

2478 S. DELAWARE ST TOWNHOMES

SITE DEVELOPMENT PLAN

LOTS 19 AND 20, BLOCK 12 BREENLOW SUBDIVISION OF SOUTH DENVER, SW 1/4 OF SECTION 27, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO.

LOCATED AT: 2478 S. DELAWARE STREET | UNIT 1, UNIT 2, UNIT 3, UNIT 4, UNIT 5, UNIT 6, UNIT 7, UNIT 8, DENVER, CO 80223



BENCHMARK

BASIS OF ELEVATIONS: A PUBLISHED NAVD88 ELEVATION OF 5282.21 FOR THE CITY AND COUNTY OF DENVER BENCHMARK 43B, BEING A CDD BRASS CAP FOUND AT THE SOUTH EAST CORNER OF W. EVANS AVENUE AND S. BROADWAY STREET. STAMPED 43B. BENCHMARK ELEVATION: 5282.21 (1988 NAVD)

LEGAL DESCRIPTION

LOTS 19 AND 20, BLOCK 12 BREENLOW SUBDIVISION OF SOUTH DENVER, SW 1/4 OF SECTION 27, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO.

SURVEYOR'S CERTIFICATION

I, JASON S. SCYOC, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY FOR 2478 S DELAWARE STREET TOWNHOMES SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE ACCOMPANYING PLAN ACCURATELY AND PROPERLY SHOWS SAID SURVEY

JASON S. SCYOC, P.L.S., #38497

OWNERS SIGNATURE BLOCK

I (WE), THE UNDERSIGNED, SHALL COMPLY WITH ALL REGULATIONS CONTAINED IN DENVER ZONING CODE.

THE FOLLOWING SIGNATURES CONSTITUTE ALL OWNERS AND HOLDERS OF DEED OF TRUST FOR LAND AND STRUCTURES INCLUDED IN THIS PLAN:

BY _____ CHARLES MOORE _____ DATE _____

STATE OF COLORADO
CITY AND COUNTY OF DENVER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____ AD 20 ____ BY CHARLES MOORE

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC _____

ADDRESS _____

APPROVALS

APPROVED BY _____ FOR THE ZONING ADMINISTRATION _____ DATE _____

APPROVED BY _____ FOR THE MANAGER OF COMMUNITY PLANNING AND DEVELOPMENT _____ DATE _____

CLERK AND RECORDER'S CERTIFICATION

STATE OF COLORADO

CITY AND COUNTY OF DENVER

I HEREBY, CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE AT _____ O'CLOCK _____, _____ (DATE) 20 ____ AND DULY RECORDED

UNDER RECEPTION # _____

CLERK AND RECORDER, EX-OFFICIO CLERK OF THE CITY AND COUNTY OF DENVER

BY: _____ DEPUTY _____

FEE _____

GENERAL NOTES

- A. THE 1ST SDP WAS REVIEWED UNDER THE MAY 24, 2018 DENVER ZONING CODE.
- B. FENCES, WALLS, SIGNS AND ACCESSORY STRUCTURES ARE SUBJECT TO SEPARATE REVIEWS AND PERMITS
- C. ANGLES NOT SHOWN ARE EITHER 90 DEGREES OR A SUPPLEMENT OF THE ANGLE INDICATED
- D. PRIVATE ROADWAYS WILL BE POSTED WITH "FIRE LANE" SIGNS AS REQUIRED BY THE DENVER FIRE DEPARTMENT
- E. PARKING SPACES FOR PERSONS WITH DISABILITIES WILL BE CLEARLY DELINEATED WITH UPRIGHT SIGNS.
- F. APPROVAL FOR THIS PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH ADA REQUIREMENTS.
- G. SITE(S) SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST, AT ALL OTHER TIMES THE INDIVIDUAL SITES SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
- H. AN ACCESS EASEMENT FOR EMERGENCY SERVICES IS HEREBY GRANTED ON AND ACROSS ALL AREAS FOR POLICE, FIRE, MEDICAL AND OTHER EMERGENCY VEHICLES AND FOR THE PROVISION OF EMERGENCY SERVICES.
- I. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASSES WILL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF/INSTALLED.
- J. RESPONSIBILITY FOR THE MAINTENANCE OF THE COMMONLY OWNED LAND CONSTRUCTED AS PART OF THIS DEVELOPMENT WILL BE THAT OF THE HOMEOWNERS ASSOCIATION/PROPERTY OWNERS OF THE SUBJECT PARCELS.
- K. THE SUBJECT PROPERTY IS LOCATED WITHIN THE STATE HOME PARK VIEW PLANE, AND NO PART OF A STRUCTURE SHALL EXCEED AN ELVATION OF 5,382.6 FT. THE SAID PROPERTY IS 3.400 FT FROM STATE HOME PARK BASE POINT. THE CALCULATION EQUALS (34 x 1.7 ft) + 5,324.807 = 5,382.6 ft

PROJECT TEAM:

OWNER:
CHARLES MOORE
2828 SPEER BLVD #220
DENVER, CO 80211
PHONE: 720-324-5069
EMAIL: CHARLES@REALTOR.COM

ARCHITECT:
ROOT ARCHITECTURE AND DEVELOPMENT, LLC
ZEKE FREEMAN, R.A., G.C.
2658 WALNUT ST.,
DENVER CO, 80205
PHONE: 720.498.1925
EMAIL: ZFREEMAN@ROOT-AD.COM

SURVEYOR:
DOWNTOWN DESIGN SERVICES, INC.
JASON SCYOC
1127 AURARIA, PKWY, SUITE 203
DENVER, CO 80204
PHONE: 303-246-7722
EMAIL: jscyoc@dsinlglobal.com

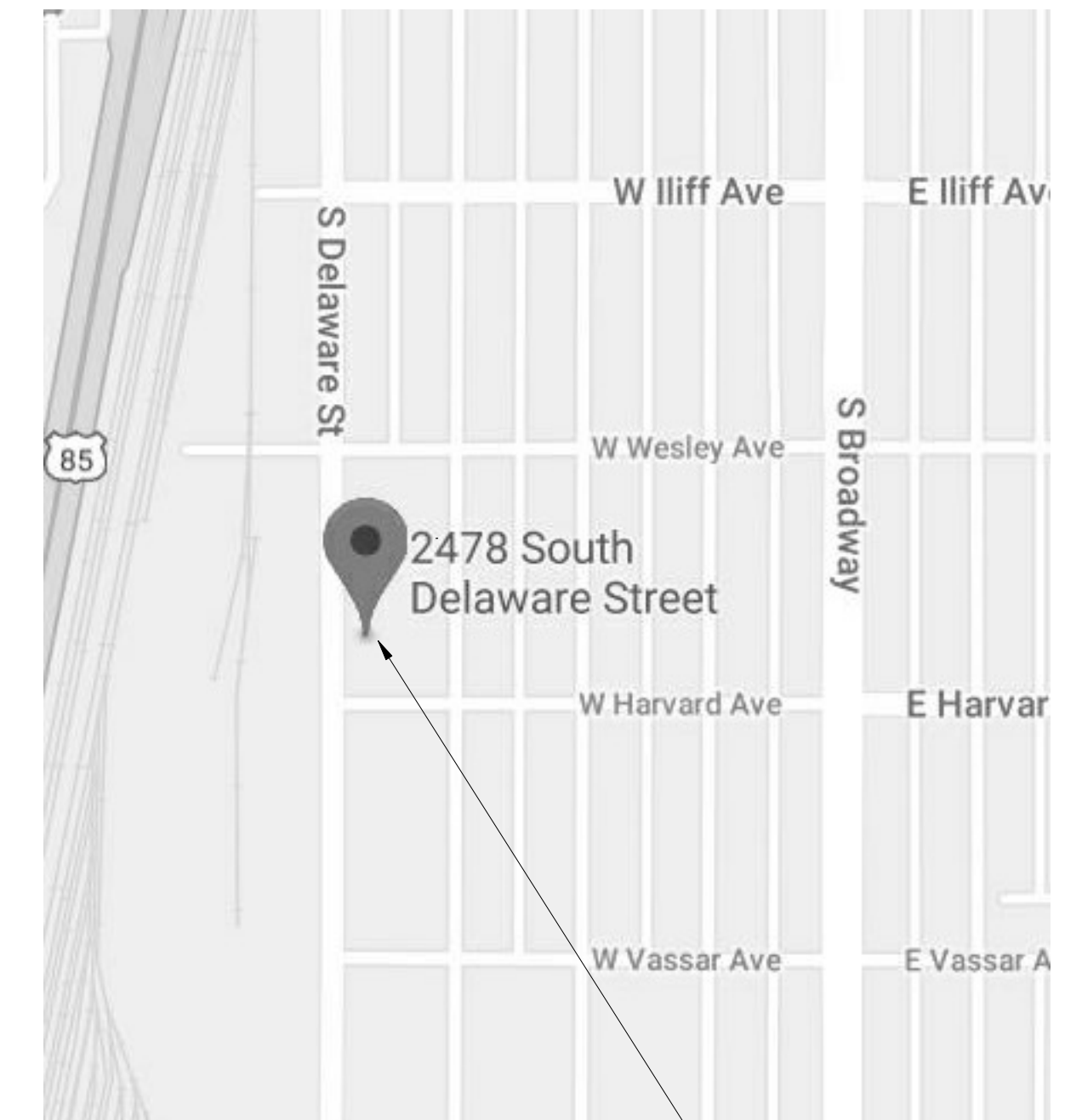
CIVIL ENGINEERS:
ARROW CIVIL ENGINEERS
SUSAN P. MIZUNO P.E., LEED AP
2629 E. GEDDES AVE.
CENTENNIAL, CO 80122
PHONE: 303.329.9004
EMAIL: SUE@ARROWCIVILENGINEERS.COM

STRUCTURAL ENGINEERS:
APEX ENGINEERS, INC.
DUSTIN STALLINGS, P.E.
PROJECT ENGINEER II
2701 LAWRENCE ST. UNIT 19
DENVER, CO 80205
PHONE: 720.588.3222
EMAIL: dustin@apex-engineers.com

ZONE DISTRICT	I-MX-3	
GENERAL ZONE LOT INFORMATION	SQ. FT.	ACRES
ZONE LOT SIZE	6,250 SF	0.14
NET PROJECT AREA (AFTER DEEDING OF ANY NEEDED PUBLIC RIGHT-OF-WAY)	5,950 SF	0.13
PRIMARY AND SIDE STREET DESIGNATION	N/A	N/A
PROPOSED USE(S)	MULTI-UNIT RESIDENTIAL	
NUMBER OF DWELLING UNITS (RESIDENTIAL PROJECTS ONLY)	8	
GROSS FLOOR AREA FOR EACH	UNIT TYPE A UNIT TYPE B UNIT TYPE C	726 SQ FT 680 SQ FT 700 SQ FT
BUILDING FORM USED	TOWNHOUSE	
DESIGN ELEMENT	REQUIRED	PROVIDED
BUILDING HEIGHT, STORIES (MIN/MAX)	3	2
BUILDING HEIGHT, FEET (MIN/MAX)	38'	23'
BUILD-TO	REQUIRED	PROVIDED
PRIMARY STREET TOTAL BUILD-TO (REFER TO SHEET SDP 3 FOR DETAILS)	70% 35'	78% 39'
OVERALL BUILDING OR STRUCTURE LENGTH (MAX)	N/A	39'
PARKING	REQUIRED (MIN)	PROVIDED
STANDARD SPACES	0*	3 PARKING
COMPACT SPACES	N/A	N/A
ACCESSIBLE	1	1
TOTAL	1	4
BICYCLE (ENCLOSED/ FIXED)	1 ENCLOSED, 1 FIXED PER SEC. 10.4.3.4	1 ENCLOSED, 2 FIXED
LOADING SPACES	N/A	N/A
GROUND STORY ACTIVATION	REQUIRED (MIN)	PROVIDED
TOTAL TRANSPARENCY PRIMARY STREET (%)	40%	50%
TOTAL TRANSPARENCY SIDE STREET (%)	25%	N/A
ZONE SETBACK REQUIREMENTS	REQUIRED (MIN)	PROVIDED
FRONT SETBACK	10'-0"	10'-0 7/8" -10'-3"
SIDE SETBACKS	5'-0"	5'-0" TO 5'-9"
REAR SETBACK	5'-0"	31'-3" TO 31'-5"

* NO PARKING IS REQUIRED FOR ALL USES HOUSED IN THE LOWEST TWO STORIES PER EXEMPTION 10.4.5.1.A.3.B

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VICINITY MAP

SCALE: 1" = 100'

