



APPLICATION

FOR ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT-OF-WAY

An Encroachment Permit is required prior to placing privately-owned improvements (“Encroachment” or “Encumbrance”) in the public Right-of-Way (ROW). Only Encroachment Permit Applications in accordance with Rules and Regulations and Permit Entrance Requirements for Encroachments in the Public Right-of-Way will be considered by the Department of Transportation & Infrastructure (DOTI). **It is the City’s sole discretion whether to grant an Encroachment Permit based on any facts the City feels are relevant. Approval is not guaranteed.**

To apply, complete this application and submit together with required application materials in accordance with the Permit Entrance Requirements to DOTI.ER@denvergov.org. Please type or print clearly. If necessary, attach additional sheets to fully answer any of the following sections. Incomplete applications packages will not be accepted. Questions on this application or the process can be sent to DOTI.ER@denvergov.org.

Check if this application is for Tier Determination only. *If checked, the project will not be submitted for full review until confirmation, and remaining submittal requirements, are received by owner.*

ADJACENT PROPERTY OWNER:

The adjacent property owner or Authorized Special District will be the Encroachment Owner and Permittee and is the responsible party for the Encroachment in accordance with the Rules and Regulations, including all fees and annual billing.

Company Name: 2534 18th Street, LLC
Contact Name: Michael Mathieson
Property Address: 2534 18th St Denver, CO 80211
Billing Address: 1741 N Gaylord St Denver, CO 80206
Phone: 303-726-4600 Email: mike.forbespartners@gmail.com

PRIMARY CONTACT: *Check if the same as Adjacent Property Owner*

Company Name: Forbes Partnership
Contact Name: Kindra Reeves
Address: 1741 N Gaylord St Denver, CO 80206
Phone: 303-726-4600 Email: kindra@forbespartners.net

City and County of Denver – Department of Transportation & Infrastructure
Right-of-Way Services | Engineering & Regulatory
201 West Colfax Ave. Dept. 507 | Denver, CO 80202
www.denvergov.org/doti
Email: DOTI.ER@denvergov.org
Phone: 720-865-3003

ENCROACHMENT INFORMATION:

Project Name: 2534 18th Street, LLC
Adjacent Property Address: 2534 18th Street, Denver, CO 80211
Coordinates (Lat/Long): 39 ° 45 minutes 37 seconds north - 105° 0 minutes 26 seconds west
Encroachment Area, in SF: 1300 square feet

Is this project associated with a LAND DEVELOPMENT REVIEW?

Yes No If 'Yes', provide Project Master, Site Plan and/or Concept Development Project Numbers:
2020-SDP-0000233

Is the proposed encroachment located in Future Right-of-Way?

Finalizing permit and/or processing resolution for the Encroachment will not occur until the ROW dedication is finalized.

Yes No If 'Yes', provide ROW Dedication Project Number:

Location Description: (e.g. Located on the South side of 23rd Ave, twenty (20) feet from face of curb, and ten (10) feet west of pavement on Private Drive.)

18th Street ROW

Description of Encroachment:

Describe the proposed encroachment, including the type and quantity of objects.

Private 8" storm sewer.
226 LF 8" PVC Storm Sewer
One 4 ft diameter manhole

Reason for Private Improvements in the Public ROW:

Private improvements should be located on private property. Only in cases where there are physical constraints that preclude the placement of private improvements on private property that an encroachment may be considered within the right-of-way. Make your case as to why this is a good use of the public right-of-way.

Provide piped gravity outfall for storm water detention vault.

ATTESTATION:

By submitting this permit application and signing below, I understand and agree to the following:

1. That I am the property owner adjacent to the Encroachment Area, or the authorized representative of a Special District, that is responsible for the placement, maintenance, repair, replacement, removal, site restoration, ownership, or is otherwise responsible for the Encroachment in accordance with the Rules & Regulations for Encroachments and Encumbrances in the Public Right-of-Way.
2. That it is the City's sole discretion to classify the Tier of an Encroachment and whether to grant an Encroachment Permit based on any facts the City feels are relevant. The issuance of an Encroachment Permit confers no rights to the Right-of-Way, the Encroachment Permit is revocable and DOTI can order the removal of the Encroachment and restoration of the Encroachment Area for any reason the City feels relevant.
3. Permittee agrees to defend, indemnify, reimburse and hold harmless the City, its appointed and elected officials, agents and employees for, from and against all liabilities, claims, judgments, suits or demands for damages to persons or property arising out of, resulting from, or relating to an Encroachment Permit and the Encroachment ("Claims"). This indemnity shall be interpreted in the broadest possible manner to indemnify City for any acts or omissions of Permittee or its subcontractors either passive or active, irrespective of fault, including City's negligence whether active or passive.
4. Permittee's duty to defend and indemnify City shall arise at the time written notice of the Claim is first provided to City regardless of whether claimant has filed suit on the Claim. Permittee's duty to defend and indemnify City shall arise even if City is the only party sued by claimant and/or claimant alleges that City's negligence or willful misconduct was the sole cause of claimant's damages.
5. Permittee will defend any and all Claims which may be brought or threatened against City and will pay on behalf of City any expenses incurred by reason of such Claims including, but not limited to, court costs and attorney fees incurred in defending and investigating such Claims or seeking to enforce this indemnity obligation. Such payments on behalf of City shall be in addition to any other legal remedies available to City and shall not be considered City's exclusive remedy.
6. Insurance coverage requirements specified in an Encroachment Permit shall in no way lessen or limit the liability of Permittee under the terms of this indemnification obligation. Permittee shall obtain, at its own expense, any additional insurance that it deems necessary for the City's protection.
7. This defense and indemnification obligation shall survive the expiration or termination of any issued Encroachment Permit.
8. Permittee is fully responsible for all costs to install, maintain, repair, replace, remove, and restore the Encroachment Area, including annual City Encroachment Permit Fees. A lien will be placed on the Permittee's property for failure to remove a revoked or abandoned Encroachment for cost incurred by CCD to remove the Encroachment and restore the Encroachment Area on behalf of the Permittee.
9. Indemnity and Insurance for Tier I and Tier II Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier I or Tier II Encroachment, the Owner of such Tier I or Tier II Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier I or Tier II Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$2,000,000 policy aggregate. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.
10. Indemnity and Insurance for Tier III Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier III Encroachment, the Owner of such Tier III Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier III Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$5,000,000 policy aggregate. A combination of primary and excess coverage may be used to meet the aggregate limit. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.

ADJACENT PROPERTY

OWNER SIGNATURE:



DATE:

10/24/23

PRINT NAME:

Michael Mathieson

TITLE:

Manager

COMPANY:

2534 18th Street, LLC

SUBMITTAL CHECKLIST

FOR ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT-OF-WAY

Any Submittal not meeting all minimum checklist criteria herein will be rejected as incomplete.

Encroachments shall be in accordance with:

- Rules and Regulations Governing Encroachments & Encumbrances in the Public Right-of-Way
- Transportation Standards and Details for the Engineering Division

Application

- Signed by adjacent property owner** as owner of Encroachment or authorized Special District representative

Evidence of Adjacent Property Ownership & Parcel Land Description

Required for all Encroachment Permit Applications

- Current Title Work/Warranty Deed confirming ownership and parcel land description for adjacent property
- Parcel Land Description in Word format

Land Description sealed and signed by a Professional Land Surveyor licensed in Colorado

Required for Tier II Underground Encroachments and all Tier III Encroachments (can be submitted after 1st review)

- Encroachment Area Land Description and Exhibit(s) in PDF format stamped and signed by PLS
- Encroachment Area Land Description in Word format

Site Plans sealed and signed by a Professional Engineer licensed in Colorado

GENERAL

- Vicinity map
- North arrows and numerical and bar scales (Scale not to exceed 1" = 40')
- Legend
- PE stamp area
- Plan set date and revision number (if applicable)

PLAN VIEW

Show, label and dimension existing and proposed final site conditions, including but not limited to the following (aerial imagery is allowed; however, it does not replace requirement for accurately scaled engineering drawings):

- Property lines, right-of-way width
- Edge of pavement, curb and gutter, sidewalks, nearby driveways and alleys
- Street lights, pedestrian lights, signal poles, utility poles
- Surface utility features (e.g. cabinets, handholes, manholes, inlets, vaults, valves, fire hydrants)
- Regulatory Floodplain boundaries (FEMA) *NA*
- Underground and overhead utilities (e.g. water, sewer, power, communications, gas, irrigation)
- Trees and landscaping in the ROW
- Street names and adjacent property address(es)
- Regional Transportation District (RTD) bus stop with any amenities
- Location and size of Encroachment – Show and dimension limits of both above and below ground elements

City and County of Denver – Department of Transportation & Infrastructure

Right-of-Way Services | Engineering & Regulatory
201 West Colfax Ave. Dept. 507 | Denver, CO 80202

www.denvergov.org/dot

Phone: 720-865-3003



- Construction Materials
- Projection from building
- Distance from Encroachment to the nearest flowline
- Distance from Encroachment to any other Streetscape feature/obstruction in the vicinity
- Distance from property line to back of curb
- Electrical service alignment, electrical connection location, and voltage/amps
- No proposed Encroachments located in the intersection clear zone per Transportation Std. Dwg. 7.9

ELEVATION OR CROSS-SECTION VIEWS

- Location and size of Encroachment – Show and dimension limits of both above and below ground elements
- Existing and final grade
- Existing utilities and their size and depth
- Vertical height/clearance of the Encroachment from finish grade

DETAIL SHEET(S)

- Manufacturer’s and/or construction detail(s)
- Referenced City detail(s) by drawing number on the appropriate plan and elevation view(s)
- Office of the Forester’s (OCF) tree protection detail and notes
- Special, non-standard, or modified City details

STRUCTURAL PLANS Not Applicable

- Structural plans
- Manufacturers certification

ADDITIONAL REQUIRED MATERIAL(S) Not Applicable

- Approval from applicable reviewing authorities (e.g. design review district, floodplain, Arts & Venues)
- For properties sharing the Encroachment, appropriate legal documentation for review by the City

COMMENT RESOLUTION SHEET(S) IF APPLICABLE Not Applicable for 1st Submittal

- Reviewer’s and Agency Name
- Review comments (reviewer comments must be verbatim)
- Formal written response to each comment

Fees:

Fees must be paid immediately after ER provides a project number and invoice for your application.

