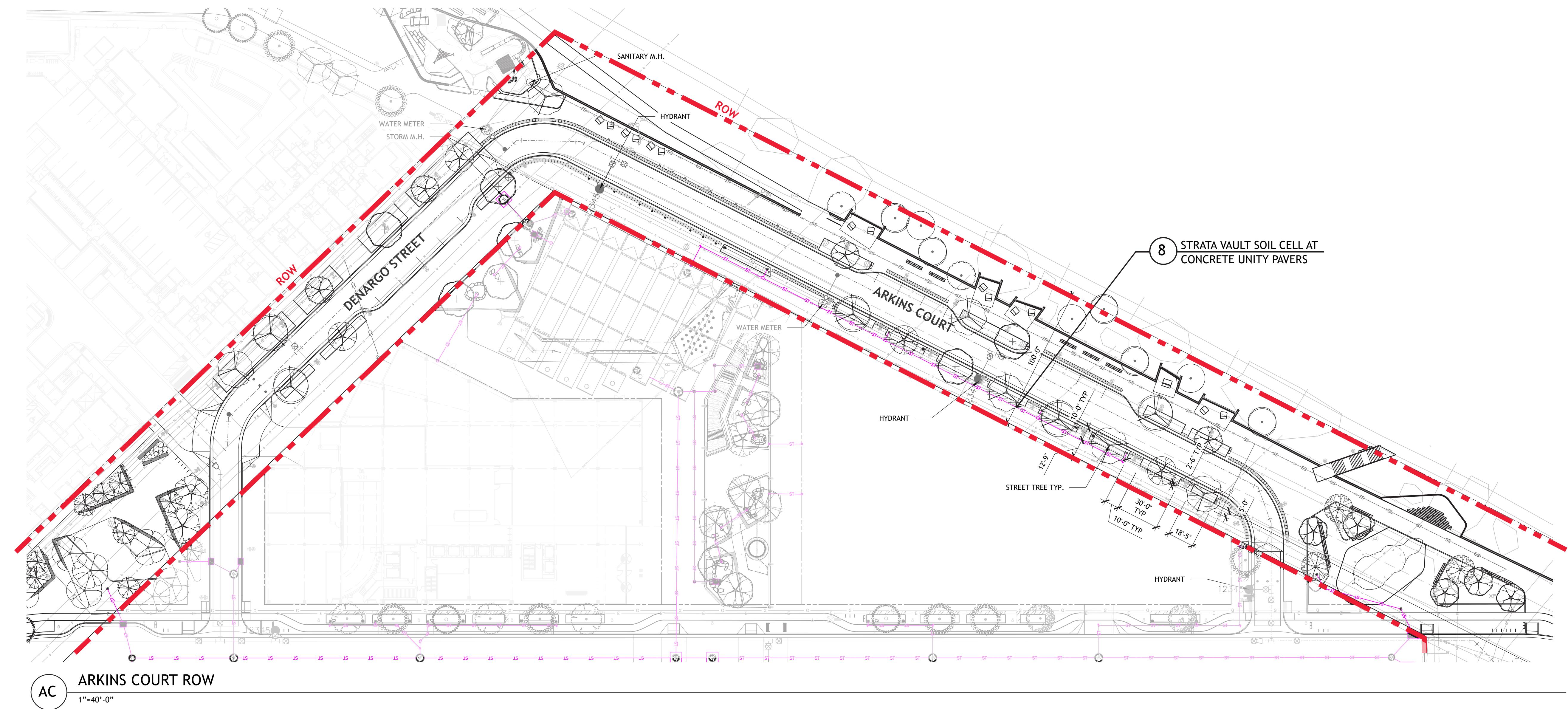
NARRATIVI

ORNAMENTAL CONCRETE, OR CAST-IN-PLACE CONCRETE WITH EXPOSED AGGREGATE FINISH, IS PROPOSED IN THE ROADWAY THROUGHOUT ARKINS COURT. THE MATERIAL IS PROPOSED IN ORDER TO PROVIDE A HIGH-QUALITY PUBLIC SPACE.

THE PROPOSED ORNAMENTAL CONCRETE IS COMPOSED OF 6" REINFORCED CAST IN PLACE PORTLAND CEMENT CONCRETE, 4,000 PSI, REINFORCED WOVEN WIRE MESH, WITH AN ACID WASH FINISH, AND SCORING PATTERN



ORNAMENTAL CONCRETE PAVING - VEHICULAR

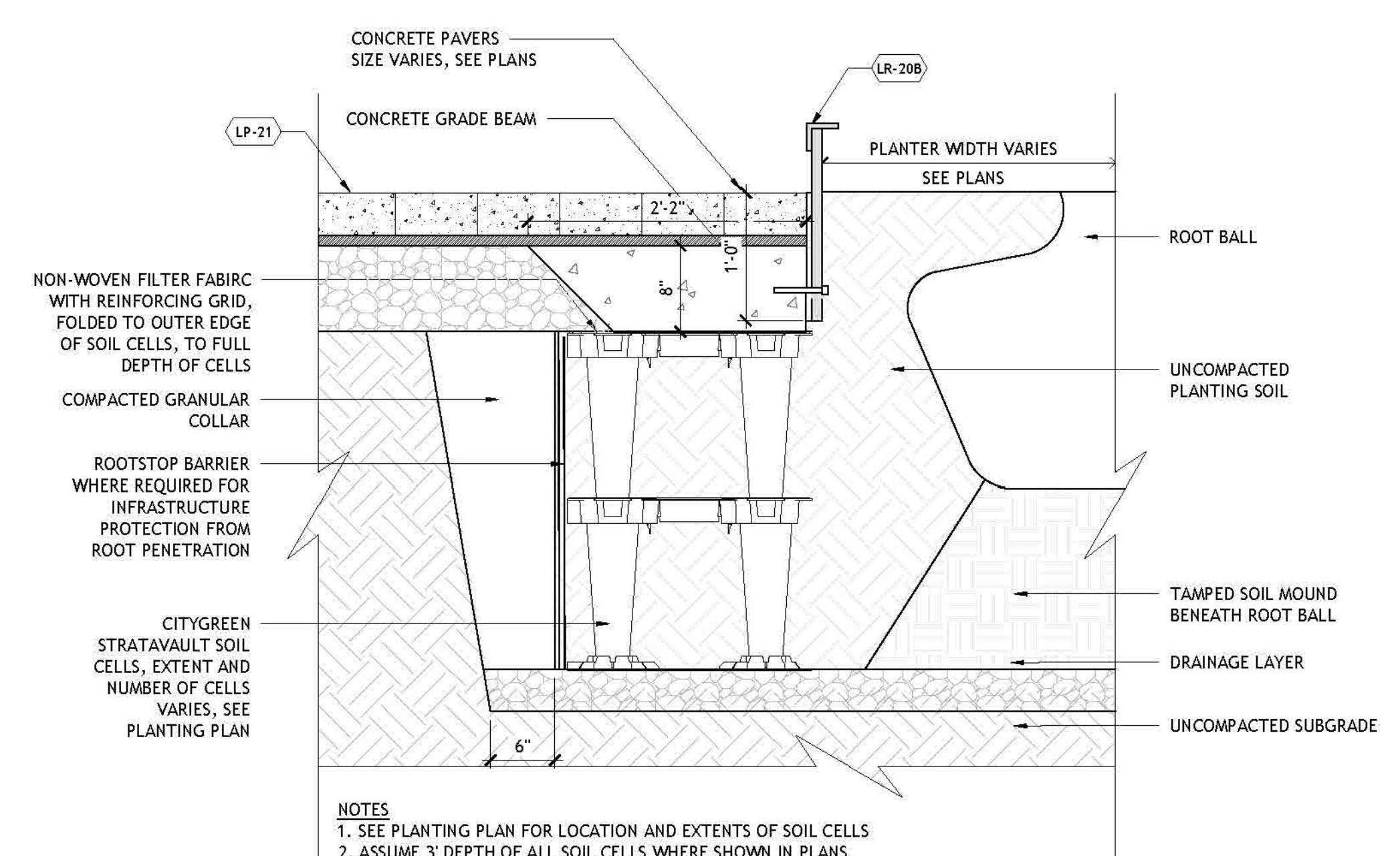


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NARRATIVE

STRATAVULT SOIL CELLS ARE PROPOSED AT STREET TREE PLANTING AREAS ALONG ARKINS COURT. THE STRATAVULT STRUCTURES ARE PROPOSED IN ORDER TO MEET CITY REQUIRED SOIL VOLUMES FOR URBAN TREES.

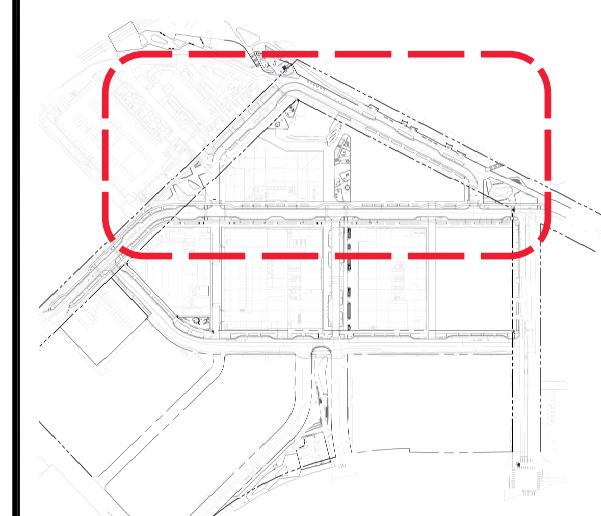
THE STRATAVULT SYSTEM IS STRUCTURAL CELLS, PLACED BELOW PAVEMENT, ARE MODULAR UNITS THAT ASSEMBLE TO FORM A SKELETAL MATRIX THAT SUPPORTS RELEVANT PAVEMENT LOADS WHILE PROVIDING LARGE VOLUMES OF SOIL WITHIN THE STRUCTURE FOR ROOT GROWTH.



8 STRATA VAULT SOIL CELL AT CONCRETE UNIT PAVERS
1"=1'-0"

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Key Plan

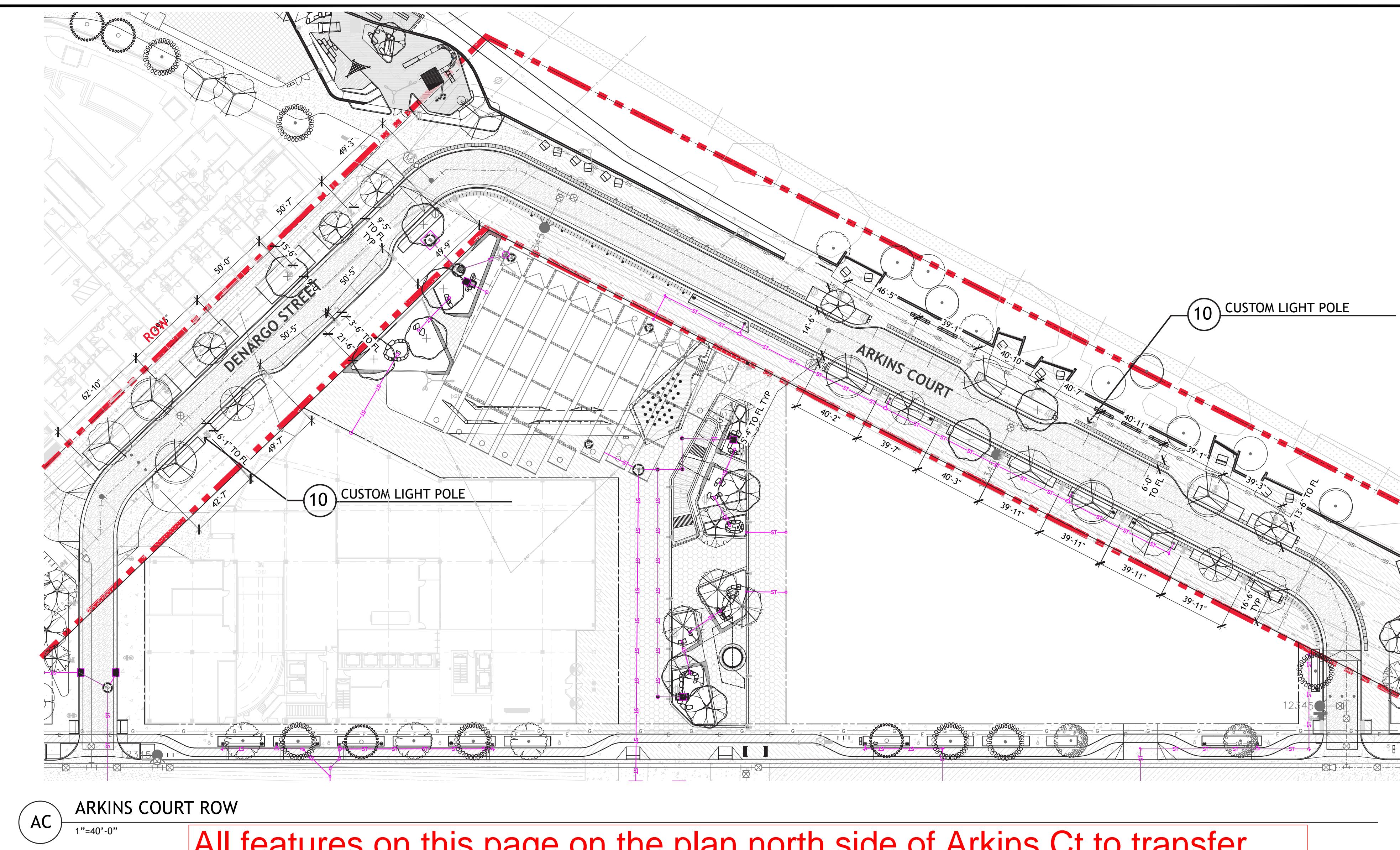


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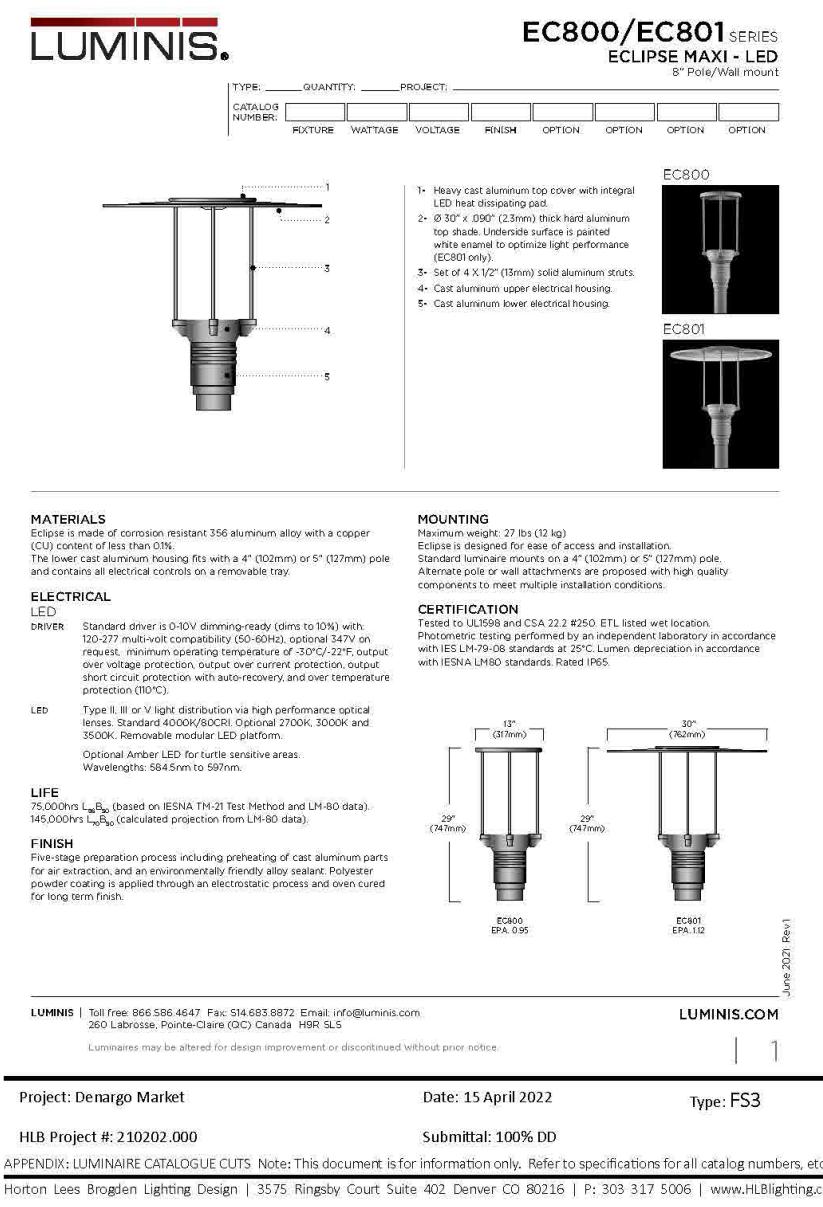
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Checked By: AP, SE, DD
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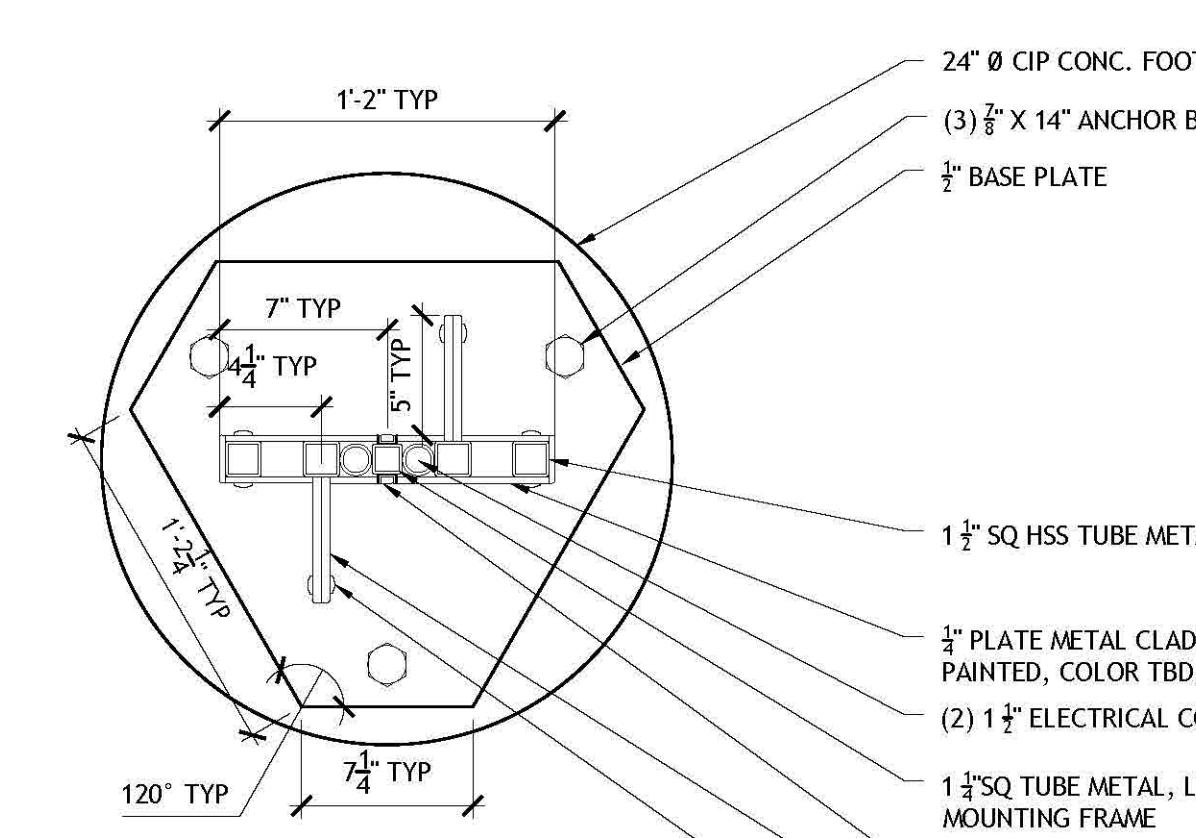


AC ARKINS COURT ROW
1"=40'-0"

All features on this page on the plan north side of Arkins Ct to transfer Ownership to DPR. All features on south side of Arkins Ct to remain unchanged.

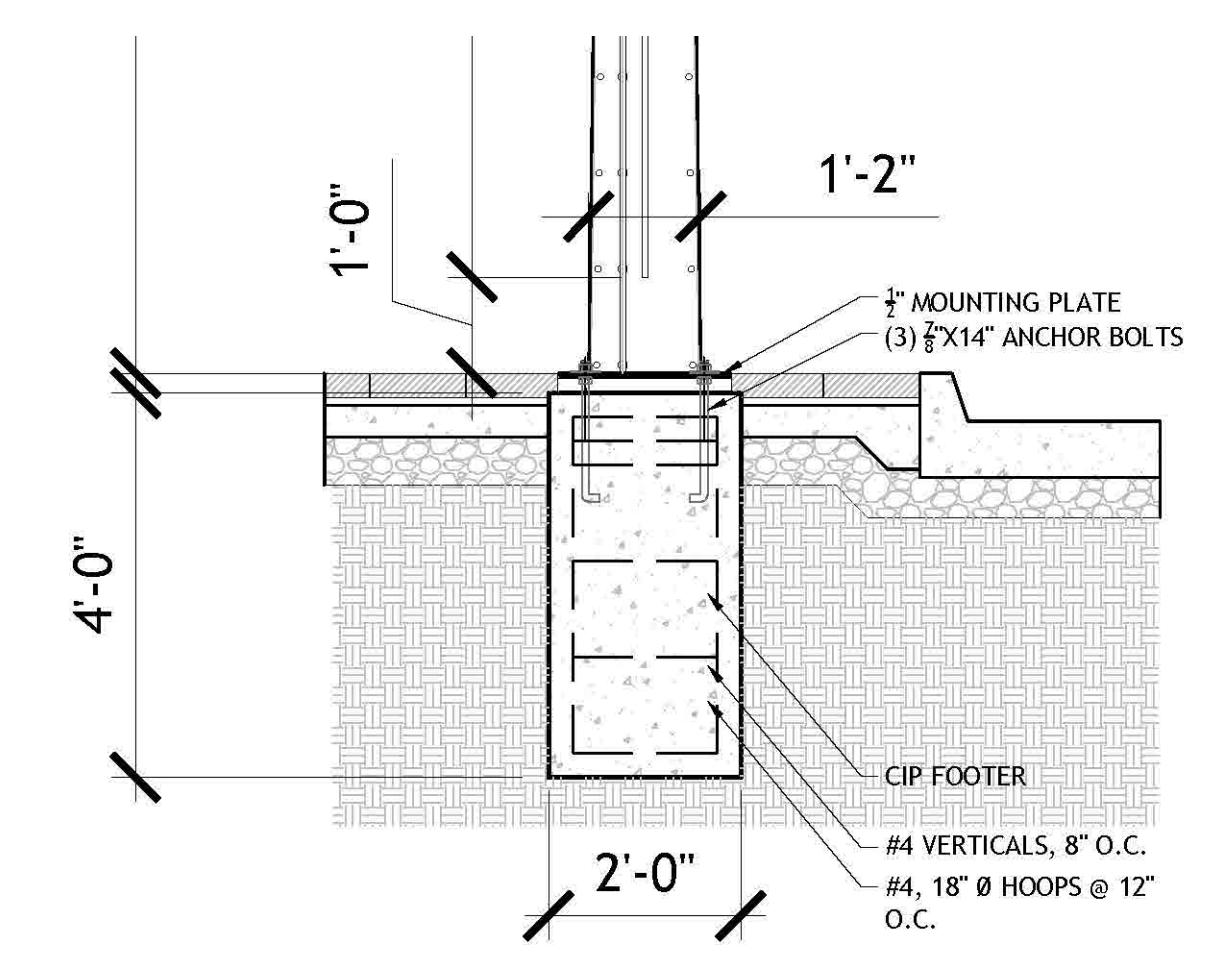


CUSTOM LIGHT POLE- FIXTURE
10 CUSTOM LIGHT POLE
1/2"=1'-0"



CUSTOM LIGHT POLE- BASE
NOTES:
1. ALL METAL FINISHES TO BE PAINTED, COLOR TBD.
2. CONTRACTOR TO SUBMIT SHOP DRAWING FOR APPROVAL PRIOR TO FABRICATION