PROJECT LOCATION ADDRESS
2478 S. DELAWARE STREET
DENVER, CO 80223

COVER

SDP 1 OF 15

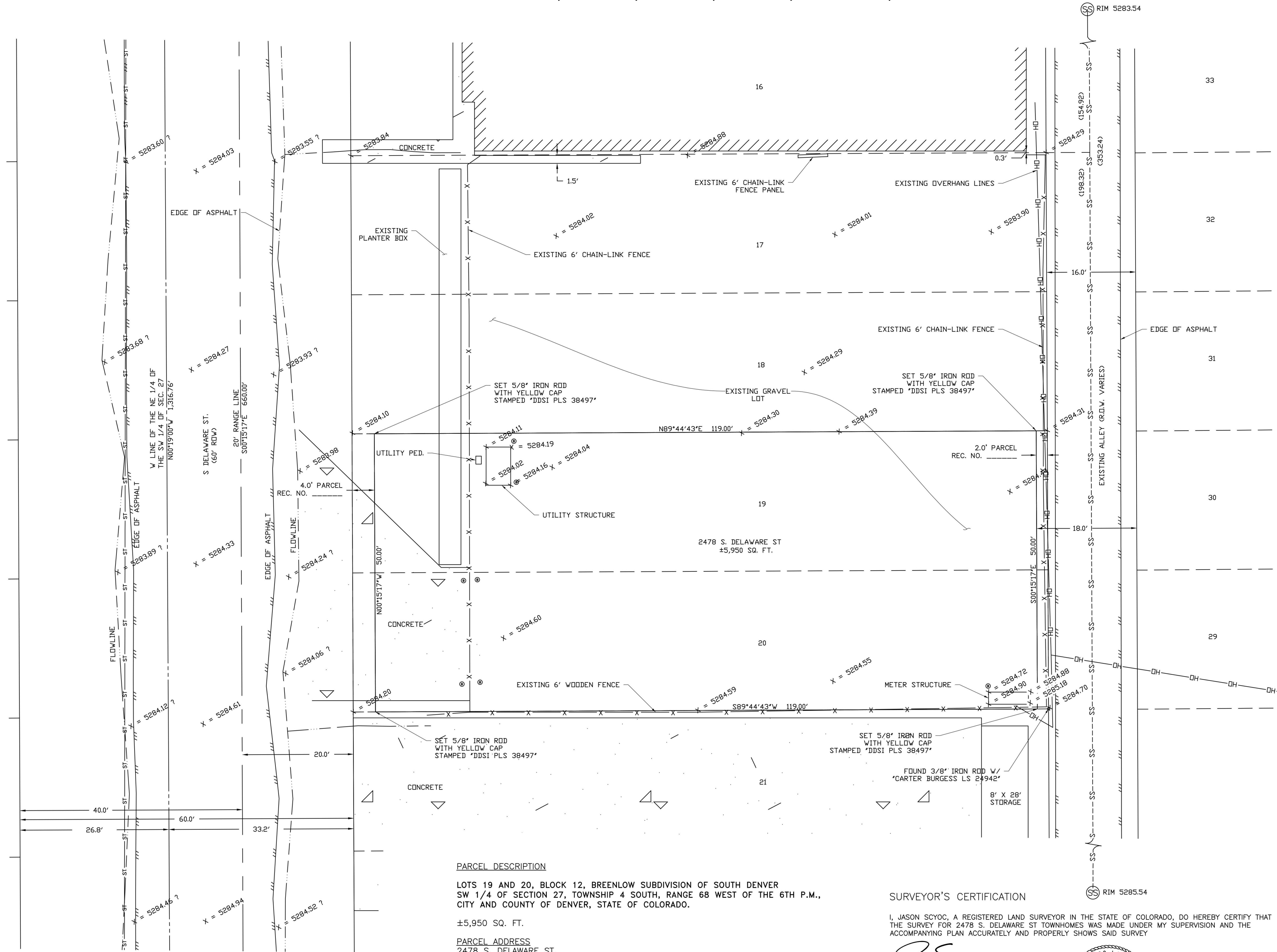
2478 S. DELAWARE TOWNHOMES

2478 S. DELAWARE ST TOWNHOMES

SITE DEVELOPEMENT PLAN

LOTS 19 AND 20, BLOCK 12, BREENLOW SUBDIVISION OF SOUTH DENVER, SW 1/4 OF SECTION 27, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO.

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PARCEL DESCRIPTION
 LOTS 19 AND 20, BLOCK 12, BREENLOW SUBDIVISION OF SOUTH DENVER
 SW 1/4 OF SECTION 27, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
 CITY AND COUNTY OF DENVER, STATE OF COLORADO.
 ±5,950 SQ. FT.

PARCEL ADDRESS
 2478 S. DELAWARE ST.
 DENVER, CO 80223

SURVEYOR'S CERTIFICATION
 I, JASON SCYOC, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY FOR 2478 S. DELAWARE ST TOWNHOMES WAS MADE UNDER MY SUPERVISION AND THE ACCOMPANYING PLAN ACCURATELY AND PROPERLY SHOWS SAID SURVEY.

JASON SCYOC, PLS 38497
 FOR AND ON BEHALF OF
 DOWNTOWN DESIGN SERVICES INC.



- GENERAL NOTES:**
- FIELD WORK COMPLETED ON MARCH 30TH, 2018
 - BASIS OF BEARINGS:** BEARINGS ARE BASED UPON THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., MONUMENTED BY A FOUND 3-1/4" ALUMINUM CAP STAMPED "COLO. DEPT OF TRANSPORTATION 1993 PLS NO. 26280" AT THE INTERSECTION OF S. DELAWARE STREET ST. AND W. LIFT AVE AND MONUMENTED BY A FOUND 3-1/4" ALUMINUM CAP STAMPED "CARTER & BURGESS 2001 PLS NO 24942" AT THE INTERSECTION OF S DELAWARE STREET AND W. HARVARD AVENUE BEARING NORTH 00°19'00" WEST, A DISTANCE OF 1,316.76 FEET, COLORADO STATE PLANE CENTRAL ZONE 0502, NAD 83, US SURVEY FEET, ALL DISTANCES ARE GROUND.
 - BASIS OF ELEVATIONS:** A PUBLISHED NAVD88 ELEVATION OF 5282.21 FOR THE CITY AND COUNTY OF DENVER BENCHMARK 43B, BEING A CCD BRASS CAP FOUND AT THE SOUTHEAST CORNER OF W. EVANS AVENUE AND S. BROADWAY. ALL ELEVATIONS SHOWN ARE NAVD 88.
 - THERE ARE NO PUBLIC RIGHTS OF WAYS BEING DEDICATED BY THIS PLAT.
 - RESEARCH WAS PROVIDED BY THE CLIENT AND DOES NOT CONSTITUTE A TITLE SEARCH BY DOWNTOWN DESIGN SERVICES, INC. TO DETERMINE OWNERSHIP, RIGHT-OF-WAY OR EASEMENTS OF RECORD.
 - ONLY SURFACE EVIDENCE OF UTILITIES VISIBLE AT THE TIME OF THE FIELD WORK IS SHOWN HEREON. ALL UNDERGROUND UTILITIES MUST BE FIELD LOCATED BY THE APPROPRIATE AGENCY OR UTILITY COMPANY PRIOR TO ANY EXCAVATION, PURSUANT TO C.R.S. SEC. 9-1.5-103.
 - ADDITIONAL CONTROL MAY HAVE BEEN USED THAT IS NOT SHOWN.
 - NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOW HERON. (C.R.S. 13-80-105(3)(c))

- LEGEND**
- = FOUND MONUMENT AS NOTED
 - ▲ = FOUND RANGE POINT
 - = CALCULATED RANGE POINT
 - + = FOUND CUT CROSS IN CONCRETE
 - ◆ = SET MONUMENT AS NOTED
 - ◆ = FOUND SECTION CORNER
 - ⊙ = POWER POLE
 - ⊕ = WATER METER
 - ⊖ = WATER VALVE
 - ⊗ = SANITARY SEWER MANHOLE
 - ⊕ = RANGE LINE
 - ⊖ = EDGE OF ASPHALT
 - ⊗ = STORM SEWER MANHOLE
 - ⊕ = FENCE
 - ⊖ = OVERHEAD UTILITY
 - ⊗ = DECIDUOUS TREE W/ TREE TRUNK DIAMETER
 - ⊕ = CONIFEROUS TREE W/ TREE TRUNK DIAMETER
 - ⊖ = FIRE HYDRANT
 - ⊕ = ELECTRIC METER
 - ⊗ = GAS METER (REC) = RECORDED OR PLATTED DISTANCE
 - ⊕ = BOLLARD
 - ⊖ = SPOT ELEVATION

SURVEY

SDP 2 OF 15

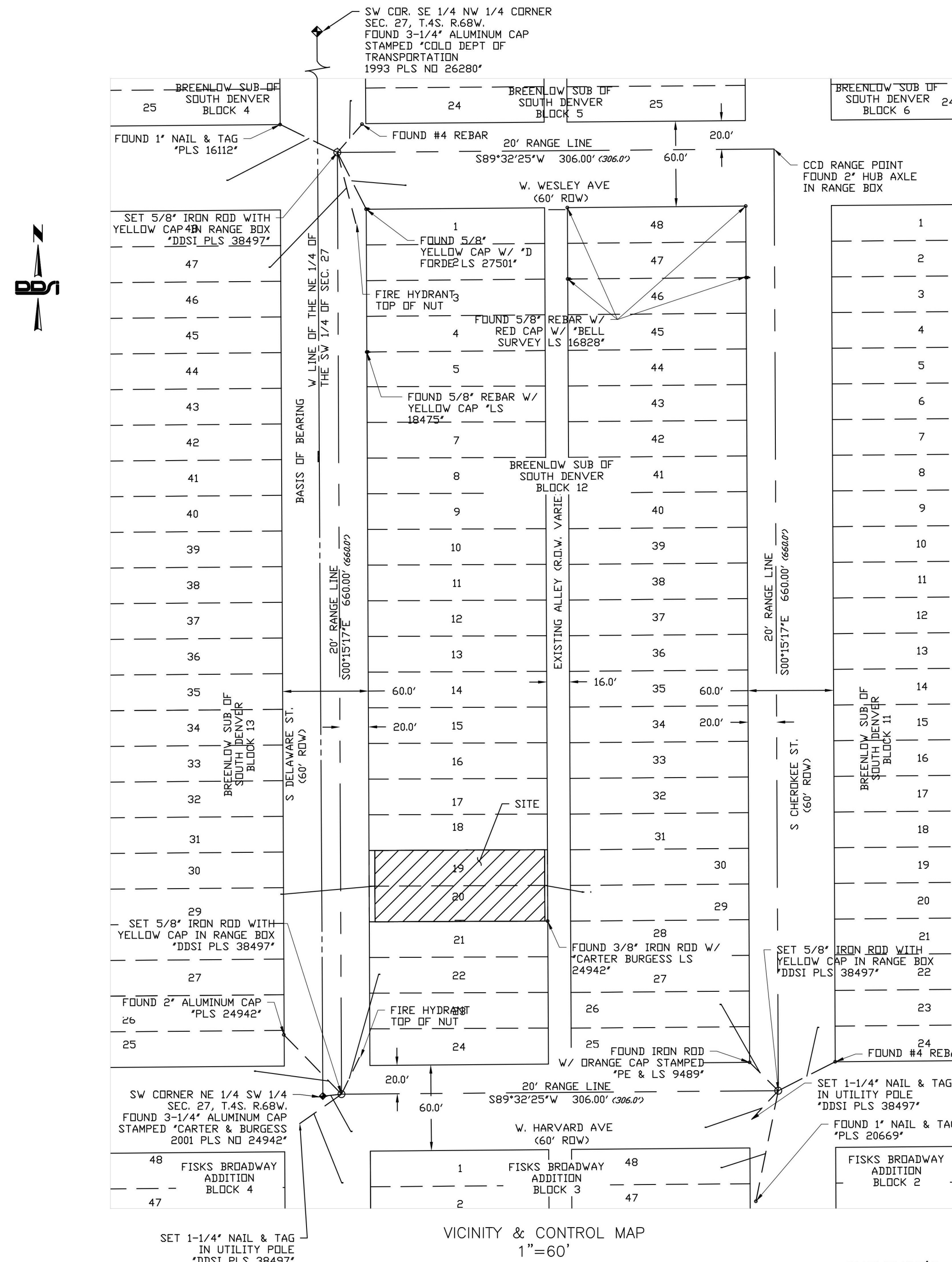
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VICINITY & CONTROL MAP
1"=60'

- LEGEND**
- = FOUND MONUMENT AS NOTED
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SURVEYOR'S CERTIFICATION

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Jason Scyoc
JASON SCYOC, PLS 38497
FOR AND ON BEHALF OF
DOWNTOWN DESIGN SERVICES INC.