Fees (Non-Refundable):	Tier I Encroachment:	Tier II Encroachment:	Tier III Encroachment:
Initial Processing	No Fee	\$1,500.00	\$1,500.00
Land Description Review	N/A	\$300.00	\$300.00
Resolution Review	N/A	N/A	\$300.00
Annual Permit	No Fee	\$200.00	\$200.00

Attestation:

I hereby attest that the above information is incorporated into the Encroachment Application and plan submittal:

SIGNATURE:

[Handwritten Signature]

DATE:

10-30-23

PRINT NAME:

Michael Mathison

EMAIL:

Kindra@Forbespartners.net

COMPANY:

2534 18th Street, LLC

18th STREET DEVELOPMENT

2534 18th STREET, DENVER COLORADO, 80211

PRIVATE STORM SEWER

2020-SSPR-0000235

CITY OF DENVER GENERAL NOTES:

- STORM & SANITARY STANDARD NOTES:
- NO WORK IS AUTHORIZED WITHOUT A PRE-CONSTRUCTION MEETING AT WHICH YOU WILL RECEIVE A COPY OF THE CITY AND COUNTY OF DENVER STAMPED AND APPROVED SET OF PLANS. PLEASE CALL 303-446-3722 TO SCHEDULE A PRE-CONSTRUCTION MEETING AFTER YOUR PLANS HAVE BEEN APPROVED.
 - PUBLIC WORKS, WASTEWATER MANAGEMENT DIVISION'S STANDARD DETAILS AND TECHNICAL SPECIFICATIONS FOR SANITARY & STORM SEWERS APPLY TO THIS WORK. PUBLIC WORKS, WASTEWATER MANAGEMENT DIVISION'S STANDARD DETAILS (DRAWINGS), MOST RECENT EDITION, SHALL BE USED AS A MINIMUM. THE TECHNICAL SPECIFICATIONS ARE AVAILABLE FROM DS - SITE ENGINEERING. BOTH SETS MUST BE IN POSSESSION OF THE CONTRACTOR AT THE PRE-CONSTRUCTION CONFERENCE AND MUST REMAIN ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
 - THE STANDARD DETAILS CAN BE VIEWED AT (USE THE DROP DOWN ON THE RIGHT): [HTTP://WWW.DENVERGOV.ORG/WASTEWATERMANAGEMENT/WASTEWATERMANAGEMENT/ENGINEERINGANDPERMITS/ITABID/437959/DEFAULT.ASPX](http://www.denvergov.org/wastewatermanagement/wastewatermanagement/engineeringandpermits/itabid/437959/DEFAULT.ASPX)
 - CONTRACTOR SHALL CONFORM TO ALL FEDERAL, STATE AND LOCAL HEALTH AND SAFETY RULES AND REGULATIONS.
 - ONE SET OF THE APPROVED SEWER CONSTRUCTION DRAWINGS MUST BE ON-SITE AT ALL TIMES OF CONSTRUCTION.
 - ALL SEWER PIPES SHALL BE INSTALLED WITH CLASS B BEDDING AS A MINIMUM.
 - ANY MODIFICATIONS, ADJUSTMENTS, CONSTRUCTION OR RECONSTRUCTION OF PUBLIC WORKS, WASTEWATER DIVISION FACILITIES MUST BE INSPECTED BY A PW CONSTRUCTION ENGINEERING INSPECTOR. PLEASE SCHEDULE AN APPOINTMENT AT 303-446-3722 A MINIMUM OF 48 HOURS IN ADVANCE OF THE WORK TO SCHEDULE AN INSPECTOR.
 - PIPE MATERIAL, FITTINGS, TRENCHING, BEDDING, CONNECTIONS, AND SEWER INSTALLATION MUST BE INSPECTED BY A PW CONSTRUCTION ENGINEERING INSPECTOR PRIOR TO ANY TRENCH BACKFILL. PLEASE SCHEDULE AN APPOINTMENT AT 303-446-3722 A MINIMUM OF 48 HOURS IN ADVANCE OF THE WORK TO SCHEDULE AN INSPECTOR. MONITORING OF THE PROJECT BY PW SHALL BE FOR THE PURPOSE OF ASSURING GENERAL COMPLIANCE WITH THE APPROVED PLANS, STANDARDS, DETAILS, AND SPECIFICATIONS AS WELL AS THE RULES & REGULATIONS. STORM AND SANITARY INSPECTIONS SHALL NOT TAKE THE PLACE OF CONSTRUCTION INSPECTION AND MATERIALS TESTING, WHICH IS THE OWNER'S RESPONSIBILITY.
 - SANITARY SEWER PIPES SHALL BE PVC AND CONFORM TO: ASTM D3034 SDR 35 FOR SIZES 8 INCHES TO 15 INCHES IN DIAMETER (SOLID WALL), ASTM F789 FOR 18 INCHES (SOLID WALL), ASTM F679 FOR SIZES 18 TO 36 INCHES (SOLID WALL), ASTM F949 FOR SIZES 8 TO 36 INCHES (PVC PROFILE WALL), ASTM F794 FOR SIZES 8 TO 48 INCHES (PROFILE WALL), OR ASTM F1803 FOR SIZES 18 TO 60 INCHES (CLOSED PROFILE GRAVITY PIPE).
 - ANY QUESTIONS REGARDING STORM OR SANITARY FACILITIES THAT ARISE DURING CONSTRUCTION SHOULD BE BROUGHT TO THE ATTENTION OF PW CONSTRUCTION ENGINEERING AT (303) 446-3722.
 - BACKFILL IN PUBLIC RIGHT OF WAY MUST MEET THE REQUIREMENTS OF DENVER PUBLIC WORKS DEPARTMENT. A STREET CUT PERMIT AND INSPECTION OF A BACKFILL AND PAVEMENT REPAIR BY PUBLIC WORKS IS REQUIRED FOR ALL WORK IN THE PUBLIC RIGHT OF WAY. THE CONTRACTOR AND/OR DEVELOPER IS ADVISED TO CONTACT CONSTRUCTION ENGINEERING ROW INSPECTION AT 303-446-3469 OR PWPO AT 303-446-3759 TO OBTAIN INFORMATION REGARDING FEES AND PROCEDURES FOR OBTAINING THE REQUIRED PERMIT(S). CONTRACTOR MUST OBTAIN A STREET CUT PERMIT AND NOTIFY THE DISTRICT INSPECTOR AT (303) 446-3469, 48-HOURS PRIOR TO START OF JOB. COMPACTION TESTING IS REQUIRED.
 - THE CONTRACTOR PERFORMING WORK ON ANY PUBLIC OR PRIVATE STORM SEWER FACILITY OR ADJUTENANCE MUST BE PROPERLY TRADE LICENSED AS A COMPANY AND HAVE A LICENSED PLUMBER, DRAINLAYER SUPERVISOR OR SEWER CONTRACTOR ON SITE DURING THE WORK.
 - ACCESS MUST BE MAINTAINED FOR ALL SEWER MANHOLES DURING CONSTRUCTION. ANY DESIGN CHANGES TO NEW OR EXISTING PUBLIC STORM OR SANITARY SEWER MUST INCLUDE PERMANENT ACCESS TO THE PUBLIC STORM AND SANITARY SEWER MANHOLES AND COULD REQUIRE ROLL-OVER CURB, COMMERCIAL DRIVE, REINFORCED CONCRETE SIDEWALK, RITTER RINGS OR CONCRETE PAD. MINIMUM ACCESS TO EACH MANHOLE IS A 20' WIDE LANE FROM THE NEAREST PUBLIC RIGHT OF WAY, CENTERED AT THE MANHOLE INCLUDING A 10' RADIUS AROUND THE MANHOLE AND 22.0' VERTICAL CLEARANCE.
 - THE CONNECTION OF A NEW SANITARY/STORM SEWER TO AN EXISTING MANHOLE MAY REQUIRE MANHOLE RECONSTRUCTION AT THE DISCRETION OF THE PW CONSTRUCTION ENGINEERING INSPECTOR OR THE PW CONSTRUCTION ENGINEERING ENGINEER.
 - CHANGES IN THE ELEVATION OF AN EXISTING BRICK MANHOLE MAY REQUIRE THE USE OF A PRE-CAST CONCRETE MANHOLE OR MANHOLE RECONSTRUCTION AT THE DISCRETION OF THE PW CONSTRUCTION ENGINEERING INSPECTOR AND/OR PW CONSTRUCTION ENGINEERING ENGINEER.
 - CHANGES IN ELEVATION OR MODIFICATION TO EXISTING INLETS MAY REQUIRE RECONSTRUCTION AT THE DISCRETION OF THE PW CONSTRUCTION ENGINEERING INSPECTOR OR ENGINEER.
 - THE CONTRACTOR SHALL BE AWARE THAT WHEN DEBRIS IS DROPPED INTO PUBLIC MANHOLES AND OTHER PUBLIC STRUCTURES, THE CONTRACTOR IS TO IMMEDIATELY REMOVE THIS TO ELIMINATE THE POSSIBILITY OF PROPERTY DAMAGE DUE TO THE DEBRIS CAUSING BACKUP INTO PRIVATE PROPERTIES. IF IT IS DETERMINED THAT DEBRIS CAUSED A BACKUP, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES.
 - THE CONTRACTOR SHALL MAKE SURE THAT ALL MANHOLES AND OTHER STRUCTURES ARE BUILT TO FINISHED GRADE.
 - NO TREES SHALL BE PLANTED WITHIN ANY SEWER EASEMENT OR WITHIN TEN (10) FEET OF ANY PUBLIC MANHOLES, PIPES OR INLETS.
 - "AS-BUILT" ELECTRONIC SUBMITTAL OR PRINTS ARE TO BE SUBMITTED TO DEVELOPMENT SERVICES AT COMPLETION OF THE PROJECT. "AS-BUILT" DRAWINGS ARE TO BE REPRODUCIBLE COPIES (OR ORIGINALS) OF THE APPROVED CONSTRUCTION DRAWINGS. ANY FIELD CHANGES ARE TO BE NOTED. THE DRAWINGS WILL STATE "AS-BUILT" IN LARGE BLOCK LETTERS. THE "AS-BUILT" ELECTRONIC SUBMITTAL OR PRINTS ARE TO BE SIGNED, DATED AND STAMPED BY A COLORADO REGISTERED ENGINEER.
 - AS-BUILT FIELD NOTES (IF REQUESTED), FROM WHICH THE AS-BUILT DRAWINGS ARE PREPARED, ARE TO BE PROVIDED AND STAMPED/SIGNED AND DATED BY THE COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR. THESE NOTES WILL INCLUDE THE STATIONING OF ANY BUILDING SEWER STUBS INSTALLED.
 - UPON COMPLETION OF SITE GRADING AND SEWER CONSTRUCTION, THE OWNER OR DEVELOPER SHALL BE RESPONSIBLE FOR FURNISHING DEVELOPMENT SERVICES WITH A CERTIFICATE OF INSPECTION PREPARED BY THE COLORADO REGISTERED ENGINEER WHO PERFORMED OR SUPERVISED CONSTRUCTION INSPECTION, CERTIFYING THAT:
 - A CONSTRUCTION INSPECTOR WAS ON THE JOB SITE AT ALL TIMES SEWER OR DRAINAGE FACILITY WORK WAS PERFORMED.
 - ALL STORM AND SANITARY SEWER FACILITIES, SITE GRADING, DETENTION POND GRADING AND OUTLET WORKS (IF ANY) WERE CONSTRUCTED IN COMPLIANCE WITH PLANS AND SPECIFICATIONS APPROVED BY THE DEPARTMENT OF PUBLIC WORKS.
 - THE AS-BUILT DRAWINGS INCLUDED ACCURATELY DEPICT THE FINAL INSTALLATION OF THE STORM DRAINAGE AND/OR SEWER SYSTEM.