CUSTOM LIGHT POLE- FOUNDATION

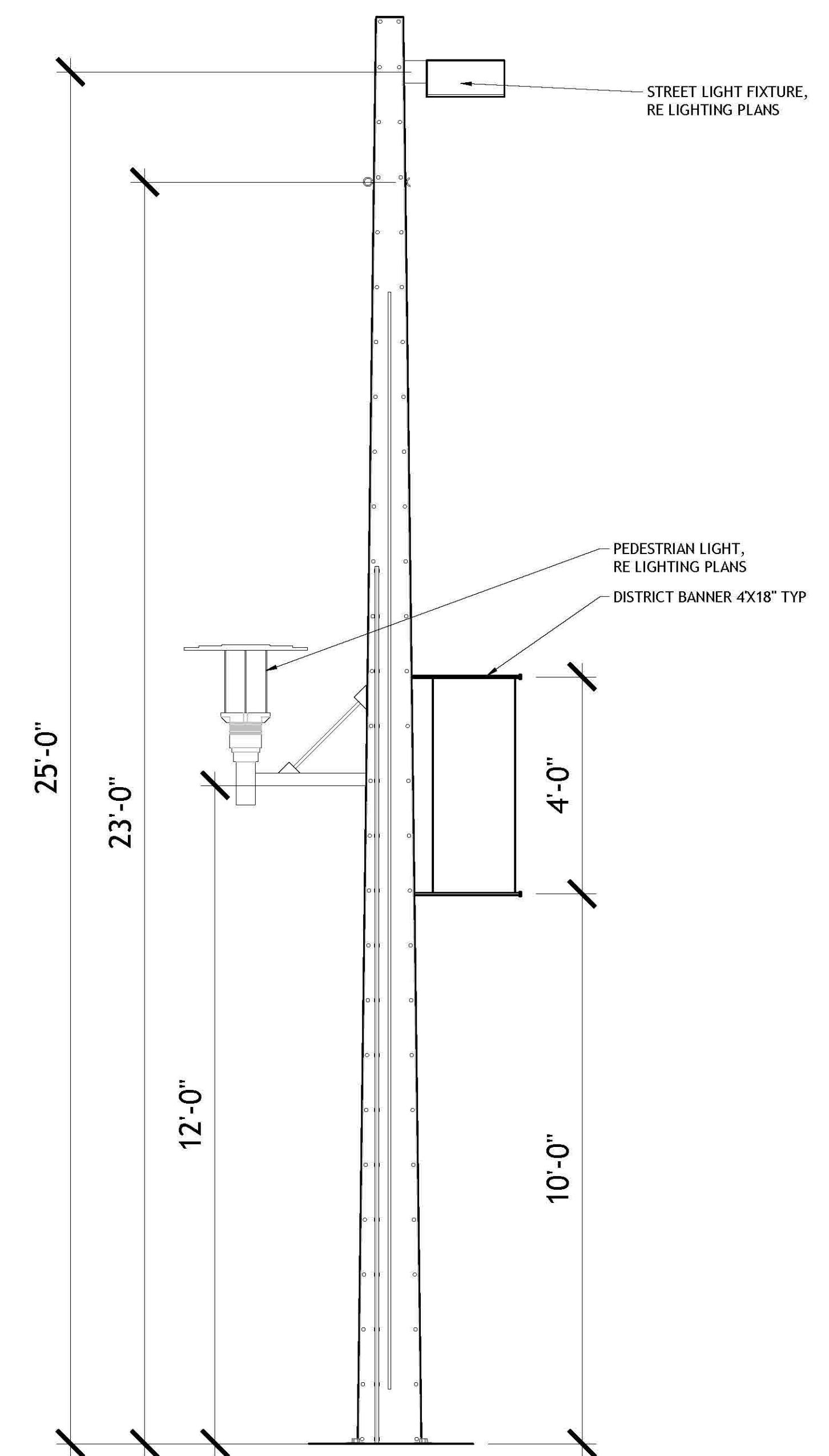


ELEVATION FRONT

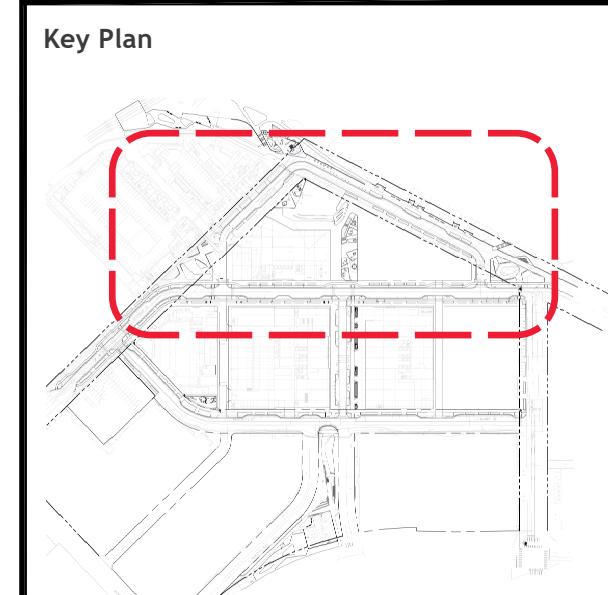
NARRATIVE

CUSTOM LIGHT POLES ARE PLACED ALONG ARKINS COURT TO PROVIDE A DISTINCT DISTRICT STREET CHARACTER. THE CUSTOM POLES ARE USED IN OTHER, PRIVATE, AREAS OF THE DISTRICT.

THE CUSTOM LIGHT POLE IS COMPOSED OF THE FOLLOWING MATERIALS: A 2.75"X2.75" SQUARE ALUMINUM INTERNAL FRAME, SHEET ALUMINUM CLADDING, 3/4" ROUND HEAD RIVETS WITH A 1" THICK BASE PLATE AND 1/2"X12" MOUNTING BOLTS. THE POLE WILL HAVE A STANDARD XCEL FIXTURES AND THE BELOW FIXTURE BY LUMIS.



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All features on this page on the plan north side of Arkins Ct to transfer Ownership to DPR. All features on south side of Arkins Ct to remain unchanged.

This architectural site plan illustrates the property lines and features for the north side of Arkins Court Row. The plan includes the following key elements:

- Property Lines:** A red dashed line represents the property boundary for the DPR-owned portion of the street. The plan also shows the original property lines (solid black lines) and the original property boundary (dashed black line).
- Streets:** The plan shows "ROW" (a red dashed line), "DENARGO STREET" (a red dashed line), and "ARKINS COURT" (a solid black line).
- Features:** The plan includes "REED LIGHT POLE" (labeled 11), "WATER METER", "HYDRANT", and "STREET TREE TYP." (Street Tree Type).
- Dimensions:** Various dimensions are provided, such as "43'-8" TO FL", "21'-3" TO FL", "33'-6" TO FL", "100'-0" TO FL", "43'-8" TO FL", "26'-3" TO FL", "12'-4" TO FL", and "33'-5" TO FL".
- Labels:** Labels include "ROW", "DENARGO STREET", "ARKINS COURT", "WATER METER", "HYDRANT", "STREET TREE TYP.", and "REED LIGHT POLE".
- Scale:** A scale bar at the bottom left indicates "1"=30'-0"".
- AC:** A circular label "AC" is located in the bottom left corner.

Text overlay: A red box contains the text: "All features on this page on the plan north side of Arkins Court Row belong to DPR. Ownership to DPR. All features on south side of Arkins Court Row unchanged."

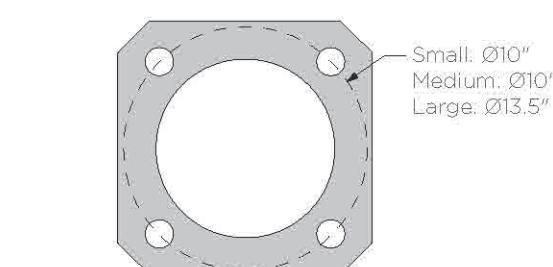
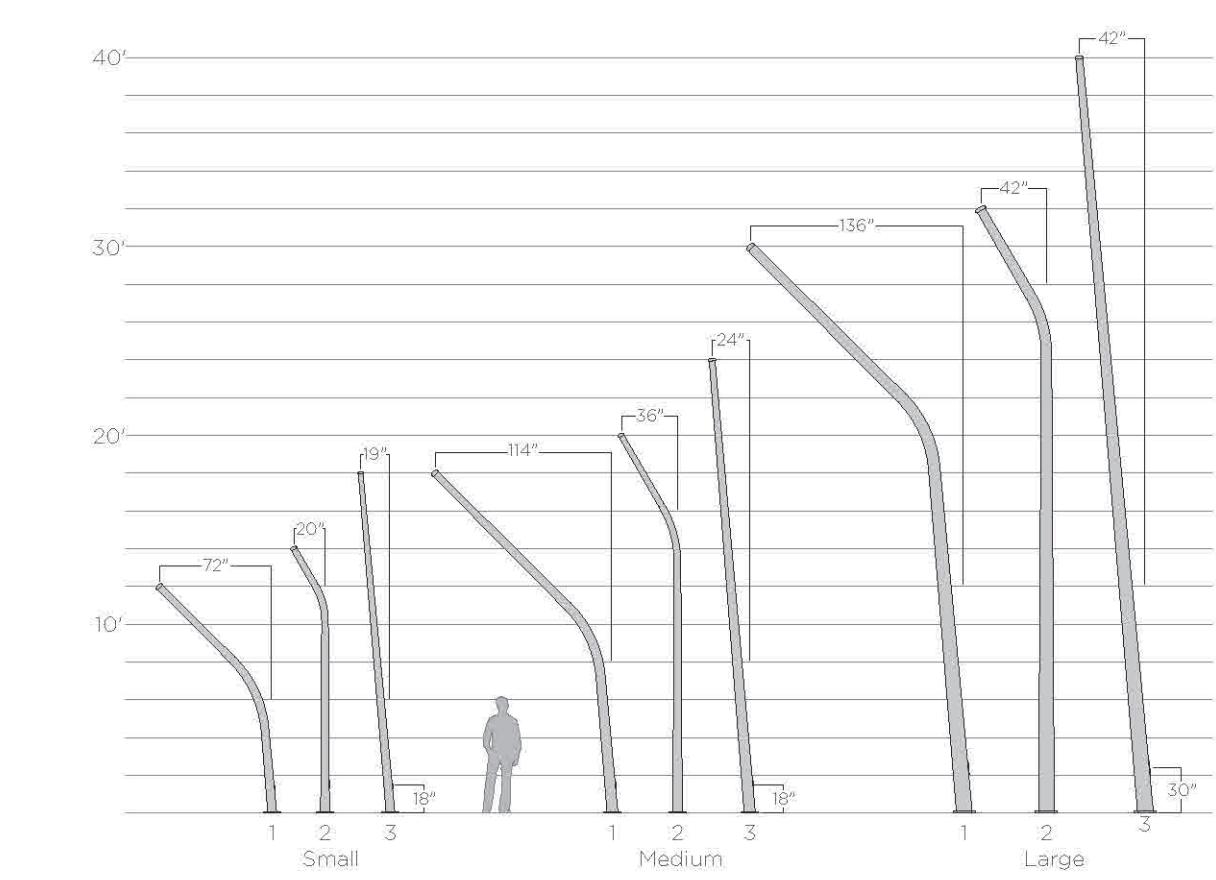
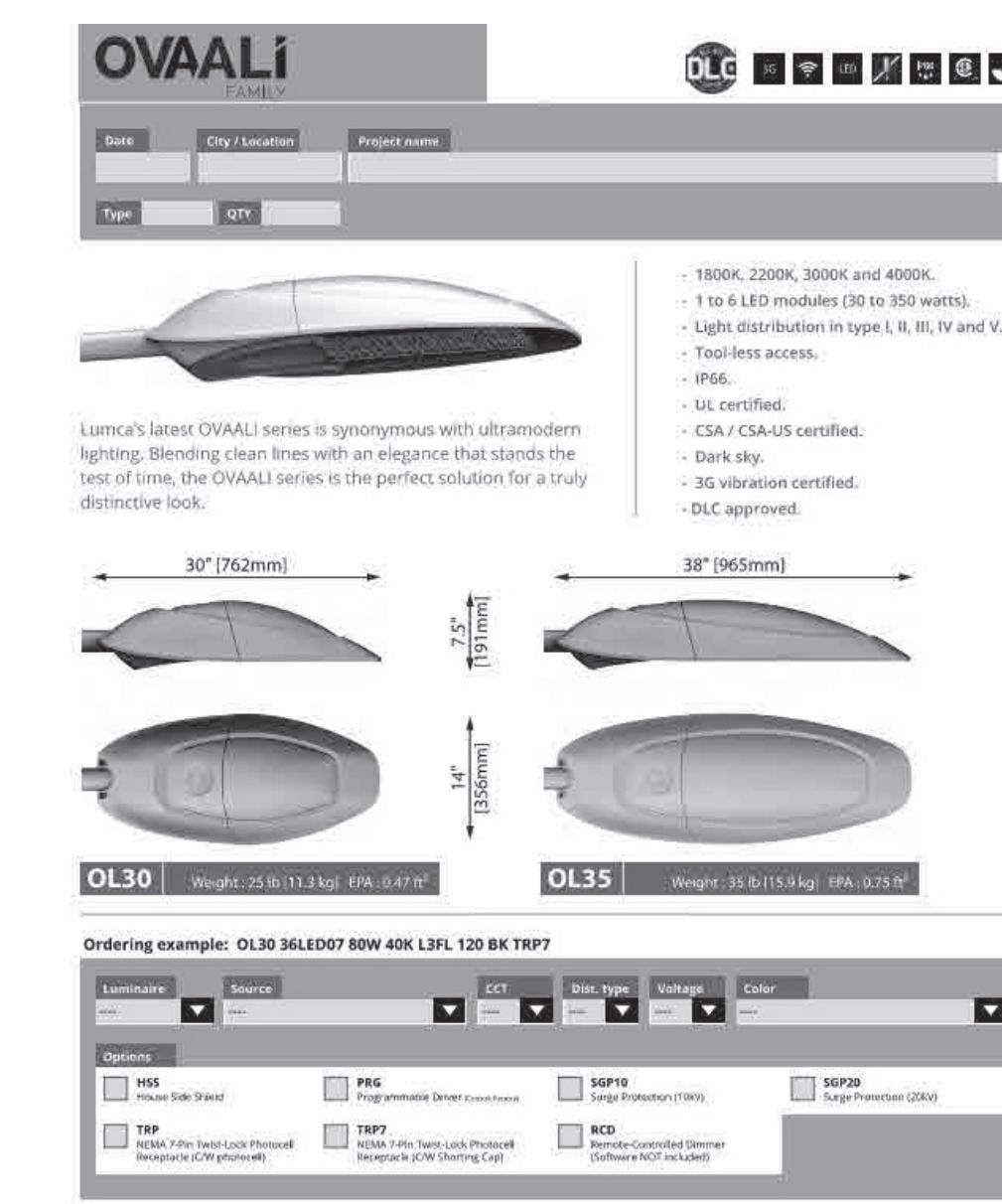
This architectural site plan illustrates the proposed utility relocation for a utility vault on Brighton Boulevard. The plan shows the existing utility network, including a 12" water main, 12" sewer main, 12" gas main, and 12" Xcel vault. A red dashed line labeled "ROW" indicates the Right of Way for the new utility line. The new utility line is shown in red, with dimensions of 83'-6" and 19'-4" to the vault. The vault is labeled "XCEL VAULT" and "EXISTING WALL". The plan also shows the intersection of Brighton Boulevard and Wewatta Way, with a "ROW" label and dimensions of 40'-0" to the vault. A circular callout labeled "11 REED LIGHT POLE" is located in the upper right corner. The plan includes a north arrow and a scale bar.

BRIGHTON BLVD ROW

NARRATIV

THE STRUCTURA REED LIGHT POLE IS PLACED ALONG ARKINS COURT TO PROVIDE A DISTINCT DISTRICT STREET CHARACTER WHILE MEETING REQUIRED PHOTO METRICS

THE REED LIGHT POLE IS A STEEL SHAFT CONSTRUCTED OF ROLLED STEEL PLATE AND POLYESTER POWDER COATED. POLES RANGE IN HEIGHTS FROM 10' TO 40'.



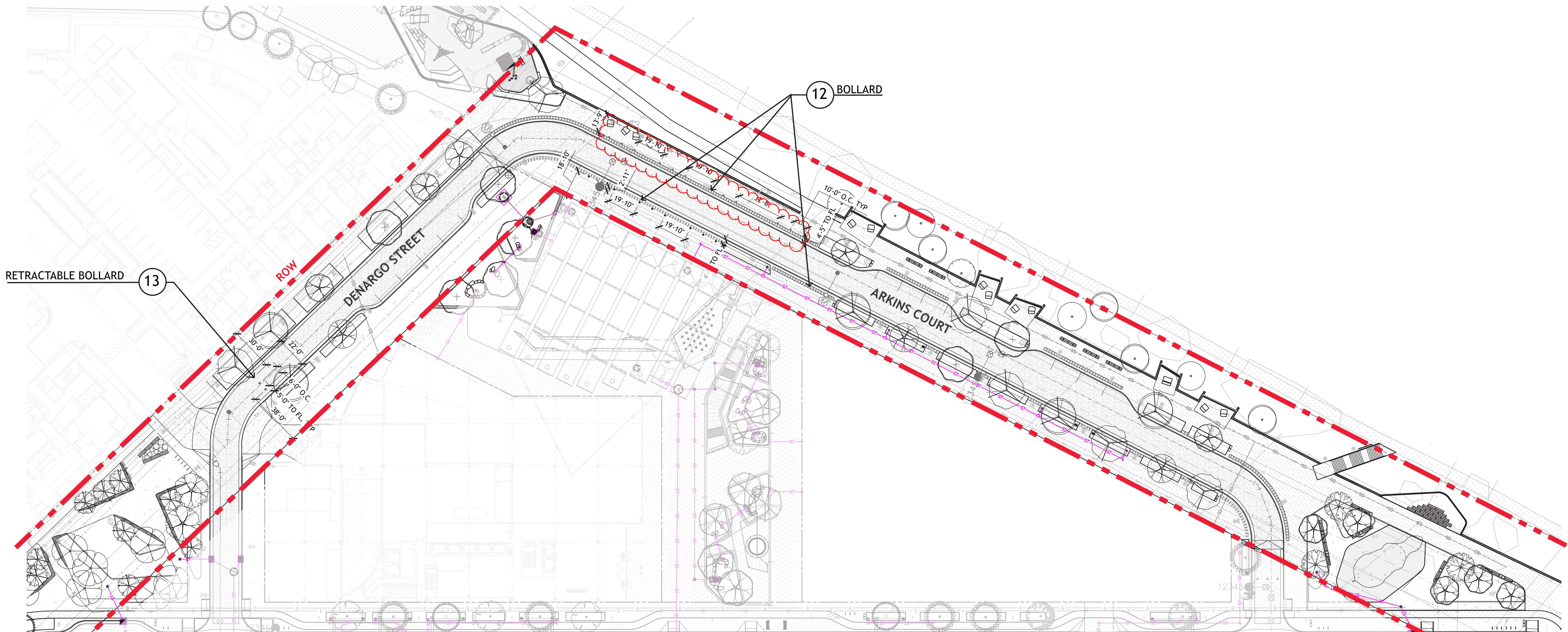
A detailed site plan or key plan diagram, likely a technical drawing, showing a complex arrangement of land parcels, roads, and infrastructure. A prominent feature is a large, irregularly shaped plot of land outlined by a red dashed line. This plot is situated in the upper portion of the diagram, bounded by several roads and other parcels. The plot contains internal lines and labels, possibly indicating specific areas or structures. Below this main plot, there is another area outlined by a red dashed line, which appears to be a smaller, more rectangular or L-shaped parcel. The surrounding area includes various roads, smaller plots, and what might be construction or utility areas. A vertical scale bar on the right side indicates distances up to 1000 units.

Project Title:

Drawing Title:

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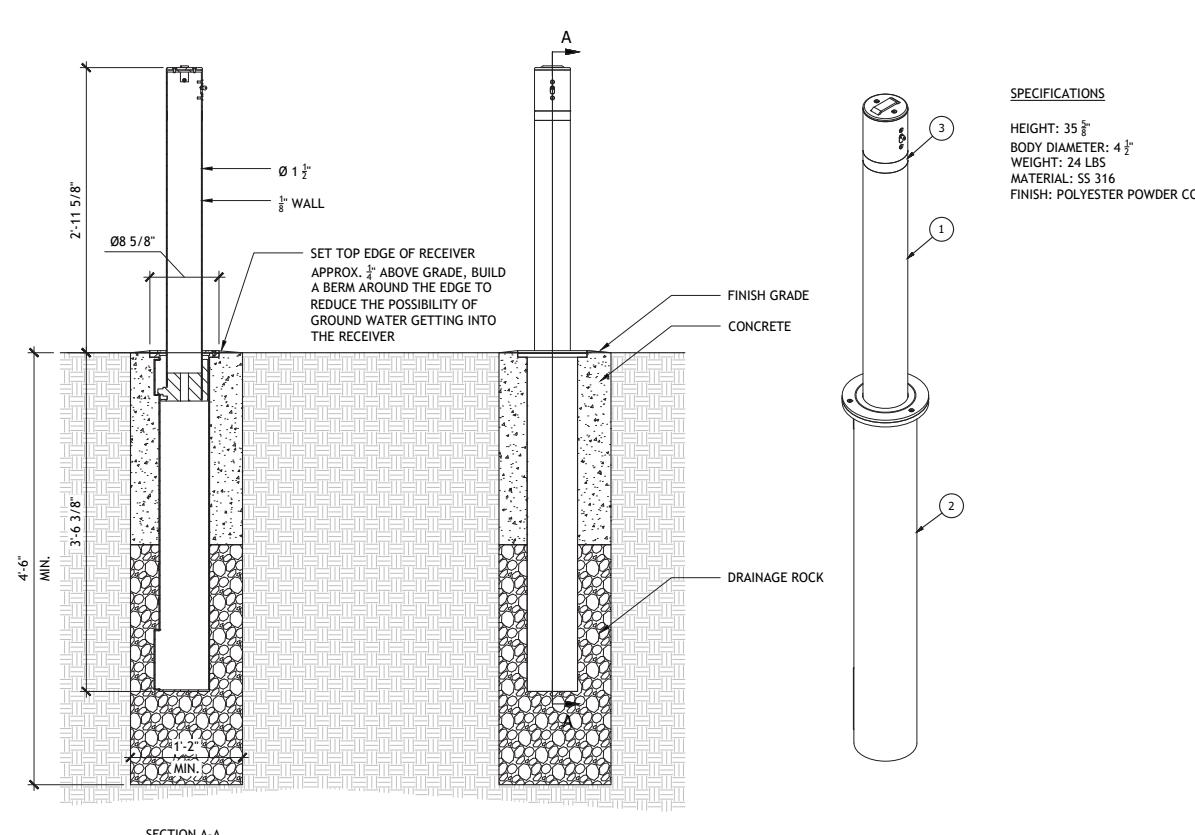
Drawing No:



AC ARKINS COURT ROW
1"=30'-0"

NARRATIVE
BOLLARDS ARE PLACED WITHIN THE DENARGO STREET ROAD BED. THIS PORTION OF DENARGO STREET IS PROPOSED TO BE A SHARED PEDESTRIAN SHEET. THE BOLLARDS WILL PROVIDE A BARRIER TO NON-EMERGENCY VEHICLES DURING ROAD CLOSURES.

THE BOLLARD IS BY RELIANCE FOUNDRY AND WILL HAVE A CONCRETE FOOTING.



NOTES:
1. ENHANCEMENT DETAILS ARE FOR REFERENCE ILLUSTRATION ONLY. MINIMUM FOUNDATION SIZES DEPEND ON LOCAL SOIL CONDITIONS, WEATHER CONDITIONS, AND FOUNDATION REQUIREMENTS.
2. BOLLARD IS PROVIDED AS SHOWN, WITH PARTS LISTED BELOW. CONCRETE FOUNDATION AND/OR INSTALLATION NOT PROVIDED BY RELIANCE FOUNDRY.
3. DRAWING IS NOT TO SCALE. DIMENSIONS PROVIDED HEREIN IS FOR REFERENCE ONLY. PLEASE CONSULT RELIANCE FOUNDRY SALES PROFESSIONALS IF ANY DIMENSIONS ARE REQUIRED.
4. RELIANCE FOUNDRY RESERVES THE RIGHT TO AMEND THE DESIGN AND SPECIFICATIONS WITHOUT PRIOR NOTICE FOR PRODUCT IMPROVEMENT.