VICINITY MAP

SDP 3 OF 15

2478 S. DELAWARE TOWNHOMES

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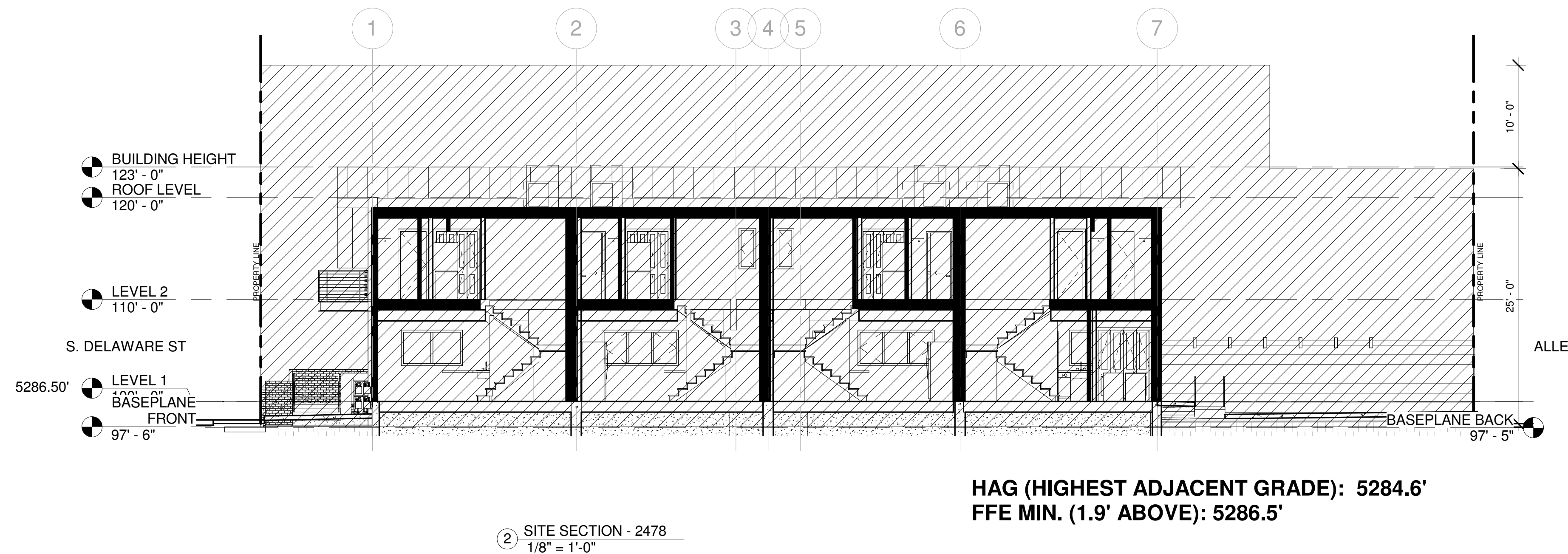
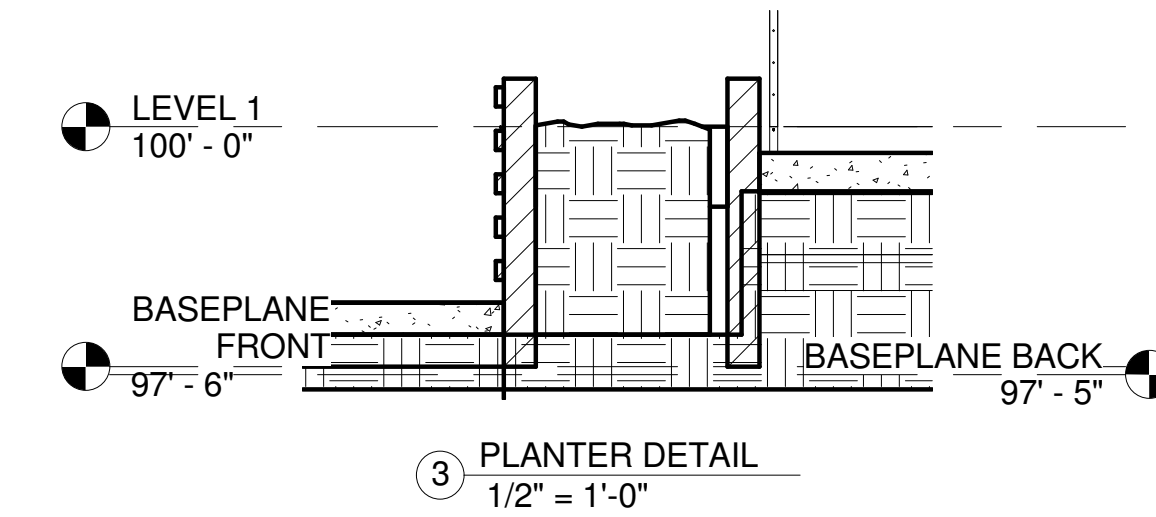
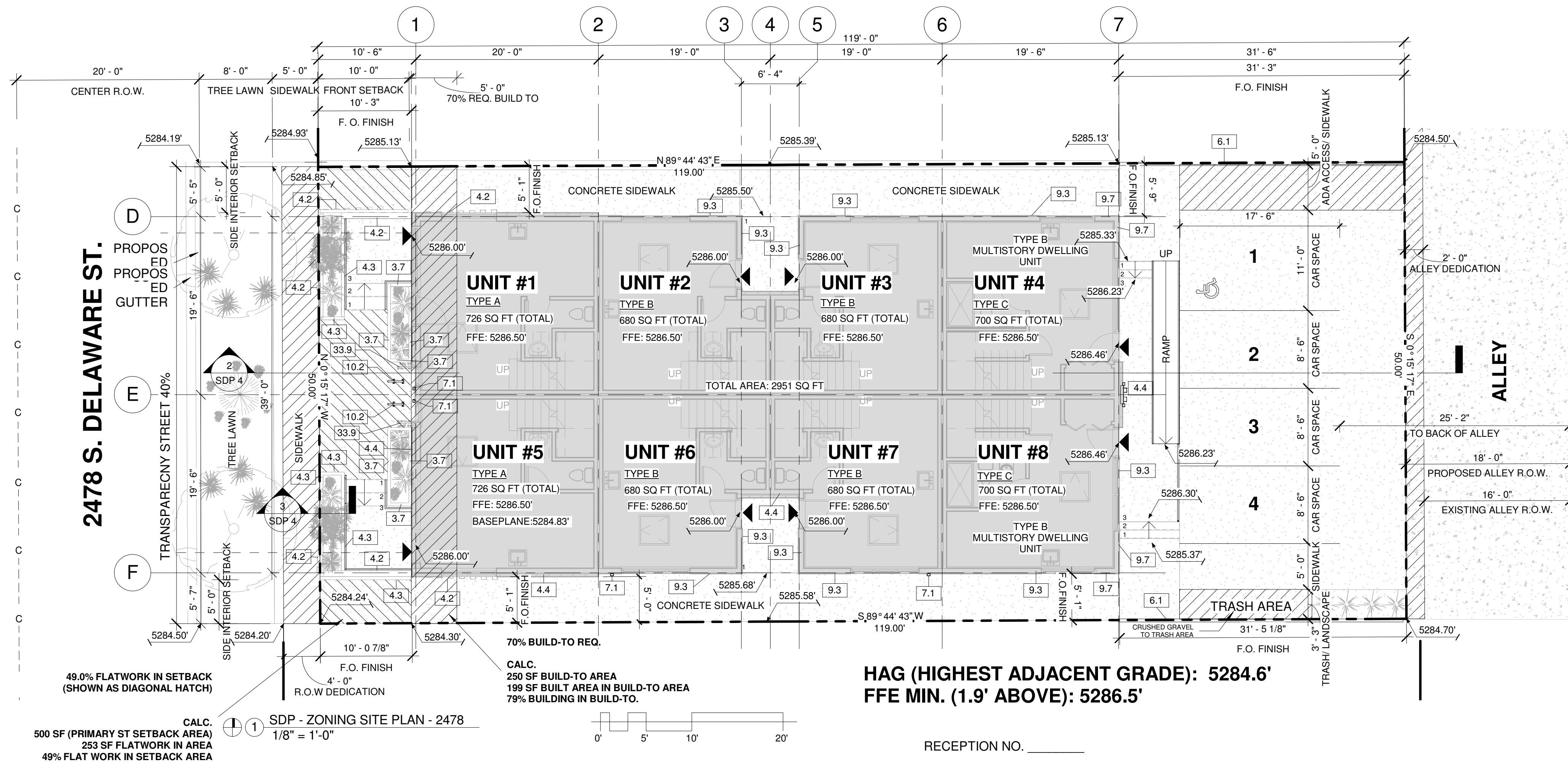
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KEYNOTE LEGEND	
Key Value	Keynote Text
3.7	CONCRETE PLANTER
4.2	DECORATIVE BRICK WALL
4.3	4" BRICK PLANTER WALL
4.4	BRICK VENEER - COLOR TBD
5.1	METAL CABLE HANDRAIL
5.5	EXPOSED STEEL MC12x45 BEAM - RE: STRUCTURAL
7.1	DOWNSPOUT
7.14	METAL RAISED RIB ROOFING w/ METAL FASCIA WRAP
8.2	CRAWLSPACE ACCESS HATCH
9.3	HARDCOAT STUCCO SYSTEM
9.7	LP SMART SIDE VERTICAL SIDING
10.2	FLOOR MOUNTED BIKE RACKS
23.3	MINI-SPLIT
26.9	ELECTRIC METER STACK
33.9	GAS METER STACK
34.2	WATER BIB



SITE PLAN

SDP 4 OF 15

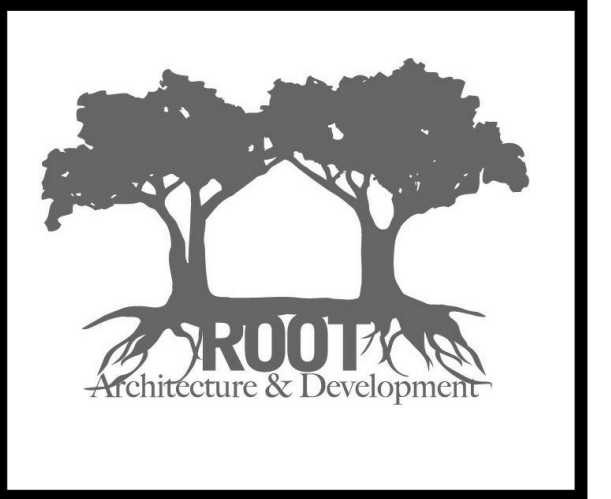
2478 S. DELAWARE TOWNHOMES

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SITE DEVELOPEMENT PLAN

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1/4 OF SECTION 27, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
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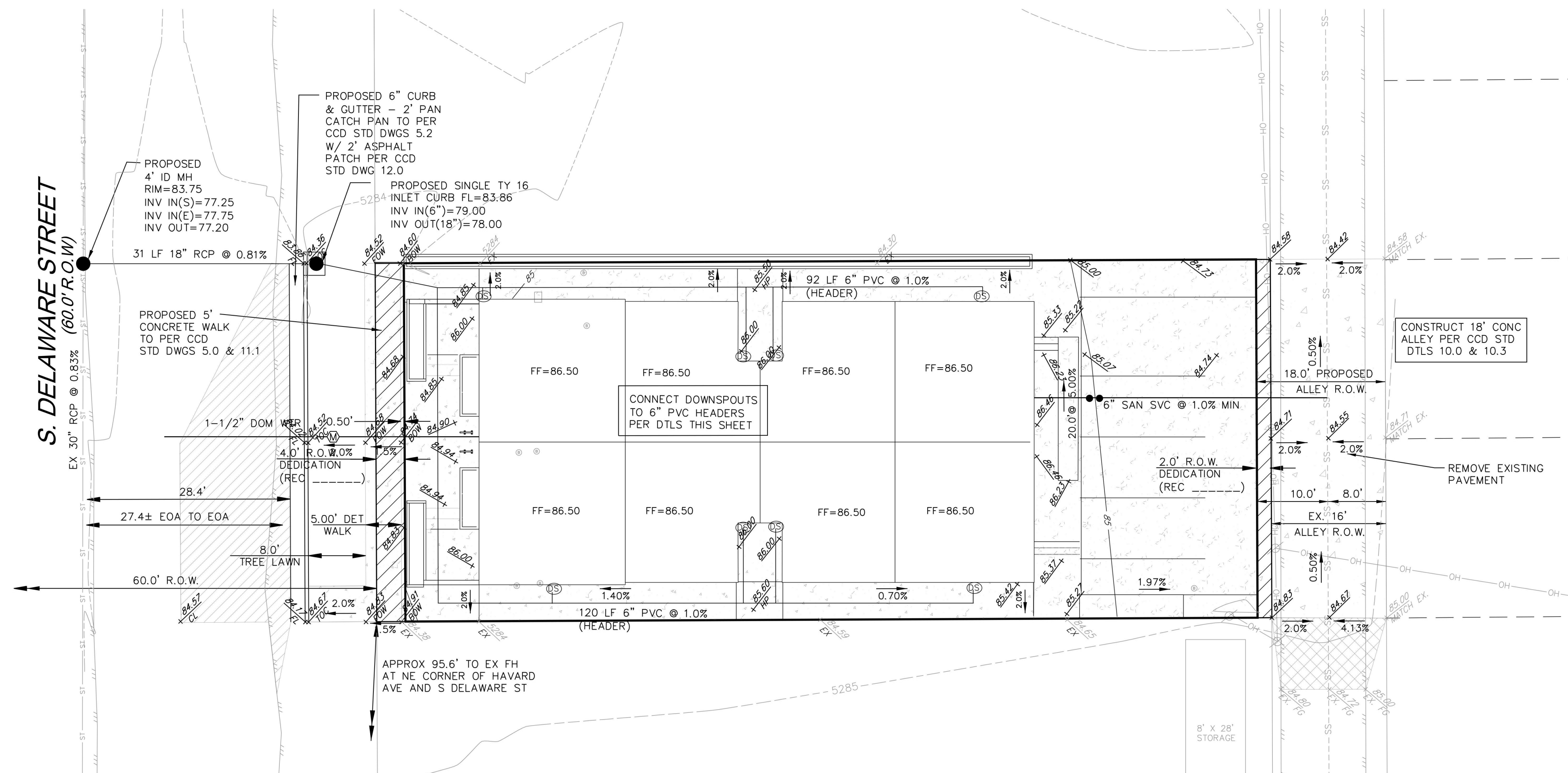


DENVER WATER NOTES

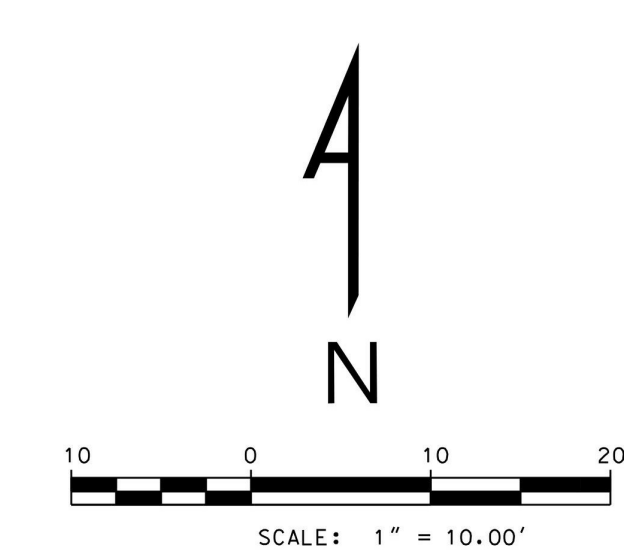
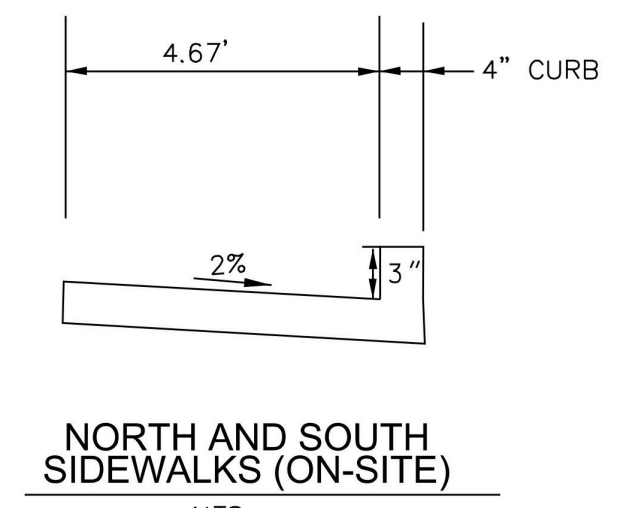
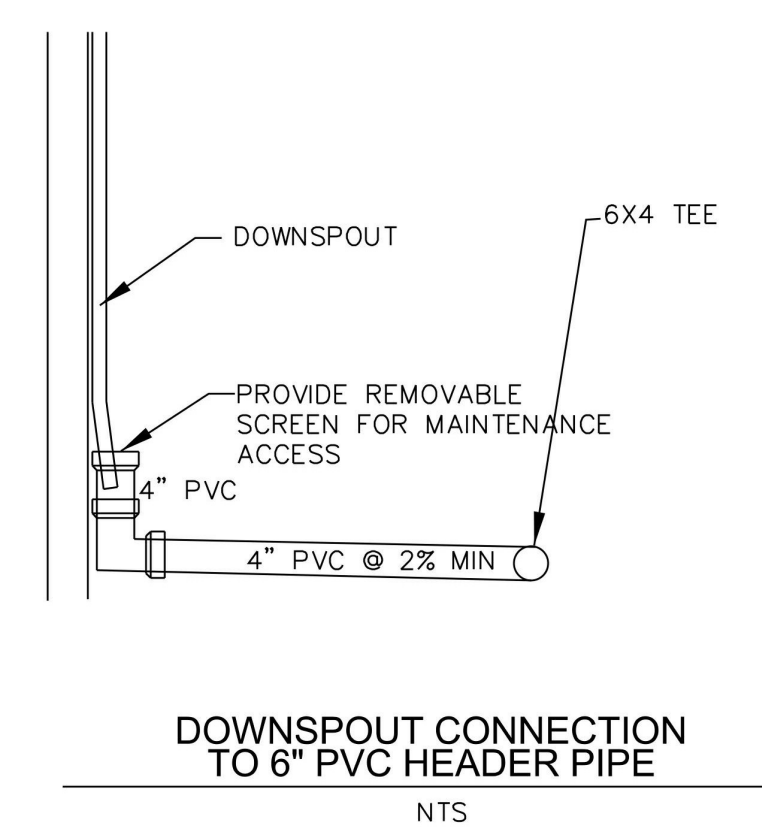
- EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM AT 20 PSI RESIDUAL PRESSURE.
- WATER PLANS FOR THIS PROJECT MUST BE SUBMITTED TO DW FOR REVIEW & APPROVAL SEPARATE OF THE DRC PROCESS.
- AN APPROVED DW BACKFLOW PREVENTER IS REQUIRED ON FIRE LANES, COMMERCIAL AND MULTI-FAMILY DWELLINGS.
- METER LOCATION MUST BE APPROVED BY DW.
- DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY SYSTEM MODIFICATIONS NEEDED TO MEET THE REQUIRED FIRE FLOWS.
- ALL EXISTING TAPS ON THE SITE THAT ARE NOT USED MUST BE CUT-OFF AT THE MAIN AND INSPECTED BY DW. THIS WILL BE DONE AT THE DEVELOPER'S COST.
- SYSTEM DEVELOPMENT CHARGE CREDITS FOR TAP CUTS WILL BE GIVEN ACCORDING TO CURRENT OPERATING RULES.
- IF A WATER EASEMENT IS REQUIRED ON A SITE, THIS EASEMENT WILL BE GRANTED TO DW BY SEPARATE DOCUMENT.
- LANDSCAPING DEPICTED IN FUTURE WATER EASEMENTS MUST COMPLY WITH RESTRICTIONS CONTAINED WITHIN THE STANDARD WATER EASEMENT AGREEMENT.
- EACH INDEPENDENT STRUCTURE MUST HAVE ITS OWN SEPARATED TAP, SERVICE LINE & METER.
- SUB-METERING IS REQUIRED ON INDIVIDUAL MULTI-FAMILY UNITS AS MANDATED BY CITY ORDINANCE.
- SOIL AMENDMENT IS REQUIRED ON ALL NEW WATER SERVICES. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED WITHOUT A SOIL INSPECTION BY DW.
- PRE-SUBMITTAL REVIEW IS REQUIRED PRIOR TO THE FORMAL WATER PLAN SUBMITTAL TO DW.

- NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

Note: Refer to Transportation Engineering Plan for additional details for ROW improvements.



FIRE FLOW DATA BLOCK
TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 1500GPM
MINIMUM @ 20PSI RESIDUAL PRESSURE
THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 1 FIRE HYDRANTS
INDIVIDUALLY, EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE
CODE USED FOR ANALYSIS: 2015 IFC WITH 2016 AMENDMENTS
OCCUPANCY GROUP(S): IRC TOWNHOMES
CONSTRUCTION TYPE(S): V-B
FIRE FLOW CALCULATION AREA: 940 SF
THIS BUILDING IS NOT SPRINKLERED



GRADING AND UTILITY PLAN
SDP 5 OF 15

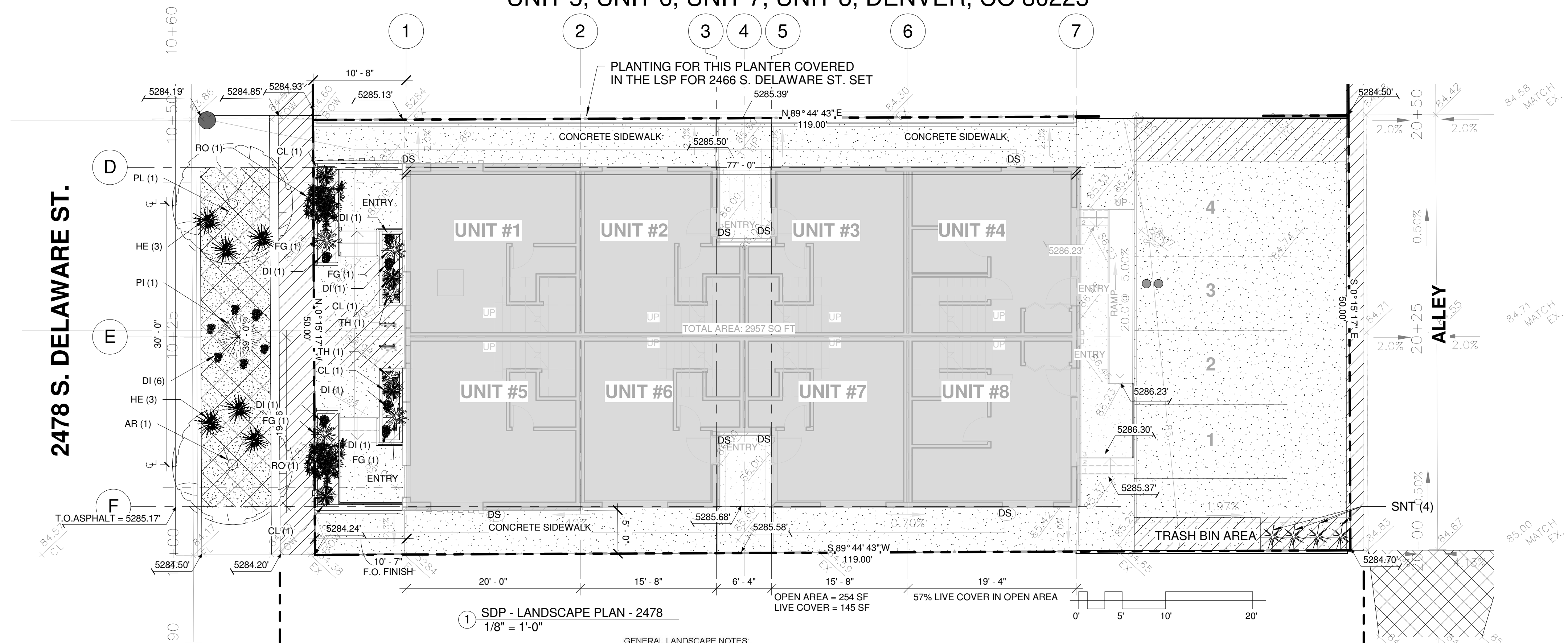
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PLANT SCHEDULE			
Count	BOTANICAL NAME	COMMON NAME	SIZE
12	DIANTHUS DELTOIDES 'FLASHING LIGHTS'	DIANTHUS 'FLASHING LIGHTS'	#1
6	HESPERALOE PAVIFLORA	REDFLOWER FALSE YUCCA	#5
4	FESTUC GLAUCA 'BEYOND BLUE'	FESCUE GRASS, BEYOND BLUE	#1
4	STIPA NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	#1
2	ROSA POLYANTHA x 'THE FAIRY'	ROSE, THE FAIRY	#1
4	CALAMAGROTIS x ACUTIFLORA 'AVALANCHE'	FEATHER REED GRASS, 'AVALANCHE'	#1
9			
1	PICEA PUNGENS GLAUCA GLOBOSA	GLOBE SPRUCE	#10
2	PLANTUS x ACERFOLIA 'MORTON CIRCLE'	LONDON PLANETREE	2" dia. MIN.

GENERAL LANDSCAPE NOTES:

- PROPOSED TREES IN THE ROW SHALL BE PRE-APPROVED BY THE OFFICE OF THE CITY FORESTER AND SHALL BE A MINIMUM OF 20' FROM PROPERTY CORNERS AT INTERSECTIONS, 25' FROM STREET LIGHTS, AND 10' FROM EDGE OF DRIVEWAYS.
- ALL PROPOSED LANDSCAPING IN THE ROW SHALL BE PER THE STREETScape DESIGN MANUAL WITH THE EXCEPTION OF TREE PLANTING, THIS SHALL BE IN ACCORDANCE WITH CURRENT FORESTRY RULES AND REGULATIONS.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULES AND REGULATIONS.
- PER CITY CODE, ALL TREE REMOVALS IN DENVER LIMITS MUST BE PERFORMED BY PROPERTY OWNER OR A TREE CONTRACTOR LICENSED BY OFFICE OF THE CITY FORESTER, INCLUDING TREES IN ROWS AND ON PRIVATE PROPERTY. FOR A CURRENT LIST OF LICENSED TREE CONTRACTORS, VISIT WWW.DENVER.GOV/FORESTRY.
- FOR FORESTRY-APPROVED TREE REMOVALS IN PUBLIC ROW, A TREE REMOVAL PERMIT ISSUED BY THE OFFICE OF THE CITY FORESTER IS REQUIRED PRIOR TO REMOVAL. TREE REMOVAL PERMITS ARE NOT INCLUDED WITH BUILDING PERMITS AND MUST BE OBTAINED SEPARATELY FROM THE OFFICE OF THE CITY FORESTER. TO OBTAIN TREE REMOVAL PERMIT, CONTACT OFFICE OF THE CITY FORESTER (FORESTRY@DENVERGOV.ORG) WITH NAME OF LICENSED CONTRACTOR OR PROPERTY OWNER PERFORMING REMOVAL. INCLUDE D-LOG NUMBER (2017PM0000578) WHEN REQUESTING REMOVAL PERMIT.
- FOR TREES ON PRIVATE PROPERTY, A FORESTRY-ISSUED TREE REMOVAL PERMIT IS NOT REQUIRED PRIOR TO REMOVAL. HOWEVER, PER CITY CODE, ALL TREE REMOVALS IN DENVER MUST BE PERFORMED BY PROPERTY OWNER OR A TREE CONTRACTOR LICENSED BY THE OFFICE OF THE CITY FORESTER.
- A FORESTRY-ISSUED TREE PLANTING PERMIT IS REQUIRED FOR ALL TREES TO BE PLANTED IN PUBLIC ROW. CONTACT OFFICE OF THE CITY FORESTER (FORESTRY@DENVERGOV.ORG) WITH NAME OF CONTRACTOR OR PROPERTY OWNER PERFORMING PLANTING. INCLUDE D-LOG NUMBER (2017PM0000578) WHEN REQUESTING PERMIT. TREE PLANTING PERMITS ARE NOT INCLUDED WITH BUILDING PERMITS AND MUST BE OBTAINED SEPARATELY FROM THE OFFICE OF THE CITY FORESTER PRIOR TO INSTALLATION.
- EXISTING TREES TO BE PRESERVED IN PUBLIC ROW SHALL BE PROTECTED PER OFFICE OF THE CITY FORESTER STANDARDS & PRACTICES. TREE PROTECTION SHALL BE INSTALLED PRIOR TO ISSUE OF DEMOLITION/BUILDING PERMIT, APPROVED BY THE OFFICE OF THE CITY FORESTER, AND SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION. NO CONSTRUCTION ACTIVITIES OR STORAGE OF CONSTRUCTION MATERIALS/DEBRIS/EQUIPMENT SHALL TAKE PLACE WITHIN TREE PROTECTION ZONES WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OFFICE OF THE CITY FORESTER.
- EXISTING ROW TREES APPROVED FOR REMOVAL BY THE OFFICE OF THE CITY FORESTER MUST BE PROTECTED IN PLACE PER FORESTRY STANDARDS & SPECIFICATIONS UNTIL REMOVED BY A FORESTRY-LICENSED TREE CONTRACTOR. A TREE REMOVAL PERMIT IS REQUIRED FROM THE OFFICE OF THE CITY FORESTER PRIOR TO REMOVAL. FAILURE TO PROTECT SUCH TREES UNTIL REMOVAL, OR REMOVING ROW TREES WITHOUT A FORESTRY ISSUED PERMIT WILL RESULT IN NOTICE OF VIOLATION AND MAY INCLUDE CITATIONS/FINES.
- SEE LANDSCAPE DETAILS PAGE FOR PLANTING DETAIL.

IRRIGATION NOTES:

- A BACKFLOW PREVENTER, IRRIGATION CONTROLLER, AND VALVE BOX ASSEMBLY IS REQUIRED AS SHOWN ON THIS PLAN. ONE DRIP ZONE IS NECESSARY TO SUPPLY WATER TO ALL PLANTING AREAS.
- ALL PLANTING AREAS TO SUPPLIED WITH SURFACE DRIP LINES WITH CHASE PIPES THROUGH CONCRETE. WHERE NECESSARY TO MAINTAIN CONTINUOUS LINE, ALL PLANTS IN PLANTING AREAS MUST BE IRRIGATED WITH DRIP EMITTERS BASED ON THEIR SIZE AND WATER REQUIREMENT (PERENNIALS TO BE SUPPLIED WITH 2 GAL/HR EMITTERS WHILE LARGER SHRUBS AND TREES WILL NEED 5 GAL/HR EMITTERS).
- PLANTING AREAS TO BE IRRIGATED TWICE DAILY (ONCE BEFORE SUNRISE AND ONCE AFTER SUNSET) FOR THE FIRST 8 WEEKS AFTER INSTALLATION TO ALLOW FOR ROOT ESTABLISHMENT. AFTER THE INITIAL 8 WEEKS, PLANTING AREAS ARE TO BE IRRIGATED ONCE A DAY, 3-4 DAYS PER WEEK.