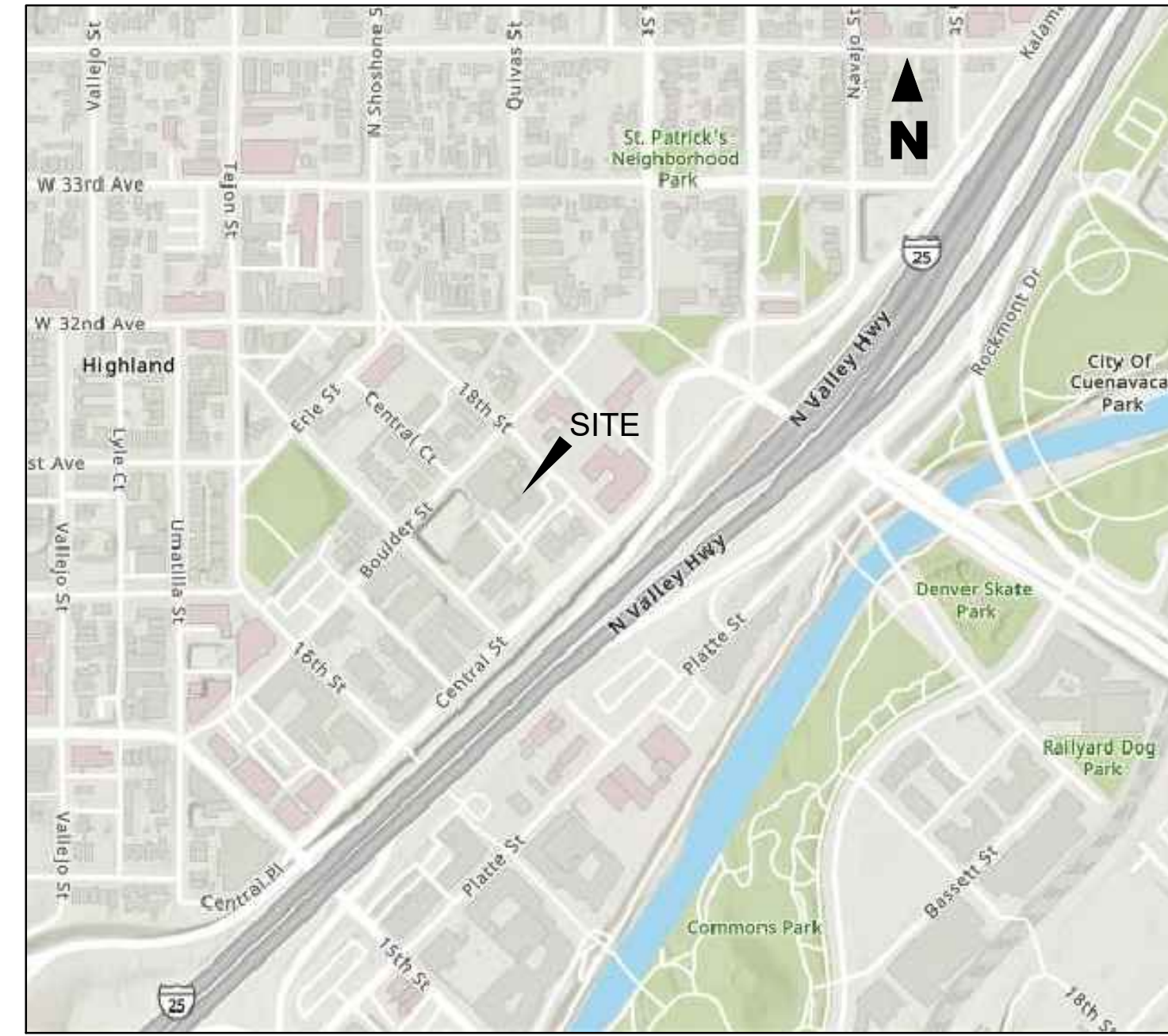
DENVER WATER DEPARTMENT NOTE
ALL PERSONS AND ENTITIES INVOLVED IN THIS PROJECT SHALL HAVE THE RESPONSIBILITY TO TAKE WHATEVER STEPS NECESSARY TO PROTECT ALL WATER FACILITIES. IF ANY WATER FACILITY CANNOT BE ADEQUATELY PROTECTED, THEN SAID WATER FACILITIES SHALL BE RELOCATED OR REMOVED IN ACCORDANCE WITH DENVER WATER DEPARTMENT REQUIREMENTS.



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

CITY OF DENVER GENERAL NOTES (cont):

- EROSION CONTROL NOTES:
IF A SEPARATE CONSTRUCTION ACTIVITIES STORMWATER DISCHARGE PERMIT (CASDP) IS REQUIRED FOR THIS PROJECT, THE PERMITTEE MUST IMPLEMENT AND COMPLY WITH THE APPROVED CASDP (IEC PERMIT) AND ASSOCIATED DOCUMENTS FOR THIS PROJECT.
IF A SEPARATE CASDP (IEC PERMIT) IS NOT REQUIRED, THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL POTENTIAL POLLUTANTS GENERATED DURING DEMOLITION OR CONSTRUCTION WORK ASSOCIATED WITH THIS PROJECT, BE PREVENTED FROM DISCHARGE TO STORMWATER CONVEYANCE SYSTEMS IN THE VICINITY OF THIS PROJECT SITE IN ACCORDANCE WITH THE FOLLOWING:
- THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, BORING, GRADING, OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO THE MUNICIPAL SEPARATE STORM SEWER SYSTEM, RECEIVING WATERS, WATERWAYS, WETLANDS, AND/OR OTHER PUBLIC OR PRIVATE PROPERTIES, RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
 - THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO OR ACCUMULATE IN THE FLOW LINES STORM DRAINAGE APPURTENANCES, AND PUBLIC RIGHTS OF WAYS OF THE CITY AND COUNTY OF DENVER AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT. ALL REMOVALS SHALL BE CONDUCTED IN A TIMELY MANNER.
 - THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS OF WAY. (SEC 49-552; REVISED MUNICIPAL CODE)
 - THE USE OF REBAR TO ANCHOR BEST MANAGEMENT PRACTICES, OTHER THAN PORTABLE TOILETS, IS PROHIBITED.
 - THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL IMPLEMENT THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPs) ON SITE DURING CONSTRUCTION:
 - VEHICLE TRACKING CONTROL: VEHICLE TRACKING CONTROL: THIS BMP IS REQUIRED AT ALL ACCESS POINTS FOR INGRESS/EGRESS FROM OFF-SITE IMPERVIOUS SURFACES TO CONSTRUCTION SITE PERVIOUS AREAS THAT ARE USED BY VEHICULAR TRAFFIC OR CONSTRUCTION EQUIPMENT.
 - INLET PROTECTION: THIS BMP IS REQUIRED ON ALL EXISTING OR PROPOSED STORM SEWER INLETS IN THE VICINITY OF THE CONSTRUCTION SITE THAT MAY RECEIVE SITE RUNOFF. THE BMP MUST BE APPROPRIATE TO THE TYPE OF STORM INLET AND APPROPRIATE FOR THE GROUND SURFACE AT THE INLET.
 - INTERIM SITE STABILIZATION: THIS BMP IS REQUIRED TO PROVIDE A MEASURE FOR PREVENTING THE DISCHARGE OF SEDIMENT FROM CONSTRUCTION SITES WHERE OVERLOT GRADING OR OTHER SITE DISTURBANCE HAS OCCURRED. THIS BMP IS PARTICULARLY NECESSARY ON SITES WHERE CONSTRUCTION ACTIVITIES/DISTURBANCE WILL BE LIMITED TO SMALL AREAS OF THE PROJECT SITE. ACCEPTABLE BMPs INCLUDE:
 - PRESERVING EXISTING VEGETATION
 - SEEDING AND PLANTING
 - MULCHING
 - MULCHING AND SEEDING
 - TEMPORARY/PERMANENT RE-VEGETATION OPERATIONS
 - CHEMICAL SOIL STABILIZER APPLICATION (REQUIRES WMD APPROVAL)
 - WASTE MANAGEMENT/CONTAINMENT: THIS BMP REQUIRES THAT ALL CONSTRUCTION WASTES, FUELS, LUBRICANTS, CHEMICAL WASTES, TRASH, SANITARY WASTES, CONTAMINATED SOILS OR DEBRIS SHALL BE CONTAINED ON SITE, PROTECTED FROM CONTACT WITH PRECIPITATION OR SURFACE RUNOFF, PERIODICALLY REMOVED FROM THE CONSTRUCTION SITE, AND PROPERLY DISPOSED OF.
 - SPILL PREVENTION /CONTAINMENT: THIS BMP DEFINES THE MEASURES PROPOSED FOR PREVENTING, CONTROLLING, OR CONTAINING SPILLS OF FUEL, LUBRICANTS, OR OTHER POLLUTANTS; AND PROTECTING POTENTIAL POLLUTANTS FROM CONTACT WITH PRECIPITATION OR RUNOFF.
 - CHUTE WASHOUT CONTAINMENT: WATER USED IN THE CLEANING OF CEMENT TRUCK DELIVERY CHUTES SHALL BE DISCHARGED INTO A PREDEFINED, BERMED CONTAINMENT AREA ON THE JOB SITE. THE REQUIRED CONTAINMENT AREA IS TO BE BERMED SO THAT WASH WATER IS TOTALLY CONTAINED. WASH WATER DISCHARGED INTO THE CONTAINMENT AREA SHALL BE ALLOWED TO INFILTRATE OR EVAPORATE. DRIED CEMENT WASTE IS REMOVED FROM THE CONTAINMENT AREA AND PROPERLY DISPOSED OF.
 - SHOULD A PREDEFINED BERMED CONTAINMENT AREA NOT BE AVAILABLE DUE TO THE PROJECT SIZE, OR LACK OF AN AREA WITH A SUITABLE GROUND SURFACE FOR ESTABLISHING A CONTAINMENT AREA, PROPER DISPOSAL OF READY MIX WASHOUT AND RINSE OFF WATER AT THE JOB SITE SHALL CONFORM TO THE APPROVED TECHNIQUES AND PRACTICES IDENTIFIED IN THE COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT'S TRAINING VIDEO ENTITLED "BUILDING FOR A CLEANER ENVIRONMENT, READY MIX WASHOUT TRAINING", AND ITS ACCOMPANYING MANUAL ENTITLED, "READY MIX WASHOUT GUIDANCE: VEHICLE AND EQUIPMENT WASHOUT AT CONSTRUCTION SITES."
 - THE DIRECT OR INDIRECT DISCHARGE OF WATER CONTAINING WASTE CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED (SEC.56-102A, C, REVISED MUNICIPAL CODE, CITY AND COUNTY OF DENVER).
 - INFORMATION ABOUT, OR COPIES OF THE VIDEO AND TRAINING MANUAL ARE AVAILABLE FROM THE WATER QUALITY CONTROL DIVISION, COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT, 4300 CHERRY CREEK DRIVE SOUTH, DENVER, COLORADO 80222-1530, (303) 692-3555.
 - SWEEPING: THIS BMP REQUIRES THAT IMPERVIOUS SURFACES WHICH ARE ADJACENT TO OR CONTAINED WITHIN CONSTRUCTION SITES BE SWEEPED ON A DAILY BASIS OR AS NEEDED DURING THE DAY WHEN SEDIMENT AND OTHER MATERIALS ARE TRACKED OR DISCHARGED ON TO THEM. EITHER SWEEPING BY HAND OR USE OF STREET SWEEPERS IS ACCEPTABLE. STREET SWEEPERS USING WATER WHILE SWEEPING IS PREFERRED IN ORDER TO MINIMIZE DUST. FLUSHING OFF PAVED SURFACES WITH WATER IS PROHIBITED.
 - PERIMETER CONTROL: THIS BMP REQUIRES THAT A CONSTRUCTION SITE INSTALL A PERIMETER CONTROL MEASURE ALONG THE EDGE OF THE CONSTRUCTION SITE, TO PREVENT, OR FILTER THE DISCHARGE OF SURFACE RUNOFF FROM THE CONSTRUCTION SITE. THE TYPE OF PERIMETER CONTROL USED SHALL BE DETERMINED BASED ON SITE CONDITIONS AND LOCATION. MAINTENANCE AND REPAIR OF THE CONTROL MEASURE SHALL OCCUR AS NEEDED, IN A TIMELY MANNER.
 - STOCK PILES: SOILS THAT WILL BE STOCKPILED FOR MORE THAN THIRTY (30) DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN FOURTEEN (14) DAYS OF STOCKPILE CONSTRUCTION. STABILIZATION OF STOCKPILES LOCATED WITHIN 100 FEET OF RECEIVING WATERS, OR WITH SLOPES 3 TO 1 OR GREATER SHALL BE COMPLETED WITHIN SEVEN (7) DAYS FOLLOWING STOCKPILE CONSTRUCTION. STABILIZATION AND PROTECTION OF THE STOCKPILE MAY BE ACCOMPLISHED BY ANY OF THE FOLLOWING: MULCHING, TEMPORARY/PERMANENT REVEGETATION OPERATIONS, CHEMICAL SOIL STABILIZER APPLICATION (REQUIRES DENVER PUBLIC WORKS APPROVAL), OR EROSION CONTROL MATTING/GEOTEXTILES. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF RECEIVING WATERS, A DRAINAGEWAY OR THE SITE PERIMETER, ADDITIONAL SEDIMENT CONTROLS SHALL BE REQUIRED.
 - SAW CUTTING OPERATIONS: "THE CONTRACTOR SHALL PROTECT ALL STORM SEWER FACILITIES ADJACENT TO ANY LOCATION WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING, OR ABRASIVE WATER JET CUTTING ARE TO TAKE PLACE. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE PRODUCTS GENERATED BY SAID CUTTING OPERATIONS ON A DAILY BASIS OR AS NEEDED THROUGHOUT THE WORK DAY. THE DISCHARGE OF ANY WATER CONTAMINATED BY WASTE PRODUCTS FROM CUTTING OPERATIONS TO THE STORM SEWER SYSTEM IS PROHIBITED." (SEC 56-102A, C, REVISED MUNICIPAL CODE, CITY AND COUNTY OF DENVER)
 - STRUCTURAL CONTROLS: DEVELOPMENT SITES THAT ARE REQUIRED TO PROVIDE DETENTION AND WATER QUALITY ENHANCEMENT FACILITIES FOR STORM RUNOFF NEED TO INSTALL THE DETENTION FACILITIES EARLY IN THE CONSTRUCTION BUILD-OUT OF THE SITE. PROJECTS THAT ARE USING UNDERGROUND DETENTION ARE REQUIRED TO INSTALL A PRETREATMENT STRUCTURE OR SEDIMENTATION BASINS AS A MEANS OF TREATING POTENTIALLY POLLUTED STORM WATER PRIOR TO ENTERING THE DETENTION STRUCTURE. USE OF THESE STRUCTURES IS REQUIRED FOR ENTRAPPING SEDIMENT AND CONSTRUCTION DEBRIS DURING THE ACTIVE CONSTRUCTION PHASE OF THE PROJECT. THE NARRATIVE SECTION OF THE MANAGEMENT PLAN IS ALSO REQUIRED TO ADDRESS OPERATION AND MAINTENANCE OF THE STRUCTURAL CONTROLS BEING USED AS AN ACTIVE CONSTRUCTION BMP.
 - EROSION AND SEDIMENT CONTROL "BEST MANAGEMENT PRACTICES" SHALL BE MAINTAINED AND KEPT IN EFFECTIVE OPERATING CONDITION FOR THE DURATION OF THIS PROJECT. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IMMEDIATELY UPON DISCOVERY OF ANY DEFICIENCY OR DEFECT.