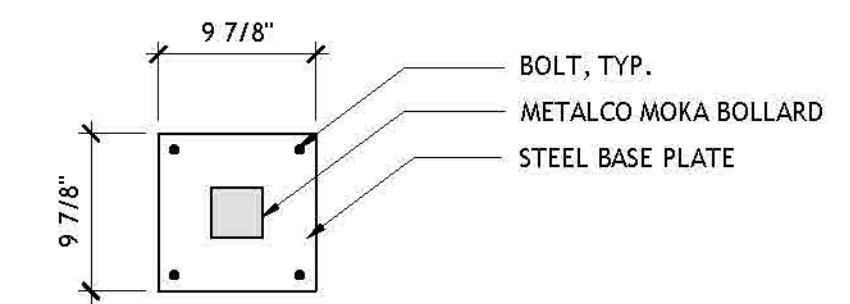
ITEM	QTY	PART NUMBER	DESCRIPTION	MAF/UNIT	MATERIAL	WEIGHT
1	1	884728	884728 Retractable Bollard Receiver	14 lbs	Steel Hot Dipped Galvanized w/ Stainless Steel 316 Cover	14 lbs
2	1	884728	884728 Retractable Bollard Receiver	14 lbs	Steel Hot Dipped Galvanized w/ Stainless Steel 316 Cover	14 lbs
3	1	884728	Optional Reflective Tape (Spool)	14 lbs	Plastic	14 lbs

13 RETRACTABLE BOLLARD
1/2"=1'-0"

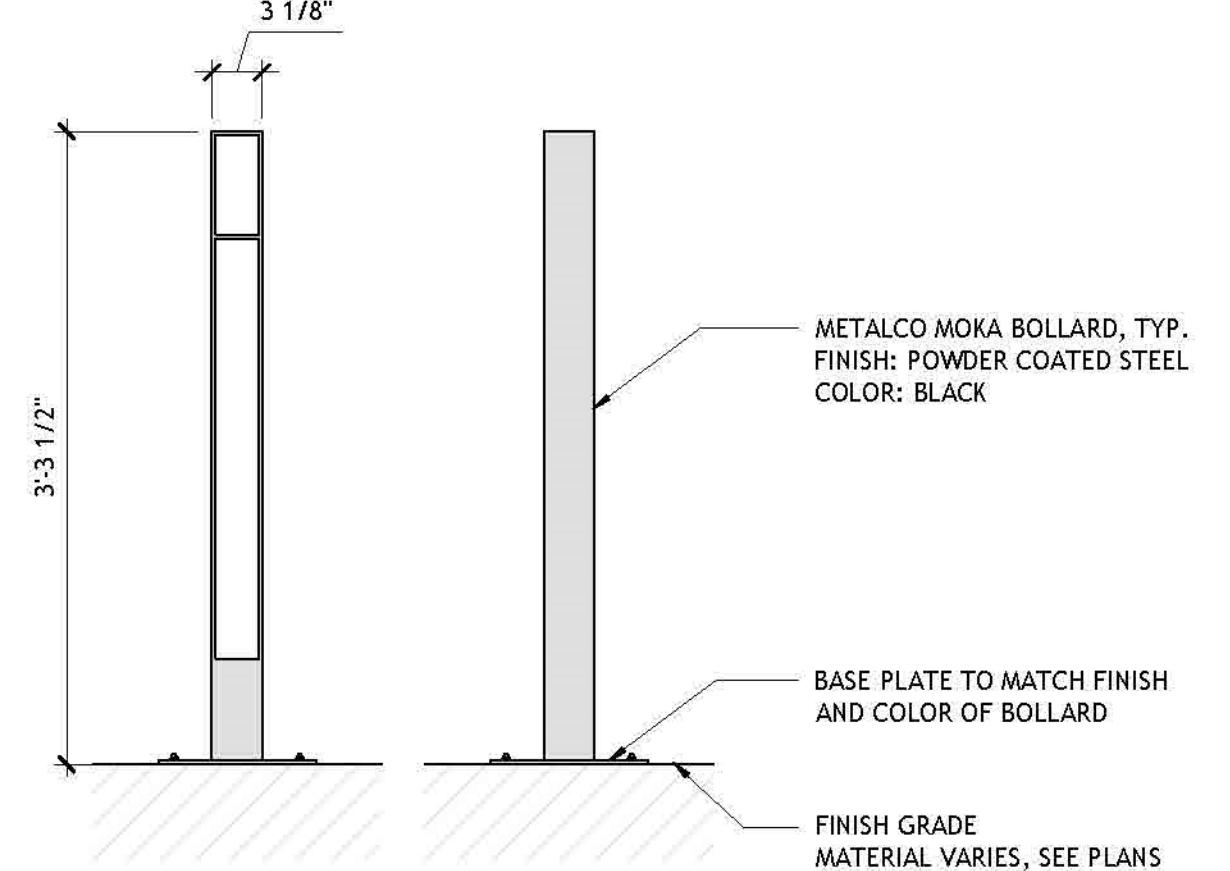
No changes

NARRATIVE
BOLLARDS ARE PLACED ALONG THE ARKINS COURT SIDEWALK TO DETER VEHICULAR ACCESS ALONG THE CURBLESS STREETSCAPE.

THE BOLLARD IS BY METALCO MOKA BOLLARD WITH A TYPICAL POWDER COATED STEEL FINISH AND IS SURFACE MOUNTED TO CONCRETE PAVEMENT.



PLAN



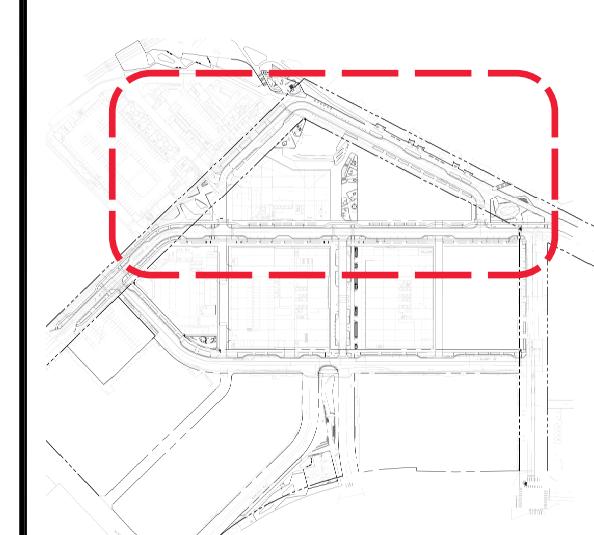
ELEVATION A ELEVATION B

12 BOLLARD
1"=1'-0"

Bollards in clouded area to transfer ownership to DPR.

NOT FOR CONSTRUCTION

Key Plan

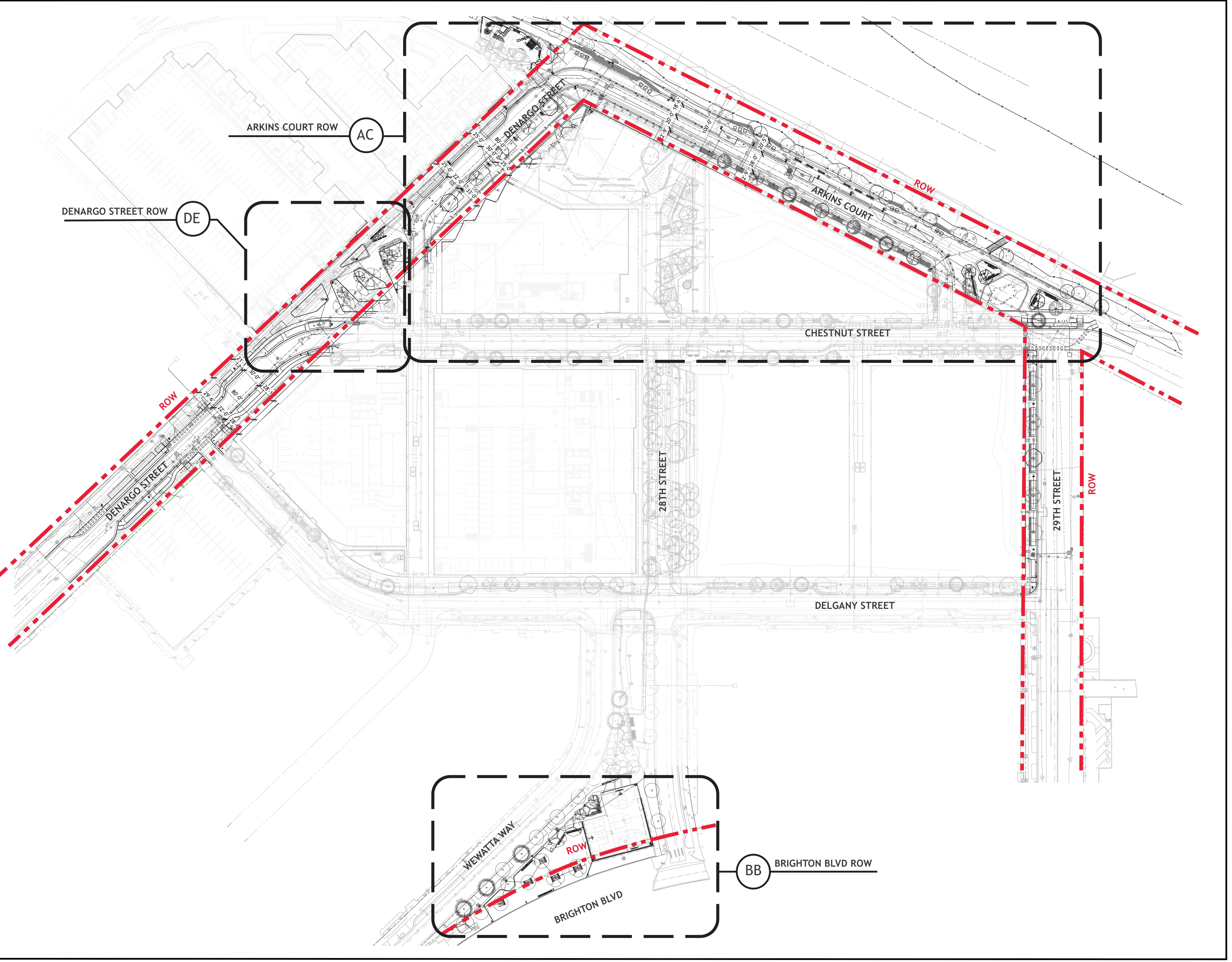


Project Title:
DENARGO MARKET
PUBLIC REALM & HORIZONTAL IMPROVEMENTS

Drawing Title:
TEIR II
ENCROACHMENTS

Project No.: 18157.00 Scale: As Noted
Drawn By: PP, LT, BT, AS, JP, MS
Checked By: AP, SE, DD
Approved By: JB
Date: 07.08.2022

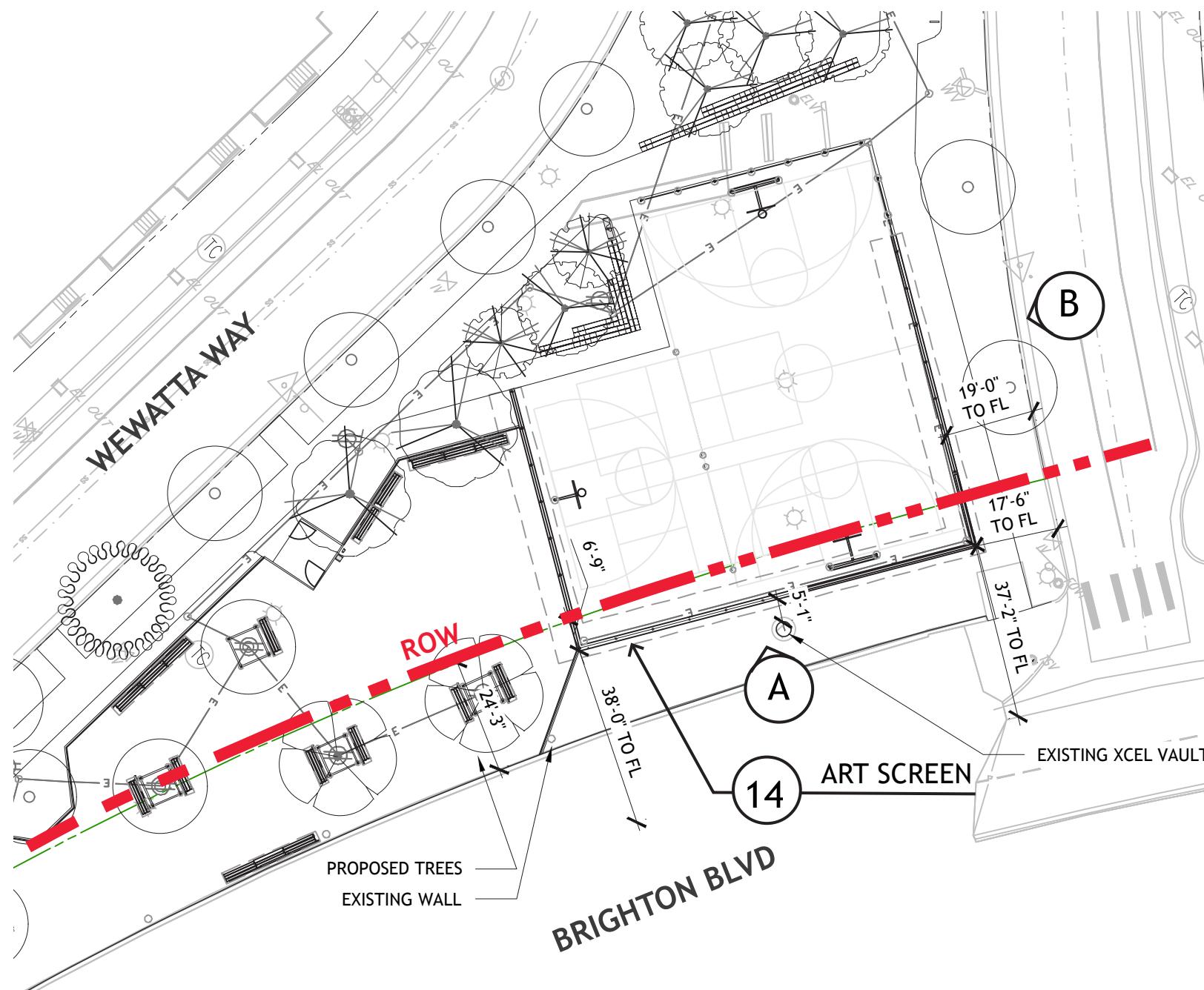
Drawing No:
PAGE 09 OF 09



NARRATIVE

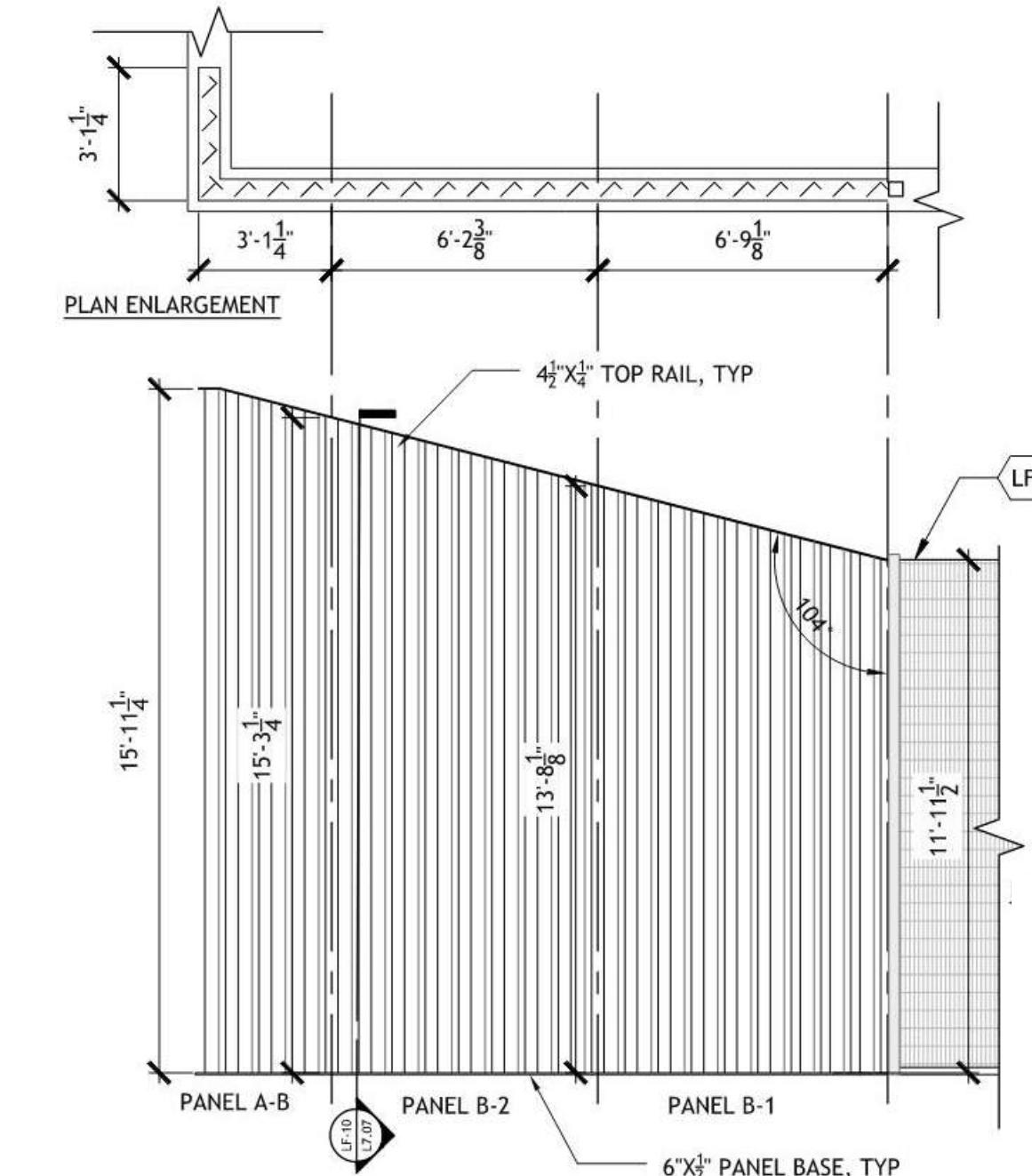
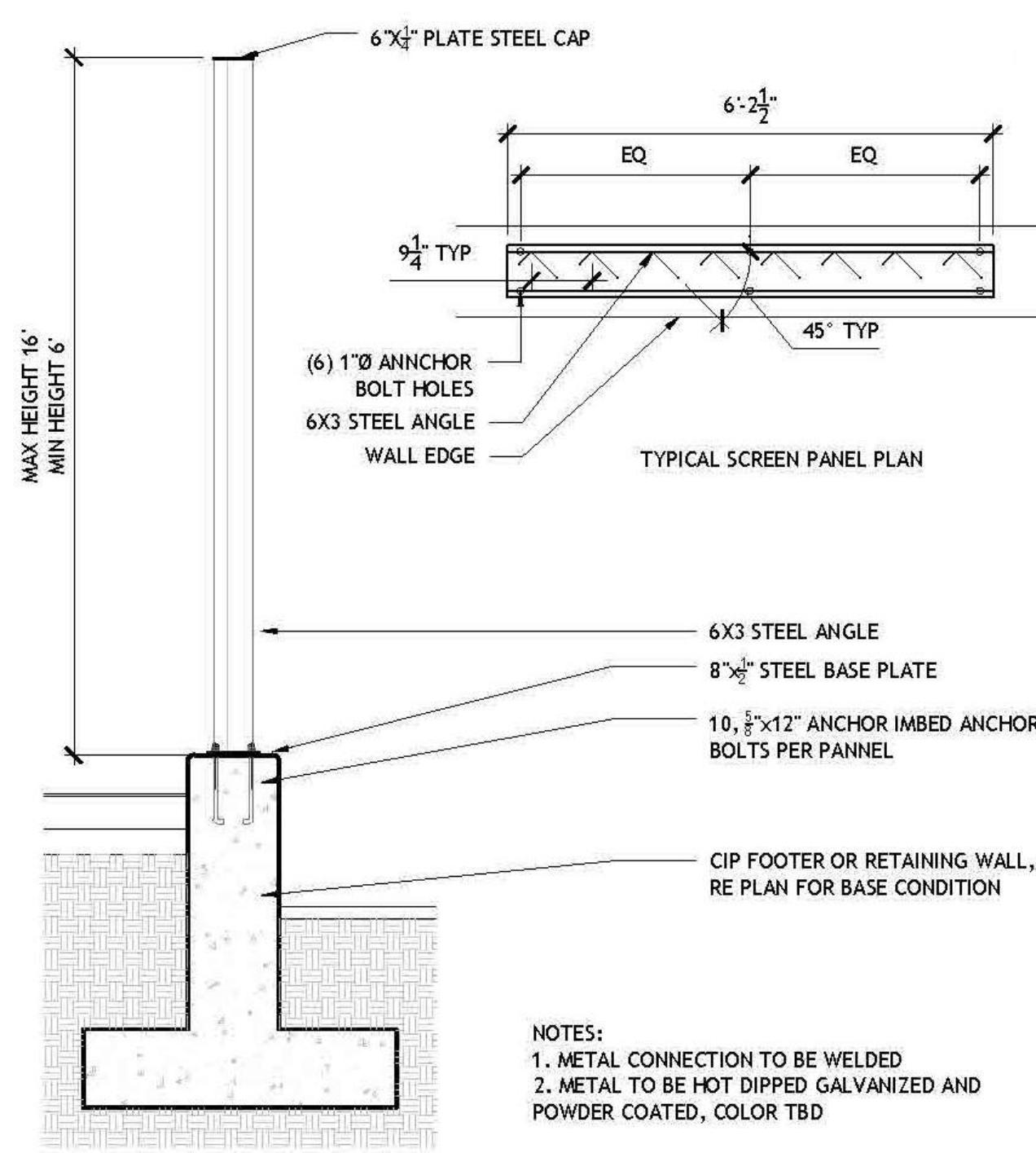
A SPORT COURT FENCE AND ART SCREEN IS PROPOSED IN THE ROW ALONG BRIGHTON BLVD. THE FENCE IS IN SUPPORT OF THE PUBLIC SPORTS COURT WITHIN THE OPEN SPACE. THE ART SCREEN PROVIDES VISUAL INTEREST AT THE ENTRANCE OF THE DISTRICT.

THE FENCE IS 12' TALL AND COMPOSED OF VINYL COATED WELDED WIRE FENCE, SURFACE MOUNTED TO POSTS PLACED ON REINFORCED CONCRETE FOOTINGS.