SYMBOL	ABREV.	COMMON NAME	SYMBOL	ABREV.	COMMON NAME	SYMBOL	MATERIAL
	DI	DIANTHUS FLASHING LIGHTS		RO	ROSE, THE FAIRY		WOOD MULCH
	HE	REDFLOWER FALSE YUCCA		CH	HEARTLAND CATALPA		SHREDED CEDAR
	FG	FESCUE GRASS BEYOND BLUE					OPEN SPACE/ LIVE COVERAGE
	SNT	MEXICAN FEATHER GRASS					
	CL	FEATHER REED GRASS					
	TH	EASTERN ARBORVITAE					

PLANT LEGEND
1/16" = 1'-0"

LANDSCAPE PLAN

SDP 6 OF 15

2478 S. DELAWARE TOWNHOMES

2478 S. DELAWARE ST TOWNHOMES

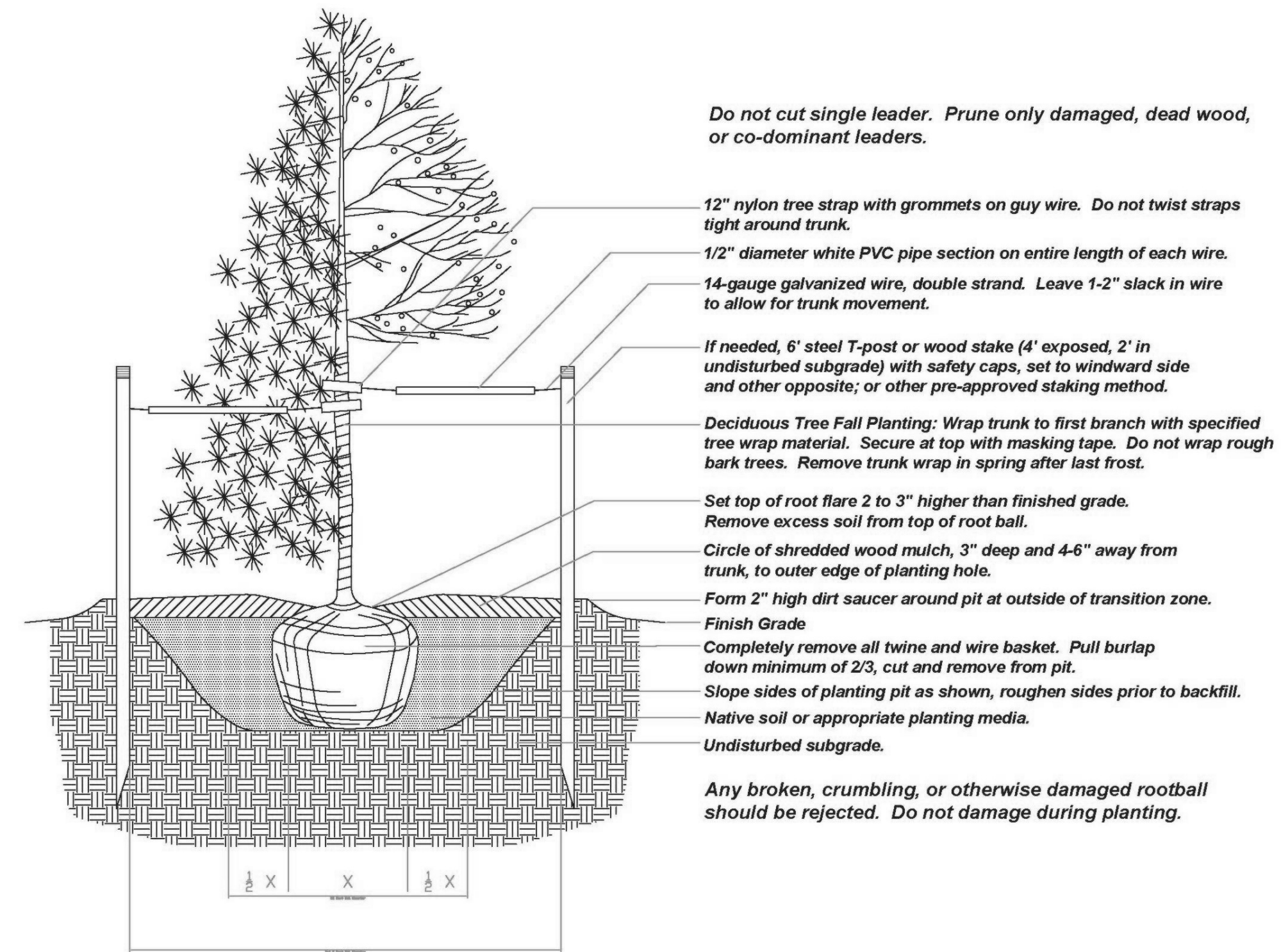
SITE DEVELOPMENT PLAN

LOTS 19 AND 20, BLOCK 12 BREENLOW SUBDIVISION OF SOUTH DENVER, SW
1/4 OF SECTION 27, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
CITY AND COUNTY OF DENVER, STATE OF COLORADO.

LOCATED AT: 2478 S. DELAWARE STREET | UNIT 1, UNIT 2, UNIT 3, UNIT 4,
UNIT 5, UNIT 6, UNIT 7, UNIT 8, DENVER, CO 80223



LANDSCAPE DETAIL 1- TREE PLANTING SECTION



Trees planted upon park land, public property, or within the Public Right of Way (PRW) are subject to the following restrictions:

- An approved planting permit from the Office of the City Forester (OCF), regardless of approved plans, is required prior to planting.
- Administrative citations up to \$999 shall be issued for trees planted without an OCF issued permit.
- Only tree species approved by or listed on the OCF's approved street tree list shall be planted in the PRW.
- For a list of prohibited or suspended PRW trees, contact or visit the OCF website.
- If overhead utility wires exist in the PRW, only ornamental or trees maturing at 20 (twenty) feet maximum height shall be planted.
- Trees shall be centered in tree lawns and/or planting areas.
- Trees shall not be planted in tree lawns less than five feet wide unless authorized by the OCF.
- Where sidewalks are not present, trees shall be located as designated by Office of the City Forester.
- Planting in corner triangle formed by the first 30 (thirty) feet along the PRW in each direction from the corner is not permitted.
- Planting within 10 (ten) feet of alleys, driveways, or fire hydrants is not permitted.
- Planting within 20 (twenty) feet of stop signs is not permitted.
- Planting within 25 (twenty-five) feet of street lights is not permitted.
- Planting within five feet of water meters or pits is not permitted.
- Large shade trees shall be spaced 35 (thirty-five) feet o.c. and ornamental trees 25 (twenty-five) feet o.c. or as designated by OCF.
- Trees shall be pruned to maintain a clearance of 13'-6" over streets and alleys and 6'-6" over remaining portions of PRW, including sidewalk.

Prior to digging, the Utility Notification Center of Colorado shall be contacted at 811 to locate underground utilities.

MARK	BULLETIN	DATE	PREPARED BY OFFICE OF THE CITY FORESTER, DENVER PARKS AND RECREATION DEPARTMENT	CITY AND COUNTY OF DENVER 201 W. COLFAX AVE. DENVER, COLORADO 80202	STANDARD RESIDENTIAL TREE PLANTING DETAIL FOR SDD AREA OR TREE LAWN	NOT TO SCALE DATE: 3/13/17 DIAGRAM P-1A
REVISIONS						

WATER NOTES:

1. EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM AT 20 PSI RESIDUAL PRESSURE.
2. AN APPROVED DW BACKFLOW PREVENTER IS REQUIRED ON FIRELINE, AN APPROVED DW BACKFLOW PREVENTER IS REQUIRED ON FIRELINE, COMMERCIAL AND MULTI-FAMILY DWELLINGS.
3. METER LOCATIONS MUST BE APPROVED BY DW. CONTRACTOR TO CALL DENVER WATER FOR PRE-INSPECTION TO CONFIRM METER LOCATIONS.
4. DEVELOPER IS RESPONSIBLE FOR ANY NECESSARY SYSTEM MODIFICATIONS DEVELOPER IS RESPONSIBLE FOR ANY NECESSARY SYSTEM MODIFICATIONS NEEDED TO MEET THE REQUIRED FIRE FLOWS.
5. ANY EXISTING TAPS ON THE SITE THAT ARE NOT USED MUST BE CUT-OFF ANY EXISTING TAPS ON THE SITE THAT ARE NOT USED MUST BE CUT-OFF AT THE MAIN AND INSPECTED BY DW. THIS WILL BE DONE AT THE DEVELOPER'S COST. S COST.
6. EACH INDEPENDENT STRUCTURE MUST HAVE ITS OWN SEPARATE TAP. EACH INDEPENDENT STRUCTURE MUST HAVE ITS OWN SEPARATE TAP. SERVICE LINE & METER.
7. SUB-METERING IS REQUIRED ON INDIVIDUAL MULTI-FAMILY UNITS AS SUB-METERING IS REQUIRED ON INDIVIDUAL MULTI-FAMILY UNITS AS MANDATED BY CITY ORDINANCE.
8. SOIL AMENDMENT IS REQUIRED ON ALL NEW WATER SERVICE. CERTIFICATE SOIL AMENDMENT IS REQUIRED ON ALL NEW WATER SERVICE. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED WITHOUT A SOIL INSPECTION BY DW.
9. SERVICES TO EACH UNIT SHALL BE 1-INCH. SERVICES TO EACH UNIT SHALL BE 1-INCH.
10. WATER METER AND SERVICE SIZES PROVIDED BY OTHERS. WATER METER AND SERVICE SIZES PROVIDED BY OTHERS.

GENERAL NOTES:

1. THE CONTRACTOR SHALL, PRIOR TO CONSTRUCTION, MOBILIZATION, OR ORDERING OF MATERIALS, CONFIRM THAT EXISTING UTILITY LOCATIONS ARE AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BEAR THE FULL COST OF REMOVAL, REPLACEMENT, DELAY, AND MOBILIZATION RELATED TO UNVERIFIED EXISTING CONDITIONS. WHERE THE CONTRACTOR FINDS DISCREPANCIES THEY SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER.
2. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE WORK SHOWN ON THE PLANS OR DESCRIBED IN THE SPECIFICATIONS IN A SATISFACTORY MANNER. UNLESS OTHERWISE PROVIDED, THE CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT, TOOLS, LABOR, AND INCIDENTALS TO COMPLETE THE WORK.

FIRE FLOW DATA:

TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 1500 GPM MIN @ 20 PSI RESIDUAL PRESSURE. THIS FLOW MUST BE PROVIDED BY A MINIMUM OF 1 FIRE HYDRANT. INDIVIDUALLY, EACH FIRE HYDRANT MUST SUPPLY 1500 GPM @ 20 PSI RESIDUAL PRESSURE.

CODE USED FOR ANALYSIS: 2009 IFC WITH 2011 AMENDMENTS
OCCUPANCY GROUP: RESIDENTIAL - SINGLE FAMILY ATTACHED
CONSTRUCTION TYPE: V-B IRC TOWNHOMES FIRE AREA = 1427 SF
(LARGEST UNIT) BUILDINGS ARE NOT SPRINKLERED

REQUIRED FIRE FLOW = 1500 GPM

LANDSCAPE
DETAILS
SDP 7 OF 15

2478 S. DELAWARE
TOWNHOMES



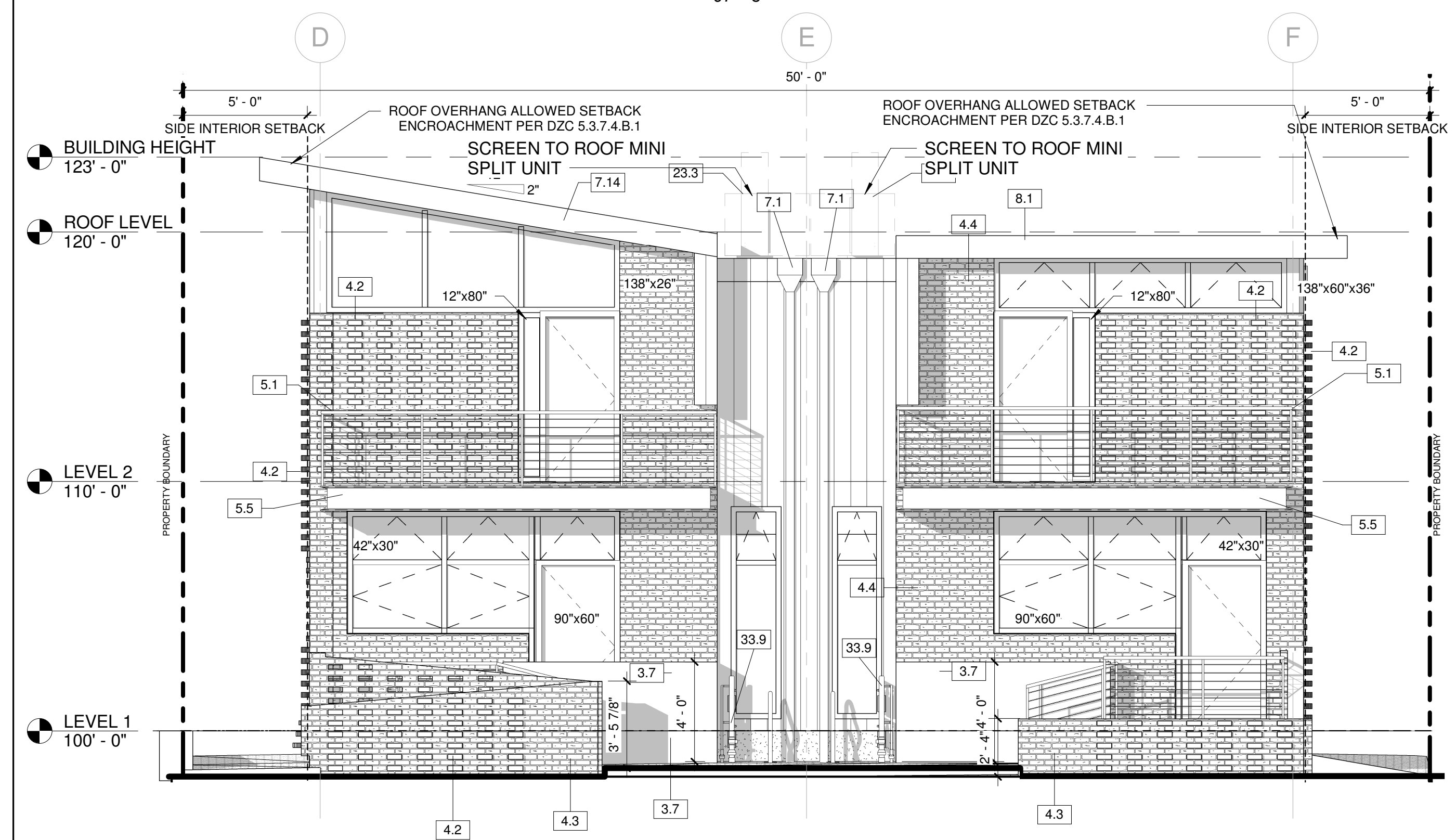
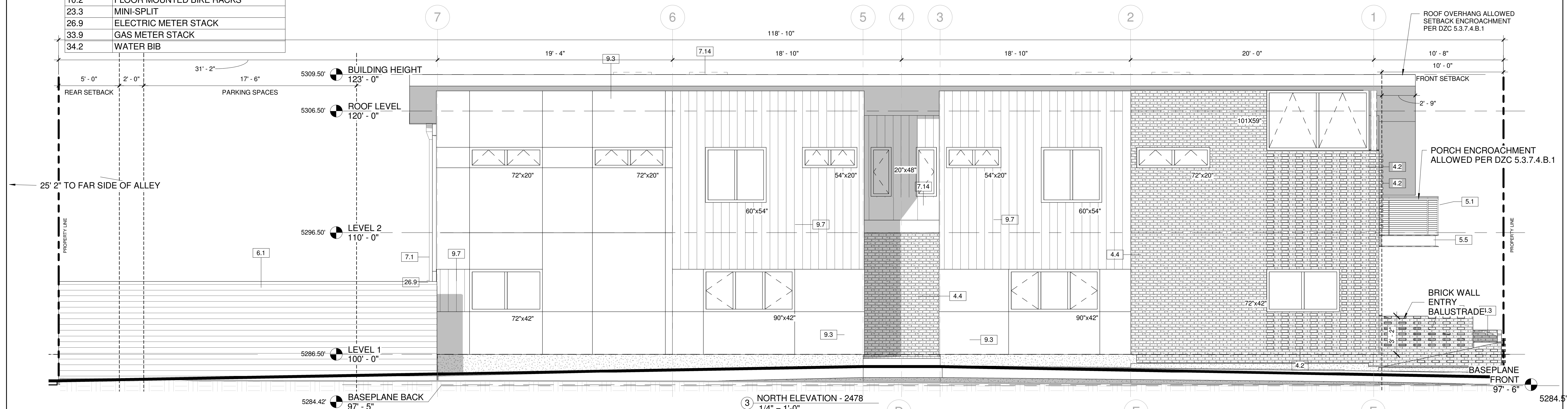
2478 S. DELAWARE ST TOWNHOMES