VICINITY MAP

NOT TO SCALE

SHEET INDEX

- 1 OF 2 COVER SHEET
- 2 OF 2 STORM PLAN & PROFILE
- SUPPLEMENTAL SHEETS
- GRADING PLAN

CONTACTS

CIVIL ENGINEER: FABRE ENGINEERING INC (720) 903-0048
ARCHITECT: ZPD+A (312)-322-7500
SURVEYOR: Power Surveying (303) 702-1617
WATER: DENVER WATER
SEWER: DENVER WASTEWATER

Engineer's Certification Block

10/15/23

Public Works Plans Review Services
201 West Colfax, Room 2.H.10, Dept. 202
Denver, CO 80202
Phone: 720-865-2782, Fax: 720-865-3281

RE: Project No: 2019PM000633, 2020-SSPR-0000235
Project Name: 18th STREET DEVELOPMENT
Project Location: 2534 18th Street

By my attached P.E. seal, I certify that these plans meet the following basic requirements:

- There are no discrepancies or inconsistencies in pipe size, type, length, slope and manhole inlet inverts between the plan and profile views or from one sheet to another, and
- All utilities have been investigated for potential conflicts, and
- All utilities are correctly shown to the greatest extent possible, and
- No known conflicts exist with the proposed sanitary sewer or storm drainage facilities, and existing utilities, and project plans have been made available to the city agencies that are impacted by this project and all known comments by these city agencies have been addressed during the preparations of these plans.

Sincerely,
Carol Fabre
Project Design Engineer
(State of Colorado, Professional Engineer's Registration)

LEGEND

- PROPERTY LINE
- X EXISTING FENCE
- SS EXISTING SANITARY SEWER
- W EXISTING WATER MAIN
- G EXISTING GAS MAIN
- ST EXISTING STORM DRAIN
- E EXISTING BURIED ELECTRIC
- TE EXISTING BURIED PHONE/CABLE
- FFE = FINISHED FLOOR ELEVATION
- PROPOSED STORM DRAIN PIPE
- ACCESSIBLE ENTRY

LEGAL DESCRIPTION:

A PARCEL OF LAND SITUATED IN ALL OF LOTS 23 THROUGH 27, BLOCK 15, KASSERMAN'S ADDITION TO DENVER CITY AND COUNTY OF DENVER, STATE OF COLORADO, ALSO BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: SOUTH 44°51'41" WEST, A DISTANCE OF 960.36', BEING THE BEARING OF THE 20.0' RANGE LINE OF CENTRAL STREET BETWEEN 16TH STREET AND 18TH STREET, AS DEFINED AND MEASURED BETWEEN THE MONUMENTS FOUND AND SHOWN HEREON.

COMMENCING AT THE RANGEPOINT (#6 REBAR WITH 3.25" ALUMINUM CAP IN RANGE BOX (PLS 27529)) AT THE INTERSECTION OF 18TH STREET AND CENTRAL STREET;

THENCE NORTH 53°00'40" WEST, A DISTANCE OF 146.44 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 27 AND THE POINT OF BEGINNING;

THENCE SOUTH 44°51'20" WEST, ALONG THE SOUTHEASTERLY LINE OF SAID LOT 27, A DISTANCE OF 190.80 FEET TO THE MOST SOUTHERLY CORNER OF SAID LOT 27;

THENCE NORTH 45°08'51" WEST, ALONG THE SOUTHWESTERLY LINE OF SAID LOTS 23 THROUGH 27, A DISTANCE OF 125.04 FEET TO THE MOST WESTERLY CORNER OF SAID LOT 23;

THENCE NORTH 44°51'00" EAST, ALONG THE NORTHWESTERLY LINE OF SAID LOT 23, A DISTANCE OF 190.77 FEET TO THE MOST NORTHERLY CORNER OF SAID LOT 23;

THENCE SOUTH 45°51'00" EAST, ALONG THE NORTHEASTERLY LINE OF SAID LOTS 23 THROUGH 27, A DISTANCE OF 125.06 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 27 AND THE POINT OF BEGINNING.

CONTAINING: ±23.858 SQ.FT. OR ±0.548 ACRES, MORE OR LESS.

BENCHMARK

CITY & COUNTY OF DENVER BENCHMARK #499A
A CDD LOGO BRASS CAP AT THE TOP OF CURB AT AN INLET AT THE SOUTHEAST CORNER OF THE INTERSECTION OF 32ND AVE AND PECOS ST. PUBLISHED NAVD88 ELEVATION = 5212.45 FEET

City and County of Denver
Department of Transportation & Infrastructure (DOTI)
Development Engineering Services

Checked for General Compliance with applicable Denver Criteria, Rules, Regulations and Standards.

APPROVED (if validly signed)

This approval becomes void if construction is not started within one (1) year of the approval date.

Approved By: _____ Date: _____
(Note: Signature in Print) Review Engineer

APPROVED AS TO FORM, ENGINEERING CALCULATIONS, DRAWINGS AND DESIGN ADEQUACY ARE ACCEPTED BASED UPON THE PROJECT ENGINEER'S ATTACHED SEAL OF REGISTRATION.