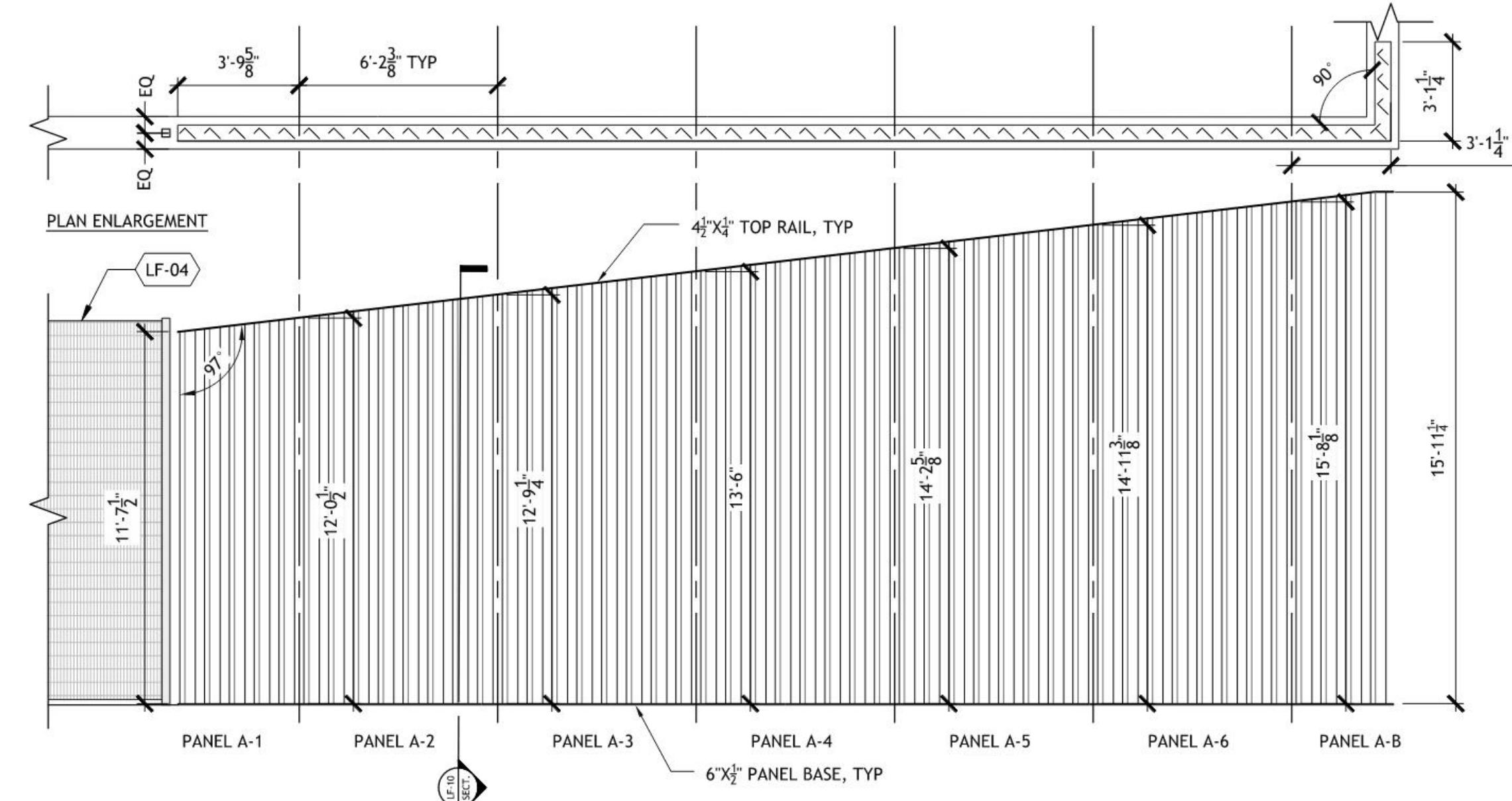


BB BRIGHTON BLVD ROW
1"=30'-0"

14 ART SCREEN- TYP. SECTION
1/2"=1'-0"



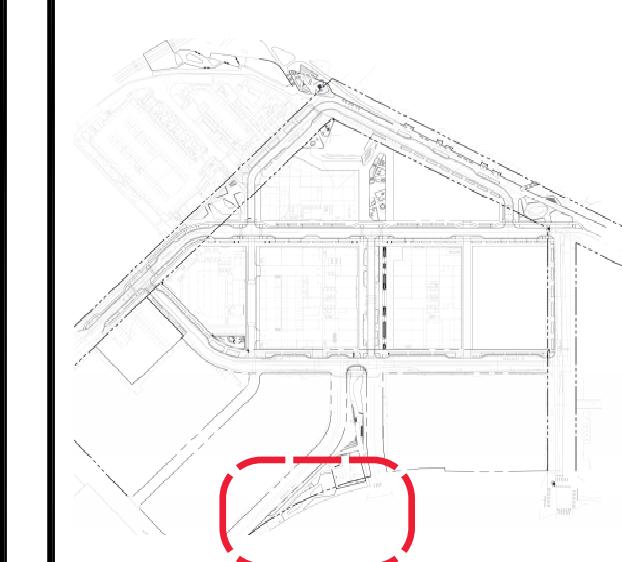
B ART SCREEN- 'B' ELEVATION
1/4"=1'-0"



A ART SCREEN- 'A' ELEVATION
1/4"=1'-0"

NOT FOR CONSTRUCTION

Key Plan



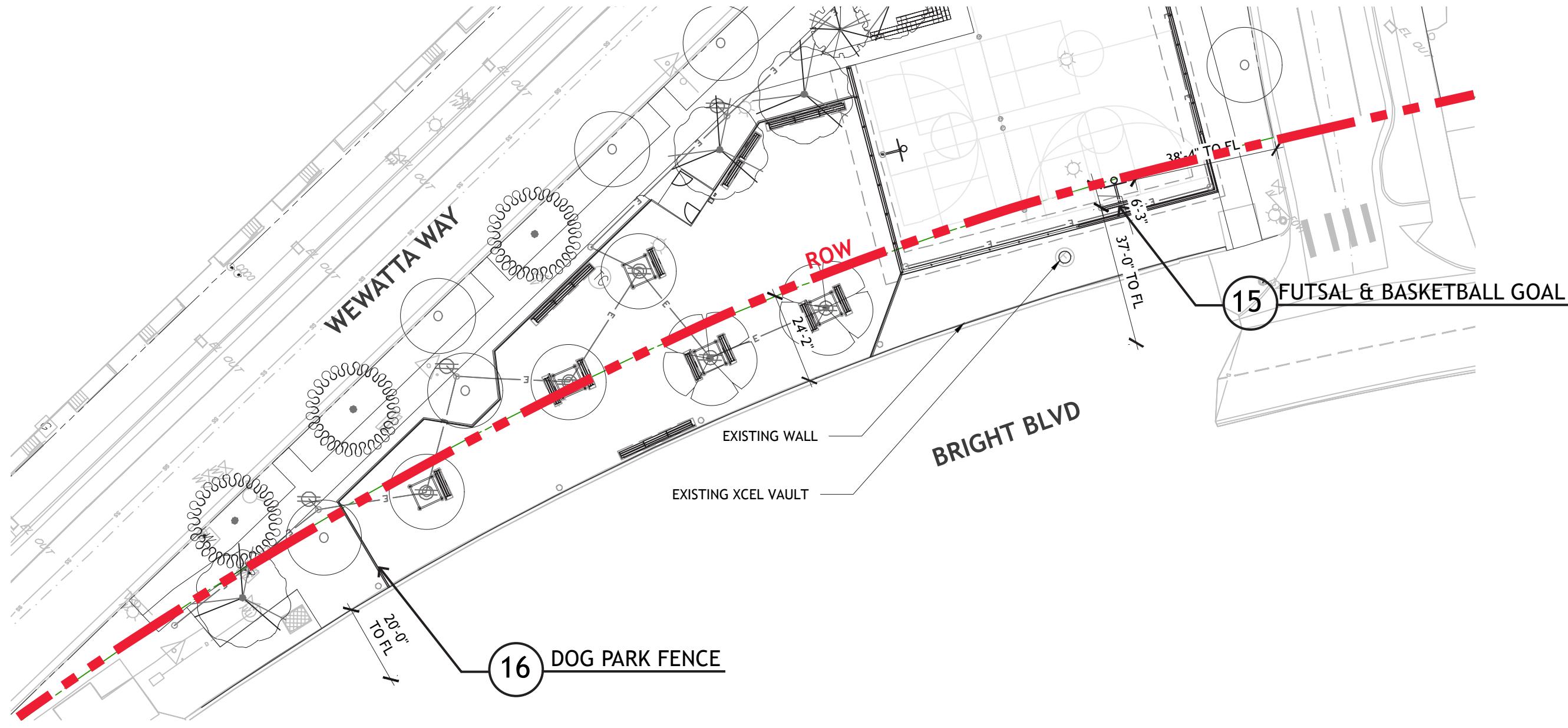
Project Title:
DENARGO MARKET
PUBLIC REALM
& HORIZONTAL
IMPROVEMENTS

Drawing Title:
TIER III
ENCROACHMENTS

Project No.: 18157.00 Scale: As Noted
Drawn By: LT, BT, JP, AC
Checked By: AP, DD
Approved By: JB
Date: 06.01.2023

Drawing No:
PAGE 02 OF 10

No changes this Page

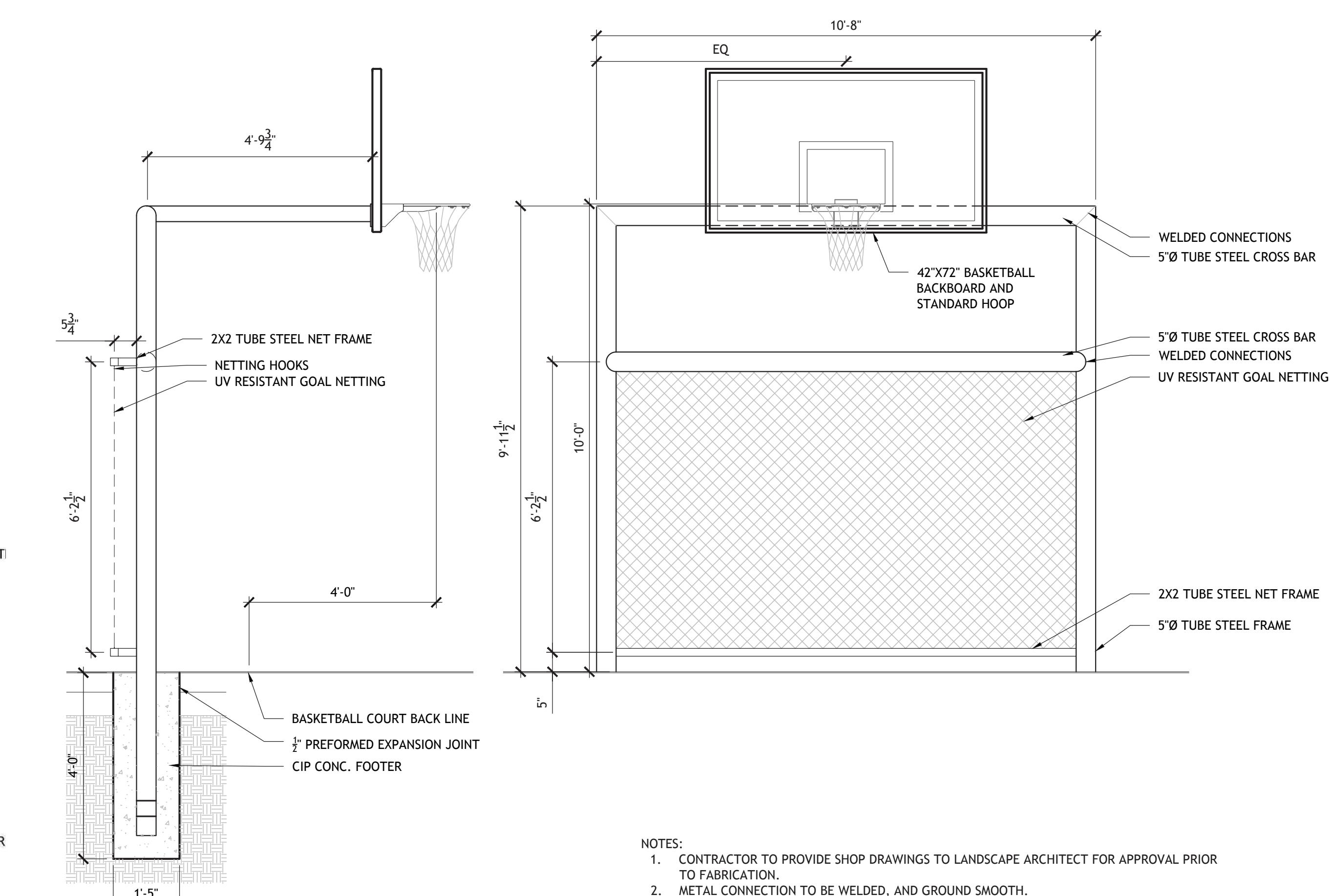


BB BRIGHTON BLVD ROW
1"=30'-0"

NARRATIVE

A FUTSAL & BASKETBALL GOAL IS PROPOSED IN THE ROW ALONG BRIGHTON BLVD. THIS FEATURE IS SUPPORT OF THE PUBLIC SPORTS COURT WITHIN THE OPEN SPACE.

THIS ELEMENT IS A CUSTOM FABRICATION WITH A 5" TUBE STEEL, GALVANIZED AND POWDER COATED FRAME, (2) 8"X8"X1/4" SURFACE MOUNTING PLATES, (1) 6"X6"X1/4" BACKBOARD MOUNTING PLATE. 2"X2" TUBE STEEL NET FRAME, NET TO BE UV RESISTANT NYLON. MOUNTING PLATE TO BE FABRICATED TO MATCH OFF-THE-SHELF COMMERCIAL GRADE, EXTERIOR USE BASKETBALL BACKBOARD AND RIM GOAL, AND A CIP CONCRETE FOOTER.

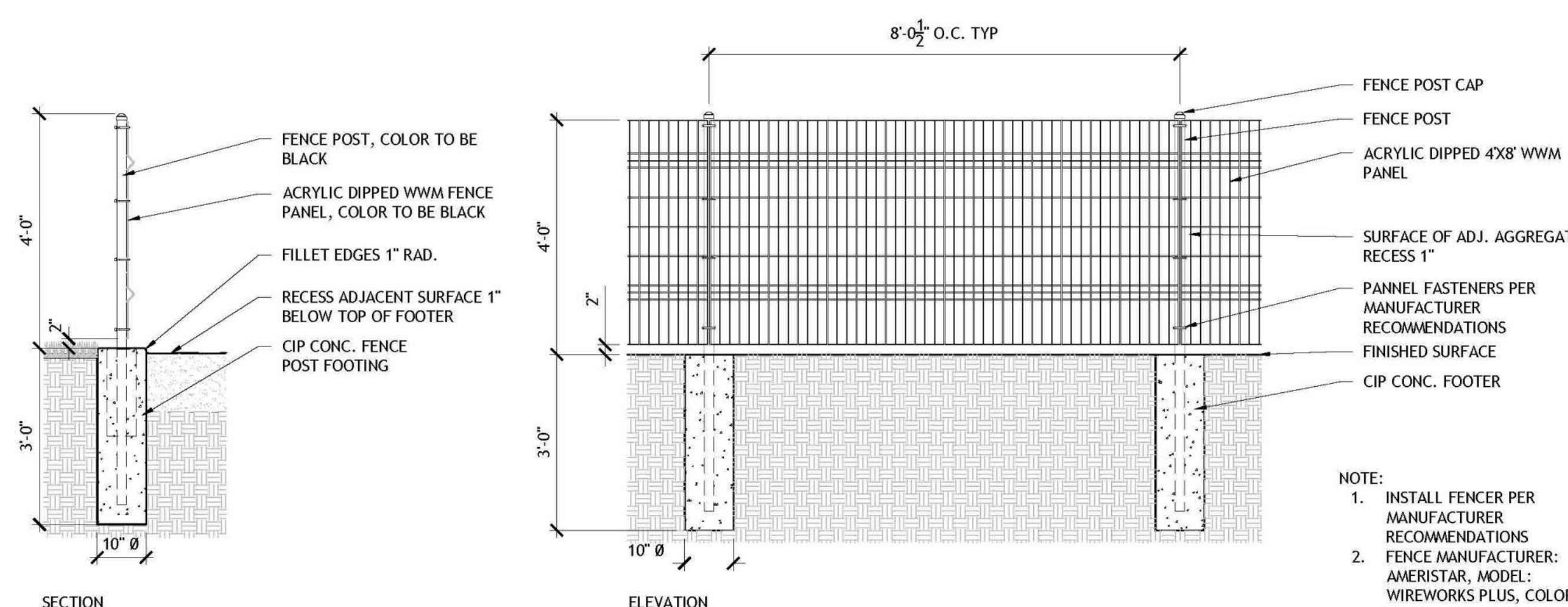


15 FUTSAL & BASKETBALL GOAL
1/2"=1'-0"

NARRATIVE

A DOG PARK FENCE IS PROPOSED IN THE ROW ALONG BRIGHTON BLVD. THE FENCE IS IN SUPPORT OF THE PUBLIC DOG PARK WITHIN THE OPEN SPACE.

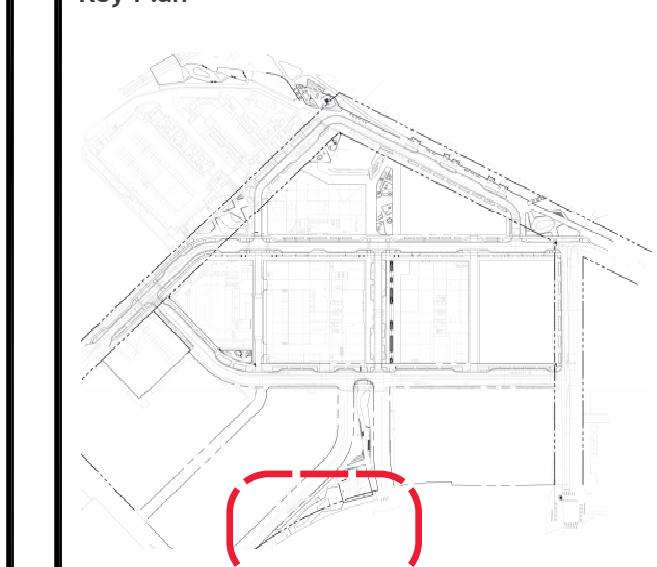
THE FENCE IS 4' TALL AND COMPOSED OF VINYL COATED WELDED WIRE FENCE, SURFACE MOUNTED TO POSTS PLACED ON REINFORCED CONCRETE FOOTINGS.



16 DOG PARK FENCE
1/2"=1'-0"

NOT FOR CONSTRUCTION

Key Plan



Project Title:
DENARGO MARKET
PUBLIC REALM
& HORIZONTAL
IMPROVEMENTS

Drawing Title:
TIER III
ENCROACHMENTS

Project No.: 18157.00 Scale: As Noted
Drawn By: LT, BT, JP, AC
Checked By: AP, DD
Approved By: JB
Date: 06.01.2023

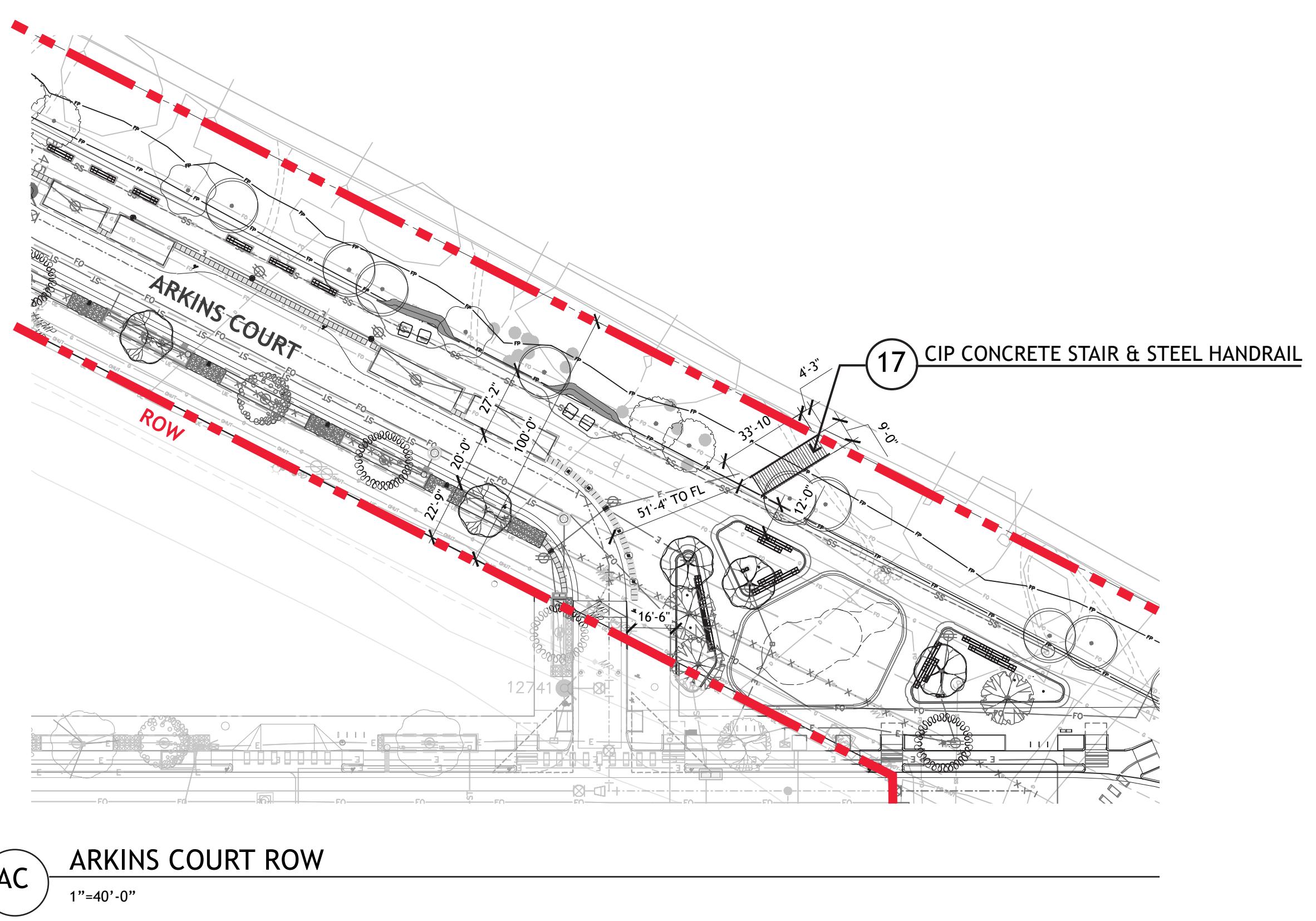
Drawing No:
PAGE 03 OF 10

NARRATIVE

CAST-IN-PLACE CONCRETE STAIRS WITH A STEEL HAND RAIL ARE PLACED IN THE ROW TO PROVIDE PEDESTRIAN ACCESS FROM ARKINS COURT TO THE SOUTH PLATTE RIVER BIKE PATH.

THE CAST-IN-PLACE CONCRETE STAIRS
HAVE A TOOLED NOSING TEXTURE, MEDIUM
BROOM FINISHED TEXTURE AND ARE
BRUSHED PARALLEL WITH STAIR TREAD.

THE HANDRAIL IS POWDER COATED STEEL POST AND RAILS, 3/8" X 1-3/4" BARSTOCK POSTS, CUSTOM HANDRAIL ANGLE IRON 1-3/4"X1-3/4" HANDRAIL. THE HANDRAIL IS CORE DRILL MOUNTING AND EPOXIED INTO CONCRETE.