SITE DEVELOPEMENT PLAN

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LOCATED AT: 2478 S. DELAWARE STREET | UNIT 1, UNIT 2, UNIT 3, UNIT 4,
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KEYNOTE LEGEND	
Key Value	Keynote Text
3.7	CONCRETE PLANTER
4.2	DECORATIVE BRICK WALL
4.3	4" BRICK PLANTER WALL
4.4	BRICK VENEER - COLOR TBD
5.1	METAL CABLE HANDRAIL
5.5	EXPOSED STEEL MC12x45 BEAM - RE: STRUCTURAL
7.1	DOWNSPOUT
7.14	METAL RAISED RIB ROOFING w/ METAL FASCIA WRAP
8.2	CRAWLSPACE ACCESS HATCH
9.3	HARDCOAT STUCCO SYSTEM
9.7	LP SMART SIDE VERTICAL SIDING
10.2	FLOOR MOUNTED BIKE RACKS
23.3	MINI-SPLIT
26.9	ELECTRIC METER STACK
33.9	GAS METER STACK
34.2	WATER BIB



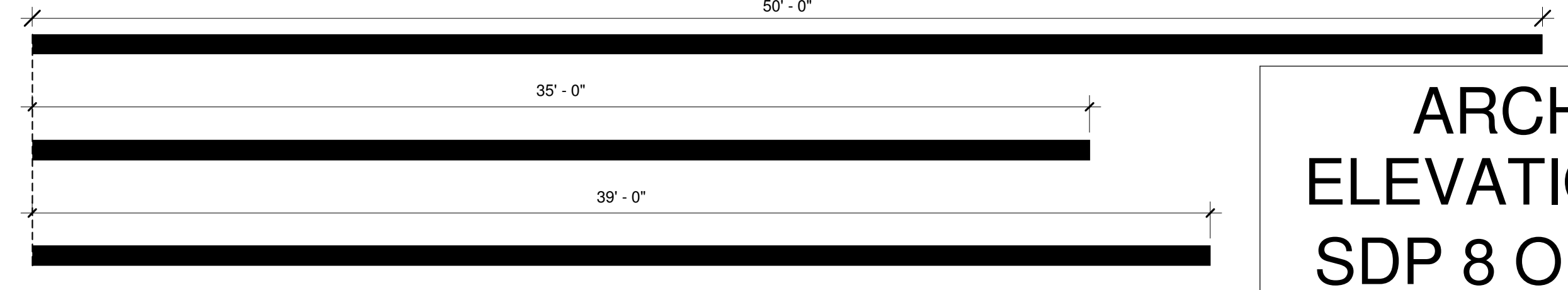
BUILD-TO ANALYSIS
DELAWARE STREET

LOT LENGTH

BUILD-TO-REQUIRED:
70% LOT LENGTH

BUILD-TO-PROVIDED: 39'
78%

	REQ.	PROVIDED
TOTAL BUILDING LENGTH TO PRIMARY:	35'	39'
40% REQUIRED TRANSPARENCY:	141 SF	170 SF
	50' - 0"	



WEST ELEVATION - 2478
TRANSPARENCY
1/4" = 1'-0"

ARCH ELEVATIONS
SDP 8 OF 15

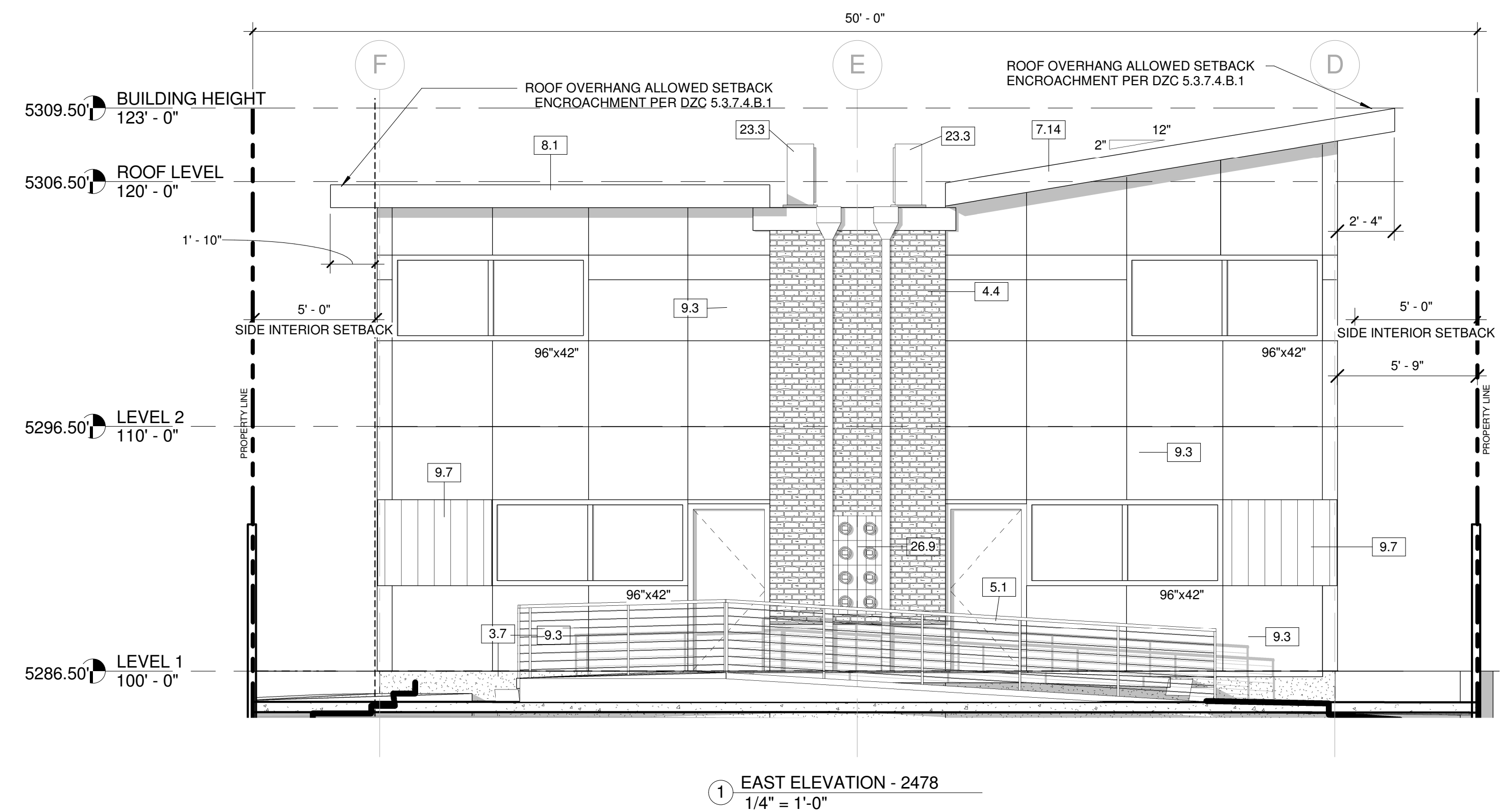
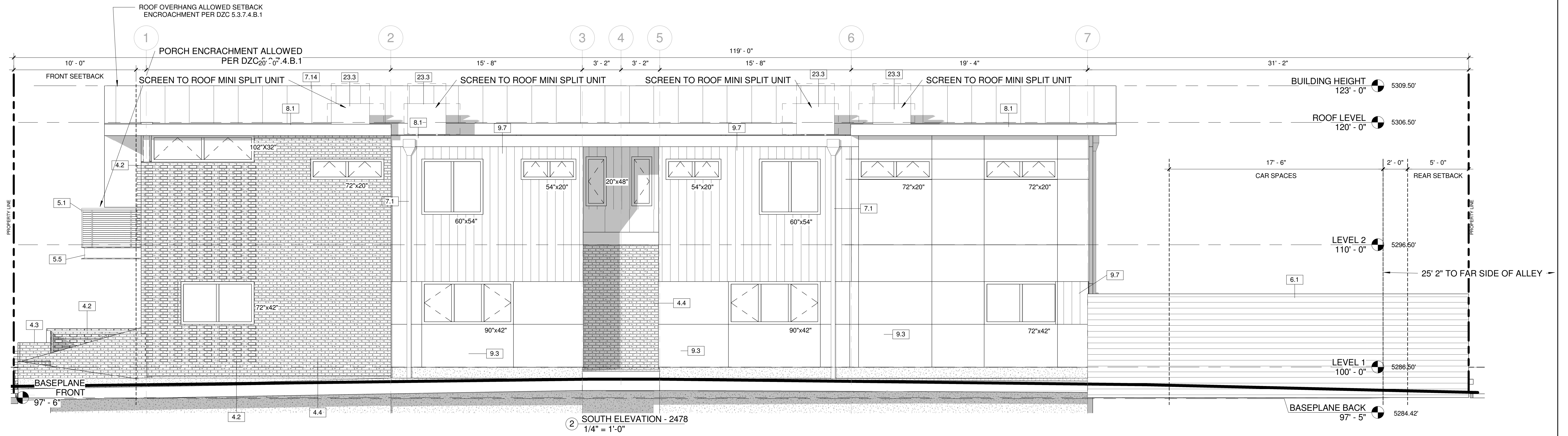
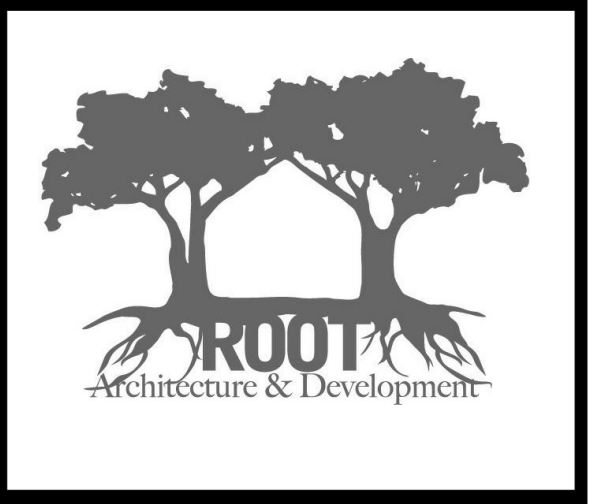
2478 S. DELAWARE TOWNHOMES

2478 S. DELAWARE ST TOWNHOMES

SITE DEVELOPEMENT PLAN

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**ARCH
ELEVATIONS
SDP 9 OF 15**

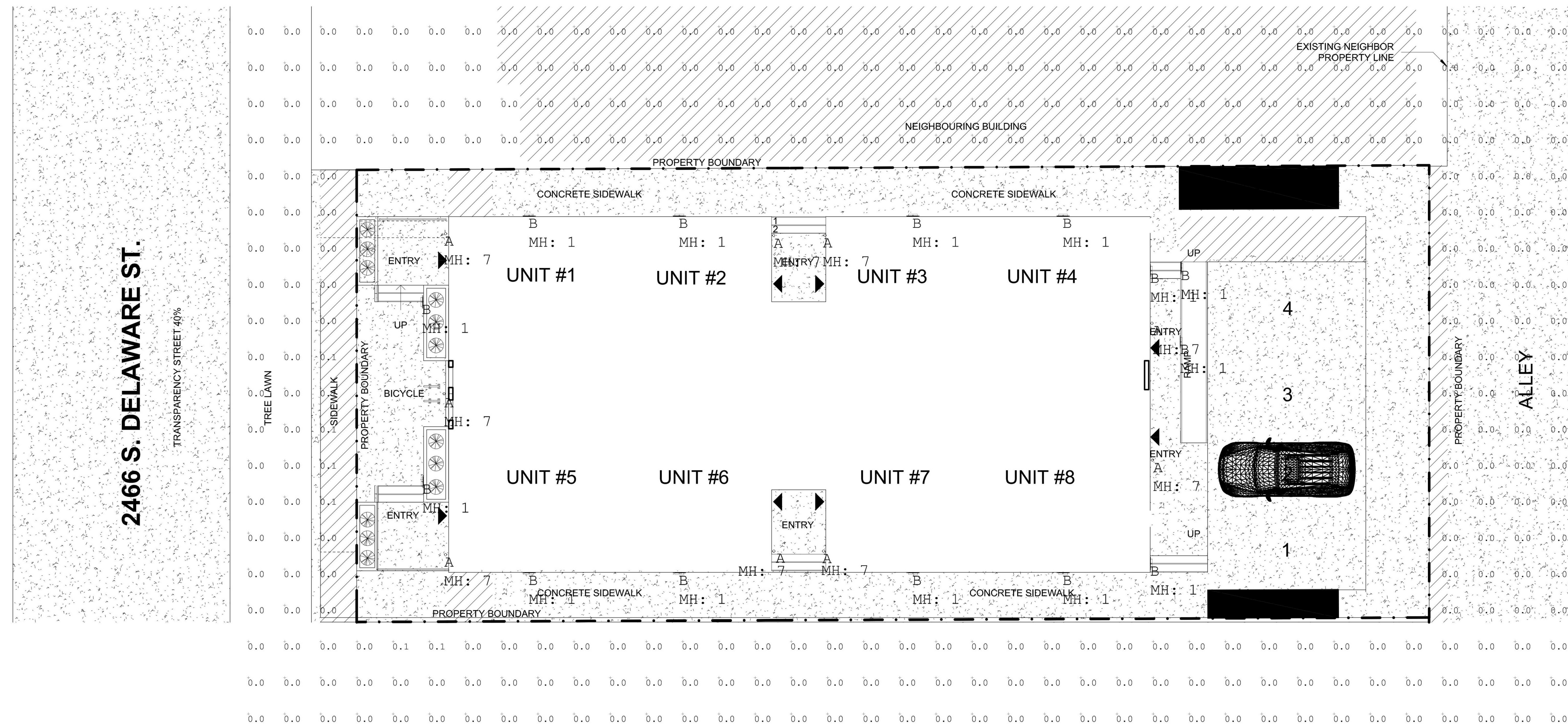
2478 S. DELAWARE
TOWNHOMES

2478 S. DELAWARE ST TOWNHOMES

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Symbol	Tag	Qty	Label	Arrangement	Total Lamp Lumens	LLF
○	A	16	66 655	SINGLE	652	1.000
□	B	14	22 101	SINGLE	7	1.000