THIS APPROVAL IS FOR PRIVATE STORM SEWER IMPROVEMENTS

CALL THE UTILITY NOTIFICATION CENTER OF COLORADO AT 811
THREE (3) BUSINESS DAYS IN ADVANCE BEFORE DIGGING, GRADING OR EXCAVATION FOR MARKING OF MEMBER'S UNDERGROUND UTILITIES

Project Engineer's Professional Engineer Seal, Signature and Date)

DES PROJECT NO. 2019-PM-0000633, 2020-SSPR-0000235

PROJECT NAME: 18th STREET DEVELOPMENT

DESIGNED BY: CCF DATE: 10/15/23 DATE ISSUED: _____ DRAWING NO. _____
DRAWN BY: CCF DATE: 10/15/23 SHEET 1 OF 2 SHEETS C-SSPR 2534.DWG
CHECKED BY: CCF DATE: 10/15/23

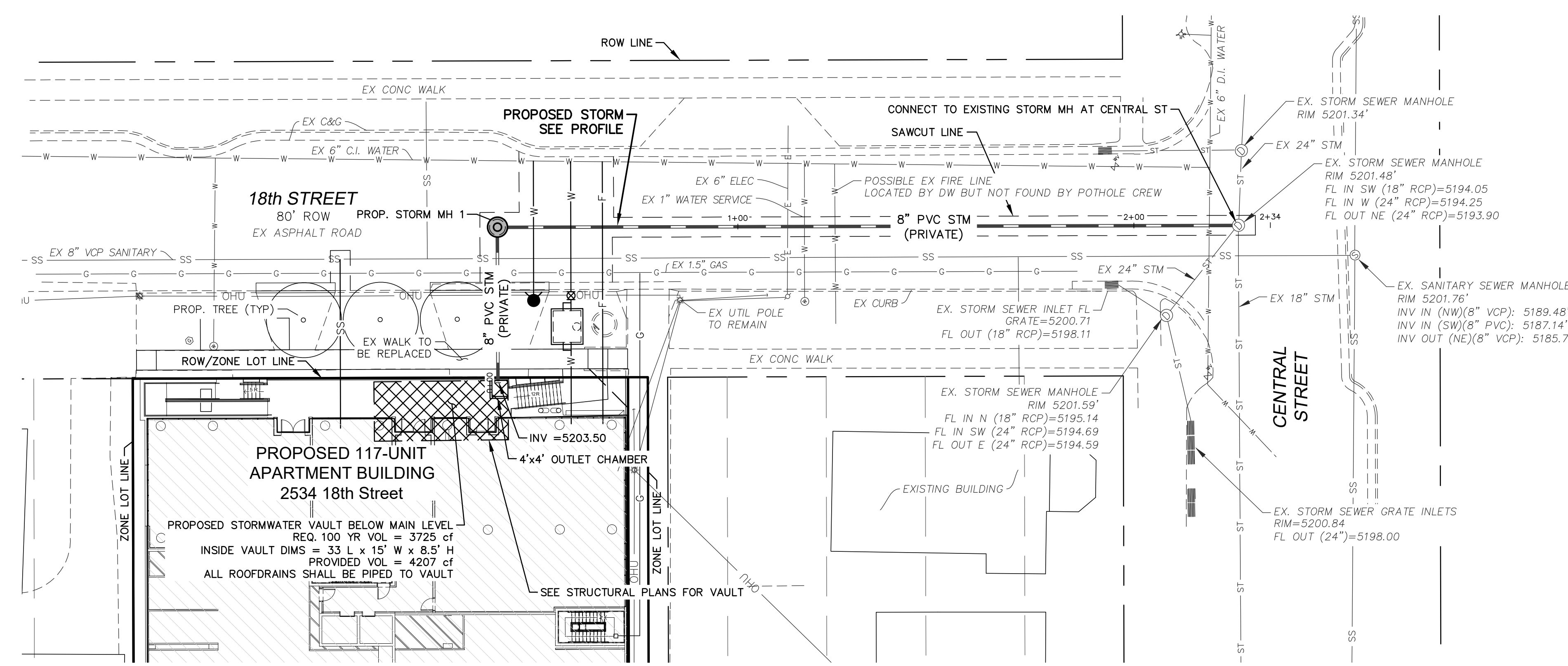
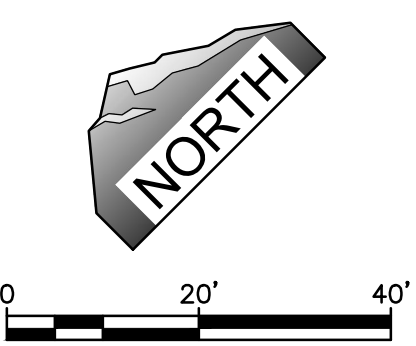
PREPARED FOR
Forbes Partners
4390 Tennyson St. #100
Denver, CO 80212

DESIGNED BY: CCF DATE: 10/15/23 DATE ISSUED: _____ DRAWING NO. _____
DRAWN BY: CCF DATE: 10/15/23 SHEET 1 OF 2 SHEETS C-SSPR 2534.DWG
CHECKED BY: CCF DATE: 10/15/23

18th STREET DEVELOPMENT
PRIVATE STORM SEWER
COVER SHEET

Scale: AS NOTED
Date: 10/15/23
Job No. 2534-01
File No.
Sheet 1

Checked By: CCF
Designed By: CCF

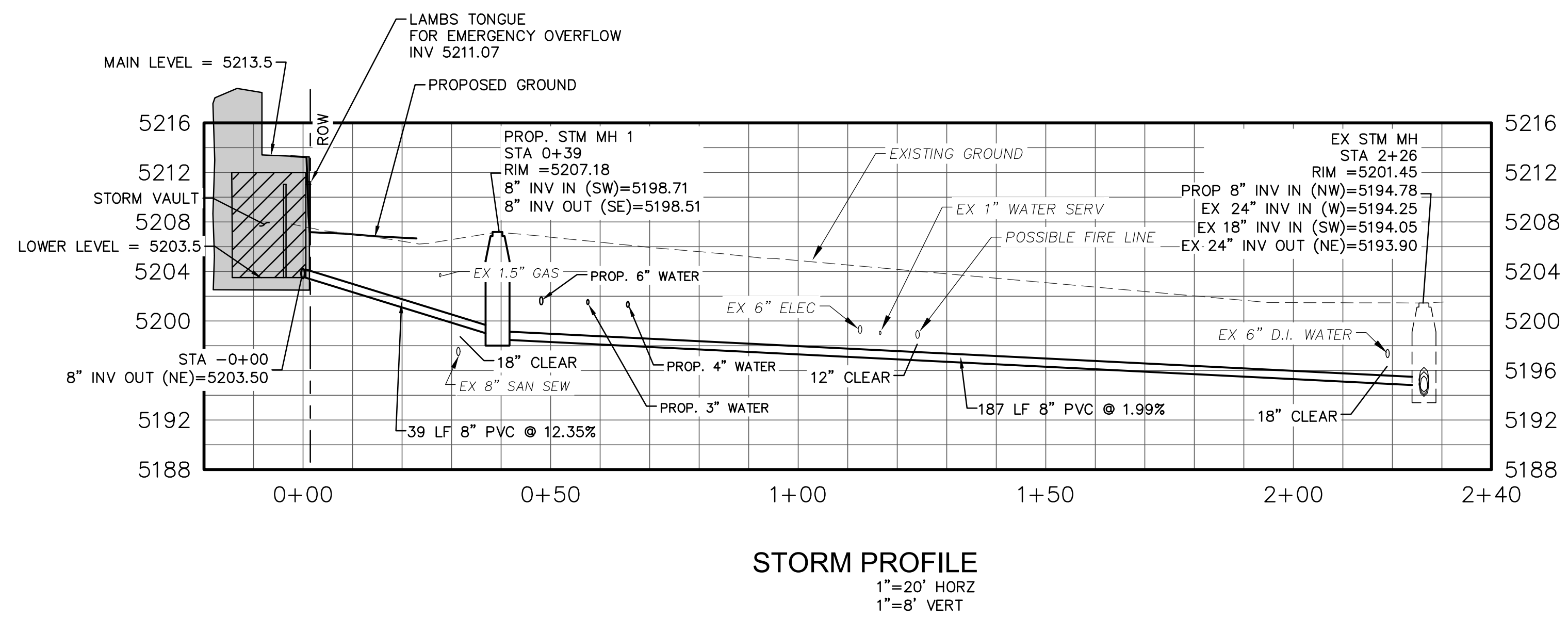


NOTES

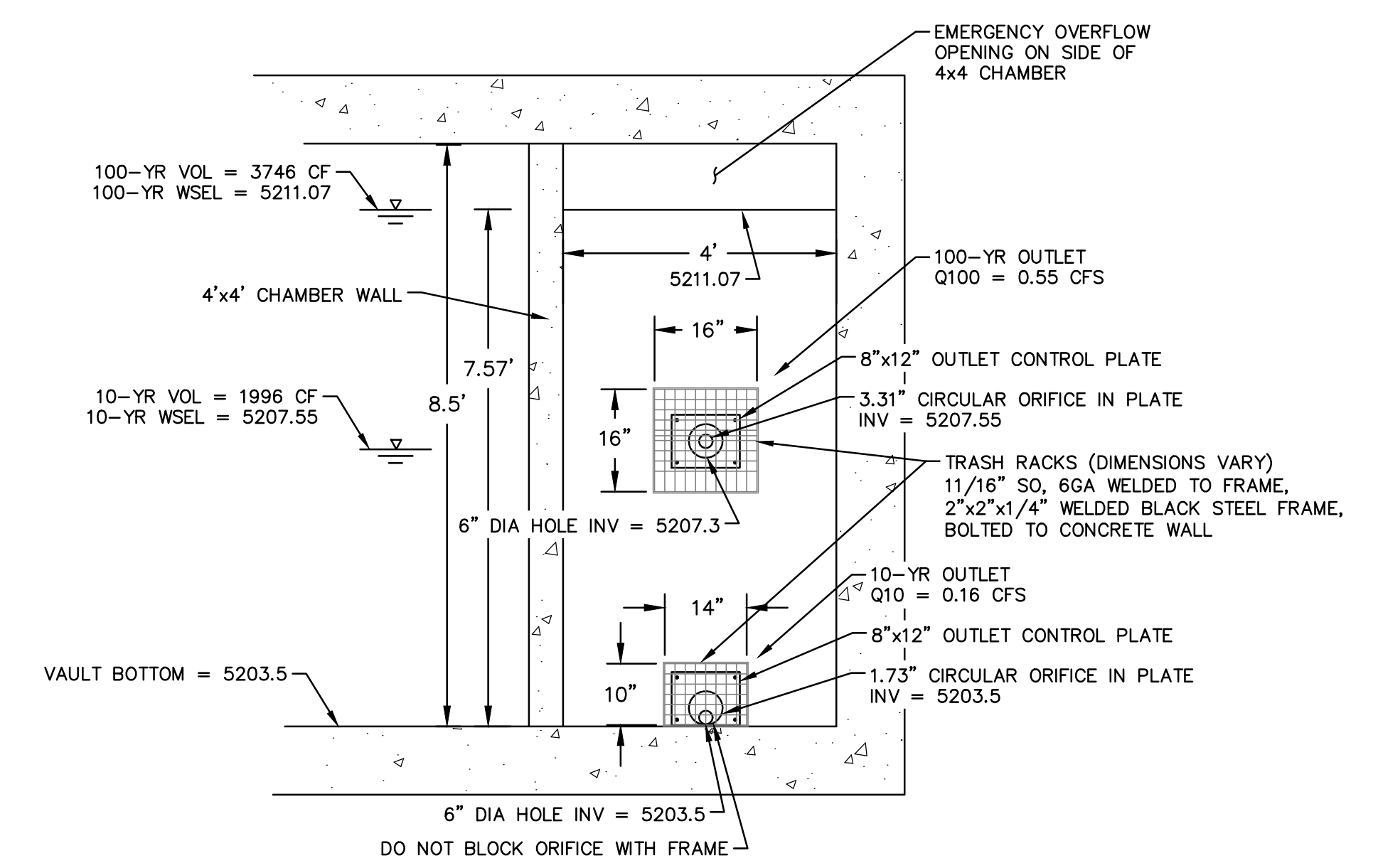
1. THE CONTRACTOR SHALL, PRIOR TO CONSTRUCTION, MOBILIZATION, OR ORDERING OF MATERIALS, CONFIRM THAT EXISTING UTILITY LOCATIONS ARE AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BEAR THE FULL COST OF REMOVAL, REPLACEMENT, DELAY, AND MOBILIZATION RELATED TO UNVERIFIED EXISTING CONDITIONS. WHERE THE CONTRACTOR FINDS DISCREPANCIES THEY SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER.
2. EXISTING UTILITIES CROSSING THE PROPOSED STORM SEWER ARE SHOWN BASED ON LOCATES AND POTHOLES DONE 12/20/20. CONTRACTOR TO CALL FOR LOCATES AND POTHOLES ALL UTILITIES NOT ALREADY SHOWN. UTILITY CONFLICTS SHALL BE REPORTED TO THE ENGINEER.
3. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE WORK SHOWN ON THE PLANS OR DESCRIBED IN THE SPECIFICATIONS IN A SATISFACTORY MANNER. UNLESS OTHERWISE PROVIDED, THE CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT, TOOLS, LABOR, AND INCIDENTALS TO COMPLETE THE WORK.
4. ALL SANITARY & STORM IMPROVEMENTS SHALL BE PER DENVER WASTEWATER STANDARDS.
5. PIPE LENGTHS SHOWN ARE 2D, MEASURED FROM CENTER TO CENTER OF STRUCTURES.
6. FOR CROSSINGS OF EXISTING WATER: IF THERE IS 18" OR MORE CLEAR SEPARATION, NO ENCASUREMENT IS NEEDED. IF THERE IS LESS THAN 18", BUT MORE THAN 8" CLEAR, ENCASE THE WATER PER DENVER WASTEWATER STANDARDS. IF THERE IS LESS THAN 8" CLEAR, CONTACT ENGINEER.
7. RECONSTRUCTION OF EXISTING MANHOLE AT CENTRAL MAY BE NECESSARY AT THE DISCRETION OF THE DOTI MAINLINE INSPECTOR