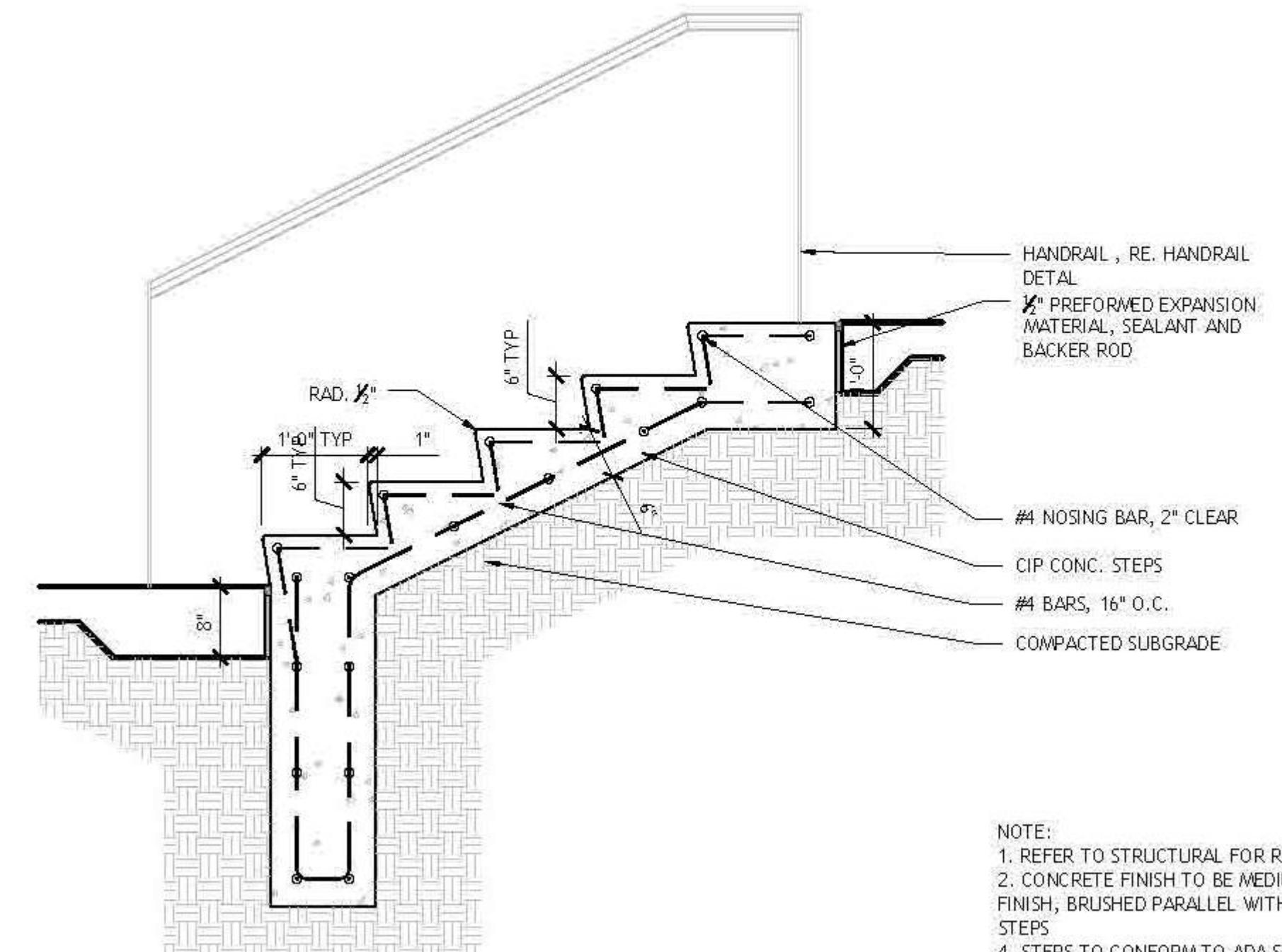


No changes this Page

NOTES:
1. CONNECTIONS TO BE WELDED, AND GROUND SMOOTH PRIOR
TO GALVANIZATION AND PAINTING

17 CIP CONCRETE STAIR & HANDRAIL

1"=1'-0"

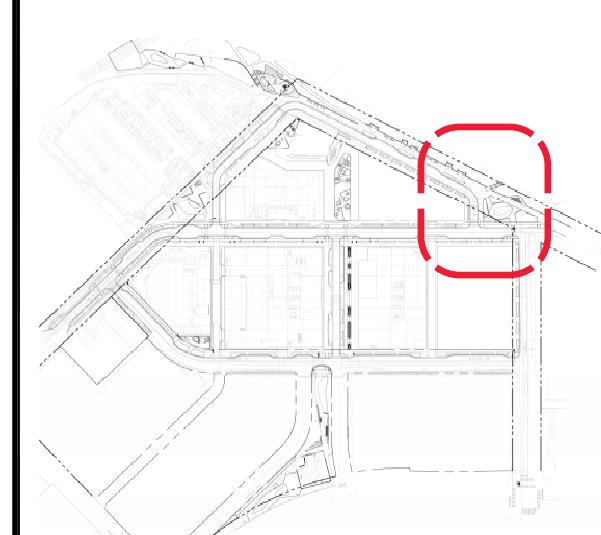


NOTE:

1. REFER TO STRUCTURAL FOR REINFORCEMENT
2. CONCRETE FINISH TO BE MEDIUM BROOM FINISH, BRUSHED PARALLEL WITH NOSE OF STEPS
4. STEPS TO CONFORM TO ADA STANDARDS

NOT FOR CONSTRUCTION

Key Plan



Project Title:

DENARGO MARKET

PUBLIC REALM & HORIZONTAL IMPROVEMENTS

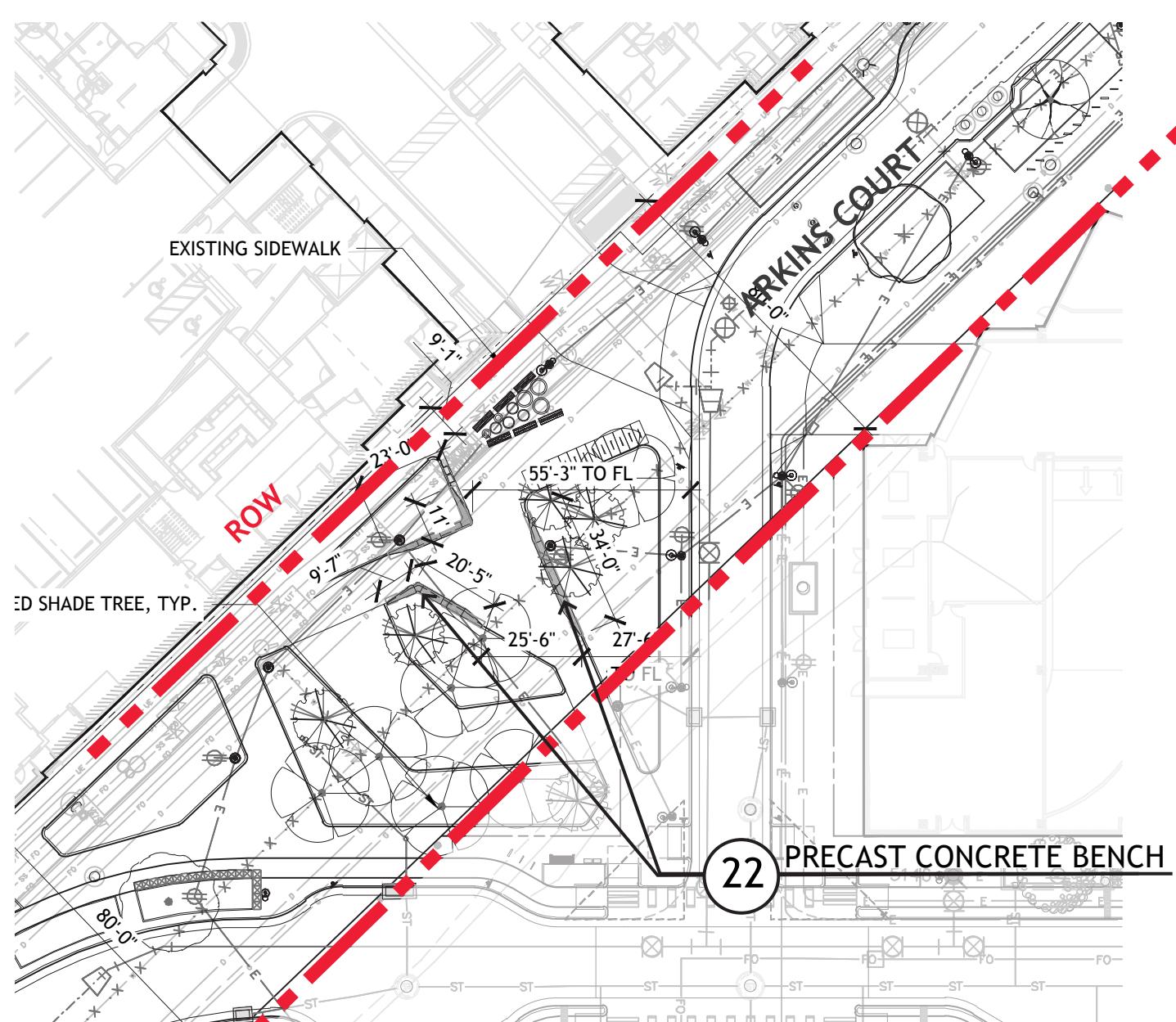
Document 104

TIER III ENCROACHMENTS

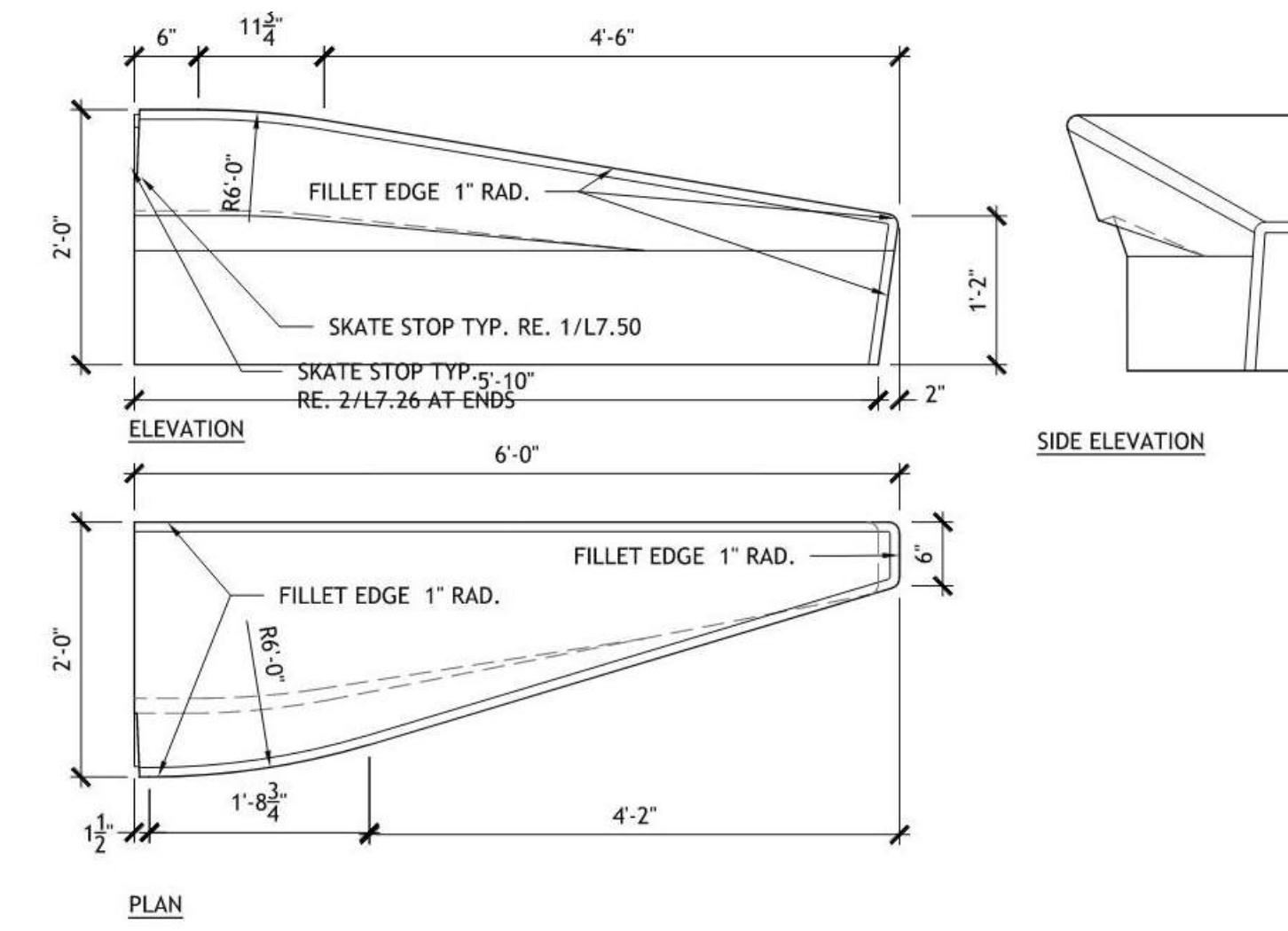
Project No.: 18157.00 Scale: As Noted
Drawn By: LT, BT, JP, AC
Checked By: AP, DD
Approved By: JB
Date: 06.01.2023

Drawing No:
PAGE 04 OF 10

Ownership to be
changed to DPR



ARKINS COURT ROW
1'-40'-0"

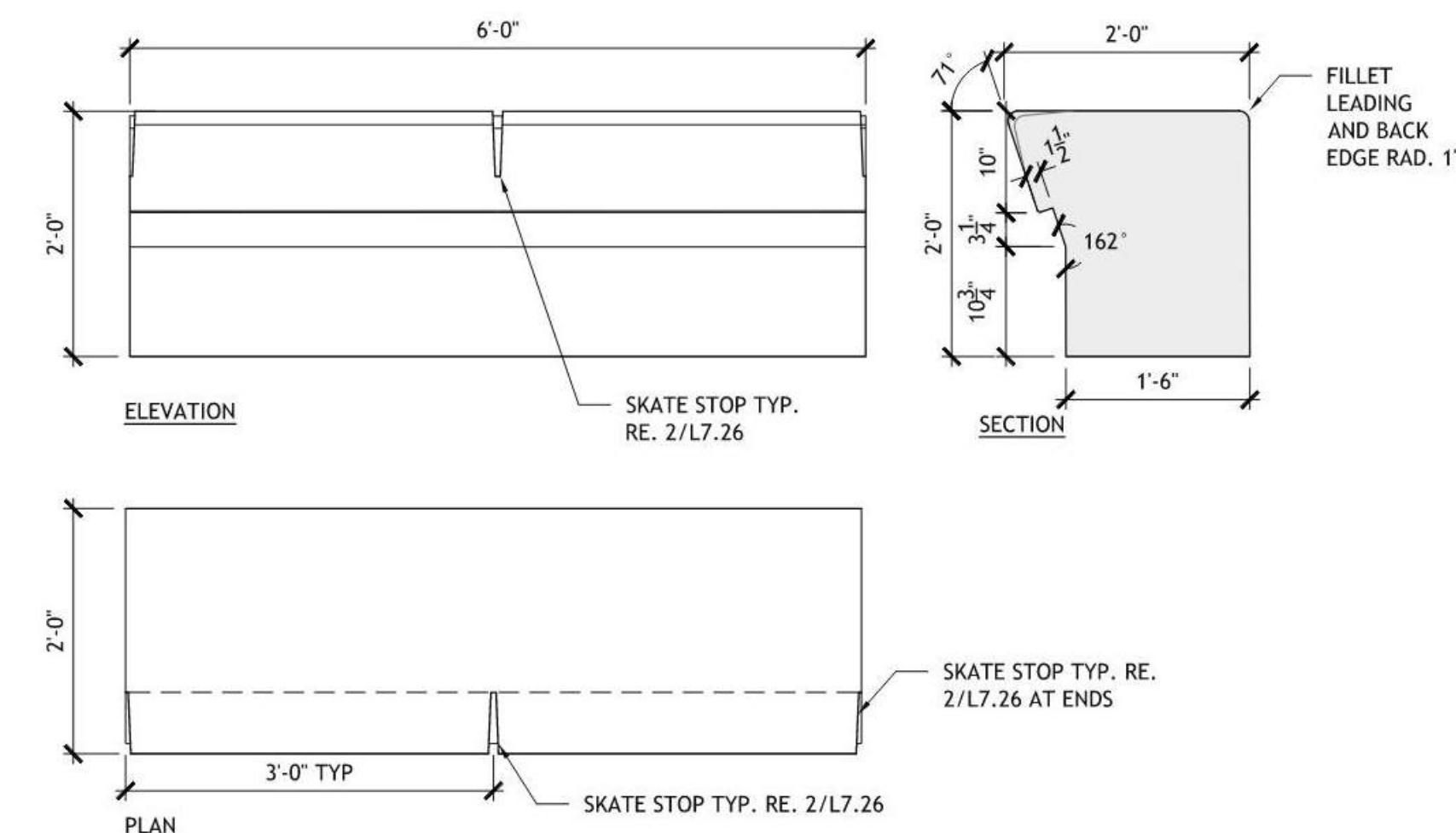
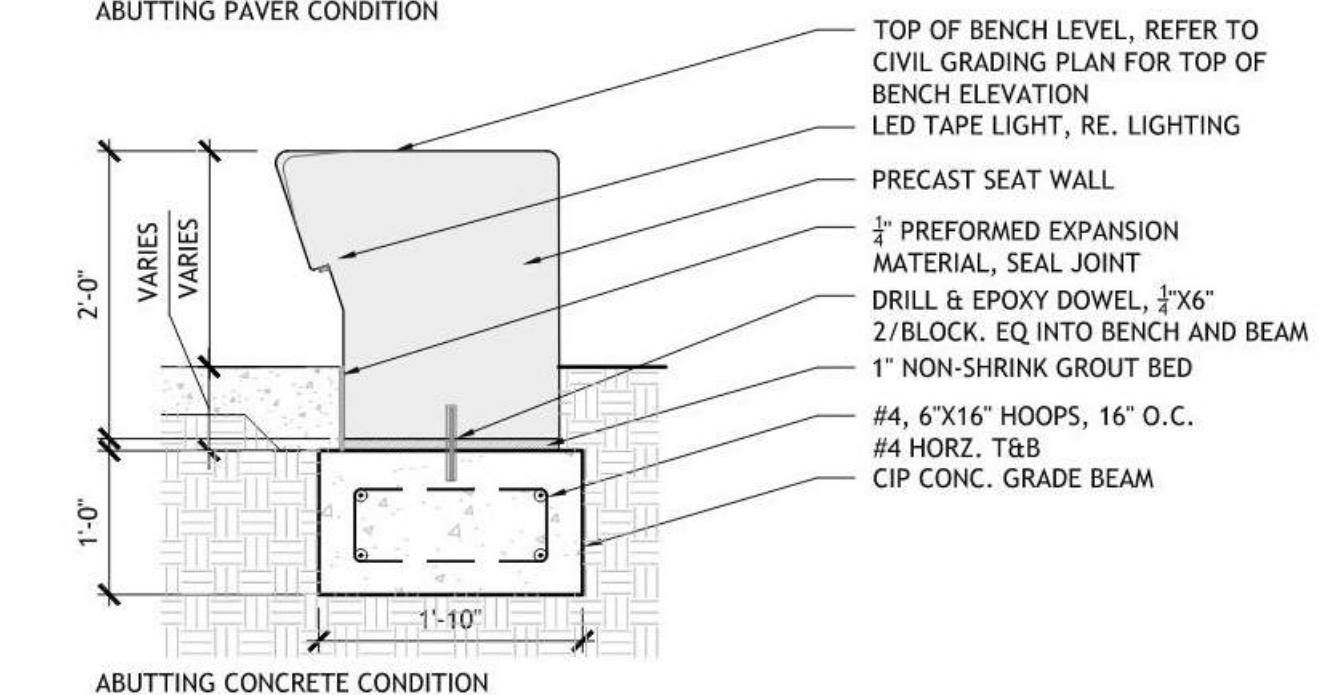
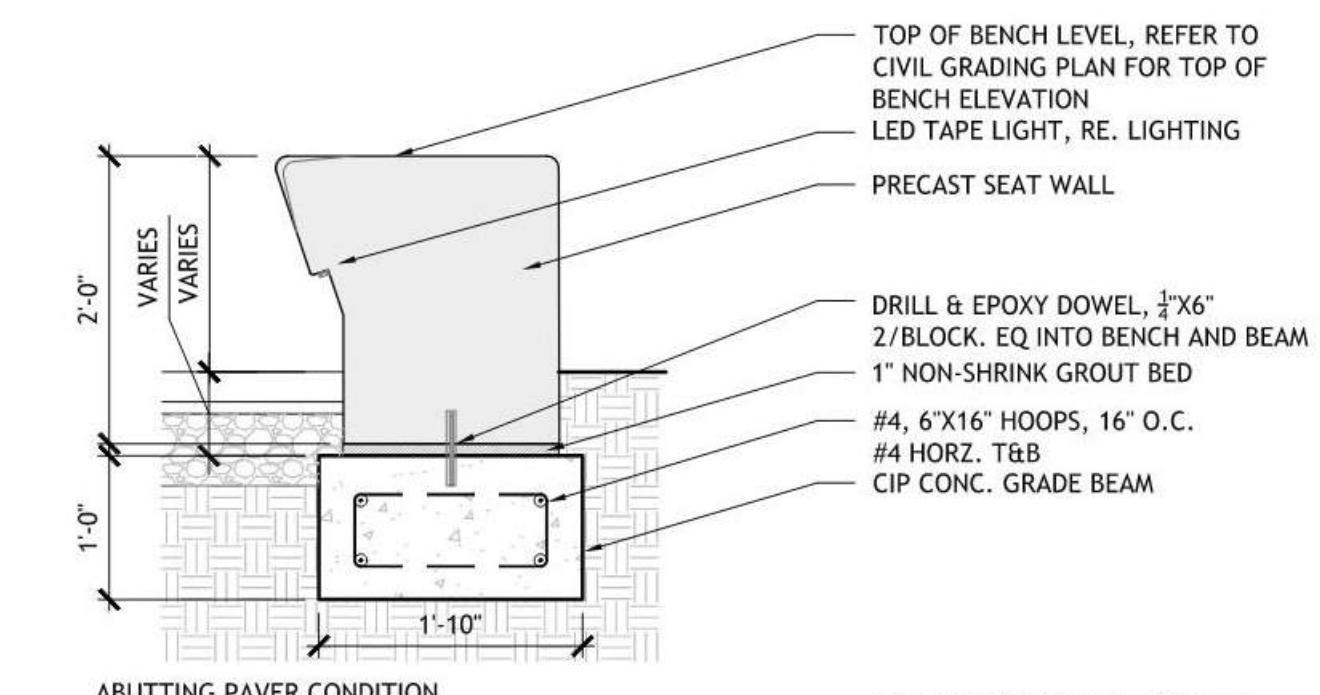


MODULE B & BR

22 PRECAST CONCRETE SEAT WALL
3/4"=1'-0"

NARRATIVE

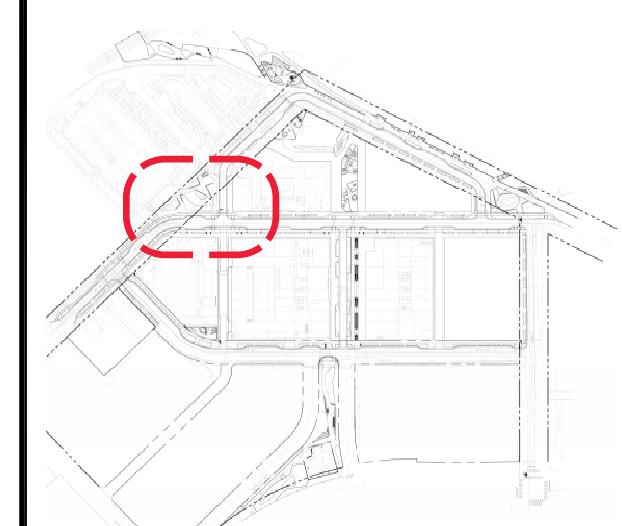
A PRECAST CONCRETE BENCH IS PLACED ALONG PLANTER AREAS IN FRONT OF THE AMLI RESIDENTIAL BUILDING. THE PRECAST BENCH IS FOUND IN OTHER, NON-ROW, AREAS OF THE DISTRICT.



MODULE A

NOT FOR CONSTRUCTION

Key Plan



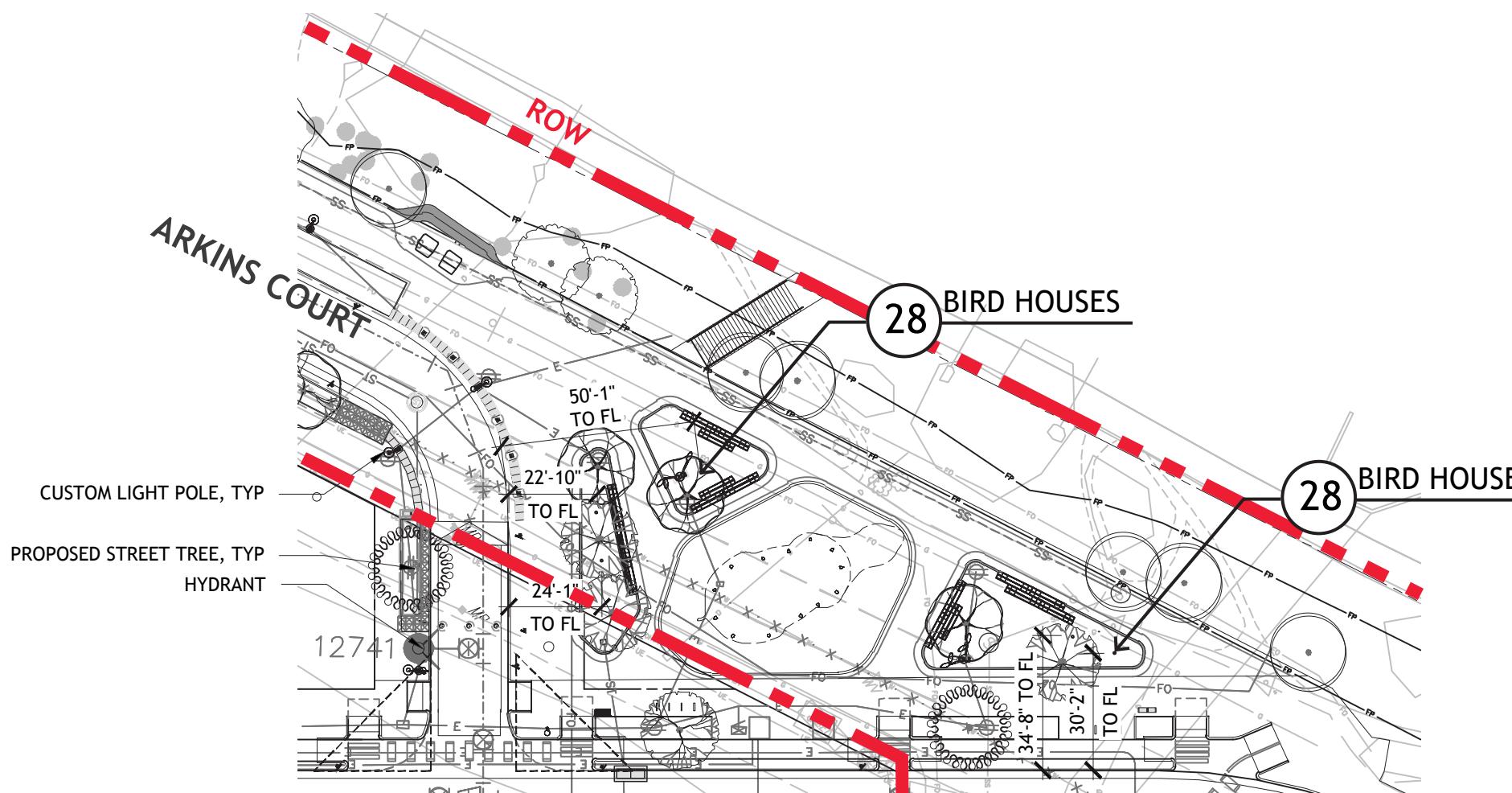
Project Title:
DENARGO MARKET
PUBLIC REALM
& HORIZONTAL
IMPROVEMENTS

Drawing Title:

TIER III
ENCROACHMENTS

Project No.: 18157.00 Scale: As Noted
Drawn By: LT, BT, JP, AC
Checked By: AP, DD
Approved By: JB
Date: 06.01.2023

Drawing No:
PAGE 05 OF 10

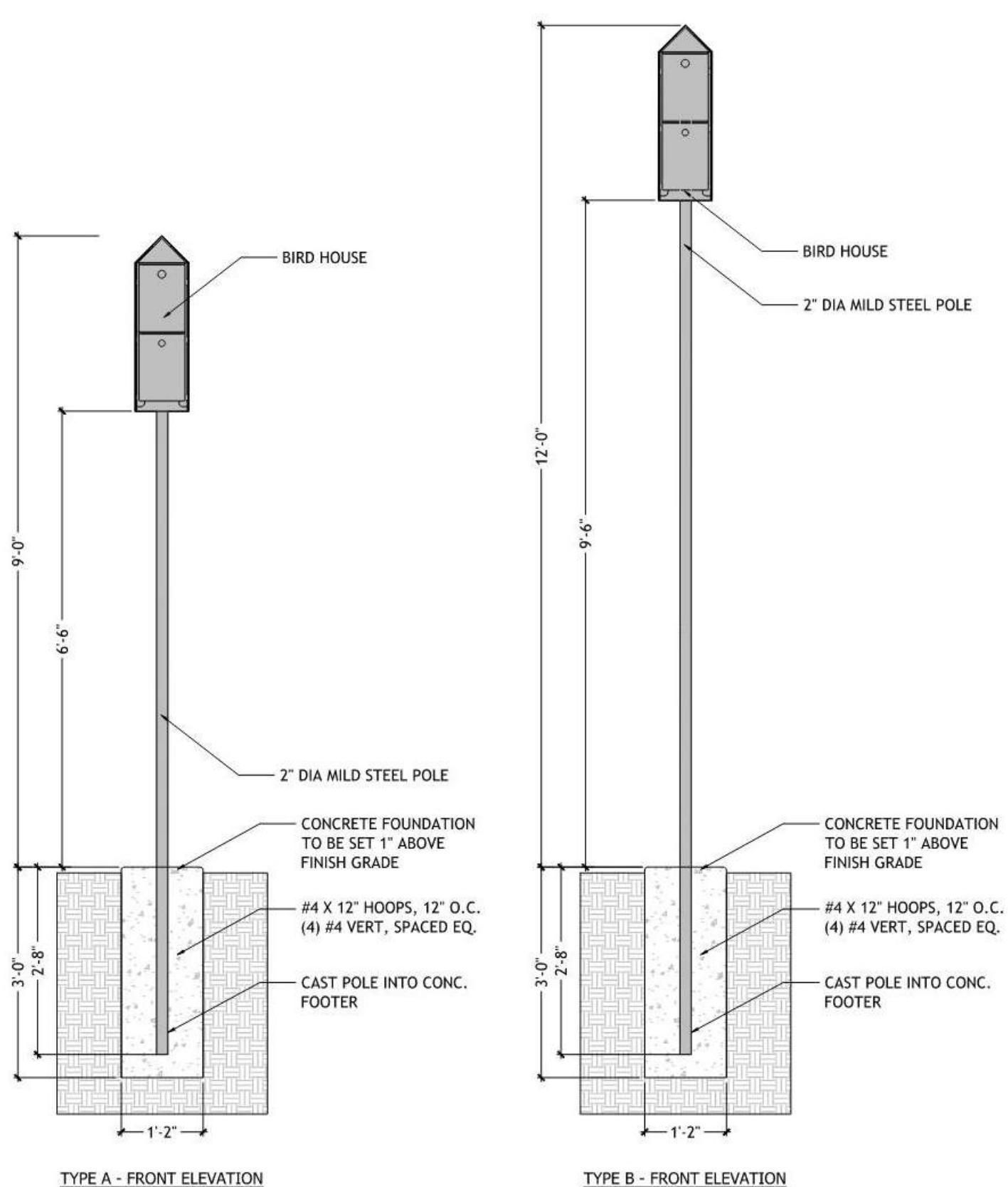


AC ARKINS COURT ROW
1"-40'-0"

NARRATIVE

FIVE BIRD HOUSES ARE PROPOSED WITHIN THE ROW ALONG ARKINS COURT. THE BIRD HOUSES ARE INTENDED TO PROVIDE A DISTINCT DISTRICT CHARACTER ALONG THE RINO PROMENADE WHILE PROVIDING NESTING AREAS FOR BIRDS.

THE BIRD HOUSES ARE COMPOSED OF STEEL AND WOOD AND ARE SET IN A CONCRETE FOUNDATION.



28 BIRD HOUSES
1/2"=1'-0"

Ownership to be
changed to DPR

NOT FOR CONSTRUCTION

Key Plan



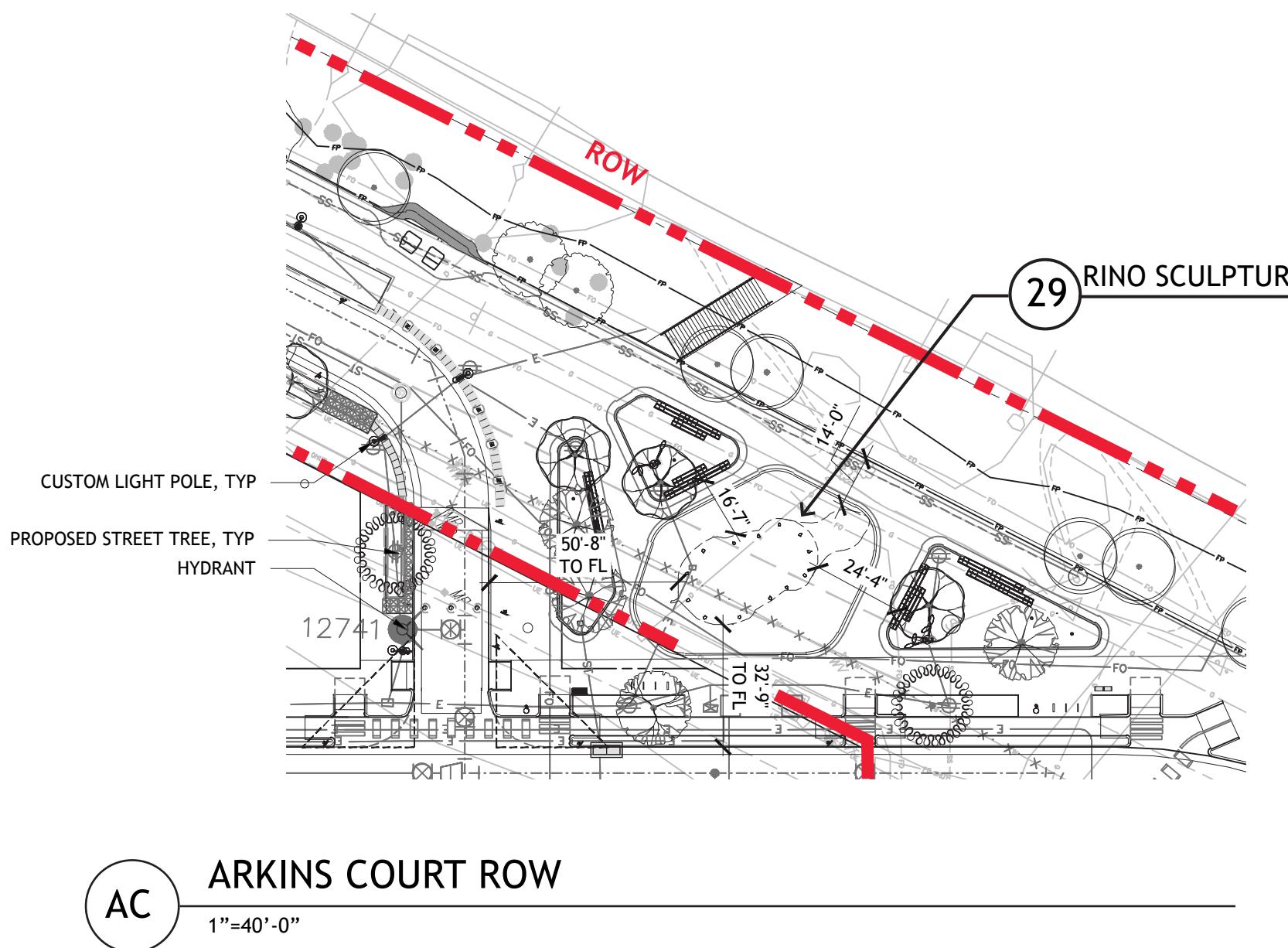
Project Title:
DENARGO MARKET
PUBLIC REALM
& HORIZONTAL
IMPROVEMENTS

Drawing Title:

TIER III
ENCROACHMENTS

Project No.: 18157.00 Scale: As Noted
Drawn By: LT, BT, JP, AC
Checked By: AP, DD
Approved By: JB
Date: 06.01.2023

Drawing No:
PAGE 07 OF 10

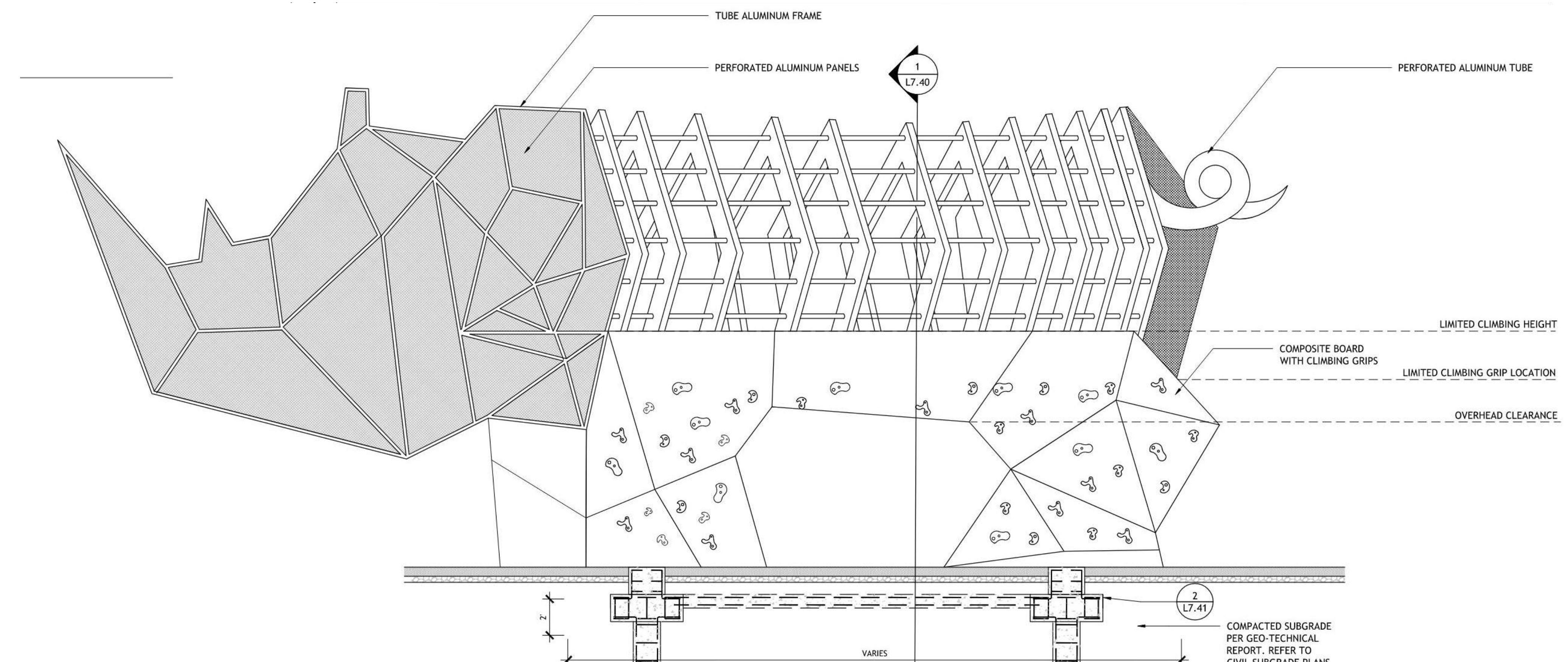
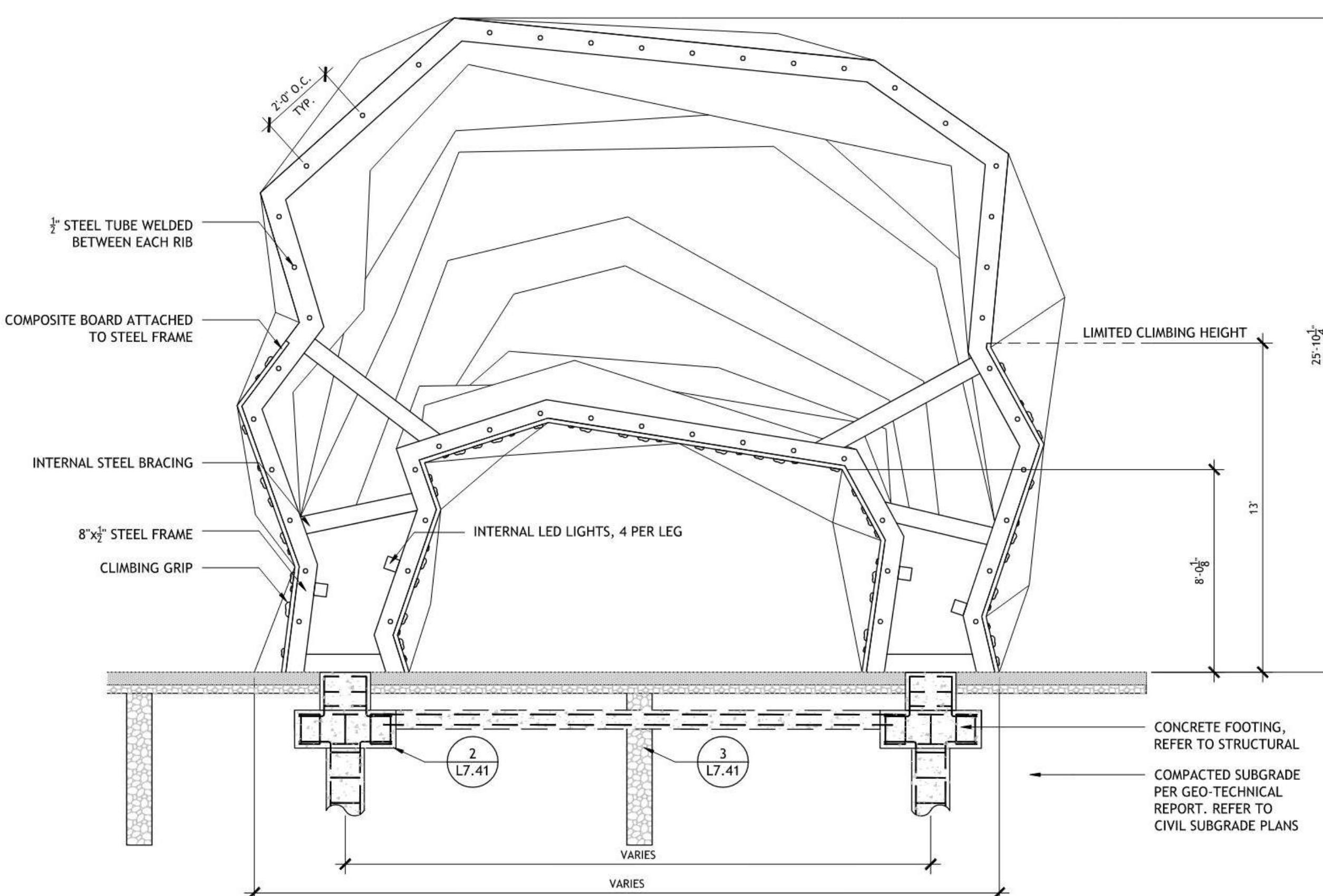


ARKINS COURT ROW

NARRATIVE

A 'CLIMBING RINO' IS PROPOSED IN THE RC ALONG ARKINS COURT. THE SCULPTURE IS CENTERPIECE OF THE DISTRICT AND CREAT UNIQUE DISTRICT CHARACTER.

THE CUSTOM SCULPTURAL ELEMENT IS CO/ OF INTERNAL STEEL RIBS WITH COMPOSITE BOARD CLIMBING GRIPS ON BOTTOM HALF BOULDERING. THE STRUCTURE'S HEAD AND TAIL ARE COMPOSED OF EXPOSE THE STEEL WITH PERFORATED METAL ARCHITECTURAL SKIN.



29 RINO SCULPTURE
1/4"=1'-0"

Ownership to be
changed to DPR

NOT FOR CONSTRUCTION

Key Plan



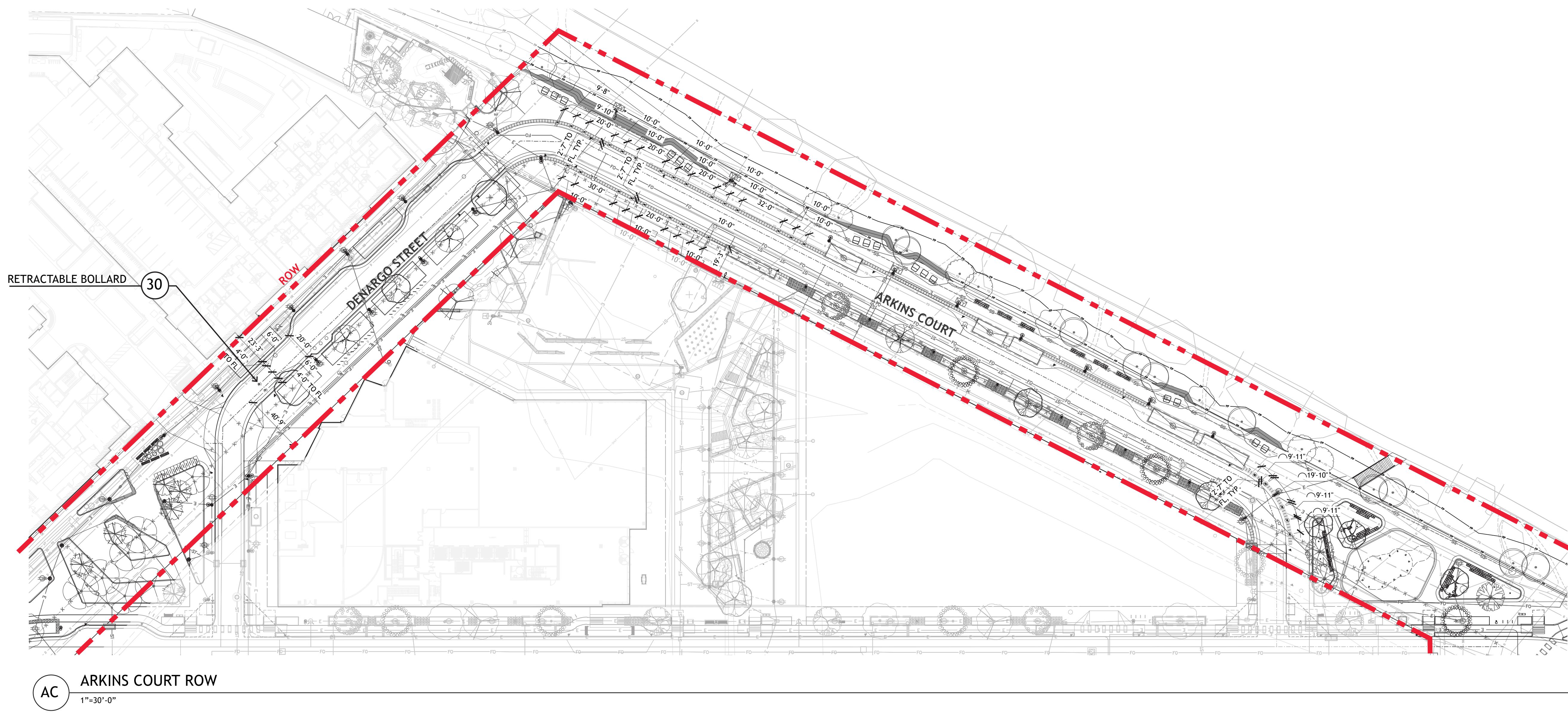
Project Title:
DENARGO MARKET
PUBLIC REALM & HORIZONTAL IMPROVEMENTS

Drawing Title:

TIER III
ENCROACHMENTS

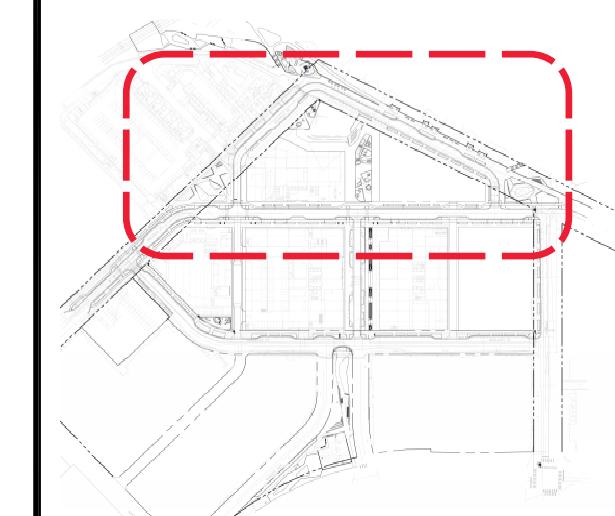
Project No.: 18157.00 Scale: As Noted
Drawn By: LT, BT, JP, AC
Checked By: AP, DD
Approved By: JB
Date: 06.01.2023

Drawing No:
PAGE 08 OF 10



NOT FOR CONSTRUCTION

Key Plan



Project Title:
DENARGO MARKET
PUBLIC REALM
& HORIZONTAL
IMPROVEMENTS

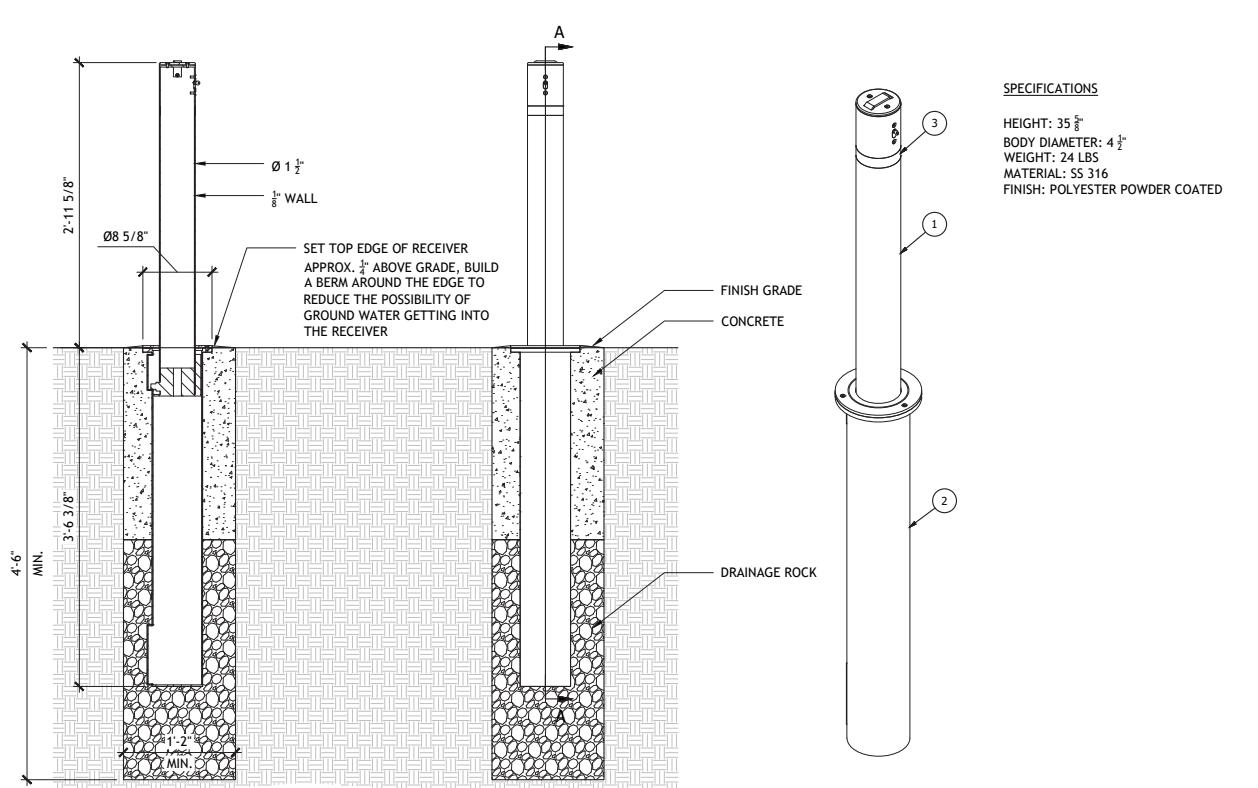
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TIER III
ENCROACHMENTS

Project No.: 18157.00 Scale: As Noted
Drawn By: LT, BT, JP, AC
Checked By: AP, DD
Approved By: JB
Date: 06.01.2023

Drawing No:
PAGE 09 OF 10

NARRATIVE
BOLLARDS ARE PLACED WITHIN THE DENARGO STREET ROAD BED. THIS PORTION OF DENARGO STREET IS PROPOSED TO BE A SHARED PEDESTRIAN SHEET. THE BOLLARDS WILL PROVIDE A BARRIER TO NON-EMERGENCY VEHICLES DURING ROAD CLOSURES.

THE BOLLARD IS BY RELIANCE FOUNDRY AND WILL HAVE A CONCRETE FOOTING.



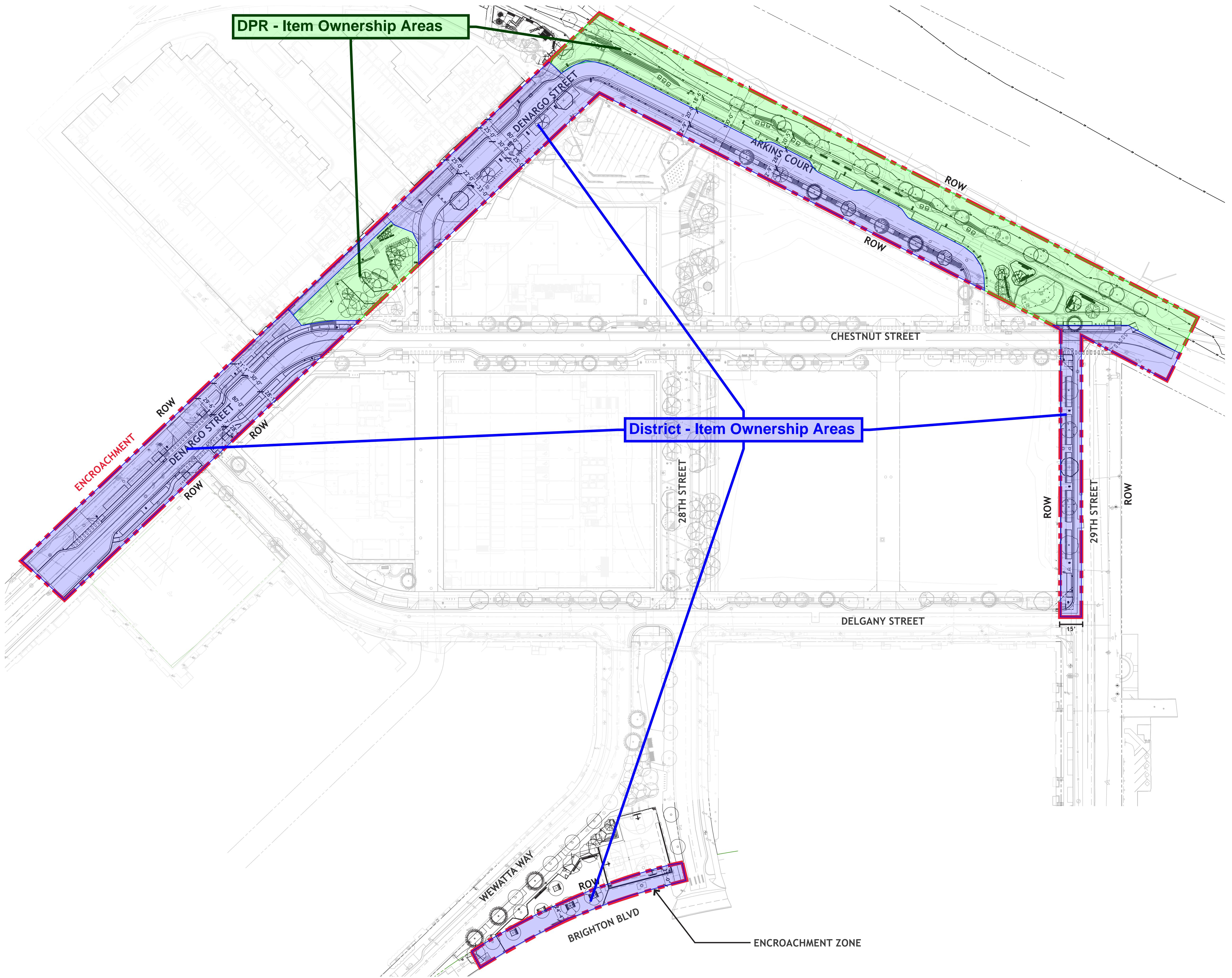
NOTES
1. ENHANCEMENT DETAILS ARE FOR REFERENCE ILLUSTRATION ONLY. MINIMUM FOUNDATION SIZES DEPEND ON LOCAL SOIL CONDITIONS, WEATHER CONDITIONS, AND FOUNDATION REQUIREMENTS.
2. BOLLARD IS PROVIDED AS SHOWN, WITH PARTS LISTED BELOW. CONCRETE FOUNDATION AND/OR INSTALLATION NOT PROVIDED BY RELIANCE FOUNDRY.
THIS DRAWING IS NOT TO SCALE. DIMENSIONS PROVIDED HEREIN IS FOR REFERENCE ONLY. PLEASE CONSULT RELIANCE FOUNDRY SALES PROFESSIONALS IF ANY DIMENSIONS ARE REQUIRED.
3. RELIANCE FOUNDRY RESERVES THE RIGHT TO AMEND THE DESIGN AND SPECIFICATIONS WITHOUT PRIOR NOTICE FOR PRODUCT IMPROVEMENT.

ITEM	QTY	PART NUMBER	DESCRIPTION	MANUFACTURER	MATERIAL	WEIGHT
1	1	884728	884728 Retractable Bollard Receiver	Reliance Foundry	Steel Hot Dipped Galvanized w/ Stainless Steel 316 Cover	24 lbs
2	1	884728	884728 Retractable Bollard Receiver	Reliance Foundry	Steel Hot Dipped Galvanized w/ Stainless Steel 316 Cover	24 lbs
3	1	884728	Optional Reflective Tape, Max. 1 1/2" Width	Plasti		

30 RETRACTABLE BOLLARD
1/2"=1'-0"

No changes this Page

DPR - Item Ownership Areas





Comment Report

Department of Public Works
Engineering, Regulatory, & Analytics
201 W. Colfax Ave., Dept. 507
Denver, Colorado 80202-5304
(720) 865-3003
denver.pwera@denvergov.org

Page 1 of 17

3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**
Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: DS Transportation Review	Review Status: Approved
--	-------------------------

Reviewers Name: Mindy Christensen
Reviewers Email: Mindy.Christensen@denvergov.org

Status Date: 01/15/2025
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070_3rd Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: DOTI - DES - Transportation
Reviewers Name: Mindy Christensen
Reviewers Phone: 720-865-3216
Reviewers Email: mindy.christensen@denvergov.org
Approval Status: Approved

Comments:

Status Date: 07/25/2023
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070 - Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: City & County of Denver/DOTI DES Transportation
Reviewers Name: Mindy Christensen
Reviewers Phone: 7208653216
Reviewers Email: mindy.christensen@denvergov.org
Approval Status: Approved

Comments:

Status Date: 07/13/2023
Status: Denied
Comments: Denied on behalf of this critical reviewer. This is still under review. Please contact the reviewer to resolve.

Status Date: 07/12/2023
Status: Approved - No Response
Comments:

Status Date: 08/19/2022
Status: Denied
Comments: Denied on behalf of this critical reviewer, and this is still under review. Please contact the reviewer to resolve.

Status Date: 08/19/2022
Status: Approved - No Response
Comments:

Comment Report

Page 2 of 17

3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**
Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: DS Project Coordinator Review Review Status: Approved - No Response

Reviewers Name: James Larsen

Reviewers Email: James.Larsen@denvergov.org

Status Date: 01/15/2025

Status: Approved - No Response

Comments:

Status Date: 06/26/2023

Status: Approved

Comments:

Status Date: 08/19/2022

Status: Approved w/Conditions

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070 - Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

Reviewing Agency/Company: Development Services, CPD

Reviewers Name: Sarah Kaplan

Reviewers Phone: 7208652991

Reviewers Email: sarah.kaplan@denvergov.org

Approval Status: Approved with conditions

Comments:

Project Coordinator does not take exception with proposed Encroachments. Ensure that applicable Encroachment Review / Recordation Number(s) are cited, where applicable, on associated formal Site Development Plan submittals.

Status Date: 08/19/2022

Status: Approved

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070 - Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

Reviewing Agency/Company: Development Services, CPD

Reviewers Name: Sarah Kaplan

Reviewers Phone: 7208652991

Reviewers Email: sarah.kaplan@denvergov.org

Approval Status: Approved with conditions

Comments:

Project Coordinator does not take exception with proposed Encroachments. Ensure that applicable Encroachment Review / Recordation Number(s) are cited, where applicable, on associated formal Site Development Plan submittals.

Status Date: 08/19/2022

Status: Approved - No Response

Comments:

Reviewing Agency: Survey Review

Review Status: Approved

Reviewers Name: Thomas Savich

Reviewers Email: Thomas.Savich@denvergov.org

Status Date: 01/24/2025

2022-ENCROACHMENT-0000070

Comment Report

Page 3 of 17

3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**
Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status: Approved
Comments: 3rd submittal review is for structural plans and calculations only - No Survey elements to review.

Status Date: 10/19/2023
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070 - Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: DOTI/ROWS/SURVEY
Reviewers Name: Thomas Savich
Reviewers Phone: 8188098753
Reviewers Email: thomas.savich@denvergov.org
Approval Status: Approved

Comments:

Attachment: a_Site plan-001.pdf

Attachment: e_Encroach Desc and Illus-002.pdf

Attachment: f_Encroach Desc-002.docx

Attachment: g_Encroach Desc and Illus-003.pdf

Attachment: h_Encroach Desc-003.docx

Status Date: 07/20/2023
Status: Denied
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070 - Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: DOTI/ROWS/Survey
Reviewers Name: John Clarke
Reviewers Phone: 303-625-3253
Reviewers Email: john.clarke@denvergov.org
Approval Status: Denied

Comments:

My comments are in the REDLINES folder; sent out to applicant: Scott Paling

Status Date: 07/13/2023
Status: Denied
Comments: Denied on behalf of this critical reviewer. This is still under review. Please contact the reviewer to resolve.

Status Date: 07/12/2023
Status: Approved - No Response
Comments:

Status Date: 08/19/2022
Status: Denied
Comments: Denied on behalf of this critical reviewer, and this is still under review. Please contact the reviewer to resolve.

Comment Report

Page 4 of 17

3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**
Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status Date: 08/19/2022
Status: Approved - No Response
Comments:

Reviewing Agency: DES Wastewater Review	Review Status: Approved
---	-------------------------

Reviewers Name: Jack Kasprzak
Reviewers Email: jack.kasprzak@denvergov.org

Status Date: 01/30/2025
Status: Approved
Comments:

Status Date: 07/14/2023
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070_2nd Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: DES Wastewater
Reviewers Name: Jack Kasprzak
Reviewers Phone: 7209134533
Reviewers Email: jack.kasprzak@denvergov.org
Approval Status: Approved

Comments:
DES Wastewater has no objection to the proposed encroachments.

Status Date: 07/13/2023
Status: Denied
Comments: Denied on behalf of this critical reviewer. This is still under review. Please contact the reviewer to resolve.

Status Date: 07/12/2023
Status: Approved - No Response
Comments:

Status Date: 08/15/2022
Status: Denied
Comments: Significant comments were provided during the Horizontal Site Development Plan Wastewater review regarding the ROW encroachments shown. In addition, the SSPR plans have significant comments that will alter the utility layout shown in the encroachment submittal. Provide updated plans and comment responses to the Wastewater SSPR and HSDP review comments. Encroachment will not be approved until all significant HSDP and SSPR comments have been addressed.

Reviewing Agency: City Council Referral	Review Status: Approved - No Response
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Status Date: 02/03/2025
Status: Approved - No Response
Comments:

Status Date: 07/12/2023
Status: Approved - No Response
Comments:

Comment Report

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3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**
Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status Date: 08/19/2022
Status: Approved - No Response
Comments:

Reviewing Agency: CenturyLink Referral	Review Status: Approved
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Status Date: 02/26/2025
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070_3rd Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: CenturyLink/Lumen
Reviewers Name: Jason Stephenson
Reviewers Phone: n/a
Reviewers Email: j.stephenson@lumen.com
Approval Status: Approved

Comments:

Status Date: 02/03/2025
Status: Denied
Comments: PWPRS 2022-ENCROACHMENT-0000070_3rd Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: CenturyLink/Lumen
Reviewers Name: CenturyLink
Reviewers Phone:
Reviewers Email: Nre.Easement@centurylink.com
Approval Status: Denied

Comments:

Denied on behalf of this critical reviewer. Please reach out to CenturyLink at Nre.Easement@centurylink.com for their response.

Status Date: 07/12/2023
Status: Approved - No Response
Comments:

Status Date: 08/19/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Xcel Referral	Review Status: Approved
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Status Date: 02/14/2025
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070_3rd Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: Public Service Company of Colorado (PSCo) dba Xcel Energy
Reviewers Name: Donna George
Reviewers Phone: 3035713306
Reviewers Email: Donna.L.George@xcelenergy.com
Approval Status: Approved

Comment Report

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3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**
Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

Comments:

Status Date: 02/03/2025
Status: Denied
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070_3rd Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: Public Service Company of Colorado (PSCo) dba Xcel Energy
Reviewers Name: Donna George
Reviewers Phone: 3035713306
Reviewers Email: Donna.L.George@xcelenergy.com
Approval Status: Denied

Comments:

PSCo owns and operates existing underground electric distribution lines and switching facilities as well as natural gas distribution facilities in this area - please show these utilities on the plan in relation to the structural columns (legs/feet of the rhino).

Status Date: 07/13/2023
Status: Approved w/Conditions
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070_2nd Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: Public Service Company of Colorado dba Xcel Energy
Reviewers Name: Donna George
Reviewers Phone: 3035713306
Reviewers Email: donna.l.george@xcelenergy.com
Approval Status: Approved with conditions

Comments:

PSCo/Xcel Energy has existing natural gas (intermediate pressure and main) and underground electric distribution facilities within the encroachment areas. Please contact the Utility Notification Center of Colorado before excavating. Use caution and hand dig when excavating within 18-inches of each side of the marked facilities. Please be aware that all risk and responsibility for this request are unilaterally that of the Applicant/Requestor.

Status Date: 07/12/2023
Status: Approved - No Response
Comments:
Status Date: 08/19/2022
Status: Approved w/Conditions
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070 - Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: Public Service Company of Colorado dba Xcel Energy
Reviewers Name: Donna George
Reviewers Phone: 3035713306
Reviewers Email: donna.l.george@xcelenergy.com
Approval Status: Approved with conditions

Comments:

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Comment Report

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3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID:	2019-PROJMSTR-0000298	Project Type:	Tier III Encroachment Resolution
Review ID:	2022-ENCROACHMENT-0000070	Review Phase:	
Location:		Review End Date:	01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

PSCo/Xcel Energy has existing natural gas (intermediate pressure and main) and underground electric distribution facilities within the encroachment areas. Please contact the Utility Notification Center of Colorado before excavating. Use caution and hand dig when excavating within 18-inches of each side of the marked facilities. Please be aware that all risk and responsibility for this request are unilaterally that of the Applicant/Requestor.

Status Date: 08/19/2022
Status: Approved - No Response
Comments:

Reviewing Agency: RTD Referral	Review Status: Approved
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Status Date: 02/03/2025
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070_3rd Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: RTD
Reviewers Name: clayton s woodruff
Reviewers Phone: 303-299-2943
Reviewers Email: Clayton.woodruff@rtd-denver.com
Approval Status: Approved

Comments:
Department Comments
Bus Operations No exceptions
Bus Stop Program No exceptions
Commuter Rail No exceptions
Construction Management No exceptions
Engineering No exceptions
Light Rail No exceptions
Real Property No exceptions
Service Development No exceptions
Transit Oriented Development No exceptions
Utilities No exceptions
This review is for Design concepts and to identify any necessary improvements to RTD stops and property affected by the design. This review of the plans does not eliminate the need to acquire, and/or go through the acquisition process of any agreements, easements or permits that may be required by the RTD for any work on or around our facilities and property.

Status Date: 07/13/2023
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070 - Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: RTD
Reviewers Name: C. Scott Woodruff
Reviewers Phone: 303-299-2943
Reviewers Email: clayton.woodruff@rtd-denver.com
Approval Status: Approved

Comments:

Comment Report

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3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**
Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

The RTD engineering review has no exceptions to this project at this time.

This review is for Design concepts and to identify any necessary improvements to RTD stops and property affected by the design. This review of the plans does not eliminate the need to acquire, and/or go through the acquisition process of any agreements, easements or permits that may be required by the RTD for any work on or around our facilities and property.

Status Date: 07/12/2023
Status: Approved - No Response
Comments:

Status Date: 08/19/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Comcast Referral	Review Status: Approved - No Response
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Status Date: 02/03/2025
Status: Approved - No Response
Comments:

Status Date: 07/12/2023
Status: Approved - No Response
Comments:

Status Date: 08/19/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Metro Wastewater Referral	Review Status: Approved - No Response
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Status Date: 02/03/2025
Status: Approved - No Response
Comments:

Status Date: 07/12/2023
Status: Approved - No Response
Comments:

Status Date: 08/19/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Street Maintenance Referral	Review Status: Approved - No Response
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Status Date: 02/03/2025
Status: Approved - No Response
Comments:

Status Date: 07/12/2023
Status: Approved - No Response
Comments:

Comment Report

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3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**
Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status Date: 08/19/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Office of Emergency Management Referral	Review Status: Approved - No Response
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Status Date: 02/03/2025
Status: Approved - No Response
Comments:

Status Date: 07/12/2023
Status: Approved - No Response
Comments:

Status Date: 08/19/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Building Department Review	Review Status: Approved - No Response
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Status Date: 02/03/2025
Status: Approved - No Response
Comments:

Status Date: 07/11/2023
Status: Approved
Comments:

Status Date: 08/19/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Division of Real Estate Referral	Review Status: Approved - No Response
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Status Date: 02/03/2025
Status: Approved - No Response
Comments:

Status Date: 06/28/2023
Status: Approved
Comments:

Status Date: 08/19/2022
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070 - Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: CCD Real Estate Asset Management
Reviewers Name: David J Edwards
Reviewers Phone: 7209130889

Comment Report

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3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**
Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewers Email: Davidj.Edwards@denvergov.org

Approval Status: Approved

Comments:

Status Date: 08/10/2022

Status: Approved

Comments: The Parks and Recs department needs to review and approve the location of the playground because it's on the banks of the Platte near the trail. I believe that is open space that Parks manages. thanks.

Reviewing Agency: Denver Fire Department Review

Review Status: Approved - No Response

Reviewers Name: Adam Grier

Reviewers Email: Adam.Grier@denvergov.org

Status Date: 01/29/2025

Status: Approved - No Response

Comments:

Status Date: 07/05/2023

Status: Approved

Comments:

Status Date: 08/18/2022

Status: Approved

Comments: Denver Fire Dept. Approved - RT

Reviewing Agency: Denver Water Referral

Review Status: Approved

Status Date: 02/03/2025

Status: Approved

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070_3rd Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

Reviewing Agency/Company: Denver Water

Reviewers Name: Kela Naso

Reviewers Phone: 0000000000

Reviewers Email: kela.naso@denverwater.org

Approval Status: Approved

Comments:

Status Date: 07/13/2023

Status: Approved

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070_2nd Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

Reviewing Agency/Company: Denver Water

Reviewers Name: Kela Naso

Reviewers Phone: 13036286302

Reviewers Email: kela.naso@denverwater.org

Approval Status: Approved

Comment Report

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3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**
Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

Comments:

Status Date: 07/12/2023

Status: Approved - No Response

Comments:

Status Date: 08/19/2022

Status: Approved

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070 - Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

Reviewing Agency/Company: Denver Water

Reviewers Name: Kela Naso

Reviewers Phone: 13036286302

Reviewers Email: kela.naso@denverwater.org

Approval Status: Approved

Comments:

Status Date: 08/19/2022

Status: Approved - No Response

Comments:

Reviewing Agency: Parks and Recreation Review

Review Status: Approved

Reviewers Name: Jennifer Cervera

Reviewers Email: Jennifer.Cervera@denvergov.org

Status Date: 02/24/2025

Status: Approved

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070_3rd Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

Reviewing Agency/Company: Parks and Recreation

Reviewers Name: Jennifer Cervera

Reviewers Phone: 7209135862

Reviewers Email: Jennifer.Cervera@denvergov.org

Approval Status: Approved

Comments:

Status Date: 01/30/2025

Status: Denied

Comments: Stairs shown on plans are not on the approved CDs for Denargo Market

Status Date: 07/12/2023

Status: Approved - No Response

Comments:

Status Date: 03/07/2023

Status: Approved

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070 - Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

Reviewing Agency/Company: Parks and Recreation Review

2022-ENCROACHMENT-0000070

Comment Report

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3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**
Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewers Name: Emily McKee
Reviewers Phone: (720) 595-5474
Reviewers Email: emily.mckee@denvergov.org
Approval Status: Approved

Comments:

Status Date: 08/04/2022
Status: Denied
Comments: Park design has not been approved by DPR. Once there is an approved design DPR will review the encroachment permits

Reviewing Agency: Policy and Planning Referral	Review Status: Approved - No Response
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Status Date: 02/03/2025
Status: Approved - No Response
Comments:

Status Date: 07/12/2023
Status: Approved - No Response
Comments:

Status Date: 08/19/2022
Status: Approved - No Response
Comments:

Reviewing Agency: Denver Office of Disability Rights Referral	Review Status: Approved
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Status Date: 02/03/2025
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070_3rd Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: DODR
Reviewers Name: Spencer Pocock
Reviewers Phone: 720-913-8411
Reviewers Email: Spencer.Pocock@denvergov.org
Approval Status: Approved

Comments:

The final design and construction of the art emplacement must comply with all Protruding Object requirements found in Sections 204 and 307 of the 2010 ADA. Final construction, including any later modifications, to the public sidewalk (which is considered a public Accessible Route), as well as any other areas open to the general public, must comply with all applicable 2010 ADA requirements.

Status Date: 07/13/2023
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070_2nd Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: DODR
Reviewers Name: Spencer Pocock
Reviewers Phone: 720-913-8411

Comment Report

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3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**
Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewers Email: Spencer.Pocock@denvergov.org

Approval Status: Approved

Comments:

All public areas shall be accessible. Please ensure that playground complies with any regulations that may apply per 2010 ADA, Section 240. All accessible routes to any accessible playgrounds must comply with Chapter 4 (ADA). Please ensure that the floor surface for any accessible path will have a firm and stable floor for proper wheelchair use. Loose crusher fines or gravel rock, grass, dirt, etc. are not acceptable as an accessible path surface since these materials do not have a stable surface for wheelchair access. Fibar EWF, Stabilized Crusher Fines from Stabilizer Solutions or other any material that has been approved by the Federal Access Board can be used at the accessible path as long as it is installed and maintained per manufacturer's directions. Final construction, including any later modifications to the public sidewalk (which is considered a public Accessible Route), as well as any other areas open to the general public, must comply with all applicable 2010 ADA requirements.

Status Date: 07/12/2023

Status: Approved - No Response

Comments:

Status Date: 08/19/2022

Status: Approved

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070 - Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

Reviewing Agency/Company: DODR

Reviewers Name: Juan Pasillas

Reviewers Phone: 720-913-3309

Reviewers Email: juan.pasillas@denvergov.org

Approval Status: Approved

Comments:

*Approved.

*Final construction, including any later modifications to any of the public sidewalks (which are considered a public Accessible Routes), as well as any other areas open to the general public, must remain wheelchair accessible and comply with all applicable 2010 ADA requirements.

Status Date: 08/19/2022

Status: Approved - No Response

Comments:

Reviewing Agency: Construction Engineering Review

Review Status: Approved

Reviewers Name: Porames Saejiw

Reviewers Email: Joe.Saejiw@denvergov.org

Status Date: 01/21/2025

Status: Approved

Comments: 1. Prior to the solicitation of bids or proposals from general contractors, the developer of this project is strongly encouraged to schedule an office meeting with the Right-of-Way Services Construction Inspections team (303) 446-3469 to discuss the project's installation of City Approved Plans for Traffic Closures, Row Items and Landscaping and the associated ROW permit fees that will need to be paid by the selected general contractor.

Comment Report

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3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**
Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status Date: 07/10/2023
Status: Approved
Comments: 1. Prior to the solicitation of bids or proposals from general contractors, the developer of this project is strongly encouraged to schedule an office meeting with the Right-of-Way Services Construction Inspections team (303) 446-3469 to discuss the project's impact to city traffic, streets, roads, alleys and sidewalks, and the associated ROW permit fees that will need to be paid by the selected general contractor.

2. Hand holes, vaults, valves, poles and cabinets should not be placed in the direct pedestrian path. A 5ft min unobstructed pedestrian path must be present after construction.

Status Date: 08/19/2022
Status: Approved - No Response
Comments:

Reviewing Agency: TES Sign and Stripe Review Review Status: Approved - No Response

Reviewers Name: Brittany Price
Reviewers Email: Brittany.Price@denvergov.org

Status Date: 02/03/2025
Status: Approved - No Response
Comments:

Status Date: 07/12/2023
Status: Approved - No Response
Comments:

Status Date: 08/19/2022
Status: Approved - No Response
Comments:

Reviewing Agency: City Forester Review Review Status: Approved

Reviewers Name: Nick Evers
Reviewers Email: Nick.Evers@denvergov.org

Status Date: 01/30/2025
Status: Approved
Comments: Approved. No expected PRW tree conflict. Ensure Encroachment matches SDP.

Status Date: 07/12/2023
Status: Approved - No Response
Comments:

Status Date: 03/20/2023
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070 - Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: Denver Parks and Rec - Forestry
Reviewers Name: Nick Evers
Reviewers Phone: 7206759194

Comment Report

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3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**
Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewers Email: nick.evers@denvergov.org

Approval Status: Approved

Comments:

Approved. Please refer to the approved SDP.

Status Date: 08/19/2022

Status: Denied

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070 - Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

Reviewing Agency/Company: Denver Parks and Rec - Forestry

Reviewers Name: Nick Evers

Reviewers Phone: 7206759194

Reviewers Email: nick.evers@denvergov.org

Approval Status: Denied

Comments:

Please coordinate Encroachment with next SDP submittal

Status Date: 08/19/2022

Status: Approved - No Response

Comments:

Reviewing Agency: Landmark Review

Review Status: Approved - No Response

Status Date: 01/17/2025

Status: Approved - No Response

Comments:

Status Date: 06/28/2023

Status: Approved

Comments:

Status Date: 08/19/2022

Status: Approved - No Response

Comments:

Reviewing Agency: CDOT Referral

Review Status: Approved

Status Date: 02/03/2025

Status: Approved

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070_3rd Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

Reviewing Agency/Company: CDOT

Reviewers Name: Michelle White

Reviewers Phone: 303-512-4218

Reviewers Email: michelle.m.white@state.co.us

Approval Status: Approved

Comment Report

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3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution
Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**
Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

Comments:

This is not on CDOT's system. We have no comments.

Status Date: 07/13/2023
Status: Approved
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070 - Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: CDOT Region 1 ROW/survey
Reviewers Name: dane courville
Reviewers Phone: 7206720231
Reviewers Email: dane.courville@state.co.us
Approval Status: Approved

Comments:

Does not affect CDOT on-system ROW. Proposed effort is approved as the location does not affect CDOT ROW.

Status Date: 07/12/2023
Status: Approved - No Response
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000070 - Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground
Reviewing Agency/Company: CDOT Region 1 ROW/survey
Reviewers Name: dane courville
Reviewers Phone: 7206720231
Reviewers Email: dane.courville@state.co.us
Approval Status: Approved

Comments:

Does not affect CDOT on-system ROW. Proposed effort is approved as the location does not affect CDOT ROW.

Status Date: 08/19/2022
Status: Approved - No Response
Comments:

Reviewing Agency: ERA Review	Review Status: Approved - No Response
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Reviewers Name: Rebecca Ynostrosa
Reviewers Email: Rebecca.Ynostrosa@denvergov.org

Status Date: 02/03/2025
Status: Approved - No Response
Comments:

Status Date: 07/12/2023
Status: Approved - No Response
Comments:

Status Date: 08/19/2022

2022-ENCROACHMENT-0000070

Comment Report

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3rd_Tier III 2650 Arkins Ct Denargo Market - Fencing - Playground

02/26/2025

Master ID: 2019-PROJMSTR-0000298 **Project Type:** Tier III Encroachment Resolution

Review ID: 2022-ENCROACHMENT-0000070 **Review Phase:**

Location: **Review End Date:** 01/30/2025

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status: Approved - No Response

Comments:

EXHIBIT B
SHEET 1 OF 2LAND DESCRIPTION

A PARCEL OF LAND 25.00 FEET WIDE, BEING A PORTION OF NORTH BROADWAY PER ORDINANCE 280, SERIES 2001, LOCATED IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EASTERLY MOST CORNER OF TRACT G, DENARGO MARKET SUBDIVISION FILING NO. 2 RECORDED AT RECEPTION NO. 2012049308 ALSO BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID NORTH BROADWAY; THENCE ALONG THE EASTERLY LINE OF SAID TRACT G AND SAID WESTERLY RIGHT-OF-WAY LINE 15.73 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 900.65 FEET, A CENTRAL ANGLE OF 01°00'02" AND A CHORD WHICH BEARS S30°05'21"W A DISTANCE OF 15.73 FEET TO THE POINT OF BEGINNING; THENCE S60°24'40"E A DISTANCE OF 25.00 FEET;

THENCE 260.16 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 875.65 FEET, A CENTRAL ANGLE OF 17°01'22", AND A CHORD WHICH BEARS S21°04'38"W A DISTANCE OF 259.20 FEET;

THENCE N77°26'03"W A DISTANCE OF 25.00 FEET TO A POINT ON THE EASTERLY LINE OF SAID TRACT G AND SAID WESTERLY RIGHT-OF-WAY LINE OF NORTH BROADWAY;

THENCE ALONG SAID EASTERLY AND WESTERLY LINES, 267.59 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 900.65 FEET, A CENTRAL ANGLE OF 17°01'22", AND A CHORD WHICH BEARS N21°04'38"E A DISTANCE OF 266.60 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 0.151 ACRES OR 6,597 SQUARE FEET MORE OR LESS.

ALL LINEAR DIMENSIONS ARE IN U.S. SURVEY FEET.

BASIS OF BEARINGS:

BEARINGS ARE BASED ON AN ASSUMED BEARING OF N00°01'41"W ALONG THE EASTERLY LINE OF THE NORTHWEST QUARTER OF SECTION 27, BEING MONUMENTED BY A FOUND 3-1/4" ALUMINUM CAP PLS #33204 SET FLUSH WITH THE GROUND AT THE NORTH QUARTER CORNER AND THE CENTER QUARTER CORNER AS ESTABLISHED FROM A 110.00 FOOT WITNESS CORNER BEING A FOUND ALUMINUM DISK IN CONCRETE PLS #33204 TO THE SOUTH AND A 180.00 FOOT WITNESS CORNER BEING THE STEM OF A BROKEN DISK IN CONCRETE TO THE EAST.

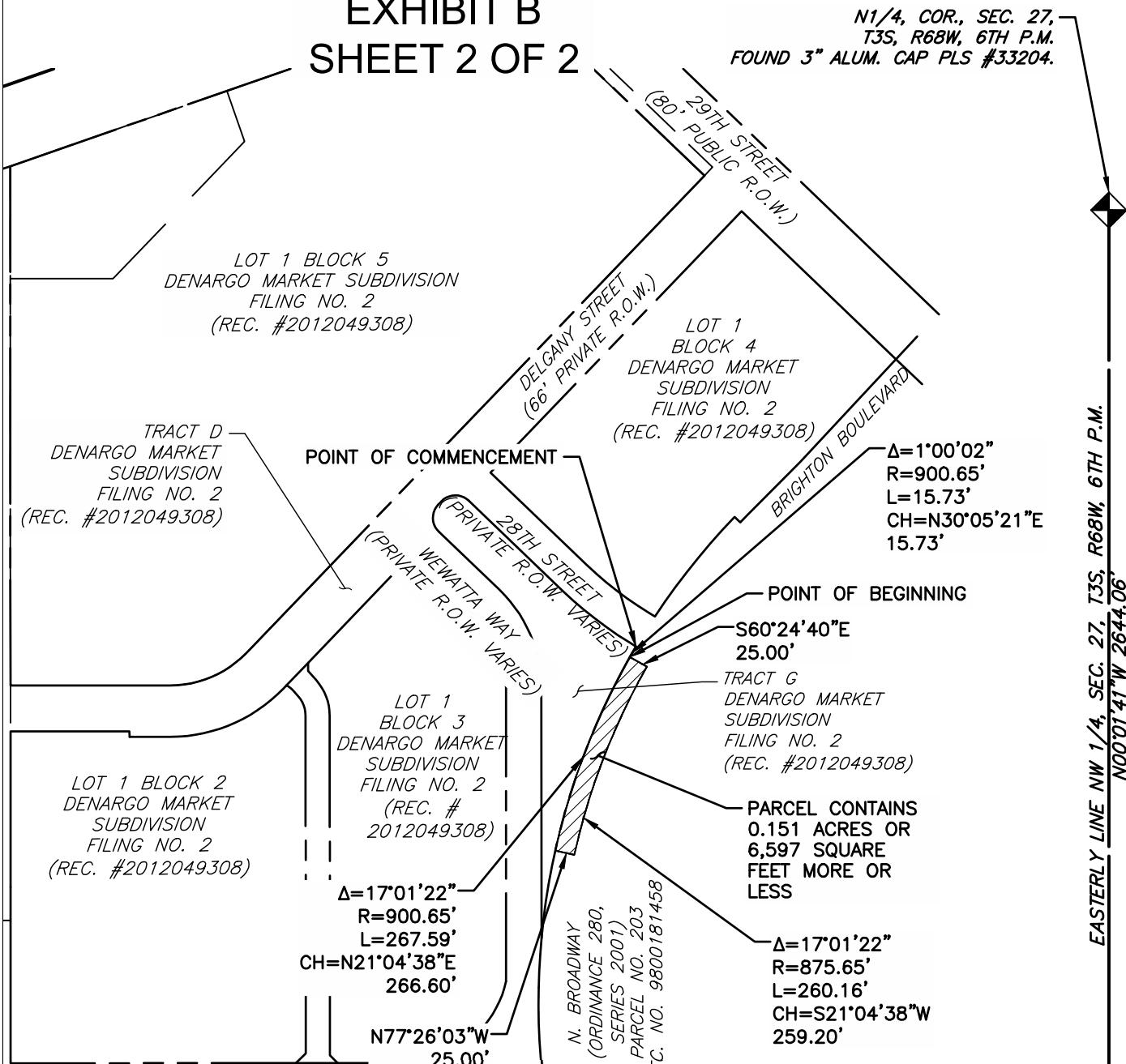
PREPARED BY LUCAS WILCOX
REVIEWED BY RICHARD A. NOBBE, PLS #23899
FOR AND ON BEHALF OF
MARTIN/MARTIN, INC.
12499 WEST COLFAX AVENUE
LAKEWOOD, COLORADO 80215
303-431-6100
OCTOBER 9, 2023



Digitally signed by Richard A. Nobbe PLS
DN: C=US
E=richard.nobbe@martinmartin.com,
O=Martin/Martin Inc.,
CN=Richard A. Nobbe PLS
Date: 2023.10.09
14:30:56-06'00'

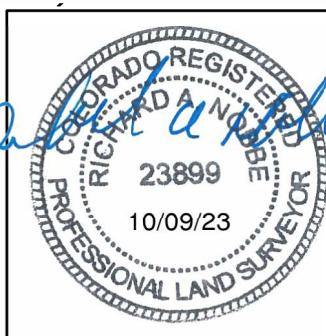
EXHIBIT B

SHEET 2 OF 2



N
0 100 200
SCALE: 1"=200'
ALL DIMENSIONS ARE
U.S. SURVEY FEET

THIS EXHIBIT DOES NOT REPRESENT A
MONUMENTED LAND SURVEY. IT IS ONLY
TO DEPICT THE ATTACHED DESCRIPTION.



OCTOBER 9, 2023

MARTIN/MARTIN
CONSULTING ENGINEERS
12499 WEST COLFAX AVENUE, LAKWOOD, COLORADO 80215
303.431.6100 MARTINMARTIN.COM

EXHIBIT A
SHEET 1 OF 3

LAND DESCRIPTION:

A PARCEL OF LAND BEING A PORTION OF DENARGO STREET AS DEDICATED BY ORDINANCE NO. 278 SERIES 2001, A PORTION OF ARKINS COURT AS DEDICATED BY ORDINANCE NO. 284 SERIES 2001 AND A PORTION OF 29TH STREET AND ARKINS COURT AS DEDICATED BY ORDINANCE 281 SERIES 2001 ALL IN THE RECORDS OF THE CITY AND COUNTY OF DENVER CLERK AND RECORDER'S OFFICE, LOCATED IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHERLY MOST CORNER OF DENARGO MARKET SUBDIVISION FILING NO. 3, RECORDED AT RECEPTION NO. 2023061222, IN SAID RECORDS, SAID POINT BEING THE POINT OF BEGINNING:

THENCE ALONG THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF ARKINS COURT, S70°49'48"W A DISTANCE OF 683.55 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID DENARGO STREET; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE, S00°01'41"E A DISTANCE OF 969.55 FEET; THENCE S89°58'19"W A DISTANCE OF 80.00 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID DENARGO STREET;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE, N00°01'41"W A DISTANCE OF 1047.63 FEET TO A POINT ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID ARKINS COURT; THENCE ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE, N70°49'48"E A DISTANCE OF 833.78 FEET;

THENCE S19°10'12"E A DISTANCE OF 100.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF SAID ARKINS COURT;

THENCE ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, S70°49'48"W A DISTANCE OF 83.42 FEET;

THENCE S46°11'13"E A DISTANCE OF 333.86 FEET;

THENCE S43°48'47"W A DISTANCE OF 15.00 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF SAID 29TH STREET;

THENCE ALONG SAID RIGHT-OF-WAY LINE, N46°11'13"W A DISTANCE OF 341.51 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF SAID ARKINS COURT TO THE POINT OF BEGINNING;

SAID PARCEL CONTAINS 3.8253 ACRES OR 166,630 SQUARE FEET MORE OR LESS.

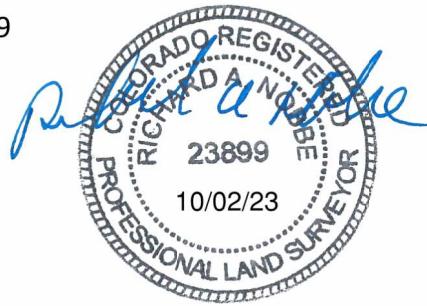
ALL LINEAR DIMENSIONS ARE IN U.S. SURVEY FEET.



EXHIBIT A
SHEET 2 OF 3BASIS OF BEARINGS:

BEARINGS ARE BASED ON AN ASSUMED BEARING OF N00°01'41"W ALONG THE EASTERLY LINE OF THE NORTHWEST QUARTER OF SECTION 27, BEING MONUMENTED BY A FOUND 3-1/4" ALUMINUM CAP PLS #33204 SET FLUSH WITH THE GROUND AT THE NORTH QUARTER CORNER AND THE CENTER QUARTER CORNER AS ESTABLISHED FROM A 110.00 FOOT WITNESS CORNER BEING A FOUND ALUMINUM DISK IN CONCRETE PLS #33204 TO THE SOUTH AND A 180.00 FOOT WITNESS CORNER BEING THE STEM OF A BROKEN DISK IN CONCRETE TO THE EAST.

PREPARED BY LUCAS WILCOX
REVIEWED BY RICHARD A. NOBBE, PLS #23899
FOR AND ON BEHALF OF
MARTIN/MARTIN, INC.
12499 WEST COLFAX AVENUE
LAKEWOOD, COLORADO 80215
303-431-6100
OCTOBER 2, 2023

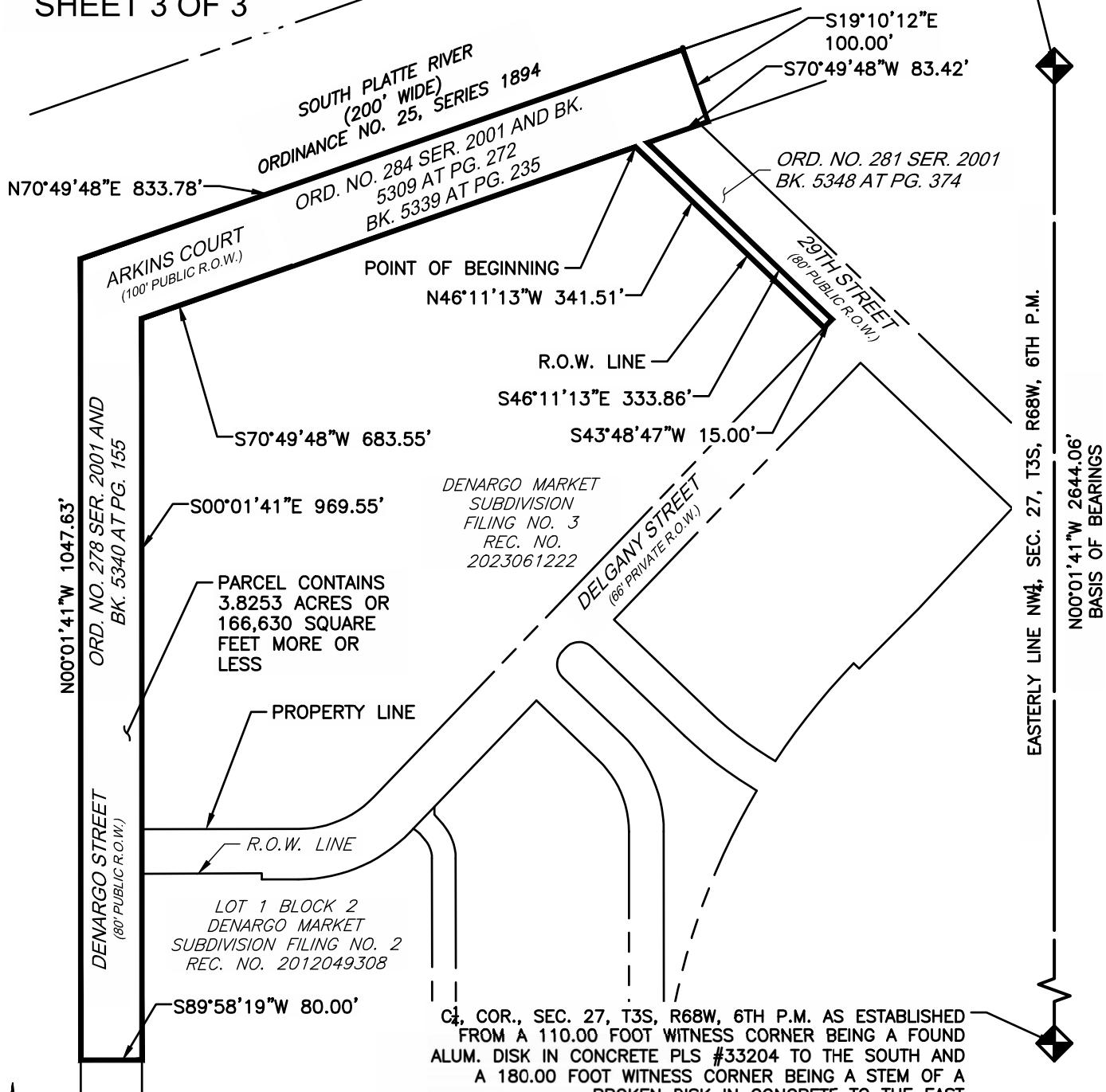


Digital signature by Richard A.
Nobbe, PLS
DN: C=US
E=nobbe@martinmartin.com,
O=MartinMartin Inc,
CN=Richard A. Nobbe, PLS
Date: 2023-10-02 14:47:59-06'00'

EXHIBIT A

SHEET 3 OF 3

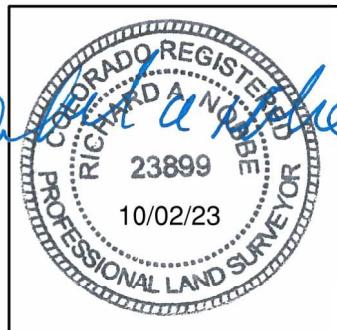
N₄, COR., SEC. 27, T3S, R68W, 6TH P.M. FOUND 3"
ALUM. CAP PLS #33204



0 100 200

SCALE: 1"=200'
ALL DIMENSIONS ARE
U.S. SURVEY FEET

THIS EXHIBIT DOES NOT REPRESENT A
MONUMENTED LAND SURVEY. IT IS ONLY
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OCTOBER 2, 2023


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