NOTE: All shown luminaire mounting heights are above finished ground they are located above

NOTE : Any proposed light fixtures installed on private property, adjacent to the public right-of-way, shall be oriented in such a manner or limited in lumen output to prevent glare problems and shall not exceed National I.E.S. lighting standards for disability glare.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Beyond Property Line	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.
Site	Illuminance	Fc	0.16	5.4	0.0	N.A.	N.A.

**PHOTOMETRIC
PLAN**
SDP 10 OF 15

2478 S. DELAWARE
TOWNHOMES

2478 S. DELAWARE ST TOWNHOMES

SITE DEVELOPMENT PLAN

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TYPE A

Wall luminaires with single-sided light output

Housing: Extruded and die cast aluminum. Mounts directly to a BEGA 19537 box (provided). Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.

Enclosure: Tempered, clear glass, flush to the die casting to prevent water accumulation. Fully gasketed for weather-tight operation using a 'U' channel molded silicone rubber gasket.

Electrical: 7.9W LED luminaire, 10.5 total system watts, -30°C start temperature, integral 120V through 277V electronic LED driver, 0.10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K (available in 4000K (BS CR); add suffix K4 to order).

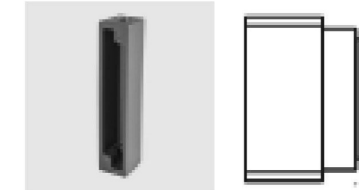
Notes: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK), White (WHT), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

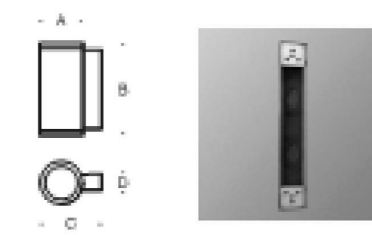
CSA: certified to U.S. and Canadian standards for wet locations. Protection class: IP65

Weight: 4.4 lbs

Mounting options:
79547 Surface mount wiring box



MOUNT IN DOWNWARD POSITION



These luminaires mount over a custom BEGA recessed box. This box can be shipped ahead of the luminaire.

Narrow beam upwards or downwards

Lamp	β	A	B	C	D	Wiring box*
7.9W LED	19.5°	4"	9"	6"	15"	19537

β = Beam angle *Small opening wiring box included.

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com
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Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:



TYPE B

Recessed wall luminaires with shielded light

Housing: Constructed of die-cast aluminum with integral wiring compartment. Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.

Enclosure: One piece die-cast aluminum faceplate: 1/4" thick, etched, clear tempered glass. Faceplate is secured by two (2) flush socket head stainless steel captive screws threaded into stainless steel inserts in the housing casting. High temperature, one piece molded U-channel gasket for weather-tight operation.

Electrical: 2.1W LED luminaire on a 24V DC driver, 3 total system watts, -25°C start temperature. Remote electronic 24V DC driver required. Standard LED color temperature is 3000K (available in 4000K; add suffix K4). Through Wiring: Maximum four (4) No. 12 AWG conductors (plus ground) suitable for 90°C. Two (2) 7/64" knockouts provided for 1/2" conduit.

Notes: Due to the dynamic nature of LED technology, LED luminaire data in this catalog is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK), White (WHT), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

UL: listed for US and Canadian Standards, suitable for wet locations and for installation within 3 feet of ground. Type non-IC. Protection class: IP65.

Luminaire Lumens: 7

Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:



Lamp	A	B	C
2.1 W LED	3 1/2"	3 1/2"	4"

*Remote electronic driver required

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LIGHTING CUT
SHEET
SDP 11 OF 15

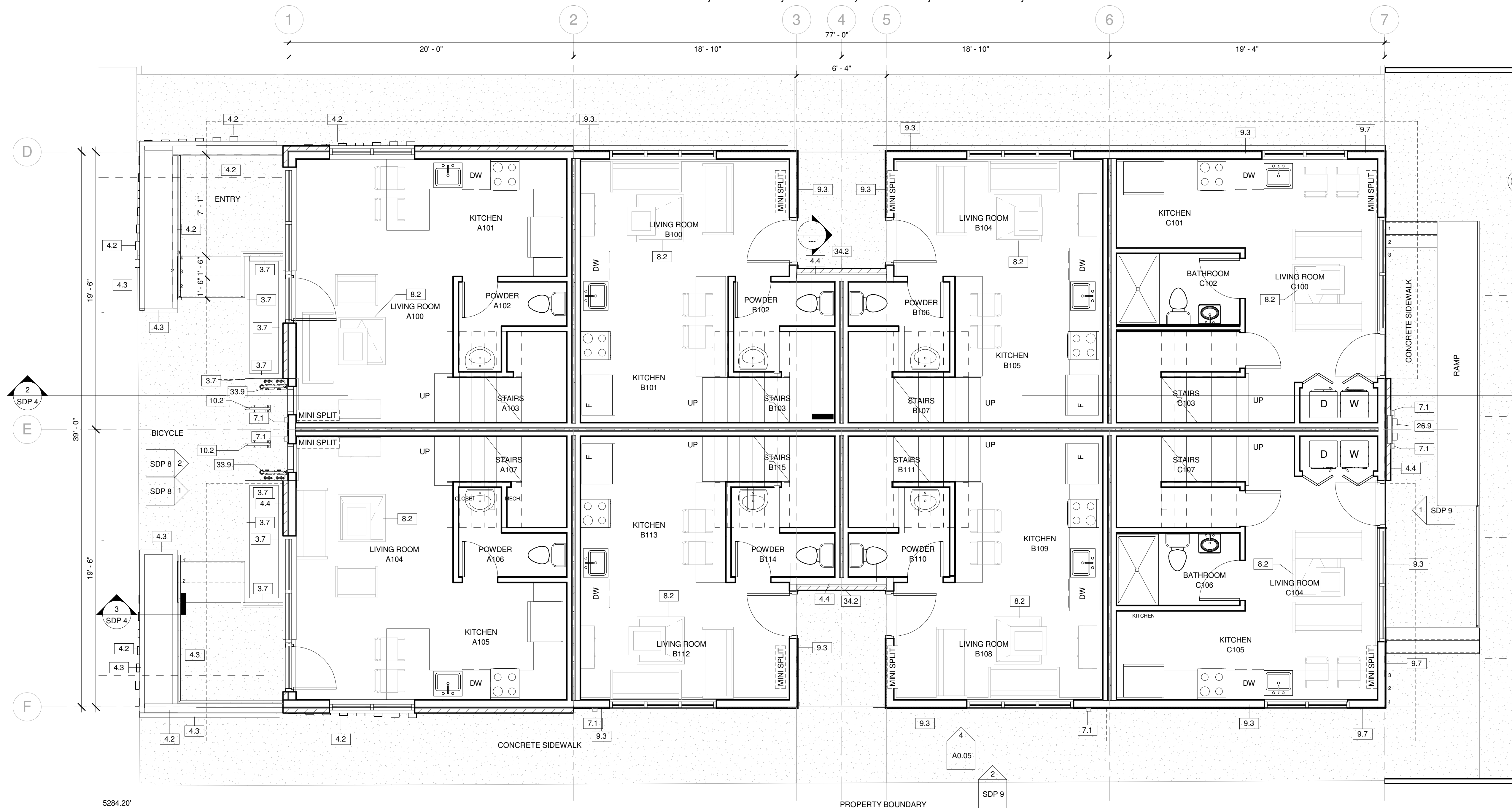
2478 S. DELAWARE
TOWNHOMES

2478 S. DELAWARE ST TOWNHOMES

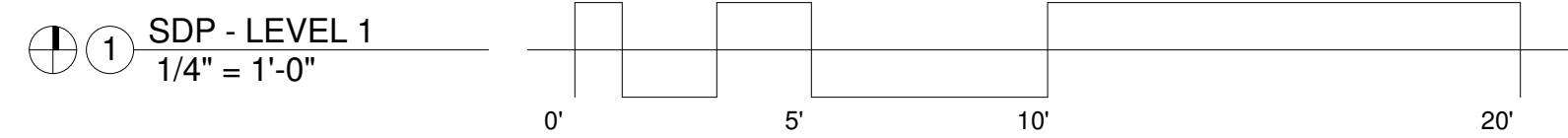
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8.2	CRAWLSPACE ACCESS HATCH
9.3	HARDCOAT STUCCO SYSTEM
9.7	LP SMART SIDE VERTICAL SIDING
10.2	FLOOR MOUNTED BIKE RACKS
23.3	MINI-SPLIT
26.9	ELECTRIC METER STACK
33.9	GAS METER STACK
34.2	WATER BIB



LEVEL 1 PLAN

SDP 12 OF 15

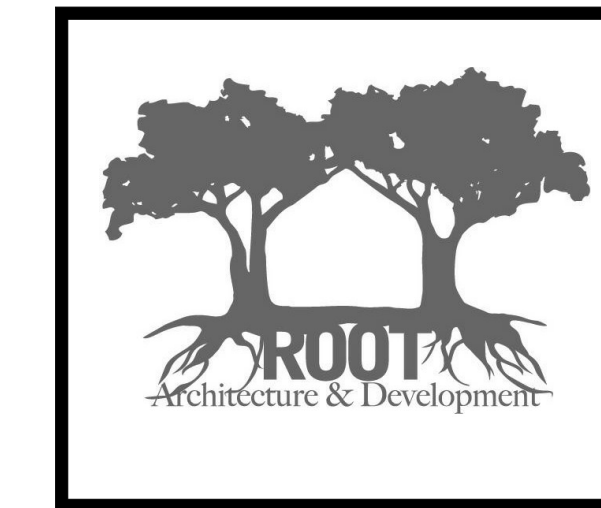
2478 S. DELAWARE TOWNHOMES

2478 S. DELAWARE ST TOWNHOMES

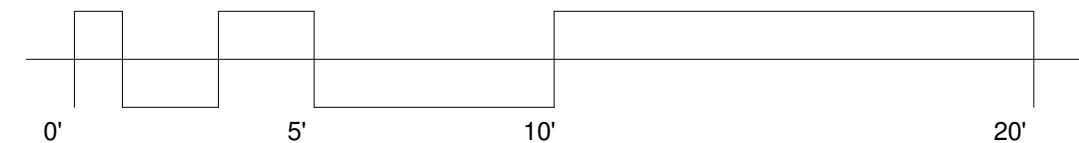
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SDP - LEVEL 2
1/4" = 1'-0"



LEVEL 2 PLAN

SDP 13 OF 15

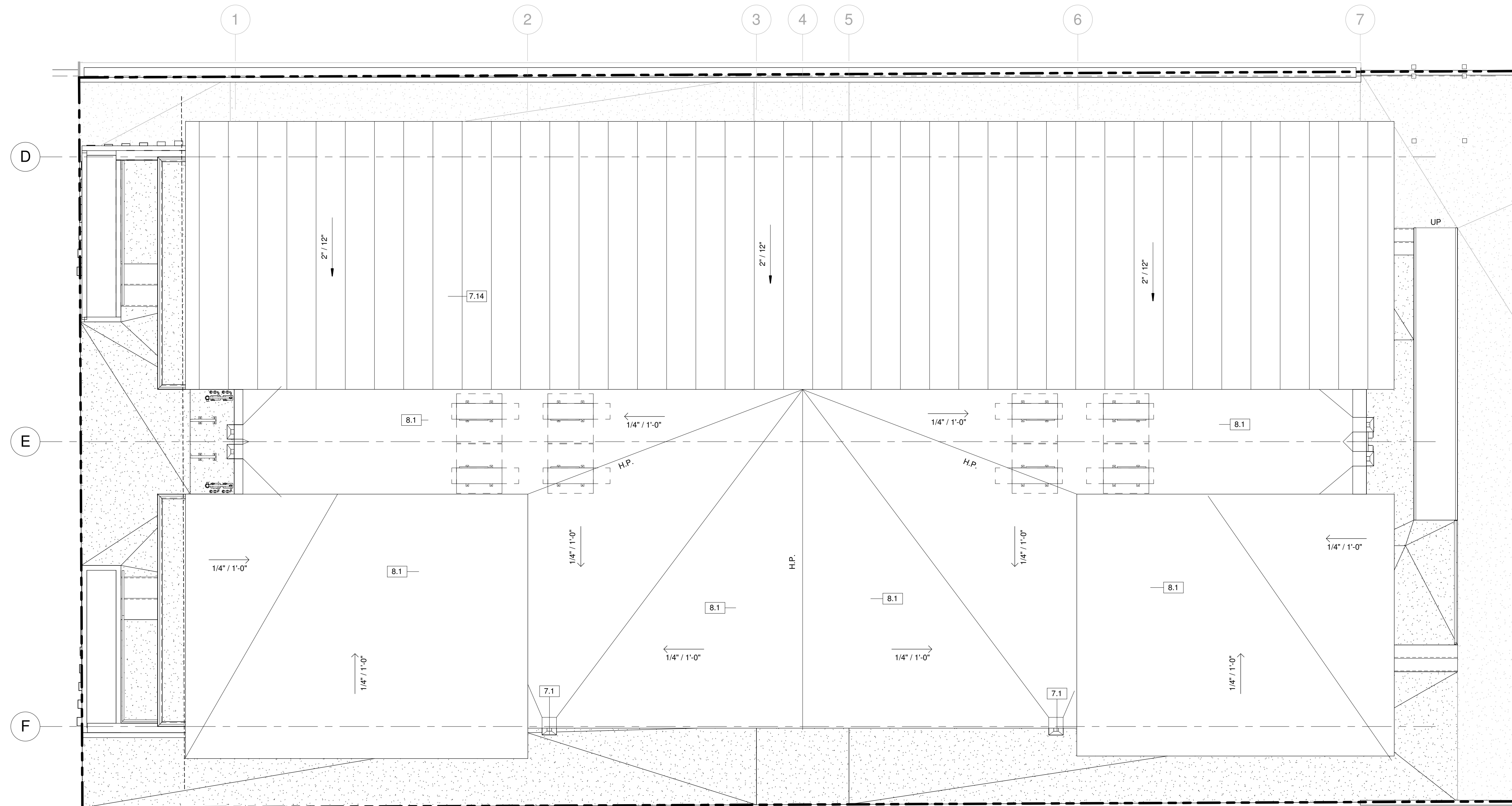
2478 S. DELAWARE
TOWNHOMES

2478 S. DELAWARE ST TOWNHOMES

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① ROOF PLAN
1/4" = 1'-0"

ROOF PLAN

SDP 14 OF 15

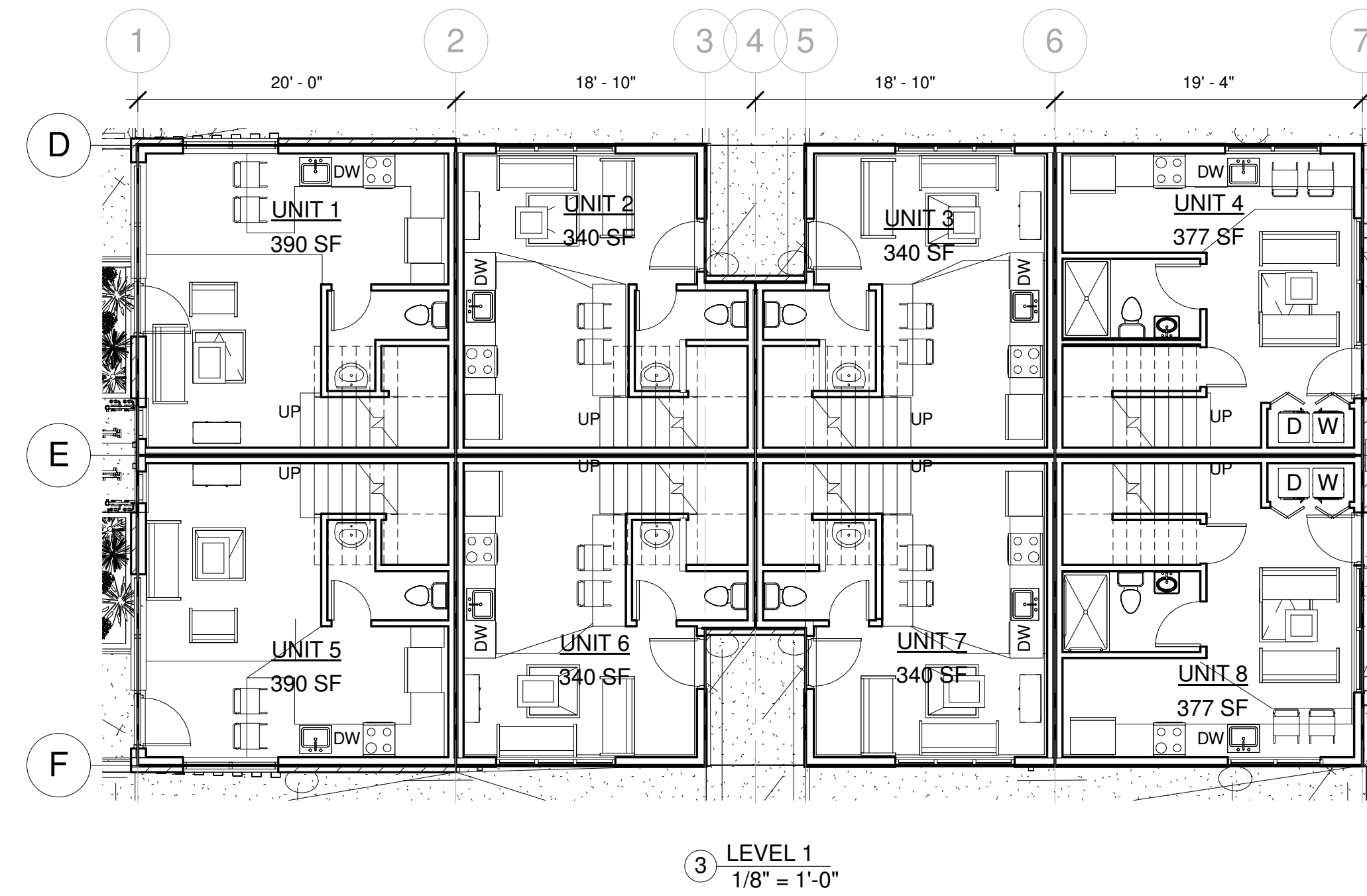
2478 S. DELAWARE
TOWNHOMES

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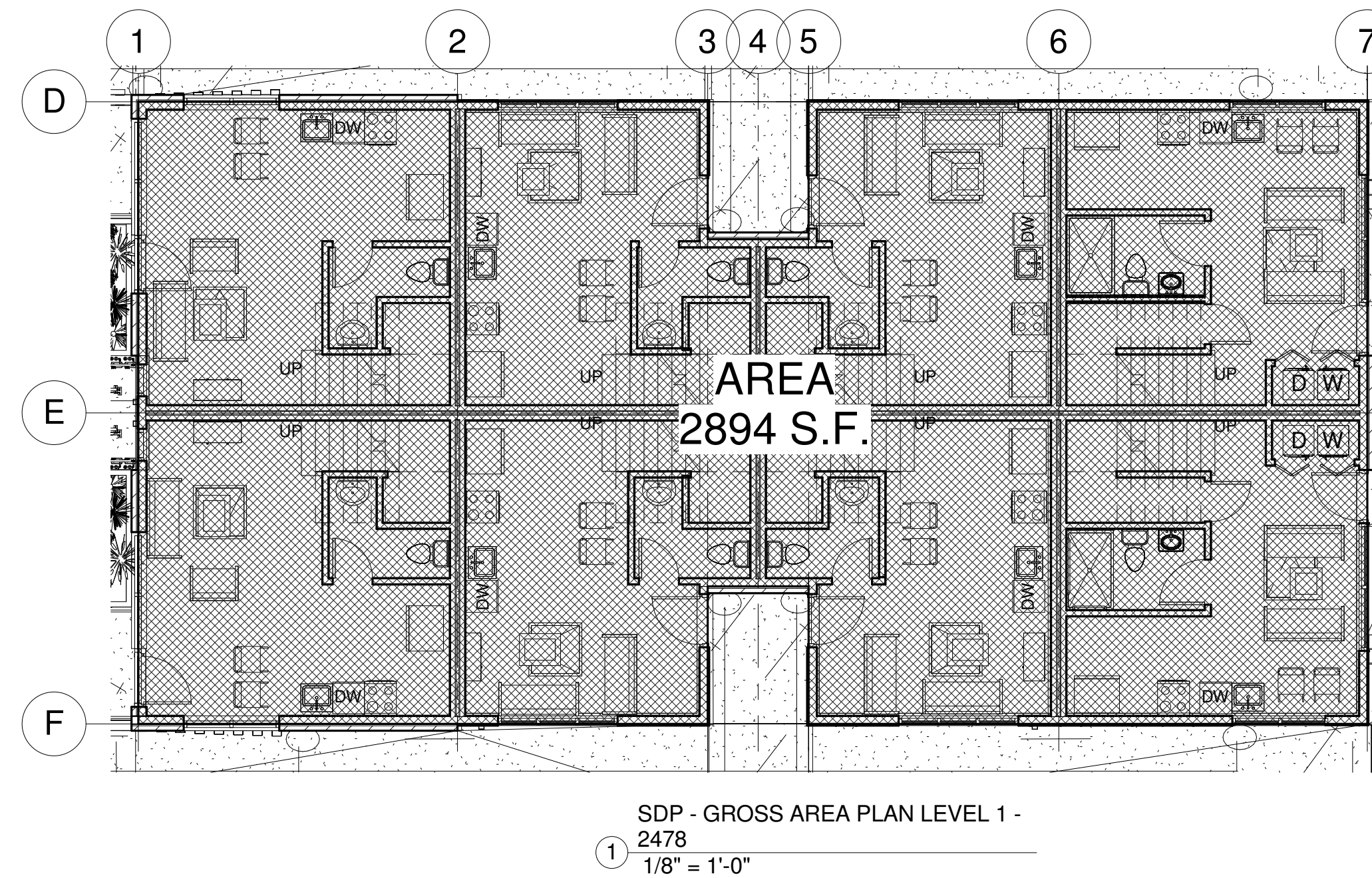
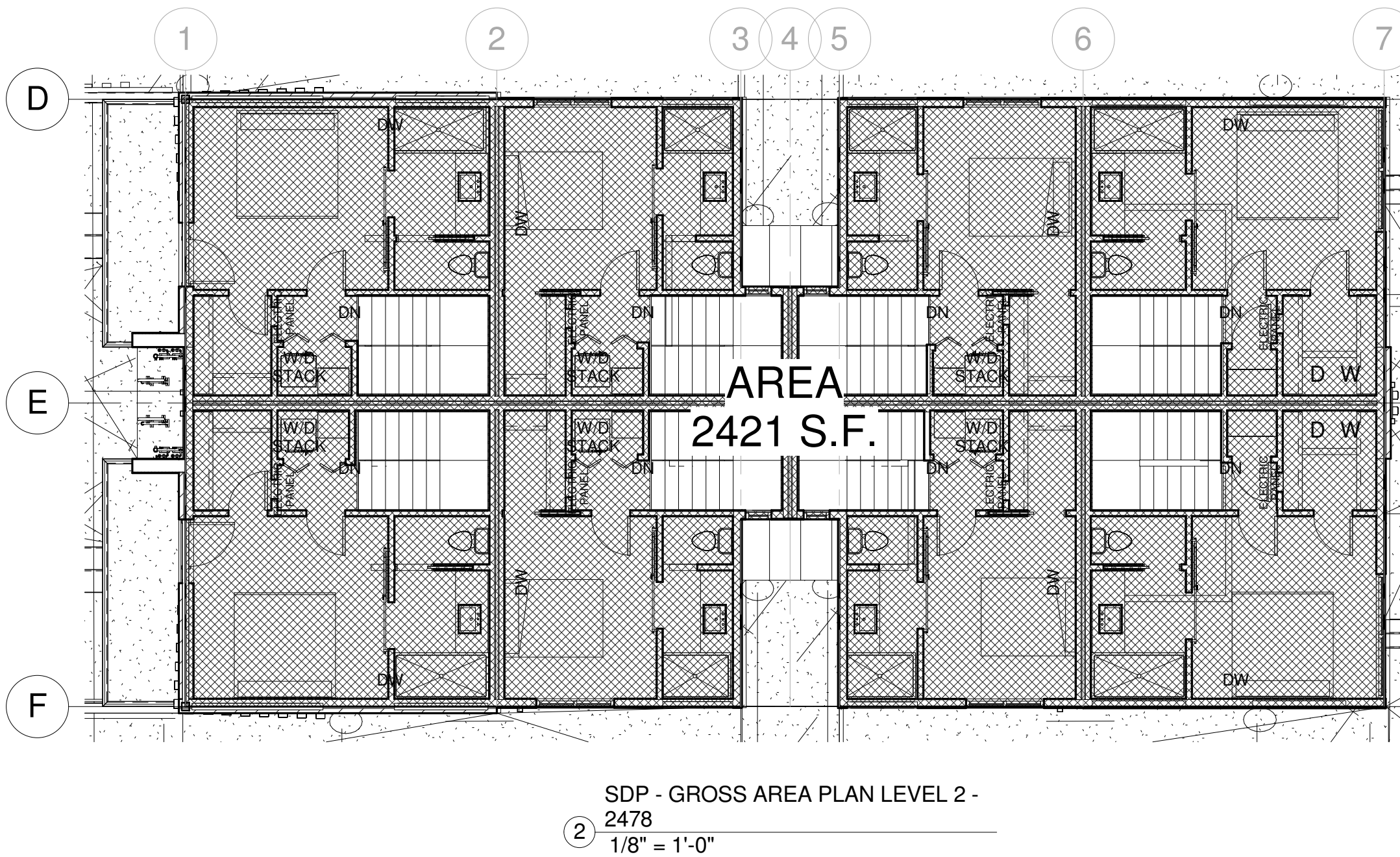
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AREA SCHEDULE		
Name	Level	Area
UNIT 1	LEVEL 1	390 SF
UNIT 1	LEVEL 2	336 SF
		726 SF
UNIT 2	LEVEL 1	340 SF
UNIT 2	LEVEL 2	276 SF
		616 SF
UNIT 3	LEVEL 1	340 SF
UNIT 3	LEVEL 2	276 SF
		616 SF
UNIT 4	LEVEL 1	377 SF
UNIT 4	LEVEL 2	323 SF
		700 SF
UNIT 5	LEVEL 1	390 SF
UNIT 5	LEVEL 2	336 SF
		726 SF
UNIT 6	LEVEL 1	340 SF
UNIT 6	LEVEL 2	276 SF
		616 SF
UNIT 7	LEVEL 1	340 SF
UNIT 7	LEVEL 2	276 SF
		616 SF
UNIT 8	LEVEL 1	377 SF
UNIT 8	LEVEL 2	323 SF
		700 SF
		5316 SF



**GROSS AREA
PLAN
SDP 15 OF 15**

2478 S. DELAWARE
TOWNHOMES