No.	Revision	Date	By	Chk

Designed By: CCF
 Checked By: CCF



STORM PROFILE
 1"=20' HORZ
 1"=8' VERT



OUTLET CONTROL CHAMBER DETAIL
 LOOKING NE FROM INSIDE VAULT
 NTS

City and County of Denver
 Department of Transportation & Infrastructure (DOTI)
 Development Engineering Services

DES PROJECT NO. 2019-PM-0000633, 2020-SSPR-0000235

PROJECT NAME: 18th STREET DEVELOPMENT

DESIGNED BY: CCF DATE: 10/15/23 DATE ISSUED: _____ DRAWING NO. _____
 DRAWN BY: CCF DATE: 10/15/23 SHEET 2 OF 2 SHEETS C-SSPR-2534.DWG
 CHECKED BY: CCF DATE: 10/15/23



18th STREET DEVELOPMENT
 PRIVATE STORM SEWER
STORM PLAN & PROFILE

BENCHMARK

CITY & COUNTY OF DENVER BENCHMARK #499A
 A CCD LOGO BRASS CAP AT THE TOP OF CURB AT AN INLET AT THE SOUTHEAST
 CORNER OF THE INTERSECTION OF 32ND AVENUE AND PECOS STREET.
 PUBLISHED NAVD88 ELEVATION = 5212.45 FEET



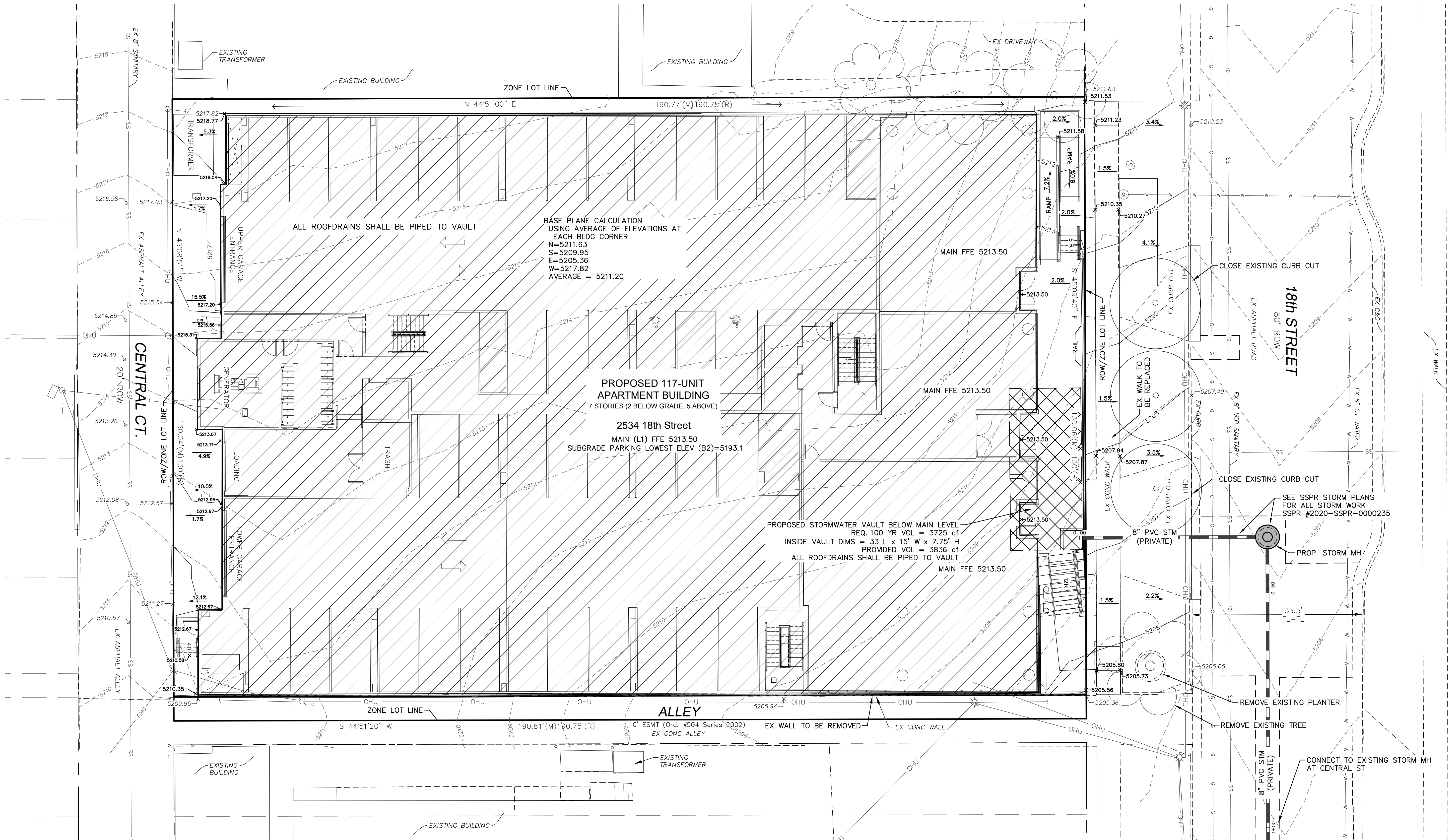
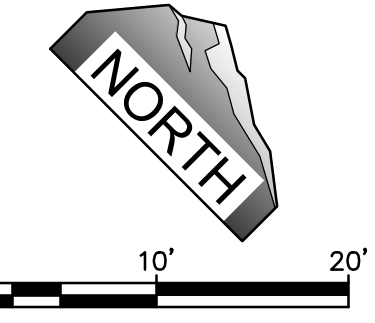
CALL 2 BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR EXCAVATE
 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.

GENERAL NOTES:

1. THE CONTRACTOR SHALL, PRIOR TO CONSTRUCTION, MOBILIZATION, OR ORDERING OF MATERIALS, CONFIRM THAT EXISTING UTILITY LOCATIONS ARE AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BEAR THE FULL COST OF REMOVAL, REPLACEMENT, DELAY, AND MOBILIZATION RELATED TO UNVERIFIED EXISTING CONDITIONS. WHERE THE CONTRACTOR FINDS DISCREPANCIES THEY SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER.
2. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE WORK SHOWN ON THE PLANS OR DESCRIBED IN THE SPECIFICATIONS IN A SATISFACTORY MANNER. UNLESS OTHERWISE PROVIDED, THE CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT, TOOLS, LABOR, AND INCIDENTALS TO COMPLETE THE WORK.
3. NO JOINTS ALLOWED ALONG DRIVE FLOWLINE. ALL JOINTS MUST BE A MINIMUM 3' AWAY FROM FL.
4. SEE GEOTECH REPORT FOR PAVEMENT DESIGN.
5. RE-GRADE OF THE PRIMARY STREET SETBACK AREA SHALL NOT RESULT IN A DIFFERENCE BETWEEN ORIGINAL AND FINISHED GRADE OF MORE THAN 1 FOOT AT ANY POINT THAT IS WITHIN 10 FEET OF THE PRIMARY STREET ZONE LOT LINE, EXCEPT AS SPECIFICALLY PERMITTED IN SECTION 10.6.5 OF DZC. RE-GRADE OF SIDE, INTERIOR SETBACK AREAS IS NOT PERMITTED EXCEPT AS DESCRIBED IN SECTION 10.6.6 OF DZC.
6. STORM DRAINAGE MUST FOLLOW HISTORIC FLOWS AND FLOWS MAY NOT BE DIRECTED TO ADJACENT PROPERTIES. ALL DISCHARGE POINTS FOR DOWNSPOUTS AND SUMP PUMP LINES MUST BE AT LEAST 6-INCHES FROM ALLEYS, 3- FEET FROM SIDE-YARD PROPERTY-LINES, AND 10- FEET BACK OF ANY PUBLIC SIDEWALK ADJACENT PROPERTY LINES AND NOT BE DIRECTED ONTO PEDESTRIAN SIDEWALKS/WALKWAY

TRANSPORTATION NOTES:

- A. BUILDING PERMIT PLAN APPROVAL DOES NOT CONSTITUTE A NOTICE TO PROCEED FOR ROW WORK. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PROJECT ROW PERMITS ASSOCIATED WITH CONSTRUCTION IN THE RIGHT-OF-WAY. IMPROVEMENTS MADE WITHIN THE PUBLIC RIGHT-OF-WAY TOTALING MORE THAN \$20,000 REQUIRE A PERFORMANCE BOND. CONTACT THE ROW INSPECTOR FOR THIS AREA OF THE CITY AT 303-446-3469 OR WMPDWESCE@DENVERGOV.ORG AT LEAST 2 WEEKS BEFORE ANY ROW PERMIT NEEDS.
- B. ALL WORK IN THE ROW SHALL CONFORM TO CURRENT CITY AND COUNTY OF DENVER SPECIFICATIONS, SHALL BE PERFORMED BY A LICENSED AND BONDED RIGHT-OF-WAY CONTRACTOR, AND REQUIRE INSPECTION BY THE CITY PRIOR TO A TEMPORARY CERTIFICATE OF OCCUPANCY (TCO) OR CERTIFICATE OF OCCUPANCY (CO) BEING ISSUED.
- C. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT, INCLUDING PROPER TRAFFIC CONTROL DEVICES AND/OR PERSONNEL AS REQUIRED. A TRAFFIC CONTROL PLAN (TCP) IS SUBJECT TO CITY AND COUNTY OF DENVER AND/OR CDOT APPROVAL PRIOR TO COMMENCING WORK ON ROADWAY ROW. A COPY OF APPROVED TCPS MUST BE AVAILABLE ON SITE DURING WORK. TRAFFIC CONTROL TO BE IN ACCORDANCE WITH M.U.T.C.D., SECTION VI.
- D. WHERE NEW CURB AND GUTTER IS POURED, SAWCUT AND PATCH ADJACENT ASPHALT PAVEMENT PER CCD STANDARD DRAWING 12.0.
- E. OWNER TO REPAIR OR REPLACE ANY CURB, GUTTER AND SIDEWALK ALONG THE PROPERTY FRONTAGE THAT IS DAMAGED OR NOT TO CURRENT CITY STANDARDS, AS DIRECTED BY THE RIGHT-OF-WAY INSPECTOR



PREPARED FOR
 Forbes Partners
 4390 Tenneyson St. #100
 Denver, CO 80212

No.	Revision	Date	By	Chk

Designed By: CCF
 Checked By: CCF



18TH STREET DEVELOPMENT
 2534 18th Street
GRADING PLAN

Scale: AS NOTED
 Date: 10/15/23
 Job No. 2534-01
 File No.
 Sheet C-2

EXHIBIT A Land Description

DRAINAGE EASEMENT

A PARCEL OF LAND LYING WITHIN THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 28, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEASTERLY CORNER OF BLOCK 15 OF KASSERMAN'S ADDITION TO DENVER, SAID POINT ALSO BEING THE INTERSECTION OF THE SOUTHWESTERLY LINE OF 18TH STREET AND THE NORTHWESTERLY LINE OF CENTRAL STREET, FROM WHENCE THE INTERSECTION OF THE 20' RANGE LINE OF 18TH STREET AND THE 20' RANGE LINE OF CENTRAL STREET BEARS NORTH 89°51'00" EAST A DISTANCE OF 28.29 FEET;
THENCE ALONG SAID SOUTHWESTERLY LINE OF SAID 18TH STREET, NORTH 45°09'40" WEST, 154.89 FEET TO THE POINT OF BEGINNING;

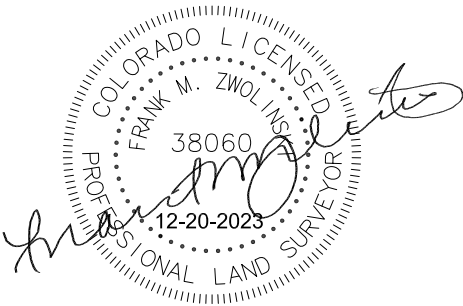
THENCE CONTINUING ALONG SAID SOUTHWESTERLY LINE, CONTINUING NORTH 45°09'40" WEST, 6.00 FEET TO A POINT;
THENCE LEAVING SAID SOUTHWESTERLY LINE, NORTH 44°46'36" EAST, 40.99 FEET TO A POINT;
THENCE SOUTH 45°08'44" EAST, 194.39 FEET TO A POINT;
THENCE SOUTH 44°51'16" WEST, 6.00 FEET TO A POINT;
THENCE NORTH 45°08'44" WEST, 188.38 FEET TO A POINT;
THENCE SOUTH 44°46'36" WEST, 34.99 FEET TO THE POINT OF BEGINNING.

Containing 1,376 Total Square Feet or 0.031 Total Acres of Land, more or less.

BASIS OF BEARINGS:

NORTH 45°09'40" WEST, A DISTANCE OF 480.19 FEET, BEING THE BEARING OF THE 20' RANGE LINE OF 18TH STREET BETWEEN CENTRAL STREET AND BOULDER STREET, AS DEFINED AND MEASURED BETWEEN A FOUND 3-1/4" DIAMETER ALUMINUM CAP IN RANGE BOX, PLS 27259 AT THE INTERSECTION OF THE 20' RANGE LINE OF 18TH STREET AND THE 20' RANGE LINE OF CENTRAL STREET AND A FOUND 3-1/4" DIAMETER ALUMINUM CAP IN RANGE BOX, PLS 20680 AT THE INTERSECTION OF THE 20' RANGE LINE OF 18TH STREET AND THE 20' RANGE LINE OF BOULDER STREET.

End of Legal Description.



Frank M. Zwolinski, P.L.S.
Colorado License #38060
For and on behalf of Power Surveying Company, Inc.
303-702-1617

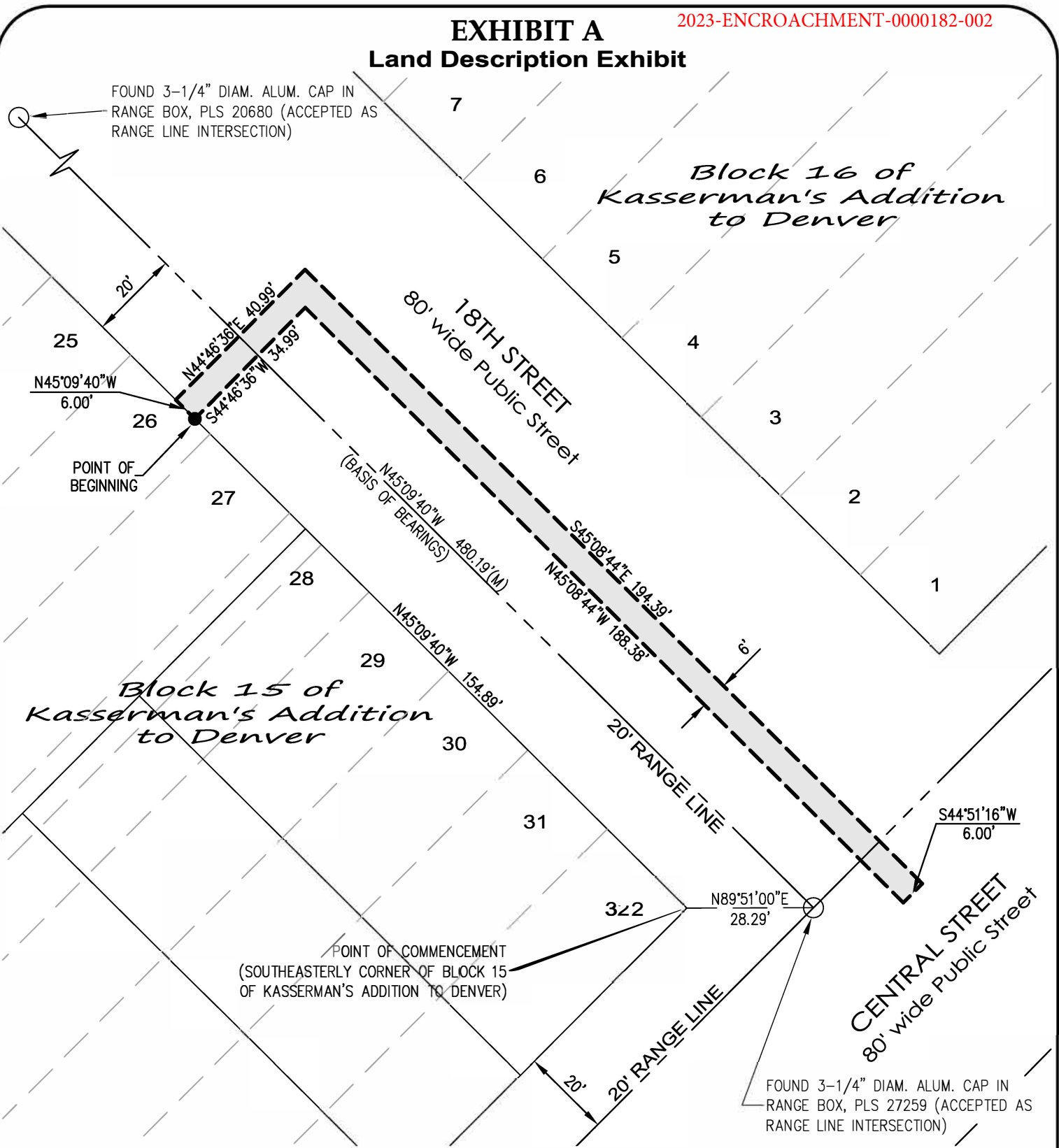
 <p>POWERTM Surveying Company, Inc. <i>Established 1948</i></p>	6911 BROADWAY Denver, CO 80221	PH. 303-702-1617 FAX. 303-702-1488 www.powersurveying.com
	DRAWING BY: FMZ DATE: 12-20-2023 PROJECT NO. 501-19-280	

EXHIBIT A Land Description Exhibit

FOUND 3-1/4" DIAM. ALUM. CAP IN RANGE BOX, PLS 20680 (ACCEPTED AS RANGE LINE INTERSECTION)

Block 16 of Kasserman's Addition to Denver

Block 15 of Kasserman's Addition to Denver



Area = 1,376 sf. (0.031 acres)



SCALE: 1" = 30'



6911 BROADWAY
Denver, CO 80221

Surveying Company, Inc.

Established 1948

PH. 303-702-1617
FAX. 303-702-1488
www.powersurveying.com

DRAWING BY: FMZ
PROJECT NO.

DATE: 12-20-2023
501-19-280

Tier III - 2534 18th St - Private Storm Sewer

12/26/2023

Master ID: 2023-PROJMSTR-0000409 **Project Type:** Tier III Encroachment Resolution
Review ID: 2023-ENCROACHMENT-0000182 **Review Phase:**
Location: **Review End Date:** 11/21/2023

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: DS Transportation Review

Review Status: Approved

Reviewers Name: Winton Brazil
Reviewers Email: Winton.Brazil@denvergov.org

Status Date: 11/21/2023
Status: Approved
Comments:

Status Date: 11/21/2023
Status: Denied
Comments: Denied on behalf of this critical reviewer. This is still under review. Please contact the reviewer to resolve.

Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: DS Project Coordinator Review

Review Status: Approved - No Response

Reviewers Name: Bridget Rassbach
Reviewers Email: Bridget.Rassbach@denvergov.org

Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: Survey Review

Review Status: Approved

Reviewers Name: Ali Gulaid
Reviewers Email: Ali.Gulaid@denvergov.org

Status Date: 12/26/2023
Status: Approved
Comments: PWPRS Project Number: 2023-ENCROACHMENT-0000182 - Tier III - 2534 18th St - Private Storm Sewer
 Reviewing Agency/Company: DOTI/SURVEY
 Reviewers Name: Ali Gulaid
 Reviewers Phone: 720.865.3132
 Reviewers Email: ali.gulaid@denvergov.org
 Approval Status: Approved

Comments:

Status Date: 11/29/2023
Status: Denied
Comments: PWPRS Project Number: 2023-ENCROACHMENT-0000182 - Tier III - 2534 18th St - Private Storm Sewer
 Reviewing Agency/Company: DOTI/SURVEY

Comment Report

Tier III - 2534 18th St - Private Storm Sewer

12/26/2023

Master ID: 2023-PROJMSTR-0000409 **Project Type:** Tier III Encroachment Resolution
Review ID: 2023-ENCROACHMENT-0000182 **Review Phase:**
Location: **Review End Date:** 11/21/2023

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewers Name: Ali Gulaid
Reviewers Phone: 720.865.3132
Reviewers Email: ali.gulaid@denvergov.org
Approval Status: Denied

Comments:

Attachment: REDLINES- Survey- Ali.docx

Attachment: d_2534 18th St-Land Description of Property in Word format- 001_Comments.docx

Status Date: 11/21/2023
Status: Denied
Comments: Denied on behalf of this critical reviewer. This is still under review. Please contact the reviewer to resolve.
Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: DES Wastewater Review Review Status: Approved

Reviewers Name: Brenden Marron
Reviewers Email: Brenden.Marron@denvergov.org
Status Date: 11/20/2023
Status: Approved
Comments: No objection on behalf of DES Wastewater

Reviewing Agency: City Council Referral Review Status: Approved - No Response

Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: CenturyLink Referral Review Status: Approved w/Conditions

Status Date: 11/21/2023
Status: Approved w/Conditions
Comments: PWPRS Project Number: 2023-ENCROACHMENT-0000182 - Tier III - 2534 18th St - Private Storm Sewer
Reviewing Agency/Company: Lumen/ CenturyLink
Reviewers Name: VeShon Sheridan
Reviewers Phone: 804-234-6825
Reviewers Email: veshon.sheridan@lumen.com
Approval Status: Approved with conditions

Comments:
P858569- Qwest Corporation d/b/a CENTURYLINK, QC ("CenturyLink") has reviewed the request for the subject encroachment and has determined there are no CenturyLink facilities within the ROW area as shown and/or described on the provided exhibits.

Comment Report

Tier III - 2534 18th St - Private Storm Sewer

12/26/2023

Master ID: 2023-PROJMSTR-0000409 **Project Type:** Tier III Encroachment Resolution
Review ID: 2023-ENCROACHMENT-0000182 **Review Phase:**
Location: **Review End Date:** 11/21/2023

Any denials listed below must be rectified in writing to this office before project approval is granted.

It is the intent and understanding of CenturyLink that this encroachment shall not reduce our rights to any other easements or rights we have on this site or in the area. This No objection response is submitted WITH THE STIPULATION that IF CenturyLink facilities are found and/or damaged within the easement area as described, the Applicant will bear the cost of relocation and /or repair of said facilities.

Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: Xcel Referral **Review Status:** Approved w/Conditions

Status Date: 11/21/2023
Status: Approved w/Conditions
Comments: PWPRS Project Number: 2023-ENCROACHMENT-0000182 - Tier III - 2534 18th St - Private Storm Sewer
Reviewing Agency/Company: Public Service Company of Colorado (PSCo) dba Xcel Energy
Reviewers Name: Donna George
Reviewers Phone: 3035713306
Reviewers Email: donna.l.george@xcelenergy.com
Approval Status: Approved with conditions

Comments:
PSCo/Xcel Energy has existing overhead electric and natural gas distribution facilities within this area. Please contact Colorado 811 before excavating. Use caution and hand dig when excavating within 18-inches of each side of the marked facilities. Please be aware that all risk and responsibility for this request are unilaterally that of the Applicant/Requestor.

Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: RTD Referral **Review Status:** Approved

Status Date: 11/21/2023
Status: Approved
Comments: PWPRS Project Number: 2023-ENCROACHMENT-0000182 - Tier III - 2534 18th St - Private Storm Sewer
Reviewing Agency/Company: RTD
Reviewers Name: clayton s woodruff
Reviewers Phone: 303-299-2943
Reviewers Email: Clayton.woodruff@rtd-denver.com
Approval Status: Approved

Comments:
The RTD engineering review has no exceptions to this project at this time.

This review is for Design concepts and to identify any necessary improvements to RTD stops and property affected by the design. This review of the plans does not eliminate the need to acquire, and/or go through the acquisition process of any agreements, easements or permits that may be required by the RTD for any work on or around our facilities and property.

Status Date: 11/21/2023
Status: Approved - No Response
2023-ENCROACHMENT-0000182

Comment Report

Tier III - 2534 18th St - Private Storm Sewer

12/26/2023

Master ID: 2023-PROJMSTR-0000409 **Project Type:** Tier III Encroachment Resolution
Review ID: 2023-ENCROACHMENT-0000182 **Review Phase:**
Location: **Review End Date:** 11/21/2023

Any denials listed below must be rectified in writing to this office before project approval is granted.

Comments:

Reviewing Agency: Comcast Referral Review Status: Approved - No Response

Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: Metro Wastewater Referral Review Status: Approved - No Response

Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: Street Maintenance Referral Review Status: Approved - No Response

Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: Office of Emergency Management Referral Review Status: Approved - No Response

Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: Building Department Review Review Status: Approved - No Response

Reviewers Name: Keith Peetz
Reviewers Email: Keith.Peetz@denvergov.org

Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: Division of Real Estate Referral Review Status: Approved

Reviewers Name: Shannon Cruz
Reviewers Email: shannon.cruz@denvergov.org

Status Date: 11/01/2023
Status: Approved
Comments:

Reviewing Agency: Denver Fire Department Review Review Status: Approved

Reviewers Name: Brian Dimock
Reviewers Email: Brian.Dimock@denvergov.org

Status Date: 11/20/2023
Status: Approved
Comments:

Reviewing Agency: Denver Water Referral Review Status: Approved

2023-ENCROACHMENT-0000182

Comment Report

Tier III - 2534 18th St - Private Storm Sewer

12/26/2023

Master ID: 2023-PROJMSTR-0000409 **Project Type:** Tier III Encroachment Resolution
Review ID: 2023-ENCROACHMENT-0000182 **Review Phase:**
Location: **Review End Date:** 11/21/2023

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status Date: 11/21/2023
Status: Approved
Comments: PWPRS Project Number: 2023-ENCROACHMENT-0000182 - Tier III - 2534 18th St - Private Storm Sewer
Reviewing Agency/Company: Denver Water
Reviewers Name: Kela Naso
Reviewers Phone: 13036286302
Reviewers Email: kela.naso@denverwater.org
Approval Status: Approved

Comments:

Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: Parks and Recreation Review Review Status: Approved - No Response

Reviewers Name: Jennifer Cervera
Reviewers Email: Jennifer.Cervera@denvergov.org

Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: Policy and Planning Referral Review Status: Approved - No Response

Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: Denver Office of Disability Rights Referral Review Status: Approved

Status Date: 11/21/2023
Status: Approved
Comments: PWPRS Project Number: 2023-ENCROACHMENT-0000182 - Tier III - 2534 18th St - Private Storm Sewer
Reviewing Agency/Company: DODR
Reviewers Name: Spencer Pocock
Reviewers Phone: 720-913-8411
Reviewers Email: Spencer.Pocock@denvergov.org
Approval Status: Approved

Comments:

Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: Construction Engineering Review Review Status: Approved

Comment Report

Tier III - 2534 18th St - Private Storm Sewer

12/26/2023

Master ID: 2023-PROJMSTR-0000409 **Project Type:** Tier III Encroachment Resolution
Review ID: 2023-ENCROACHMENT-0000182 **Review Phase:**
Location: **Review End Date:** 11/21/2023

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewers Name: Porames Saejiw
Reviewers Email: Joe.Saejiw@denvergov.org

Status Date: 11/17/2023
Status: Approved

Comments:

1. Prior to the solicitation of bids or proposals from general contractors, the developer of this project is strongly encouraged to schedule an office meeting with the Right-of-Way Services Construction Inspections team (303) 446-3469 to discuss the project's impact to city traffic, streets, roads, alleys and sidewalks, and the associated ROW permit fees that will need to be paid by the selected general contractor.
2. Vaults, valves, and Manholes should not be placed in the direct pedestrian path. A 5ft min unobstructed pedestrian path must be present after construction.

Reviewing Agency: TES Sign and Stripe Review **Review Status:** Approved - No Response

Reviewers Name: Brittany Price
Reviewers Email: Brittany.Price@denvergov.org

Status Date: 11/21/2023
Status: Approved - No Response

Comments:

Reviewing Agency: City Forester Review **Review Status:** Approved

Reviewers Name: Erin Hatch
Reviewers Email: Erin.Hatch@denvergov.org

Status Date: 11/14/2023
Status: Approved

Comments: Install according to approved SDP 2019PM0000633, if tree called out for removal in SDP is not removed prior to storm sewer installation, then tree protection is required during course of construction activity. A free tree removal permit is required prior to actual removal occurring, removal to occur using a licensed tree work contractor.

Reviewing Agency: Landmark Review **Review Status:** Approved

Reviewers Name: Emma-Marie Censky
Reviewers Email: emma.censky@denvergov.org

Status Date: 11/02/2023
Status: Approved

Comments:

Reviewing Agency: CDOT Referral **Review Status:** Approved

Status Date: 11/21/2023
Status: Approved

Comments: PWPRS Project Number: 2023-ENCROACHMENT-0000182 - Tier III - 2534 18th St - Private Storm Sewer
Reviewing Agency/Company: CDOT Region 1 ROW/survey
Reviewers Name: dane courville
Reviewers Phone: 7206720231

Comment Report

Tier III - 2534 18th St - Private Storm Sewer

12/26/2023

Master ID: 2023-PROJMSTR-0000409 **Project Type:** Tier III Encroachment Resolution
Review ID: 2023-ENCROACHMENT-0000182 **Review Phase:**
Location: **Review End Date:** 11/21/2023

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewers Email: dane.courville@state.co.us
Approval Status: Approved

Comments:
Does not affect CDOT on-system ROW. Proposed effort is approved as the location does not affect CDOT ROW.

Status Date: 11/21/2023
Status: Approved - No Response
Comments:

Reviewing Agency: ERA Review Review Status: Approved - No Response

Reviewers Name: Shari Bills
Reviewers Email: Shari.Bills@denvergov.org

Status Date: 11/21/2023
Status: Approved - No Response
Comments: