



Zone Map Amendment (Rezoning) - Application

PROPERTY OWNER INFORMATION*		PROPERTY OWNER(S) REPRESENTATIVE**	
<input checked="" type="checkbox"/> CHECK IF POINT OF CONTACT FOR APPLICATION		<input checked="" type="checkbox"/> CHECK IF POINT OF CONTACT FOR APPLICATION	
Property Owner Name	Mark Witkiewicz - ACM LORE	Representative Name	Shears Adkins Rockmore Archi
Address	4100 E. Mississippi	Address	1550 Wynkoop Street, Suite 100
City, State, Zip	Denver, CO 80246	City, State, Zip	Denver, CO 80202
Telephone	303-984-9800	Telephone	303-634-8653
Email	MarkW@westsideinv.com	Email	dcraig@sararch.com
<p>*If More Than One Property Owner: All standard zone map amendment applications shall be initiated by all the owners of at least 51% of the total area of the zone lots subject to the rezoning application, or their representatives authorized in writing to do so. See page 3.</p>		<p>**Property owner shall provide a written letter authorizing the representative to act on his/her behalf.</p>	
<p>Please attach Proof of Ownership acceptable to the Manager for each property owner signing the application, such as (a) Assessor's Record, (b) Warranty deed or deed of trust, or (c) Title policy or commitment dated no earlier than 60 days prior to application date.</p> <p>If the owner is a corporate entity, proof of authorization for an individual to sign on behalf of the organization is required. This can include board resolutions authorizing the signer, bylaws, a Statement of Authority, or other legal documents as approved by the City Attorney's Office.</p>			
SUBJECT PROPERTY INFORMATION			
Location (address and/or boundary description):		3001 S Federal Blvd, Denver, CO 80236	
Assessor's Parcel Numbers:		0532200033000, 0532200034000, 0532300035000	
Area in Acres or Square Feet:		13.645	
Current Zone District(s):		CMP-EI2	
PROPOSAL			
Proposed Zone District:		U-MX-3 (w/ Waiver to 5 Stories) *PUD-G 24 and PUD-G 25 applications follow*	



REVIEW CRITERIA	
<p>→</p> <p>General Review Criteria: The proposal must comply with all of the general review criteria</p> <p>DZC Sec. 12.4.10.7</p> <p>→</p>	<p><input checked="" type="checkbox"/> Consistency with Adopted Plans: The proposed official map amendment is consistent with the City's adopted plans, or the proposed rezoning is necessary to provide land for a community need that was not anticipated at the time of adoption of the City's Plan. Please provide an attachment describing relevant adopted plans and how proposed map amendment is consistent with those plan recommendations; or, describe how the map amendment is necessary to provide for an unanticipated community need.</p> <p><input checked="" type="checkbox"/> Uniformity of District Regulations and Restrictions: The proposed official map amendment results in regulations and restrictions that are uniform for each kind of building throughout each district having the same classification and bearing the same symbol or designation on the official map, but the regulations in one district may differ from those in other districts.</p> <p><input checked="" type="checkbox"/> Public Health, Safety and General Welfare: The proposed official map amendment furthers the public health, safety, and general welfare of the City.</p>
<p>→</p> <p>Additional Review Criteria for Non-Legislative Rezoning: The proposal must comply with both of the additional review criteria</p> <p>DZC Sec. 12.4.10.8</p> <p>→</p>	<p>Justifying Circumstances - One of the following circumstances exists:</p> <p><input type="checkbox"/> The existing zoning of the land was the result of an error.</p> <p><input type="checkbox"/> The existing zoning of the land was based on a mistake of fact.</p> <p><input type="checkbox"/> The existing zoning of the land failed to take into account the constraints on development created by the natural characteristics of the land, including, but not limited to, steep slopes, floodplain, unstable soils, and inadequate drainage.</p> <p><input checked="" type="checkbox"/> Since the date of the approval of the existing Zone District, there has been a change to such a degree that the proposed rezoning is in the public interest. Such change may include:</p> <p style="margin-left: 20px;">a. Changed or changing conditions in a particular area, or in the city generally; or,</p> <p style="margin-left: 20px;">b. A City adopted plan; or</p> <p style="margin-left: 20px;">c. That the City adopted the Denver Zoning Code and the property retained Former Chapter 59 zoning.</p> <p><input type="checkbox"/> It is in the public interest to encourage a departure from the existing zoning through application of supplemental zoning regulations that are consistent with the intent and purpose of, and meet the specific criteria stated in, Article 9, Division 9.4 (Overlay Zone Districts), of this Code. Please provide an attachment describing the justifying circumstance.</p> <p><input checked="" type="checkbox"/> The proposed official map amendment is consistent with the description of the applicable neighborhood context, and with the stated purpose and intent of the proposed Zone District. Please provide an attachment describing how the above criterion is met.</p>
REQUIRED ATTACHMENTS	
Please ensure the following required attachments are submitted with this application:	
<p>→</p> <p>→</p> <p>→</p>	<p><input checked="" type="checkbox"/> Legal Description (required to be attached in Microsoft Word document format)</p> <p><input checked="" type="checkbox"/> Proof of Ownership Document(s)</p> <p><input checked="" type="checkbox"/> Review Criteria, as identified above</p>
ADDITIONAL ATTACHMENTS	
Please identify any additional attachments provided with this application:	
<p>→</p> <p>→</p>	<p><input checked="" type="checkbox"/> Written Authorization to Represent Property Owner(s)</p> <p><input checked="" type="checkbox"/> Individual Authorization to Sign on Behalf of a Corporate Entity</p>
Please list any additional attachments:	



REZONING GUIDE

Rezoning Application Page 3 of 3

PROPERTY OWNER OR PROPERTY OWNER(S) REPRESENTATIVE CERTIFICATION/PETITION

We, the undersigned represent that we are the owners of the property described opposite our names, or have the authorization to sign on behalf of the owner as evidenced by a Power of Attorney or other authorization attached, and that we do hereby request initiation of this application. I hereby certify that, to the best of my knowledge and belief, all information supplied with this application is true and accurate. I understand that without such owner consent, the requested official map amendment action cannot lawfully be accomplished.

Property Owner Name(s) (please type or print legibly)	Property Address City, State, Zip Phone Email	Property Owner Interest % of the Area of the Zone Lots to Be Rezoned	Please sign below as an indication of your consent to the above certification statement	Date	Indicate the type of ownership documentation provided: (A) Assessor's record, (B) warranty deed or deed of trust, (C) title policy or commitment, or (D) other as approved	Has the owner authorized a representative in writing? (YES/NO)
EXAMPLE John Alan Smith and Josie Q. Smith	123 Sesame Street Denver, CO 80202 (303) 555-5555 sample@sample.gov	100%	<i>John Alan Smith</i> <i>Josie Q. Smith</i>	01/01/12	(A)	YES
Daniel Craig (Owner's Rep)	3001 S Federal Blvd, Denver, CO 80236 303-634-8653 dcraig@sararch.com	100%	<i>Daniel Craig</i>	1/22/21	A	Yes

WAIVER AND CONDITION REQUEST FORM

Rezoning Case Application No.: 2019I-00165

Applicant Name: Mark Witkiewicz

Section 12.4.10.6, Denver Zoning Code, authorizes the City Council to adopt waivers or reasonable conditions to an Official Map Amendment at the request of the applicant, provided the applicant approves such waivers or conditions in writing.

List each requested waiver and/or condition in the following tables. Include a justification for each waiver or condition.

Waivers

Code Reference	Code Provision	Proposed Alternative	Justification
5334E, 5334I, & 5334J	3 Stories for Townhouse, General and Shop-front Building Forms	5 Stories for Townhouse, General and Shop-front Building Forms	The Loretto Heights Small Area Plan and Blueprint Denver indicate Urban Context and Mixed-uses up to 5-stories; however, there is not a 5-story mixed-use zone-district in the existing Denver Zoning Code.
5334E, 5334I & 5334E	38-foot height limit for Townhouse, General and Shop-front Building Forms	70-foot height limit for Townhouse, General and Shop-front Building Forms	The Loretto Heights Small Area Plan and Blueprint Denver indicate Urban Context and Mixed-uses up to a 5-story height (70 feet); however, there is not a 5-story mixed-use zone-district or associated height in the existing Denver Zoning Code.

Conditions

Code Reference	Code Provision	Proposed Alternative	Justification

Once adopted, the waivers and/or conditions cited above shall apply to all successors and assigns, who along with the present owner(s), shall be deemed to have waived all objections as to the constitutionality of these provisions.

Waiver for the properties located at 3001 S Federal Blvd.

Per Denver Zoning Code Section 12.4.10.6, Waivers of Rights and Obligations and Approval of Reasonable Conditions, I, the undersigned applicant for the property under application for the rezoning referenced herein, request that the U-MX-3 zoning classification of the land described herein include the following waiver:

1. Waive the right to use or erect any primary structure with a maximum permitted building height of 3 stories pursuant to Sections 5.3.3.4.E (Town House building form), 5.3.3.4.I (General building form) and 5.3.3.4.J (Shopfront building form), DZC and instead comply with the following:

No primary structure erected on the subject property according to the Town House, General or Shopfront primary building form standards shall exceed 5 stories in building height. Height exceptions shall be allowed in accordance with Section 5.3.7.1 (Height Exceptions) as applicable to the U-MS-5 zone district.

2. Waive the right to use or erect any primary structure with a maximum permitted building height of 38 feet pursuant to Section 5.3.3.4.E (Town House building form) or a maximum permitted height of 45 feet pursuant to sections 5.3.3.4.I (General building form) and 5.3.3.4.J (Shopfront building form), DZC and instead comply with the following:

No primary structure erected on the subject property according to the Town House, General or Shopfront primary building form standards shall exceed 70 feet in building height. Height exceptions shall be allowed in accordance with Section 5.3.7.1 (Height Exceptions) as applicable to the U-MS-5 zone district.



Mark Witkiewicz, Authorized Representative



REZONING GUIDE

Rezoning Application for PUD Page 1 of 3

Zone Map Amendment (Rezoning) for PUD - Application

PROPERTY OWNER INFORMATION*	
<input checked="" type="checkbox"/> CHECK IF POINT OF CONTACT FOR APPLICATION	
Property Owner Name	Mark Witkiewicz - ACM LORE
Address	4100 E. Mississippi
City, State, Zip	Denver, CO 80246
Telephone	303-984-9800
Email	MarkW@westsideinv.com
*If More Than One Property Owner: All official map amendment applications for a PUD District shall be initiated by all the owners of the entire land area subject to the rezoning application, or their representatives authorized in writing to do so.	

PROPERTY OWNER(S) REPRESENTATIVE**	
<input checked="" type="checkbox"/> CHECK IF POINT OF CONTACT FOR APPLICATION	
Representative Name	Shears Adkins Rockmore Archi
Address	1550 Wynkoop Street, Suite 100
City, State, Zip	Denver, CO 80202
Telephone	303-634-8653
Email	dcraig@sararch.com
**Property owner shall provide a written letter authorizing the representative to act on his/her behalf. See attached authorization letter.	

Please attach Proof of Ownership acceptable to the Manager for all property owners, such as (a) Assessor's Record, (b) Warranty deed or deed of trust, or (c) Title policy or commitment dated no earlier than 60 days prior to application date.

SUBJECT PROPERTY INFORMATION

Location (address and/or boundary description):	3001 S Federal Blvd, Denver, CO 80236
Assessor's Parcel Numbers:	0532200033000, 0532200034000, 0532300035000
Area in Acres or Square Feet:	21.985
Current Zone District(s):	CMP-EI2

PROPOSAL

Proposed Zone District:	<input checked="" type="checkbox"/> General PUD	<input type="checkbox"/> Detailed PUD
Proposing SubAreas:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Intent of PUD:	G-24: To address Remaining Buildings/Open Spaces and to allow mixed-use in lieu of Campus zoning	
Standard Zone District: Please list the zone district(s) on which the PUD will be based:	G-24: CMP-EI2	
Deviations from Standard Zone District: Please provide a list of proposed deviations and an explanation of why the deviation is needed. Please provide as an attachment if necessary:	Deviation	Why deviation is necessary
	See Exhibit VII-a	(See attached)
	See Exhibit VII-a	

Last updated: September 29, 2015

Return completed form to rezoning@denvergov.org



For Office Use Only:

Date _____ Fee _____

201 W. Colfax Ave., Dept. 205

Denver, CO 80202

720-865-2974 • rezoning@denvergov.org

REVIEW CRITERIA	
<p>General Review Criteria: The proposal must comply with all of the general review criteria DZC Sec. 12.4.10.7</p>	<p><input checked="" type="checkbox"/> Consistency with Adopted Plans: The proposed official map amendment is consistent with the City's adopted plans, or the proposed rezoning is necessary to provide land for a community need that was not anticipated at the time of adoption of the City's Plan</p> <p>Please provide an attachment describing relevant adopted plans and how proposed map amendment is consistent with those plan recommendations; or, describe how the map amendment is necessary to provide for an unanticipated community need.</p> <p><input checked="" type="checkbox"/> Uniformity of District Regulations and Restrictions: The proposed official map amendment results in regulations and restrictions that are uniform for each kind of building throughout each district having the same classification and bearing the same symbol or designation on the official map, but the regulations in one district may differ from those in other districts.</p> <p><input checked="" type="checkbox"/> Public Health, Safety and General Welfare: The proposed official map amendment furthers the public health, safety, and general welfare of the City.</p>
<p>Additional Review Criteria for Non-Legislative Rezoning: The proposal must comply with both of the additional review criteria DZC Sec. 12.4.10.8</p>	<p>Justifying Circumstances - One of the following circumstances exists:</p> <p><input type="checkbox"/> The existing zoning of the land was the result of an error.</p> <p><input type="checkbox"/> The existing zoning of the land was based on a mistake of fact.</p> <p><input type="checkbox"/> The existing zoning of the land failed to take into account the constraints on development created by the natural characteristics of the land, including, but not limited to, steep slopes, floodplain, unstable soils, and inadequate drainage.</p> <p><input checked="" type="checkbox"/> The land or its surroundings has changed or is changing to such a degree that rezoning that it is in the public interest to encourage a redevelopment of the area to recognize the changed character of the area</p> <p><input type="checkbox"/> It is in the public interest to encourage a departure from the existing zoning through application of supplemental zoning regulations that are consistent with the intent and purpose of, and meet the specific criteria stated in, Article 9, Division 9.4 (Overlay Zone Districts), of this Code.</p> <p>Please provide an attachment describing the justifying circumstance.</p> <p><input checked="" type="checkbox"/> The proposed official map amendment is consistent with the description of the applicable neighborhood context, and with the stated purpose and intent of the proposed Zone District.</p> <p>Please provide an attachment describing how the above criterion is met.</p>
<p>Additional Review Criteria for Rezoning to PUD District: The proposal must comply with all of the additional review criteria DZC Sec. 12.4.10.9</p>	<p><input checked="" type="checkbox"/> The PUD District is consistent with the intent and purpose of such districts stated in Article 9, Division 9.6 (Planned Unit Development).</p> <p><input checked="" type="checkbox"/> The PUD District and the PUD District Plan comply with all applicable standards and criteria station in Division 9.6.</p> <p><input checked="" type="checkbox"/> The development proposed on the subject property is not feasible under any other Zone Districts, and would require an unreasonable number of variances or waivers and conditions.</p> <p><input checked="" type="checkbox"/> The PUD District, the PUD District Plan establish permitted uses that are compatible with existing land uses adjacent to the subject property.</p> <p><input checked="" type="checkbox"/> The PUD District, the PUD District Plan establish permitted building forms that are compatible with adjacent existing building forms, or which are made compatible through appropriate transitions at the boundaries of the PUD District Plan (e.g., through decreases in building height; through significant distance or separation by rights-of-way, landscaping or similar features; or through innovative building design).</p> <p>Please provide an attachment describing how the above criteria are met.</p>

REZONING GUIDE



Rezoning Application for PUD Page 3 of 3

REQUIRED ATTACHMENTS

Please ensure the following required attachments are submitted with this application:

- Legal Description (required to be attached as a Microsoft Word document)
- Proof of Ownership Document(s)
- Review Criteria

ADDITIONAL ATTACHMENTS

Please identify any additional attachments provided with this application:

- Written Authorization to Represent Property Owner(s)
- Deviations from Standard Zone District

Please list any additional attachments:

PROPERTY OWNER OR PROPERTY OWNER(S) REPRESENTATIVE CERTIFICATION

We, the undersigned represent that we are the owners of the property described opposite our names, or have the authorization to sign on behalf of the owner as evidenced by a Power of Attorney or other authorization attached, and that we do hereby request initiation of this application. I hereby certify that, to the best of my knowledge and belief, all information supplied with this application is true and accurate. I understand that without such owner consent, the requested official map amendment action cannot lawfully be accomplished.

Property Owner Name(s) (please type or print legibly)	Property Address City, State, Zip Phone Email	Property Owner Interest % of the Area to Be Rezoned	Please sign below as an indication of your consent to the above certification statement (must sign in the exact same manner as title to the property is held)	Date	Indicate the type of ownership documentation provided: (A) Assessor's record, (B) warranty deed or deed of trust, (C) title policy or commitment, or (D) other as approved	Property owner representative written authorization? (YES/NO)
EXAMPLE John Alan Smith and Josie Q. Smith	123 Sesame Street Denver, CO 80202 (303) 555-5555 sample@sample.gov	100%	<i>John Alan Smith</i> <i>Josie Q. Smith</i>	01/01/12	(A)	NO
Daniel Craig (Owner's Rep)	3001 S Federal Blvd, Denver, CO 80236 303-634-8653 dcraig@sararch.com	100%	<i>Daniel Craig</i>	1/22/21	(A)	Yes

Last updated: September 29, 2015

Return completed form to rezoning@denvergov.org



PUD-G 24



3001 S Federal Boulevard
Loretto Heights Campus Core

Contents

PUD-G 24

CHAPTER 1. ESTABLISHMENT AND INTENT	1
Section 1.1 PUD-G 24 Established	1
Section 1.2 PUD-G 24 General Purpose	7
Section 1.3 PUD-G 24 Specific Intent	7
CHAPTER 2. NEIGHBORHOOD CONTEXT DESCRIPTION	7
CHAPTER 3. UNDERLYING ZONE DISTRICT	7
CHAPTER 4. DESIGN STANDARDS	7
Section 4.1 Primary and Accessory Building Form Standards	7
Section 4.2 Supplemental Design Standards For PUD-G 24	9
Section 4.3 Preservation of Remaining Buildings and Remaining Open Spaces	11
CHAPTER 5. USES AND REQUIRED MINIMUM PARKING	17
Section 5.1 Intent	17
Section 5.2 Applicability	18
Section 5.3 Permitted Uses And Required Bicycle Parking	18
Section 5.4 Required Minimum Vehicle Parking	18
CHAPTER 6. ADDITIONAL STANDARDS	20
Section 6.1 Article 1 of the Denver Zoning Code	20
Section 6.2 Article 9 of the Denver Zoning Code	20
Section 6.3 Article 10 of the Denver Zoning Code	21
Section 6.4 Article 11 of the Denver Zoning Code	21
Section 6.5 Article 12 of the Denver Zoning Code	22
Section 6.6 Article 13 of the Denver Zoning Code	22
CHAPTER 7. RULES OF INTERPRETATION	26
CHAPTER 8. VESTED RIGHTS	26

CHAPTER 1. ESTABLISHMENT AND INTENT

SECTION 1.1 PUD-G 24 ESTABLISHED

The provisions of PUD-G 25 apply to the land depicted on the Official Zoning Map with the label PUD-G 25, and more generally described as a parcel of land situated in the west half of Section 32, Township 4 South, Range 68 west of the Sixth Principal Meridian, City and County of Denver, State of Colorado.

1.1.1 SUBAREAS ESTABLISHED

The following subareas are hereby established within PUD-G 24 for the purpose of applying the zoning Standards contained herein. All subareas established are shown generally on Figure 1.1 below and described legally as follows:

A. Subarea A Legal Description

A PARCEL OF LAND SITUATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;
 THENCE NORTH 75°20'27" WEST, A DISTANCE OF 5.95 FEET TO A POINT ON THE CENTERLINE OF S. FEDERAL BOULEVARD AND THE POINT OF BEGINNING;
 THENCE SOUTH 89°57'15" WEST, A DISTANCE OF 186.06 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 116.13 FEET, SAID CURVE HAVING A RADIUS OF 150.00 FEET, A CENTRAL ANGLE OF 44°21'31", AND A CHORD WHICH BEARS SOUTH 67°22'44" WEST A CHORD DISTANCE OF 113.25 FEET;
 THENCE NORTH 44°48'02" WEST, A DISTANCE OF 59.51 FEET;
 THENCE NORTH 45°52'49" WEST, A DISTANCE OF 5.65 FEET;
 THENCE NORTH 46°57'35" WEST, A DISTANCE OF 245.88 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 17.23 FEET, SAID CURVE HAVING A RADIUS OF 150.92 FEET, A CENTRAL ANGLE OF 06°32'27", AND A CHORD WHICH BEARS NORTH 43°37'01" WEST A CHORD DISTANCE OF 17.22 FEET;
 THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 44.86 FEET;
 THENCE NORTH 52°23'08" WEST, A DISTANCE OF 2.38 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 15.22 FEET, SAID CURVE HAVING A RADIUS OF 10.07 FEET, A CENTRAL ANGLE OF 86°36'25", AND A CHORD WHICH BEARS SOUTH 83°57'59" WEST A CHORD DISTANCE OF 13.81 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 27.51 FEET, SAID CURVE HAVING A RADIUS OF 32.00 FEET, A CENTRAL ANGLE OF 49°15'10", AND A CHORD WHICH BEARS SOUTH 64°53'27" WEST A CHORD DISTANCE OF 26.67 FEET;
 THENCE SOUTH 89°31'02" WEST, A DISTANCE OF 63.67 FEET TO A POINT OF CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 25.72 FEET, SAID CURVE HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 73°41'31", AND A CHORD WHICH BEARS SOUTH 52°40'17" WEST A CHORD DISTANCE OF 23.99 FEET;
 THENCE SOUTH 15°49'31" WEST, A DISTANCE OF 76.59 FEET;
 THENCE SOUTH 06°28'16" WEST, A DISTANCE OF 125.46 FEET;
 THENCE SOUTH 06°54'03" WEST, A DISTANCE OF 12.16 FEET;
 THENCE SOUTH 89°52'50" EAST, A DISTANCE OF 17.53 FEET TO A POINT OF CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 10.51 FEET, SAID CURVE HAVING A RADIUS OF 7.00 FEET, A CENTRAL ANGLE OF 86°01'52", AND A CHORD WHICH BEARS SOUTH 46°58'44" EAST A CHORD DISTANCE OF 9.55 FEET;
 THENCE SOUTH 03°57'48" EAST, A DISTANCE OF 12.71 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 179.41 FEET,
 SAID CURVE HAVING A RADIUS OF 114.75 FEET, A CENTRAL ANGLE OF 89°35'00", AND A
 CHORD WHICH BEARS NORTH 49°10'44" WEST A CHORD DISTANCE OF 161.69 FEET;
 THENCE NORTH 86°09'44" EAST, A DISTANCE OF 18.25 FEET;
 THENCE NORTH 03°47'14" WEST, A DISTANCE OF 85.15 FEET;
 THENCE SOUTH 86°15'10" WEST, A DISTANCE OF 13.79 FEET;
 THENCE NORTH 06°58'47" WEST, A DISTANCE OF 11.82 FEET;
 THENCE SOUTH 83°01'13" WEST, A DISTANCE OF 11.20 FEET;
 THENCE NORTH 03°16'47" WEST, A DISTANCE OF 79.16 FEET;
 THENCE SOUTH 86°28'34" WEST, A DISTANCE OF 49.72 FEET;
 THENCE NORTH 03°01'23" WEST, A DISTANCE OF 38.12 FEET;
 THENCE SOUTH 87°00'28" WEST, A DISTANCE OF 24.03 FEET;
 THENCE NORTH 34°59'18" WEST, A DISTANCE OF 189.64 FEET;
 THENCE NORTH 00°07'18" EAST, A DISTANCE OF 30.32 FEET;
 THENCE NORTH 53°18'53" WEST, A DISTANCE OF 25.76 FEET;
 THENCE SOUTH 35°58'03" WEST, A DISTANCE OF 6.72 FEET;
 THENCE NORTH 52°06'49" WEST, A DISTANCE OF 2.81 FEET;
 THENCE SOUTH 87°28'38" WEST, A DISTANCE OF 6.86 FEET;
 THENCE NORTH 72°57'35" WEST, A DISTANCE OF 5.53 FEET;
 THENCE NORTH 53°33'06" WEST, A DISTANCE OF 5.45 FEET;
 THENCE NORTH 33°54'22" WEST, A DISTANCE OF 5.42 FEET;
 THENCE NORTH 13°54'45" WEST, A DISTANCE OF 6.95 FEET;
 THENCE NORTH 53°44'27" WEST, A DISTANCE OF 2.83 FEET;
 THENCE NORTH 36°47'57" EAST, A DISTANCE OF 5.21 FEET;
 THENCE NORTH 53°12'03" WEST, A DISTANCE OF 92.46 FEET;
 THENCE NORTH 38°04'28" EAST, A DISTANCE OF 1.67 FEET;
 THENCE NORTH 52°02'40" WEST, A DISTANCE OF 2.13 FEET;
 THENCE NORTH 38°17'45" EAST, A DISTANCE OF 2.27 FEET;
 THENCE NORTH 52°03'17" WEST, A DISTANCE OF 19.88 FEET;
 THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 160.20 FEET TO A POINT OF NON-TANGENT
 CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 193.95 FEET,
 SAID CURVE HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 55°33'50", AND A
 CHORD WHICH BEARS NORTH 19°14'01" WEST A CHORD DISTANCE OF 186.44 FEET;
 THENCE NORTH 08°32'55" EAST, A DISTANCE OF 280.75 FEET;
 THENCE NORTH 90°00'00" EAST, A DISTANCE OF 122.48 FEET;
 THENCE SOUTH 48°57'51" EAST, A DISTANCE OF 67.55 FEET;
 THENCE SOUTH 00°00'00" EAST, A DISTANCE OF 103.13 FEET;
 THENCE SOUTH 89°58'50" EAST, A DISTANCE OF 180.85 FEET;
 THENCE NORTH 00°01'10" EAST, A DISTANCE OF 32.97 FEET;
 THENCE NORTH 89°57'46" EAST, A DISTANCE OF 33.00 FEET;
 THENCE SOUTH 89°58'50" EAST, A DISTANCE OF 396.60 FEET;
 THENCE SOUTH 00°01'10" WEST, A DISTANCE OF 280.19 FEET;
 THENCE NORTH 89°57'25" EAST, A DISTANCE OF 564.02 FEET TO A POINT ON THE
 CENTERLINE OF S. FEDERAL BOULEVARD;
 THENCE SOUTH 00°01'10" WEST ALONG SAID CENTERLINE, A DISTANCE OF 591.08 FEET TO
 THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 781,650 SQUARE FEET OR 17.94 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF
 THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE
 6TH PRINCIPAL MERIDIAN, BEARS NORTH 00°01'10" EAST.

B. Subarea B Legal Description

SITUATED IN THE WEST 1/2 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO
 A PARCEL OF LAND SITUATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;
 THENCE SOUTH 84°14'39" WEST, A DISTANCE OF 716.02 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 03°57'48" EAST, A DISTANCE OF 96.13 FEET;
 THENCE SOUTH 17°46'16" WEST, A DISTANCE OF 149.58 FEET;
 THENCE NORTH 89°30'53" WEST, A DISTANCE OF 30.95 FEET;
 THENCE SOUTH 46°37'40" WEST, A DISTANCE OF 20.57 FEET;
 THENCE NORTH 61°27'47" WEST, A DISTANCE OF 148.06 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 141.42 FEET, SAID CURVE HAVING A RADIUS OF 468.73 FEET, A CENTRAL ANGLE OF 17°17'11", AND A CHORD WHICH BEARS NORTH 47°44'21" WEST A CHORD DISTANCE OF 140.88 FEET;
 THENCE SOUTH 51°34'19" WEST, A DISTANCE OF 147.01 FEET;
 THENCE NORTH 37°34'07" WEST, A DISTANCE OF 162.17 FEET;
 THENCE NORTH 52°25'53" EAST, A DISTANCE OF 270.00 FEET;
 THENCE NORTH 25°43'52" WEST, A DISTANCE OF 414.97 FEET TO A POINT OF CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 122.68 FEET, SAID CURVE HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 35°08'47", AND A CHORD WHICH BEARS NORTH 43°18'15" WEST A CHORD DISTANCE OF 120.77 FEET TO A POINT OF REVERSE CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 48.39 FEET, SAID CURVE HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 13°51'43", AND A CHORD WHICH BEARS NORTH 53°56'47" WEST A CHORD DISTANCE OF 48.27 FEET;
 THENCE NORTH 90°00'00" EAST, A DISTANCE OF 160.20 FEET;
 THENCE SOUTH 52°03'17" EAST, A DISTANCE OF 19.88 FEET;
 THENCE SOUTH 38°17'45" WEST, A DISTANCE OF 2.27 FEET;
 THENCE SOUTH 52°02'40" EAST, A DISTANCE OF 2.13 FEET;
 THENCE SOUTH 38°04'28" WEST, A DISTANCE OF 1.67 FEET;
 THENCE SOUTH 53°12'03" EAST, A DISTANCE OF 92.46 FEET;
 THENCE SOUTH 36°47'57" WEST, A DISTANCE OF 5.21 FEET;
 THENCE SOUTH 53°44'27" EAST, A DISTANCE OF 2.83 FEET;
 THENCE SOUTH 13°54'45" EAST, A DISTANCE OF 6.95 FEET;
 THENCE SOUTH 33°54'22" EAST, A DISTANCE OF 5.42 FEET;
 THENCE SOUTH 53°33'06" EAST, A DISTANCE OF 5.45 FEET;
 THENCE SOUTH 72°57'35" EAST, A DISTANCE OF 5.53 FEET;
 THENCE NORTH 87°28'38" EAST, A DISTANCE OF 6.86 FEET;
 THENCE SOUTH 52°06'49" EAST, A DISTANCE OF 2.81 FEET;
 THENCE NORTH 35°58'03" EAST, A DISTANCE OF 6.72 FEET;
 THENCE SOUTH 53°18'53" EAST, A DISTANCE OF 25.76 FEET;
 THENCE SOUTH 00°07'18" WEST, A DISTANCE OF 30.32 FEET;
 THENCE SOUTH 34°59'18" EAST, A DISTANCE OF 189.64 FEET;
 THENCE NORTH 87°00'28" EAST, A DISTANCE OF 24.03 FEET;
 THENCE SOUTH 03°01'23" EAST, A DISTANCE OF 38.12 FEET;
 THENCE NORTH 86°28'34" EAST, A DISTANCE OF 49.72 FEET;
 THENCE SOUTH 03°16'47" EAST, A DISTANCE OF 79.16 FEET;
 THENCE NORTH 83°01'13" EAST, A DISTANCE OF 11.20 FEET;
 THENCE SOUTH 06°58'47" EAST, A DISTANCE OF 11.82 FEET;

THENCE NORTH 86°15'10" EAST, A DISTANCE OF 13.79 FEET;
 THENCE SOUTH 03°47'14" EAST, A DISTANCE OF 85.15 FEET;
 THENCE SOUTH 86°09'44" WEST, A DISTANCE OF 18.25 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 179.41 FEET, SAID CURVE HAVING A RADIUS OF 114.75 FEET, A CENTRAL ANGLE OF 89°35'00", AND A CHORD WHICH BEARS SOUTH 49°10'44" EAST A CHORD DISTANCE OF 161.69 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 216,237 SQUARE FEET OR 4.96 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARS NORTH 00°01'10" EAST.

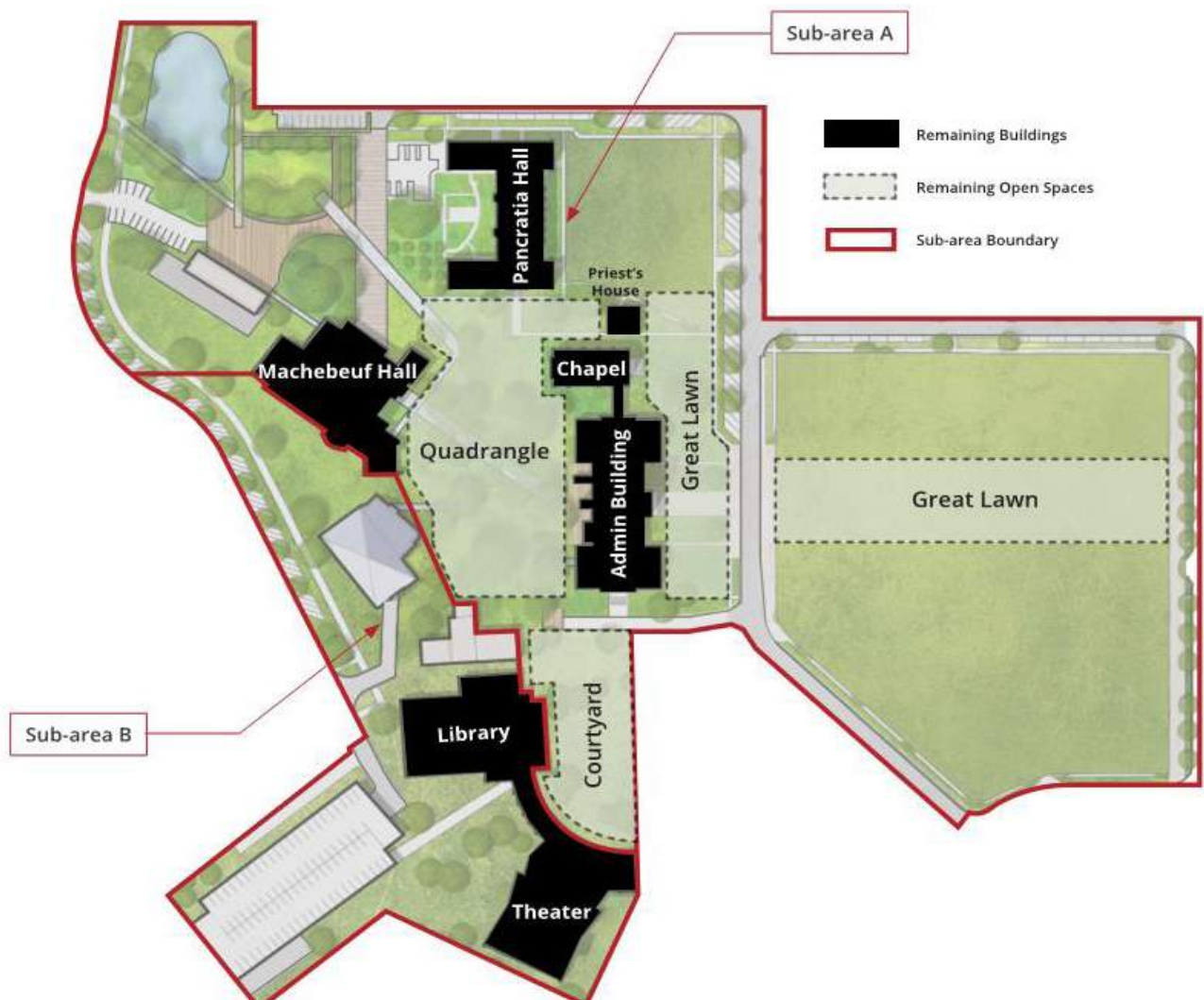


Figure 1.1. Subareas Established within PUD-G 24. Illustrative only.

1.1.2 REMAINING BUILDINGS AND REMAINING OPEN SPACES DEFINED

As shown in Figure 1.2, the following buildings and open spaces are hereby defined within PUD-G 24 as Remaining Buildings and Remaining Open Spaces for the purpose of applying the design Standards provided in Chapter 4 (For purposes of applying the PUD standards, these Remaining Buildings and Remaining Open Spaces retain their historical names):

A. Administration Building

The existing 1891 red sandstone Richardsonian Romanesque-style Building with three main stories plus raised basement and attic in an H-plan oriented north-south and covering 220 feet by 100 feet located in Subarea A as of the adoption of this PUD. The existing Gross Floor Area for the Administration Building and Chapel is 98,880 square feet.

B. Chapel

The existing 1910 red sandstone Richardsonian Romanesque-style Building with rectangular plan oriented east-west and covering 44 by 91 feet and connected by a two-story hypen to the north of the Administration Building located in Subarea A as of the adoption of this PUD. The existing Gross Floor Area for the Administration Building and Chapel is 98,880 square feet.

C. Pancratia Hall

The existing 1930 Building in the Collegiate Gothic style with three main stories plus raised basement in an H-plan oriented north-south along the main hallway with the two wings oriented east-west and covering 126 feet by 184 feet located northwest of the Administration Building in Subarea A as of the adoption of this PUD. The existing Gross Floor Area for Pancratia Hall is 58,837 square feet.

D. Priest's House

The existing one-story 1916 Craftsman-style Building located north of the Chapel and Administration Building in Subarea A as of the adoption of this PUD. The existing Gross Floor Area for the Priest's House is 1,450 square feet.

E. Machebeuf Hall

The existing 1951 Building of two split-level stories in Modernist style with International style and Wrightian influences with a one-story quadrangle-level entry wing oriented north-south, connecting blocks oriented northwest-southeast, and covering approximately 195 by 220 feet located west of the central-campus quadrangle from the Administration Building in Subarea A as of the adoption of this PUD. The existing Gross Floor Area for Machebeuf Hall is 39,095 square feet.

F. May Bonfils Stanton Theater & Library

The existing 1963 complex of the Theater and Library Buildings connected by a glass arcade in the Modernist/New Formalist Style located south-southwest of the Administration Building in Subarea B as of the adoption of this PUD. The Library has a rectangular plan occupying approximately 120 by 164 feet under a flat roof. The Theater's polygonal plan occupies approximately 110 by 158 feet under parapeted roofs. The existing Gross Floor Area for the Library is 47,010 square feet and the Theater is 38,284 square feet.

G. Quadrangle Open Space

The existing passive open space area generally located west of the Administration Building, east of Machebeuf Hall and south of Pancratia Hall in Subarea A as of the adoption of this PUD.

H. Great Lawn Open Space

The existing passive open space area generally located east of the Administration Building, Chapel and Priest's House, and the open space area running between South Federal Boulevard and the Administration building in Subarea A as of the adoption of this PUD.

I. Courtyard Open Space

The existing passive open space area generally located east and northeast of the May Bonfils Stanton Theater & Library in Subarea A as of the adoption of this PUD.

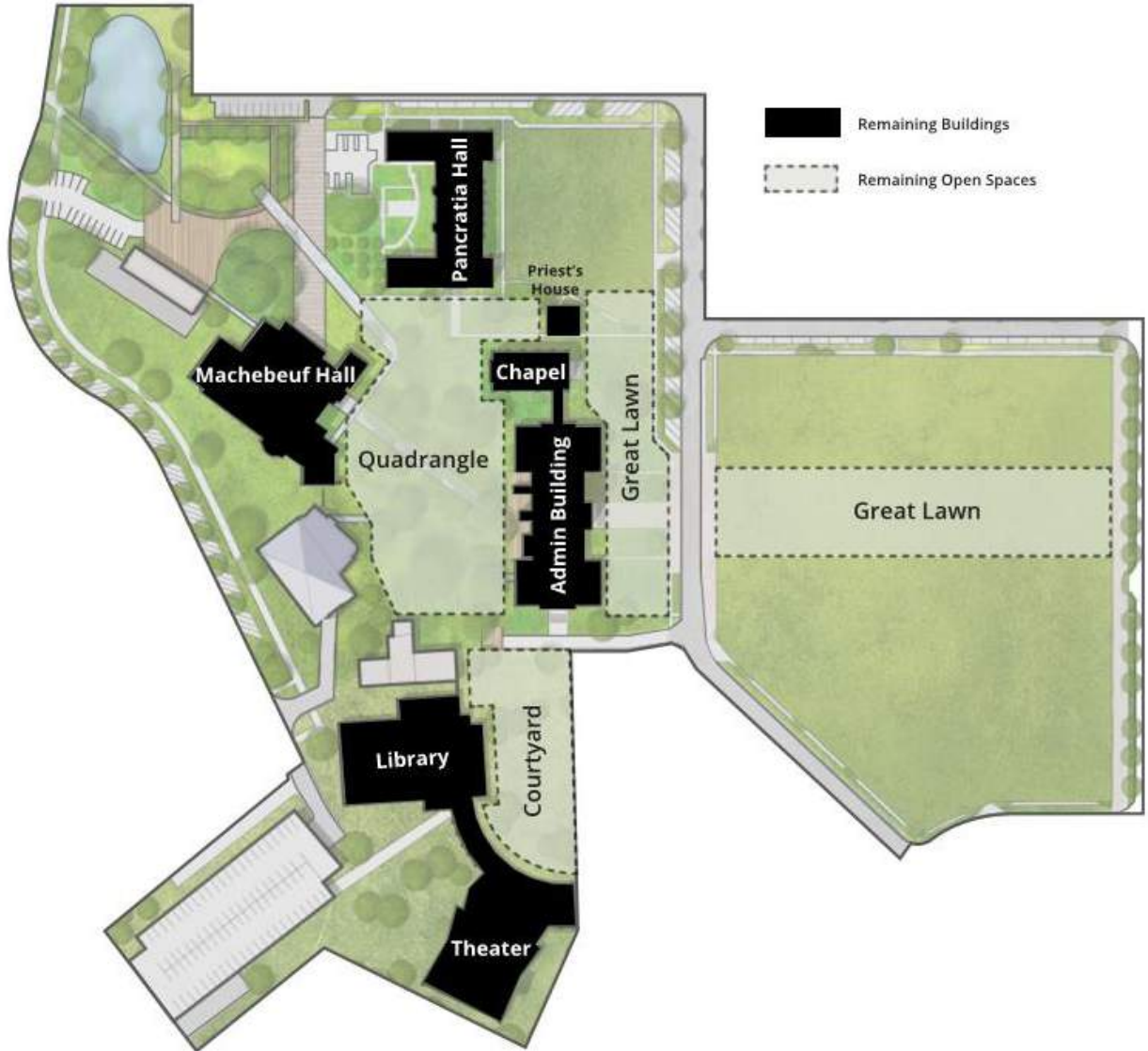


Figure 1.2. Remaining Buildings and Remaining Open Spaces within PUD-G 24. Illustrative only.

SECTION 1.2 PUD-G 24 GENERAL PURPOSE

The general purpose of PUD-G 24 is to:

- 1.2.1 Create a community destination.
- 1.2.2 Facilitate redevelopment of the former Loretto Heights campus with a mix of residential and commercial uses and amenities.
- 1.2.3 Ensure preservation and rehabilitation of the Remaining Buildings and Remaining Open Spaces defined in PUD-G 24 Section 1.1.2 while facilitating their original use and adaptive reuse.
- 1.2.4 Achieve significant additional public benefits including publicly accessible open space that draws residents and visitors into the site from surrounding neighborhoods, allows for circulation around the site, outdoor events and dining, and which provides space for shared mobility devices like bicycles.

SECTION 1.3 PUD-G 24 SPECIFIC INTENT

More specifically, PUD-G 24 is intended to:

- 1.3.1 Facilitate compatible Development through the use of appropriate Building Form Standards and design that provides a mix of residential and commercial uses and amenities that respond to the surrounding neighborhood contexts.
- 1.3.2 Encourage pedestrian-activated spaces as envisioned in the City's adopted plans.
- 1.3.3 Preserve and complement character-defining features of the Remaining Buildings and Remaining Open Spaces.
- 1.3.4 Ensure quality, human-scaled building design that respects both the overall historic development pattern and design integrity of the Loretto Heights Campus.
- 1.3.5 Protect and frame key views identified in the Loretto Heights Small Area Plan and ensure that new Buildings do not rise above the roofline height of the H-shaped portion of the Administration Building.

CHAPTER 2. NEIGHBORHOOD CONTEXT DESCRIPTION

Development within PUD-G 24 shall conform to the Denver Zoning Code Division 9.2, Campus Context Description, as amended from time to time, except as modified in this PUD-G 24.

CHAPTER 3. UNDERLYING ZONE DISTRICT

Development within PUD-G 24 shall conform to the Denver Zoning Code Division 9.2, Campus Context Description, as specifically applicable to the CMP-EI2 Zone District, as amended from time to time, and except as modified in this PUD-G 24.

CHAPTER 4. DESIGN STANDARDS

Development in the PUD-G 24 shall comply with the design standards applicable to the CMP-EI2 zone district in Denver Zoning Code Section 9.2.4., Campus-Education/Institution (CMP-EI, CMP-EI2) and Denver Zoning Code Article 10 General Design Standards, as amended from time to time, except as modified in this PUD-G 24.

SECTION 4.1 PRIMARY AND ACCESSORY BUILDING FORM STANDARDS

4.1.1 DISTRICT SPECIFIC STANDARDS SUMMARY

- A. Primary Structures and Accessory Structures in this PUD-G 24 shall use the General Building Form.
- B. There shall be no maximum number of structures per Zone Lot in PUD-G 24

4.1.2 DISTRICT SPECIFIC STANDARDS

Development of Primary Structures and Accessory Structures in this PUD-G 24 shall comply with the Denver Zoning Code Section 9.2.4.2.C District Specific Standards as applicable to the CMP-EI2 Zone District, as amended from time to time, except as modified in PUD-G 24, with the following exceptions, additions, and modifications set forth in the Primary and Accessory Building Forms Standards table below.

PRIMARY AND ACCESSORY BUILDING FORM STANDARDS FOR THE GENERAL BUILDING FORM IN PUD-G 24

HEIGHT	Subarea A	Subarea B
See Underlying Zone District for Additional Applicable Height Standards Not Listed Below		
Stories (max)	5	8
Feet (max)	70'	110'
Feet, within 175' of Protected District (max)	See Underlying Zone District	
Number of Primary and Accessory Structures above 5 stories or 70' (max)	na	1
Bulk Plane vertical height at Centerline of Primary Street, Side Street, Side Interior Zone Lot Line, and Rear Zone Lot Line	No Bulk Plane applies	
Bulk Plane Slope	No Bulk Plane applies	

SITING	Subarea A	Subarea B
See Underlying Zone District for Additional Applicable Siting Standards Not Listed Below		
SETBACKS AND BUILDING COVERAGE		
Primary Street (min)	0'	0'
Side Street (min)	0'	0'
Side interior (min)	10'	10'
Rear, alley/no alley (min)	0'/0'	0'/0'
Separation between Primary Structures (min)	20'	20'
Building Coverage, including all Primary and Accessory Structures (max per subarea)	60%	60%

REQUIRED BUILD-TO	Subarea A	Subarea B
Primary Street Zone Lot Line that Abuts Federal Blvd or the portion of Great Lawn Remaining Open Space described in Section 4.2.1 of this PUD-G 24 (min build-to % within min/max range)	70% 0'/20'	na
Required Build-To Alternatives and Exceptions	Alternatives and exceptions allowed as applicable to the U-MX-3 Zone District in Denver Zoning Code Article 5	

PARKING	Subarea A	Subarea B
Surface Parking Location	Surface Parking not allowed between the building and a Remaining Open Space, or between Federal Blvd or the portion of Great Lawn Remaining Open Space described in Section 4.2.1 of this PUD-G 24	
Surface Parking Screening	See PUD-G 24 Section 6.4.1	
Minimum Vehicle Parking	See PUD-G 24 Section 5.4 Required Minimum Parking	

DESIGN ELEMENTS	Subarea A	Subarea B
See Underlying Zone District for Additional Applicable Design Element Standards Not Listed Below		
BUILDING CONFIGURATION		
Floor Plate above 5 stories and 70' for all buildings above 5 stories combined (max area /max linear dimension)	na	20,000 square feet /180'
Design of Visible Structured Parking	See PUD-G 24 Section 4.2.2 Design of Visible Structured Parking	
STREET LEVEL ACTIVATION		
Transparency, Primary Street (min)	40%	40%
Transparency Alternatives	Alternatives are allowed as applicable to the U-MX-3 Zone District in Denver Zoning Code Article 5	

USES	Subarea A	Subarea B
See Underlying Zone District for All Applicable Use Standards for the General Building Form. Permitted uses in this PUD-G 24 are set forth in Section 5.1 Permitted Uses of this PUD-G 24		

SECTION 4.2 SUPPLEMENTAL DESIGN STANDARDS FOR PUD-G 24

4.2.1 REQUIRED BUILD-TO AND PARKING LOCATION ADJACENT TO FEDERAL BOULEVARD THE GREAT LAWN

A. Intent

To promote an active, pedestrian-oriented frontage along Federal Boulevard and the nearby portion of Great Lawn Remaining Open Space where active uses are intended to front and interact directly with the open space area.

B. Applicability

This section 4.2.1 shall apply to any Primary Street Zone Lot Line abutting Federal Boulevard or the portion of Great Lawn Remaining Open Space identified on Figure 4.1 within Subarea A of this PUD-G 24.

C. Required Build-to

The required build-to percentage and minimum/maximum build-to range indicated in the building form table in Section 4.1.2 of this PUD-G 24 shall be provided as measured from and perpendicular to any Primary Street Zone Lot Line abutting the sections of Federal Boulevard and Great Lawn Remaining Open Space identified on Figure 4.1.

D. Surface Parking Between the Building and Federal Boulevard or Great Lawn

Surface Parking is not allowed between a Building and any Primary Street Zone Lot Line abutting the sections of Federal Boulevard and Great Lawn Remaining Open Space identified on Figure 4.1.

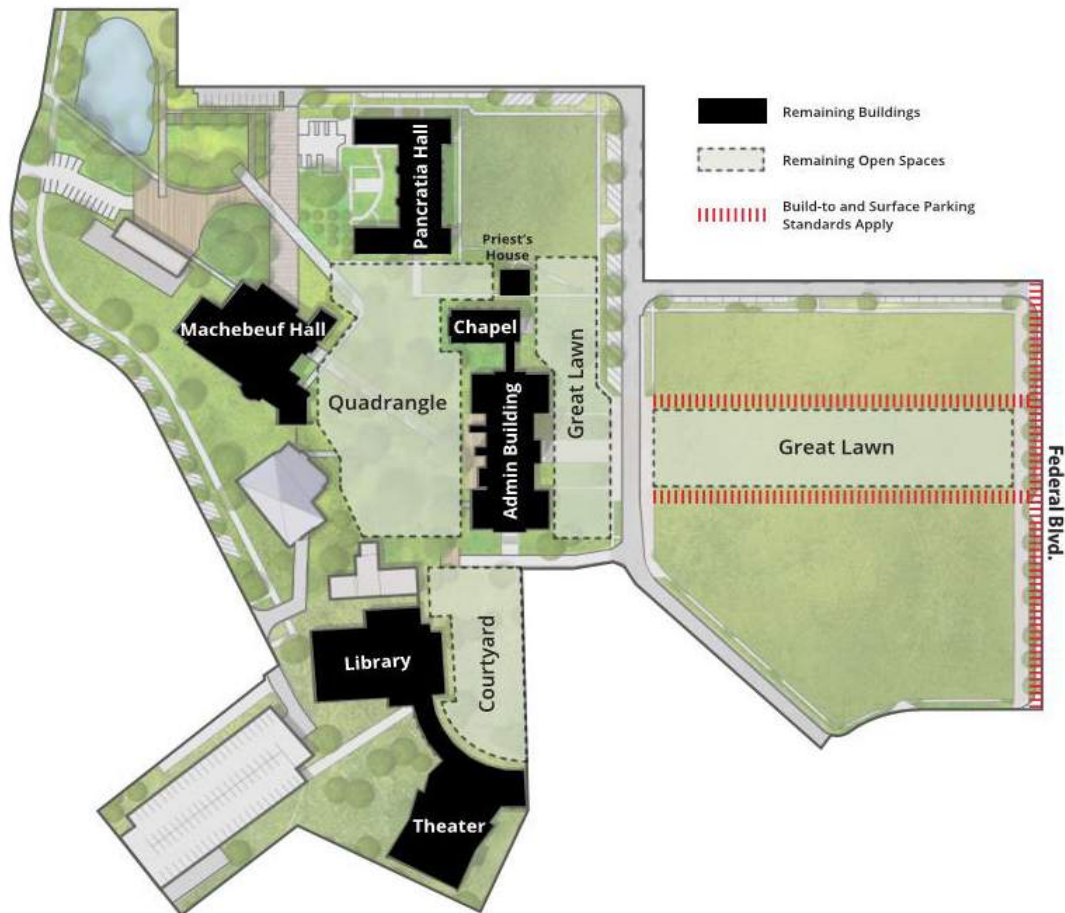


Figure 4.1 Frontages For Build-to and Surface Parking Location Standards. Illustrative only.

4.2.2 DESIGN OF VISIBLE STRUCTURED PARKING

A. Intent

To ensure structured parking design that is compatible in character and quality with adjoining and surrounding Buildings, open spaces and streetscape.

B. Applicability

This section 4.2.2 shall apply to all structured parking as an addition to a Remaining Building as defined in PUD-G 24 or any new Building developed within PUD-G 24. The standards in this Section 4.2.2 apply in addition to Denver Zoning Code Section 10.4.6.5, Parking Structure Design Standards.

C. Parking Structure Design Standards

1. Any structured parking as part of an addition to a Remaining Building shall comply with the Secretary of the Interior's Standards for Rehabilitation.
2. Any facade containing structured parking shall be integrated into the overall facade design of buildings through the use of all of the following:
 - a. Similar building materials to those used on adjacent facade areas that do not contain structured parking.
 - b. Facade articulation and fenestration patterns that integrate with portions of the building facade that do not contain structured parking.
 - c. Design that is compatible with the mass and scale of nearby buildings.
3. Any facade containing structured parking shall minimize the visibility of parking areas through use of all of the following:
 - a. Non-transparent facade materials for a minimum height of 4 feet from the finished floor of each story.
 - b. Fully concealed view of all parked cars and internal light sources from adjacent public rights-of-way and Publicly Accessible Open Space for the full height of the structure.
 - c. Architectural screens or other devices into facade openings that are integral to the building design through the use of:
 - i. Screens with decorative patterns, railings and details to provide visual interest; and
 - ii. Screens made from durable materials.
 - d. Screening or other devices which minimize the glare from headlights and parked cars.
 - e. Incorporate landscape screening consisting of hedges, berms, trees or a fence or wall in combination with plant material, four (4) feet in height, and of sufficient year-round opacity. Openings in the required landscape screening shall be permitted for such features as access ways or drainage ways. Note that landscape screening will not be required where uses other than parking are included at the street level of a facade containing structured parking.

SECTION 4.3 PRESERVATION OF REMAINING BUILDINGS AND REMAINING OPEN SPACES

4.3.1 INTENT

- A. Maintain and preserve exterior design features and architectural elements of the Administration Building, Chapel, Priest's House and Pancratia Hall prior to designation as an Historic Structure.
- B. Maintain and preserve exterior design features and architectural elements of Machebeuf Hall and May Bonfils Stanton Theater & Library, while facilitating their rehabilitation and adaptive reuse.
 - 1. Machebeuf Hall - Preservation of the architecture and architectural features of this building are of the highest priority of the Mid-Century buildings. Alterations including partial demolition, additions, and any related new construction will be reviewed with greater sensitivity than the Theater & Library to ensure compatibility with building integrity and Key Features to Preserve/Retain.
 - 2. May Bonfils Stanton Theater & Library - The theater and library buildings are a pair and shall not be physically separated. They are considered to be of a lesser priority than Machebeuf Hall and have greater flexibility with potential alterations including partial demolition, additions, and any related new construction.
- C. Maintain and preserve the historic character and views of the Quadrangle, Theater & Library Courtyard, and Great Lawn Remaining Open Spaces while supporting compatible alterations and new construction to better engage and support surrounding redevelopment. See Figure 1.2.

4.3.2 APPLICABILITY

- A. This Section 4.3 applies to:
 - 1. Alteration-of and additions-to all Remaining Buildings and Remaining Open Spaces that are not designated as an "Historic Structure" as defined in Denver Zoning Code Division 13.3.
 - 2. The location and compatibility of new Structures with regard to a Remaining Building or Remaining Open Spaces, and the location of all new Temporary Structures within a Remaining Open Space.
- B. All Site Development Plans submitted under this PUD-G 24, and all zoning or building permit applications related to exterior alteration of a Remaining Building or a Remaining Open Space in this PUD-G 24, shall be referred to Community Planning and Development Landmark Preservation Division Staff, which shall review and approve, or deny for compliance with the Standards included in this Section 4.3 of this PUD-G 24 Preservation of Remaining Buildings and Remaining Open Spaces.

4.3.3 HISTORICAL BACKGROUND

The Loretto Heights campus is one of the earliest developed sites in southwest Denver, representing more than 125 years of educational history and campus development. In 1888, the Sisters of Loretto purchased the property for the site of a new Catholic boarding school for elementary and high school girls. The property would remain in educational use until it closed its doors in 2018, with the Sisters of Loretto departing in 1988.

The campus is endowed with historic buildings and landscape designs commissioned by the Sisters of Loretto from 1891 to 1988. The buildings represent a variety of architectural styles ranging from 19th-Century Richardsonian Romanesque to Mid-Century Modernism, designed by several prominent local architects including Frank E. Edbrooke, Harry Edbrooke, John Monroe and Musick & Musick. The buildings were intentionally placed on a hilltop with commanding views of the Rocky Mountains and downtown Denver. The Administration Building served as the iconic entry point to the campus. Two mid-Century era master plans, one designed by landscape architect S.R. DeBoer and one by architects Musick & Musick, included the development of a Quadrangle that tied together the original building phases with the mid-Century building phases, creating a campus core.

The key features to preserve/retain as indicated in Section 4.3.4 provide a clear picture of the original design intent that can be used to guide the rehabilitation and adaptive reuse of the Remaining Buildings and Remaining Open Spaces to ensure compatibility with historic character. The campus core illustrates an evolution and variation of architectural styles and materials that collectively are a character-defining feature of the campus landscape.

More detailed historical and architectural information on the Remaining Buildings and Remaining Open Spaces can be found in the 2019 *Loretto Heights Academy and College, 1891-1988, Inventory of Historic Resources and Survey Report* completed by Square Moon Consultants LLC,.

4.3.4 DEMOLITION OF REMAINING BUILDINGS

- A. Demolition, as defined in DRMC Section 30-2, is prohibited of the following Remaining Buildings: Administration Building, Chapel, Priest's House and Pancratia Hall.
- B. Voluntary Demolition, as defined in Denver Zoning Code Article 13, is prohibited of the following Remaining Buildings: Machebeuf Hall and May Bonfils Stanton Theater & Library.
- C. Alterations allowed by Section 4.3.6., Preservation and Exterior Alteration of Key Features and Building Facades for each Remaining Building and Remaining Open Space, whether taken individually or cumulatively over any period of time, shall not result in the Demolition or Voluntary Demolition of, or cause damage or alterations to, Remaining Buildings.

4.3.5 PRESERVATION AND EXTERIOR ALTERATION OF REMAINING BUILDINGS AND REMAINING OPEN SPACES - GENERAL STANDARDS AND LIMITATIONS





The following standards shall apply to the Remaining Buildings and Remaining Open Spaces:

- A. Existing exterior design features and elements that fall within the period of significance of the site (1891-1970) shall be preserved and maintained including, but not limited to, the Key Features to Preserve/Retain noted in Section 4.3.6 of this PUD-G 24.
- B. Removal of materials, additions, enclosures or features are allowed provided that they (i) fall outside of the period of significance or (ii) are otherwise permitted in this PUD-G 24.

- C. All exterior alterations, additions, and related new construction to Remaining Buildings and Remaining Open Spaces shall comply with the (a) Secretary of Interior's Standards for Rehabilitation, 36 CFR 67, as amended from time to time, and (b) Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings, as amended from time to time, with exceptions identified in Figure 4.2 and permitted by Section 4.3.6 of this PUD-G 24.
- D. Additions and new construction replacing or extending the existing footprint of a Remaining Building are allowed provided they are compatible with the mass, scale, form, materials and Key Features to Preserve/Retain of the Remaining Buildings and conform to the requirements of this PUD-G 24.
- E. New construction replacing a portion of the existing footprint of a Remaining Building shall not exceed the heights and setbacks as illustrated in Figure 4.2 for the following Remaining Buildings: Machebeuf Hall and May Bonfils Stanton Theater & Library.
- F. Any new construction within this PUD-G 24 shall be compatible with the location, mass, scale, form, setback and Key Features to Preserve/Retain of the Remaining Buildings and Remaining Open Spaces through sensitivity of design that respects the historic character.

4.3.6 PRESERVATION AND EXTERIOR ALTERATION OF REMAINING BUILDINGS AND REMAINING OPEN SPACES - KEY FEATURES AND BUILDING ELEVATIONS

The table below records Key Features to Preserve/Retain and sets forth standards for the preservation and permitted alteration of each Remaining Building and Remaining Open Space. For Machebeuf Hall, the May Bonfils Stanton Theater & Library, and the Remaining Open Spaces, the table also provides exceptions to the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. See Figure 4.2 Building Elevations and Potential Addition Locations for Machebeuf Hall and the May Bonfils Stanton Theater & Library for additional information.

ADMINISTRATION BUILDING	Key Features to Preserve/Retain	Preservation and Alteration
	<ul style="list-style-type: none"> • Symmetrical H-plan with central tower and ceremonial staircase • Steeply pitched roof and hip dormers • Rusticated red sandstone walls and details • Richardsonian Style details at windows, parapeted gables, corners, edges, chimneys, and tower buttresses • Windows in multiple sets, pairs and singular with transoms and deeply set in masonry wall • Palladian configuration over main entry with statue 	<p>Prior to designation as an Historic Structure, any exterior alterations, additions or related new construction to any building elevations shall comply with: (a) The Secretary of the Interior's Standards for Rehabilitation, 36 CFR Part 67, as amended from time to time and (b) The Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings, as amended from time to time.</p>
CHAPEL	Key Features to Preserve/Retain	Preservation and Alteration
	<ul style="list-style-type: none"> • Gable ends with stone crosses • Rusticated red sandstone walls and details including capped pilasters • Ceremonial staircase • Richardsonian Style details at windows, entries, gables, corners and edges • Leaded and art-glass windows on all elevations, including large rose window on primary facade, deeply set in masonry wall • Hipped dormers • Stone-clad hyphen with large, art-glass windows connecting Administration Building and Chapel 	<p>Prior to designation as an Historic Structure, any exterior alterations, additions or related new construction to any building elevations shall comply with: (a) The Secretary of the Interior's Standards for Rehabilitation, 36 CFR Part 67, as amended from time to time and (b) The Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings, as amended from time to time.</p>
PRIEST'S HOUSE	Key Features to Preserve/Retain	Preservation and Alteration
	<ul style="list-style-type: none"> • Craftsman Style details like wide eave overhang with exposed, rounded rafter ends • Low-pitched hipped roof and dormer • Wraparound porch with wood railing, square columns and rounded brackets • Red brick walls • Brick chimneys • Single windows with brick sills 	<p>Prior to designation as an Historic Structure, any exterior alterations, additions or related new construction to any building elevations shall comply with: (a) The Secretary of the Interior's Standards for Rehabilitation, 36 CFR Part 67, as amended from time to time and (b) The Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings, as amended from time to time.</p>
PANCRATIA HALL	Key Features to Preserve/Retain	Preservation and Alteration
	<ul style="list-style-type: none"> • Collegiate Gothic Style H-plan • Parapeted gable roofs and 5-bay, flat roof pavilion at center • Dormers in steeply pitched roof • Red brick masonry in common bond with Flemish headers • Pointed-arch entrances with terra-cotta surrounds, window headers and decorative panels • Triple, paired and single windows with multiple lights, some with art glass, all set in masonry wall 	<p>Prior to designation as an Historic Structure, any exterior alterations, additions or related new construction to any building elevations shall comply with: (a) The Secretary of the Interior's Standards for Rehabilitation, 36 CFR Part 67, as amended from time to time and (b) The Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings, as amended from time to time.</p>

MACHEBEUF HALL



Key Features to Preserve/Retain

- Horizontality
- Flat roofs
- Projected overhangs
- Columns on front and rear elevations
- Large windows and window bands with mountain views to and from building
- Glass paneled doors
- Metal railings with cross detailing
- Open, square shaped details in brick
- Red brick and horizontal banding

Preservation and Alteration

- Partial demolition and alterations that allow for compatible additions and new construction are permitted on the elevations indicated in Figure 4.2.
- Any addition(s) or new construction shall be setback from any elevation illustrated in Figure 4.2.
- The allowable height of any addition(s) or new construction is indicated in Figure 4.2 and shall not exceed five-stories as measured from the Primary Structure base plane points.
- Any addition to the blank south facing elevation shall be designed to be subordinate to the existing building.
- Any addition(s) or new construction shall be compatible with the original building design as described in Section 4.3.3(D) and maintain the same floor to floor heights.

MAY BONFILS STANTON THEATER & LIBRARY



Key Features to Preserve/Retain

- Glass arcade joining buildings with mountain view
- Curved elevations
- Horizontal window stretches and glazing patterns
- Flat roofs
- Columns
- Horizontality (especially Library)
- Large paneled wall of Theater facade
- Reddish brown brick and concrete contrast

Preservation and Alteration

- Partial demolition and alterations that allow for compatible additions and new construction are permitted on the elevations as indicated in Figure 4.2.
- Any additions or new construction shall be set back from any elevation illustrated in Figure 4.2.
- The allowable heights of any addition(s) or new construction is indicated in Figure 4.2 and shall not exceed five-stories for the Library as measured from its south elevation Primary Structure base plane point and eight-stories for the Theater as measured from its Primary Structure base plane point.
- Any addition(s) or new construction to the rear of the connecting glass arcade and located between the Theater & Library buildings shall not exceed the height of the original glass arcade.
- Any addition(s) or new construction shall maintain the rhythm of the Theatre and Library buildings, and maintain the floor to floor heights and structural grid of the Library.
- Any addition(s) or new construction shall be compatible with the original building design as described in Section 4.3.3(D).
- No alteration(s) or new construction shall inhibit any views seen from the Courtyard Open Space through the connecting glass arcade to the west.

QUADRANGLE OPEN SPACE	Key Features to Preserve/ Retain	Preservation and Alteration
	<ul style="list-style-type: none"> • Open space/green space with tree canopy • Predominance of green space to hardscape features • Buildings and their placement surrounding Quadrangle perimeter 	<ul style="list-style-type: none"> • No permanent enclosed or habitable structure with a foundation shall be constructed within the Quadrangle Remaining Open Space. • New landscaping and flatwork/hardscape elements shall be compatible with the key features to preserve/retain.
GREAT LAWN OPEN SPACE	Key Features to Preserve/ Retain	Preservation and Alteration
	<ul style="list-style-type: none"> • Open space/green space with tree canopy • Uninterrupted expanse of lawn • Administration Building as focal point 	<ul style="list-style-type: none"> • No permanent enclosed or habitable structure with a foundation shall be constructed within the Great Lawn Remaining Open Space. • New landscaping and flatwork/hardscape elements shall be compatible with the key features to preserve/retain.
COURTYARD OPEN SPACE	Key Features to Preserve/ Retain	Preservation and Alteration
	<ul style="list-style-type: none"> • Open space/green space • Placement of Theater & Library in relation to Courtyard space • Sculpture 	<ul style="list-style-type: none"> • No permanent enclosed or habitable structure with a foundation shall be constructed within the Courtyard Remaining Open Space. • New landscaping and flatwork/hardscape elements shall be compatible with the key features to preserve/retain.

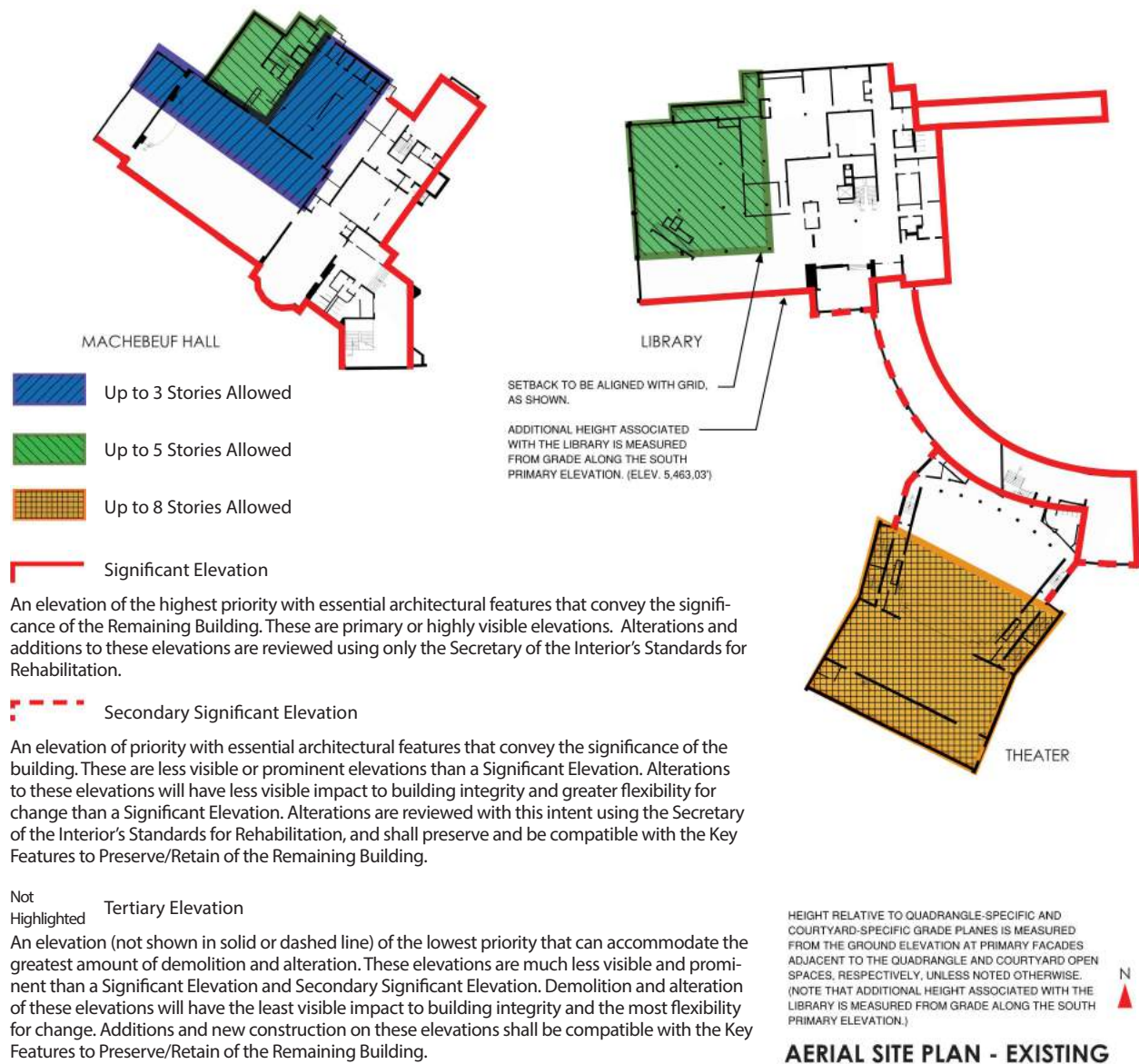


Figure 4.2 Building Elevations and Potential Addition Locations for Machebeuf Hall and the May Bonfils Stanton Theater & Library

CHAPTER 5. USES AND REQUIRED MINIMUM PARKING

SECTION 5.1 INTENT

- 5.1.1 Promote a mix of uses to support an active pedestrian-oriented campus environment
- 5.1.2 Allow flexibility in the provision of vehicle parking to support adaptive reuse of the Remaining Buildings
- 5.1.3 Promote sharing of parking between uses within the campus core.
- 5.1.4 Support flexible development phasing, including off-street parking provided in a potential future parking structure.
- 5.1.5 Acknowledge significant on-street vehicle parking resources to be provided on Public Streets within or adjacent-to PUD-G 24

SECTION 5.2 APPLICABILITY

This Chapter 5 applies to all new construction and additions within PUD-G 24;

5.2.1 Sets forth use allowances and bicycle parking requirements that are additional to those provided in Denver Zoning Code Section 9.2.8, Uses and Required Minimum Parking; and

5.2.2 Sets forth a system of minimum vehicle parking requirements to replace the minimum vehicle parking requirements provided in Denver Zoning Code Section 9.2.8, Uses and Required Minimum Parking.

SECTION 5.3 PERMITTED USES AND REQUIRED BICYCLE PARKING

Primary, accessory and temporary uses permitted in PUD-G 24 and associated minimum bicycle parking shall be those same uses permitted in the CMP-EI2 zone district, as stated in Denver Zoning Code, Section 9.2.8, Uses and Required Minimum Parking, as amended from time to time, with the following exceptions:

KEY: * = Need Not be Enclosed P = Permitted Use without Limitations L = Permitted Use with Limitations NP = Not Permitted Use ZP = Zoning Permit Review

USE CATEGORY	SPECIFIC USE TYPE •Bicycle Parking Requirement -# of spaces per unit of measurement (% required spaces in indoor facility/% required spaces in fixed facility)	PUD-G 24	APPLICABLE USE LIMITATIONS
RESIDENTIAL PRIMARY USE CLASSIFICATION			
Household Living	Dwelling, Multi-Unit •Vehicle Parking: See Section 5.4 of this PUD-G 24 •Bicycle Parking: 1/ 2 units (80/20)	L-ZP	See Section 6.4.1 of this PUD
	Dwelling, Live / Work •Vehicle Parking: See Section 5.4 of this PUD-G 24 •Bicycle Parking: 1/2 units (80/20)	P-ZP	
CIVIC, PUBLIC & INSTITUTIONAL PRIMARY USE CLASSIFICATION			
Community/ Public Services	Community Center* •Vehicle Parking: See Section 5.4 of this PUD-G 24 •Bicycle Parking: 1/10,00 s.f. GFA (0/100)	L-ZP	See Section 6.4.1 of this PUD
COMMERCIAL SALES, SERVICES AND REPAIR PRIMARY USE CLASSIFICATION			
Arts, Recreation & Entertainment	Arts, Recreation and Entertainment Services, Outdoor* •Vehicle Parking: See Section 5.4 of this PUD-G 24 •Bicycle Parking: 1/7,500 s.f. GFA (20/80)	L-ZP	See Section 6.4.1 of this PUD
Lodging Accommodations	Lodging Accommodations, All Others •Vehicle Parking: See Section 5.4 of this PUD-G 24 •Bicycle Parking: 1/7,500 s.f. GFA (60/40)	P-ZP	
Retail Sales, Service & Repair (Not Including Vehicle or Equipment Sales, Service & Repair)	Food Sales or Market* •Vehicle Parking: See Section 5.4 of this PUD-G 24 •Bicycle Parking: 1/7,500 s.f. GFA (20/80)	P-ZP	
	Retail Sales, Service & Repair, All Others •Vehicle Parking: See Section 5.4 of this PUD-G 24 •Bicycle Parking: 1/7,500 s.f. GFA (20/80)	P-ZP	
TEMPORARY USE CLASSIFICATION			
Temporary Uses (Parking is Not Required for Temporary Uses)	Retail Food Establishment, Mobile*	L-ZP	See Section 6.4.1 of this PUD

SECTION 5.4 REQUIRED MINIMUM VEHICLE PARKING

In lieu of the minimum vehicle parking requirements set forth in Denver Zoning Code Section 9.2.8, Uses and Required Minimum Parking, the minimum vehicular parking standards set forth in this PUD-G 24 Section 5.4 shall apply.

5.4.1 VEHICLE PARKING FOR REMAINING BUILDINGS

A. Intent

To provide flexibility for re-use of the Remaining Buildings on the Loretto Heights Campus.

B. Applicability

This Section 5.4.1 applies to all Remaining Buildings

C. Vehicle Parking Requirements for All Uses

There shall be no minimum vehicle parking requirement for one or more primary or accessory uses located within the recorded Gross Floor Area of the Remaining Buildings identified in Section 1.1.2 of this PUD-G 24.

5.4.2 VEHICLE PARKING FOR USES ESTABLISHED IN NEW CONSTRUCTION AND ADDITIONS TO REMAINING BUILDINGS

A. Intent

To ensure provision of sufficient off-street vehicle parking to support uses contained within new construction and additions to Remaining Buildings on the Loretto Heights Campus.

B. Applicability

This Section 5.4.2. shall apply to the establishment of one or more primary or accessory uses in new construction or an addition/alteration of a Remaining Building, where the use occupies new Gross Floor Area not included within the recorded Gross Floor Area of the Remaining Building as identified in Section 1.1.2 of PUD-G 24.

C. Vehicle Parking Requirements for Uses in the Residential Primary Use Classification**1. Household Living Uses, All Types**

0.75 off-street vehicle parking spaces shall be provided for each unit.

2. Residential Care Uses, All Types

0.5 off-street vehicle parking spaces shall be provided for each unit.

3. Congregate Care Uses, All Types

1 off-street vehicle parking space shall be provided for each 1,000 s.f. Gross Floor Area.

D. Vehicle Parking for Uses Not in the Residential Primary Use Classification**1. Community Center**

No minimum vehicle parking.

2. Open Space, Conservation

No minimum vehicle parking.

3. Lodging Accommodations, All Others

0.25 off-street vehicle parking spaces shall be provided for each guest room or unit.

4. Temporary Uses

No minimum vehicle parking.

5. Vehicle Parking Requirements for All Other Uses Not in the Residential Primary Use Classification

2.5 off-street vehicle parking spaces shall be provided for each 1,000 s.f. Gross Floor Area.

E. Vehicle Parking for Uses Accessory to Primary Residential or Nonresidential Uses

There shall be no minimum vehicle parking requirement for uses accessory to a primary residential use or for uses accessory to a primary nonresidential use.

5.4.3 LOCATION AND SHARING OF REQUIRED OFF-STREET PARKING

A. Intent

To reduce the amount of surface parking by allowing the use of shared parking to meet the minimum/maximum vehicle parking requirements for mixed use developments, or for multiple uses that are located near one another, and which have different peak parking demands and/or operating hours.

B. Applicability

This Section 5.4.3 applies to all off-street parking provided to meet the requirements set forth in Section 5.4.2 of PUD-G 24.

C. Allowed Location of Required Off-Street Parking

1. Required off-street parking spaces may be provided on any Zone Lot within PUD-G 24.
2. An applicant may share required vehicle parking among multiple primary uses within the area of this PUD-G 24 according to the provisions of Denver Zoning Code Section 10.4.5.4, Shared Vehicle Parking and need not reserve spaces for individual uses.

CHAPTER 6. ADDITIONAL STANDARDS

Whenever an article division or section of the Denver Zoning Code is referred to in this PUD-G 24, that reference shall extend and apply to the section referred to as subsequently amended, recodified, or renumbered; provided, however, if a section of the Denver Zoning Code, as subsequently amended, recodified, or renumbered conflicts with a provision of this PUD-G 24, this PUD-G 24 shall control.

SECTION 6.1 ARTICLE 1 OF THE DENVER ZONING CODE**6.1.1 APPLICABILITY**

Development in this PUD-G 24 shall conform to Denver Zoning Code Article 1, General Provisions, as amended from time to time, with the following exceptions, additions, and modifications:

A. Public Street Frontage Required for Zone Lots Containing Only Publicly Accessible Open Space as Designated in the Loretto Heights Infrastructure Master Plan

Each Zone Lot containing only Publicly Accessible Open Space as designated in the Loretto Heights Infrastructure Master Plan as Required Open Space or Bonus Open Space shall have at least one Zone Lot line abutting one of the following street types for a minimum and continuous Zone Lot line width of 20 feet:

1. A dedicated named or numbered Public Street; or
2. A privately developed, owned, or maintained portion of "Road A" as designated on the Loretto Heights Infrastructure Master Plan.

B. Public Street or Open Space Frontage Required for Zone Lots Containing Primary Residential or Primary Commercial Sales, Service and Repair Uses

Each Zone Lot containing Primary Residential or Primary Commercial Sales, Service and Repair Uses shall have at least one Zone Lot line abutting:

1. A dedicated named or numbered Public Street; or
2. A privately developed, owned, or maintained portion of "Road A" as designated on the Loretto Heights Infrastructure Master Plan; or
3. A Zone Lot composed of Publicly Accessible Open Space designated within the Loretto Heights Infrastructure Master Plan as Required Open Space or Bonus Open Space.

SECTION 6.2 ARTICLE 9 OF THE DENVER ZONING CODE**6.2.1 APPLICABILITY**

Development in this PUD-G 24 shall conform to Denver Zoning Code Article 9, Special Districts, as amended from time to time, with the following exception:

A. Amendments to Approved PUD District Plans

This PUD District Plan may be amended by subarea, platted lots, or metes and bounds parcels, as allowed in Denver Zoning Code, Section 9.6.1.4, Amendments to Approved PUD District Plans.

SECTION 6.3 ARTICLE 10 OF THE DENVER ZONING CODE

6.3.1 APPLICABILITY

Development in this PUD-G 24 shall conform to Denver Zoning Code Article 10, General Design Standards, as specifically applicable to the CMP-EI2 Zone District and as amended from time to time with the following modification:

A. Perimeter Surface Parking Lot Landscaping Standards Abutting Street Right-of-Way

1. In this PUD-G 24, the Standards set forth in Denver Zoning Code Section 10.5.4.4.B, Perimeter Surface Parking Lot Landscaping Standards Abutting Street Right-of-Way, as applied to the Downtown Neighborhood Context D-AS-12+, D-AS-20+, D-CPV-T, DCPV-R, and D-CPV-C Districts shall apply.
2. The Zoning Administrator may approve an alternative to the required Garden Wall that uses additional landscaping, historic salvage materials, or other means or materials to provide an active sidewalk edge.

SECTION 6.4 ARTICLE 11 OF THE DENVER ZONING CODE

6.4.1 APPLICABILITY

Development in this PUD-G 24 shall conform to Article 11, Use Limitations and Definitions, as specifically applicable to the CMP-EI2 Zone District, as amended from time to time with the following modifications:

A. Community Center

In this PUD-G 24, the limitations applied to a Community Center use shall be those set forth in Denver Zoning Code Section 11.3.3 Community Center as applied to the CMP-EI2 zone district, except that:

1. An unenclosed Community Center use need not be operated and controlled in a manner that prevents unauthorized use.
2. Outdoor lighting for pedestrian safety purposes may operate at any hour.

B. Retail Food Establishments, Mobile

In this PUD-G 24, mobile retail food establishments are permitted subject to compliance only with the following limitations:

1. There shall be no limit on the number of mobile retail food establishments permitted on a Zone Lot.
2. The minimum separation between mobile retail food establishments shall be 25 feet, whether located inside a Completely Enclosed Structure, or operated outdoors.
3. Hour of operation shall be 6am to 12am.
4. Temporary structures, canopies, and outdoor tables and chairs shall be permitted as accessory to the mobile retail food establishment and must be removed or otherwise secured from active use outside of hours of operation.
5. The noise level of mechanical equipment or outside sound equipment used in association with a mobile retail food establishment may not exceed 70 decibels when measured at the closest zone lot line located either across the street from or abutting a residential use.
6. Lighting sources and fixtures attached to the Mobile Retail Food Establishment must be hooded or shielded so that the light source is not directly visible from any residential use.

SECTION 6.5 ARTICLE 12 OF THE DENVER ZONING CODE

6.5.1 APPLICABILITY

Development in this PUD-G 24 shall conform to Denver Zoning Code Article 12, Zoning Procedures and Enforcement, as amended from time to time.

SECTION 6.6 ARTICLE 13 OF THE DENVER ZONING CODE

6.6.1 APPLICABILITY

Development in this PUD-G 24 shall comply with Denver Zoning Code, Article 13, Rules of Measurement and Definitions, as amended from time to time, with the following exceptions/modifications:

A. Building Specific Base Plane Height for PUD-G 24

1. Intent

To establish a consistent base for measuring new construction and additions to Remaining Buildings that front the Quadrangle or Courtyard and accommodate the substantial change in grade within Subarea A and Subarea B of PUD-G 24 for all new construction.

2. Applicability

This section 6.6.1.A shall apply to measurement of height for all Buildings in Subarea A and Subarea B of this PUD-G 24.

3. PUD-G 24 Building Specific Base Plane Rule of Measurement for Buildings Surrounding the Quadrangle

For additions and related new construction to Machebeuf Hall and new construction of buildings surrounding the Quadrangle, the PUD-G 24 Building Specific Base Plane shall be a horizontal plane established at the average elevation of the original grade of the Quadrangle, or 5,495 feet.

4. PUD-G 24 Building Specific Base Plane Rule of Measurement for Buildings Facing the Courtyard

a. Building Specific Base Plane for Library

For additions to the Library, the PUD-G 24 Building Specific Base Plane shall be a horizontal plane established at the average elevation of the original grade of the southern facade of the Library, or 5,463 feet, as shown in Figure 6.1.

b. Building Specific Base Plane for All Other Buildings Facing the Courtyard

For additions to the Theater and new construction of buildings where the primary facade of the structure abuts the Courtyard, the PUD-G 24 Building Specific Base Plane shall be a horizontal plane established at the average elevation of the original grade of the Courtyard, or 5,476 feet. For purposes of this standard, the term "Primary Facade" shall mean the Building Façade which faces either the Quadrangle or the Courtyard as defined in PUD-G 24 Section 1.1.2 and shown in Figure 6.1.

5. PUD-G 24 Building Specific Base Plane Rule of Measurement for Buildings Not Facing the Quadrangle or Courtyard

New construction where the primary facade of the Structure does not face the Quadrangle or Courtyard shall comply with Denver Zoning Code, Section 13.1.3 Height for All Other Zone Districts, as applicable to the Underlying Zone District for each PUD subarea.

B. Additional Height in Stories for Structures on Sloping Sites**1. Intent**

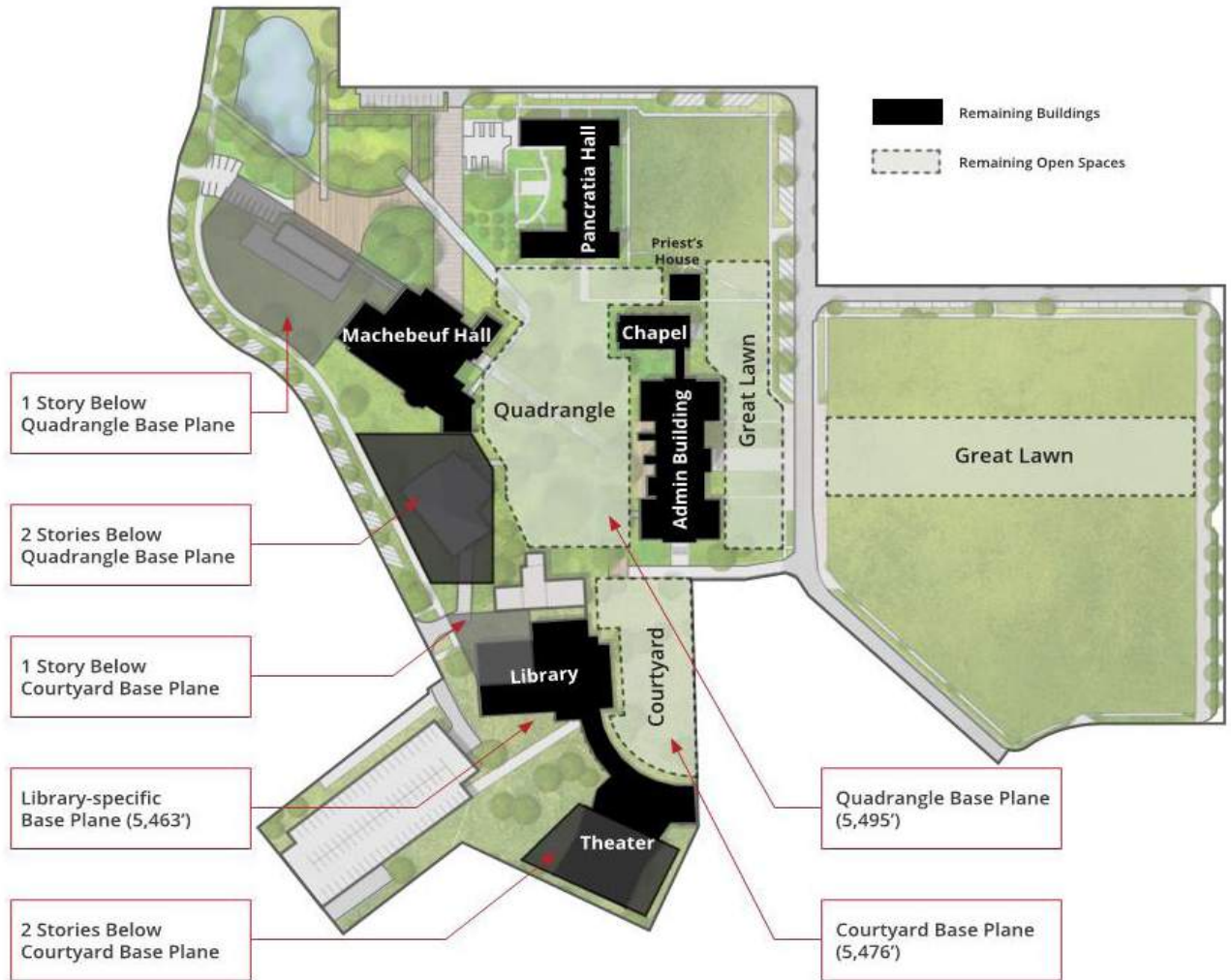
To accommodate above-grade Building Stories that become visible on the downhill side of sloping sites for new construction and additions to Remaining Buildings facing the Quadrangle or Courtyard Remaining Open Spaces.

2. Applicability

This section 6.6.1.B shall apply to the measurement of height in Stories for new construction and additions to Remaining Buildings located in the areas specifically indicated as allowing additional stories below the base plane on Figure 6.1.

3. Additional Height in Stories Rule of Measurement

- a. Where new construction, or an addition to a Remaining Building, is located within the areas shown in Figure 6.1, one or two Stories that are additional to the specified maximum number of Stories may be built below the PUD-G 24 Building Specific Base Plane.
 - i. In the One Story Below Plane area, one Story that is additional to the specified maximum number of stories may be built entirely below the PUD-G 24 Building Specific Base Plane
 - ii. In the Two Stories Below Plane area, two stories that are additional to the specified maximum number of stories may be built entirely below the PUD-G 24 Building Specific Base Plane.



THIS DIAGRAM IS NOT INTENDED TO INDICATE PERMITTED BUILDING LOCATIONS. THE LOCATION OF NEW CONSTRUCTION AND ADDITIONS TO REMAINING BUILDINGS WILL BE REVIEWED ACCORDING TO THE STANDARDS SET FORTH IN SECTION 4.3 OF THIS PUD-G 24.

Figure 6.1 Additional Height in Stories. Illustrative only.

C. Determination of Primary Street Zone Lot Line, Side Street Zone Lot Line, Side Interior Zone Lot Line, and Rear Zone Lot Line

Within all subareas of this PUD-G 24, Zone Lot Lines shall be determined using the criteria set forth in Denver Zoning Code Section 13.1.5.4 Determination of Primary Street, Side Street, Side Interior, and Rear Zone Lot Lines for all CC, MX, and MS Zone Districts with the following exceptions, additions and modifications:

1. Determination of Primary Street Zone Lot Line

- a. On a Corner Zone Lot that abuts a Remaining Open Space defined in this PUD-G 24, the Primary Street Zone Lot Line shall be the Zone Lot line abutting the Remaining Open Space.
- b. On in Interior Zone Lot that abuts the Great Lawn Remaining Open Spaced defined in this PUD-G 24, the Primary Street Zone Lot Line shall be the Zone Lot line abutting the Great Lawn Remaining Open Space.
- c. On all other Interior or Corner Zone Lots, the Primary Street Zone Lot Line shall be a Zone Lot line abutting:
 - i. A dedicated named or numbered Public Street; or
 - ii. A privately developed, owned, or maintained portion of "Road A" as designated on the Loretto Heights Infrastructure Master Plan; or
 - iii. A Zone Lot containing only Publicly Accessible Open Space that is designated as either Required Open Space or Bonus Open Space within the Loretto Heights Infrastructure Master Plan per the provisions of Section 6.1.1.A of this PUD-G 24. The portion of the Zone Lot containing Required Open Space or Bonus Open Space abutting the Primary Street Zone Lot line shall include:
 - a) A minimum width of 20 feet as measured perpendicular to the Primary Street Zone Lot line; and
 - b) A sidewalk constructed within the minimum Zone Lot width specified in Section 6.6.1.C.1.c.iii.a above, with a minimum width of 6 feet that provides access to a Public Street, or a privately developed, owned, or maintained portion of "Road A" as designated on the Loretto Heights Infrastructure Master Plan.

2. Determination of Side Street Zone Lot Line on a Corner Zone Lot

On a Corner Zone Lot, the Zoning Administrator may designate one or more of the Zone Lot lines meeting the conditions for determination as a Primary Street Zone Lot line per Section 6.7.1.C.1 of this PUD-G 24 as a Side Street Zone Lot line according to the criteria set forth in Denver Zoning Code Section 13.1.5.2.A.3., Criteria for Zoning Administrator Determinations.

D. Definition of Words, Terms and Phrases

1. Protected District Status

This PUD-G 24 will not be considered a Protected District as defined in Denver Zoning Code Division 13.3 Definition of Words, Terms and Phrases.

2. Road A

For the purpose of this PUD-G 24, Road A shall be considered the street running west from Federal Blvd. on the north of this PUD-G 24, thence primarily south along the boundary between this PUD-G 24 and PUD-G 25 as designated in the Loretto Heights Infrastructure Master Plan. Portions of Road A may be privately developed, owned, or maintained Private Street.

3. Underlying Zone District

For the purpose of this PUD-G 24, the definition of Underlying Zone District shall include standard non-overlay zone districts that provide base building form and use requirements when used in combination with an Overlay Zone District or Planned Unit Development (PUD) Zone District.

4. Zone Lot, Corner

For the purpose of this PUD-G 24, the definition of Corner Zone Lot shall include Zone Lots situated at the intersection of a Public Street and Publicly Accessible Open Space that is designated as either Required Open Space or Bonus Open Space within the Loretto Heights Infrastructure Master Plan. See Figure 6.2.

CHAPTER 7. RULES OF INTERPRETATION

Subject to Chapter 8 of this PUD-G 24, whenever a section of the Denver Zoning Code is referred to in this PUD-G 24, that reference shall extend and apply to the section referred to as subsequently amended, recodified, or renumbered; provided, however, if a section of the Denver Zoning Code, as subsequently amended, recodified, or renumbered conflicts with a provision of this PUD-G 24, this PUD-G 24 shall control.

CHAPTER 8. VESTED RIGHTS

This PUD-G 24 shall be established in accordance with Denver Zoning Code Section 9.6.1.2.C, Vested Rights, and Denver Zoning Code Section 9.6.1.5, Vested Rights, and vested property rights shall be created 90 days after the effective date of the ordinance approving this PUD-G 24.

ATTACHMENTS/APPENDICES

- A. ALTA survey of the Remaining Buildings
- B. Photographs of Remaining Building Elevations

ALTA/NSPS LAND TITLE SURVEY

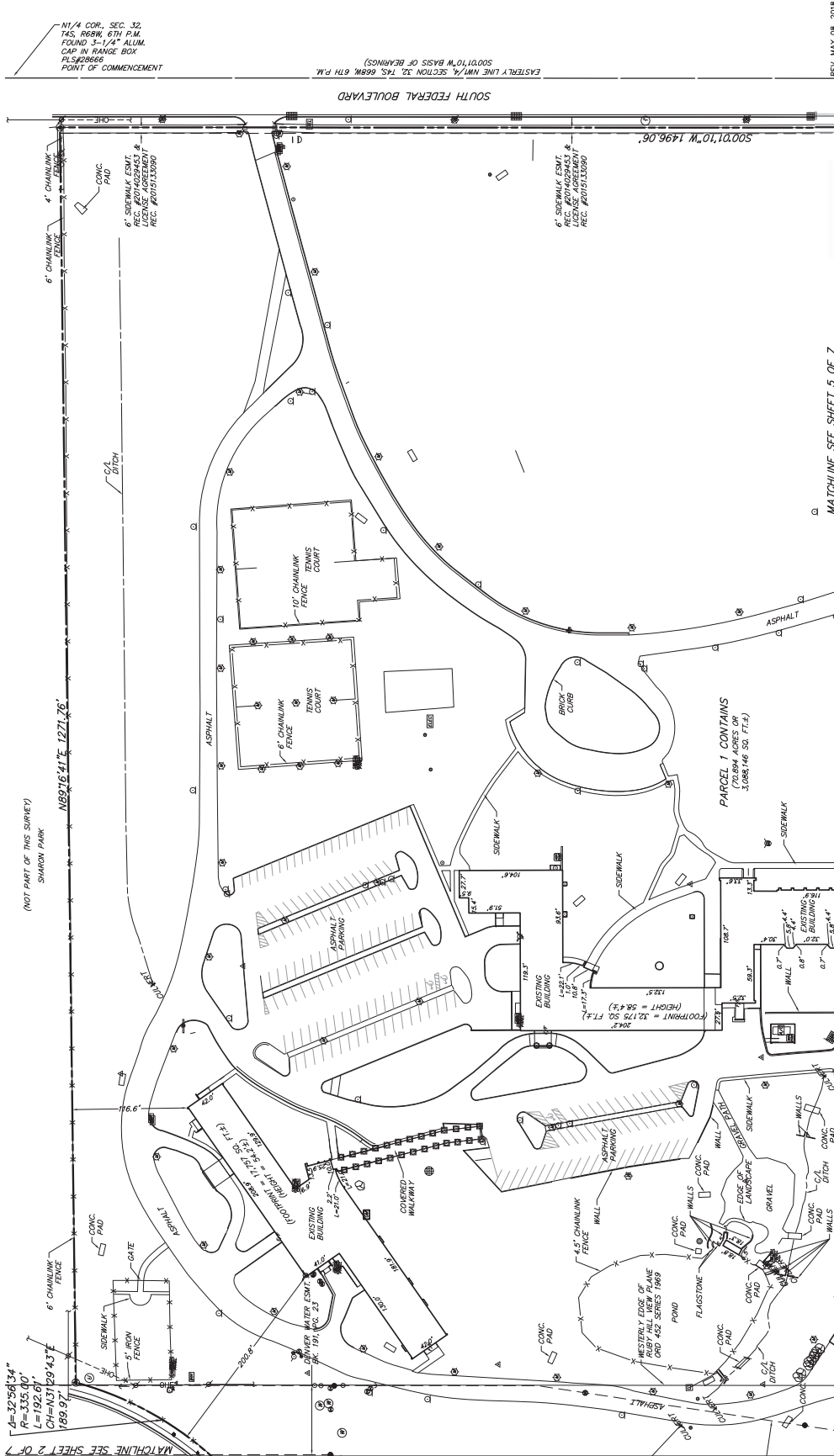
TEIKYO LORETTO HEIGHTS UNIVERSITY

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH,
RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY AND COUNTY OF DENVER,
STATE OF COLORADO

SHEET 3 OF 7

(NOT PART OF THIS SURVEY)
SHARON PARK

1889'16.41'E 1271'26"



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT
- CURB AND GUTTER
- CONTOUR
- SANITARY SEWER
- STORM SEWER
- ELECTRIC LINE
- OVERHEAD UTILITY LINE
- TELEPHONE CABLE
- FIBER OPTIC LINE
- GAS LINE
- CABLE TV
- UTILITY POLE-METAL
- SANITARY MANHOLE
- STORM MANHOLE
- WATER MANHOLE
- WATER VALVE
- FIRE STAND PIPE
- CLEAN OUT
- AREA INLET
- TELEPHONE BOX
- STORM BOX
- CABLE BOX
- IRRIGATION BOX
- GAS METER
- SIGN
- PROPERTY CORNER
- DECIDUOUS TREE
- CONCRETE
- BRICK/BSRUB
- CONC PLS #23899



MARTIN/MARTIN assumes no responsibility for utility locations. All utility lines shown are as shown on the ground. The contractor shall be responsible for verifying the location and depth of all utilities prior to the commencement of any construction.



ALTA/NSPS LAND TITLE SURVEY

TEIKYO LORETTO HEIGHTS UNIVERSITY

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH,
RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY AND COUNTY OF DENVER,
STATE OF COLORADO

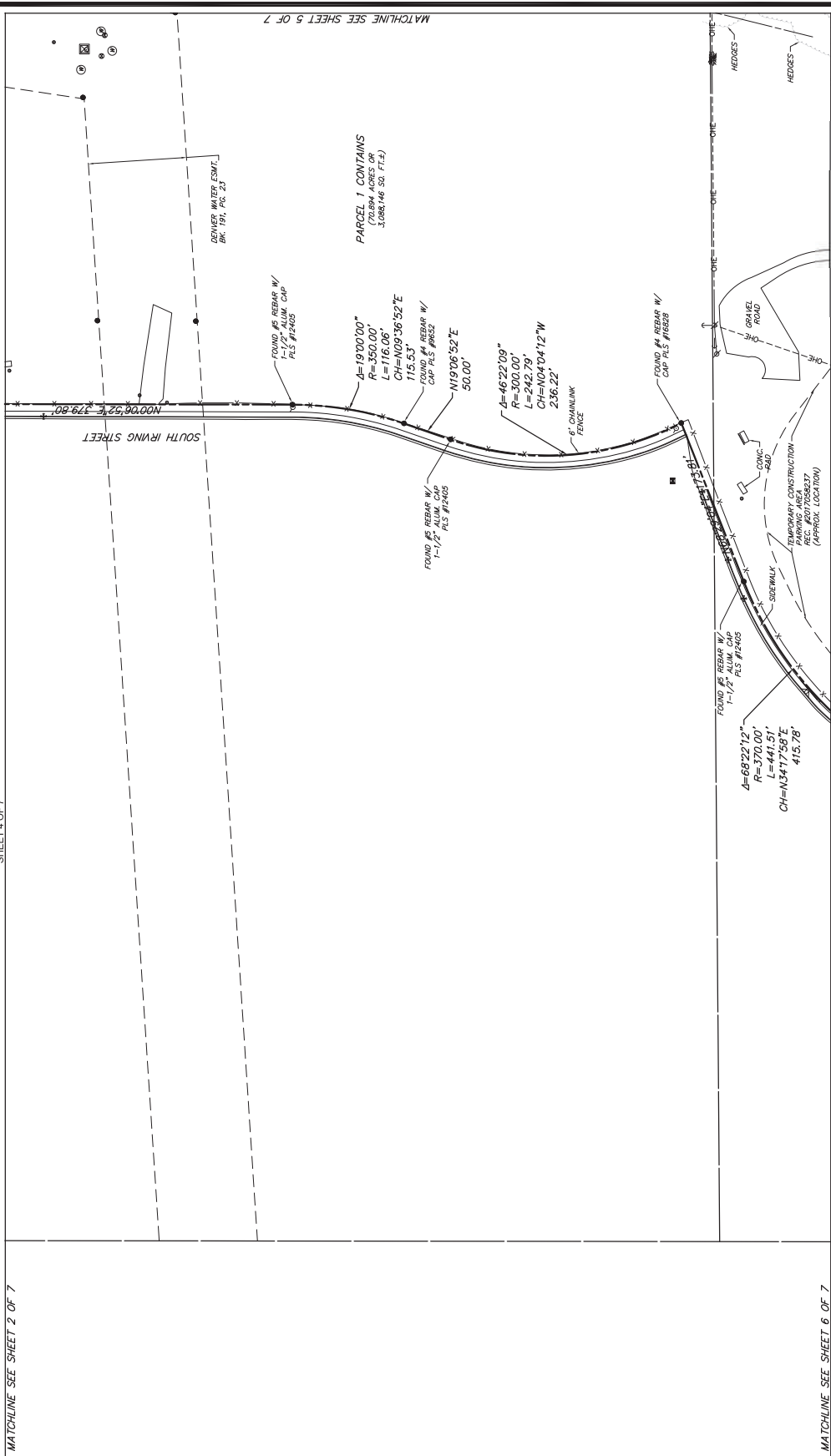
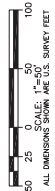
SHEET 14 OF 17

MATCHLINE SEE SHEET 2 OF 7

MATCHLINE SEE SHEET 5 OF 7

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT
- CURB AND GUTTER
- CONTOUR
- 5500'
- 57'
- 5'
- 6'
- OVERHEAD UTILITY LINE
- TELEPHONE CABLE
- FIBER OPTIC LINE
- GAS LINE
- CABLE TV
- UTILITY POLE-METAL
- UTILITY POLE
- SANITARY MANHOLE
- STORM MANHOLE
- WATER MANHOLE
- WATER VALVE
- WATER METER
- FIRE STAND PIPE
- CLEAN OUT
- CURB INLET
- AREA INLET
- TELEPHONE BOX
- REFUSE BOX
- CABLE BOX
- IRRIGATION BOX
- GAS METER
- SIGN
- PROPERTY CORNER
- DECIDUOUS TREE
- CONIFER TREE
- BUSH/SHRUB
- SET #4 REBAR W/ CAP PLS #23899



MATCHLINE SEE SHEET 6 OF 7

REV. MAY 08, 2018
MAY 07, 2015



MARTIN/MARTIN
SURVEYING & ENGINEERING
1000 WEST CHERRY AVENUE, SUITE 300
DENVER, COLORADO 80202
P.O. BOX 4300 DENVER, COLORADO 80202
WWW.MARTINMARTIN.COM

TEIKYO LORETTO HEIGHTS UNIVERSITY ALTA/NSPS SURVEY SHEET 14 OF 17

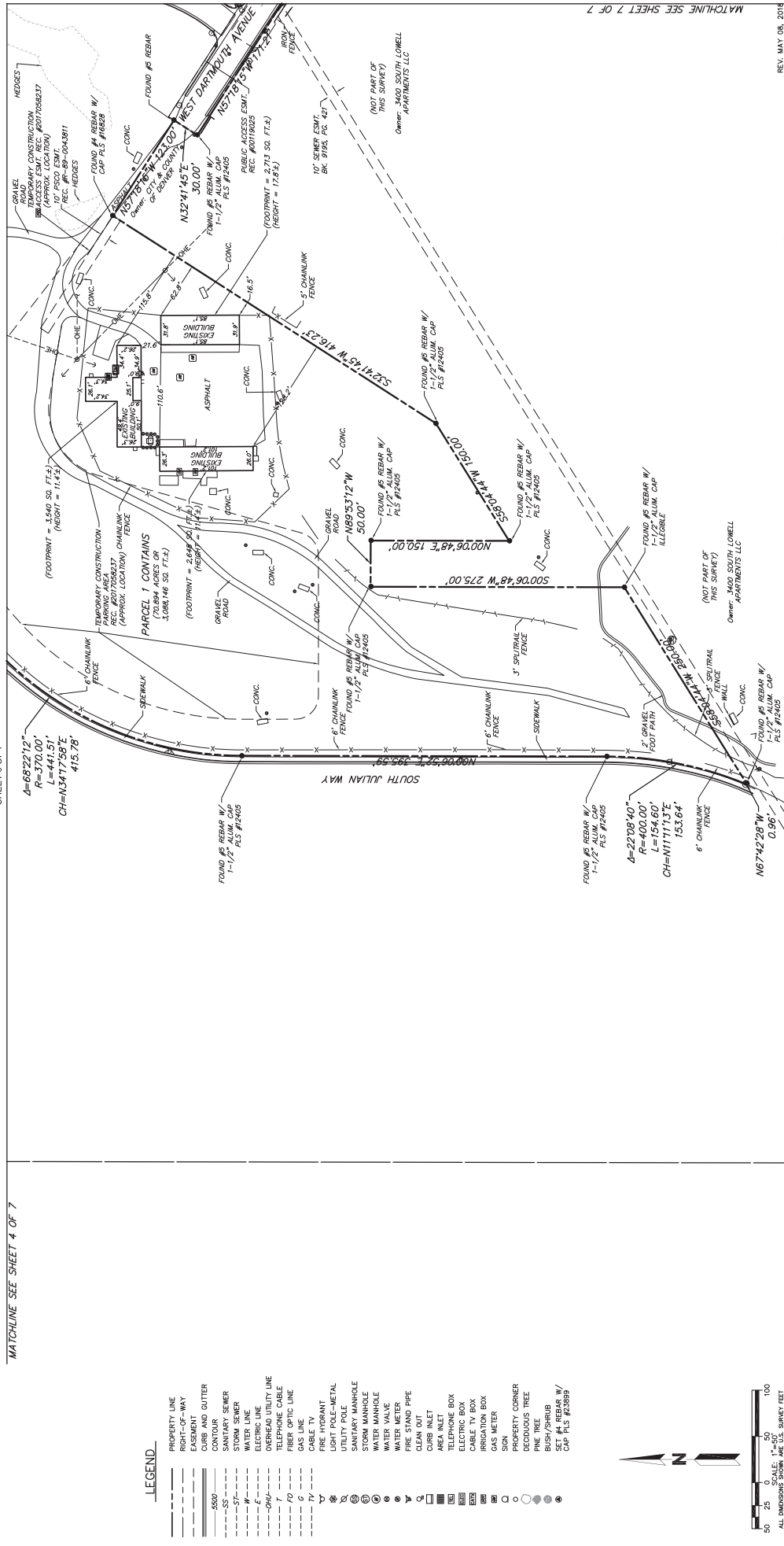
MARTIN/MARTIN assumes no responsibility for utility locations. The user of this drawing is advised to verify the location of all utilities before construction. It is the responsibility of the contractor to verify the location of all utilities before construction.

ALTA/NSPS LAND TITLE SURVEY

TEIKYO LORETTO HEIGHTS UNIVERSITY

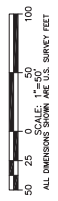
A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH,
RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY AND COUNTY OF DENVER,
STATE OF COLORADO

SHEET 6 OF 7



MATCHLINE SEE SHEET 4 OF 7

- LEGEND**
- PROPERTY LINE
 - RIGHT-OF-WAY
 - EASEMENT
 - CURB AND GUTTER
 - CONTOUR
 - SANITARY SEWER
 - STORM SEWER
 - WATER MAIN
 - ELECTRIC LINE
 - OVERHEAD UTILITY LINE
 - TELEPHONE CABLE
 - FIBER OPTIC LINE
 - GAS LINE
 - CABLE TV
 - CABLE TRAY
 - LIGHT POLE-METAL
 - UTILITY POLE
 - SANITARY MANHOLE
 - STORM MANHOLE
 - WATER MANHOLE
 - WATER VALVE
 - WATER METER
 - FIRE STAND PIPE
 - CLEAN OUT
 - CURB INLET
 - AREA INLET
 - TELEPHONE BOX
 - ELECTRIC BOX
 - CABLE BOX
 - IRRIGATION BOX
 - GAS METER
 - SIGN
 - PROPERTY CORNER
 - DECIDUOUS TREE
 - CONIFER TREE
 - SET #4 REBAR W/ CONCRETE
 - SET #4 REBAR W/ CONCRETE



MARTIN/MARTIN assumes no responsibility for utility locations. All utility locations shown are based on information provided by the contractor. The contractor is responsible for the accuracy of all utility locations. All dimensions shown are U.S. Survey Feet.

REV. MAY 09, 2018
MAY 07, 2015

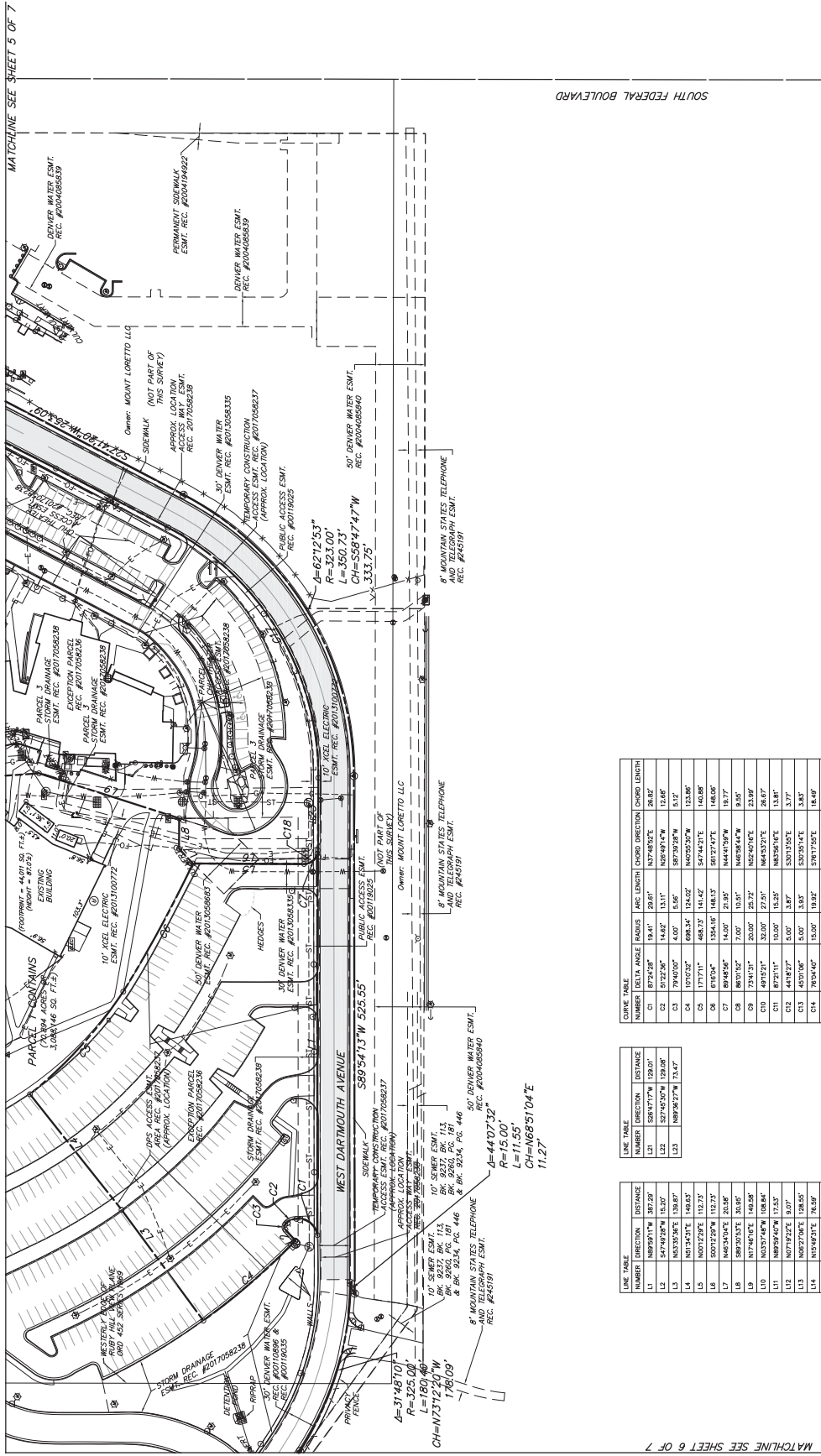
MARTIN/MARTIN
SURVEYORS & ENGINEERS
1400 SOUTH LONNELL AVENUE, SUITE 200
DENVER, COLORADO 80202
PHONE: 303.431.2100
FAX: 303.431.2101
WWW.MARTINMARTIN.COM

ALTA/NSPS LAND TITLE SURVEY

TEIKYO LORETTO HEIGHTS UNIVERSITY

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH,
RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY AND COUNTY OF DENVER,
STATE OF COLORADO

SHEET 7 OF 7



REV. MAY 08, 2018
MAY 07, 2015

TEIKYO LORETTO HEIGHTS UNIVERSITY ALTA/NSPS SURVEY SHEET 7 OF 7

- LEGEND**
- PROPERTY LINE
 - RIGHT-OF-WAY
 - EASEMENT
 - CURB AND GUTTER
 - CONTOUR
 - SANITARY SEWER
 - STORM SEWER
 - STORM SEWER
 - ELECTRIC LINE
 - OVERHEAD UTILITY LINE
 - TELEPHONE CABLE
 - FIBER OPTIC LINE
 - GAS LINE
 - CABLE TV
 - UTILITY POLE
 - UTILITY POLE-METAL
 - SANITARY MANHOLE
 - STORM MANHOLE
 - WATER MANHOLE
 - WATER VALVE
 - WATER VALVE
 - FIRE STAND PIPE
 - CLEAN OUT
 - CURB INLET
 - AREA INLET
 - TELEPHONE BOX
 - ELECTRIC BOX
 - CABLE BOX
 - IRRIGATION BOX
 - GAS METER
 - SIGN
 - PROPERTY CORNER
 - DECIDUOUS TREE
 - CONIFER TREE
 - BUSH/SHRUB
 - SET #4 REBAR W/ CAP PLS #23899

TURN TABLE

TURN NUMBER	BEARING	DELTA ANGLE	RADIUS	ARC LENGTH	CURVE DIRECTION	CHORD LENGTH
C1	S72°29'30"	19.41°	20.81'	N37°40'07"	26.30'	12.86'
C2	S72°30'00"	14.62°	13.11'	N69°49'47"	15.86'	12.86'
C3	S74°05'00"	4.00°	5.85'	S87°50'29"	123.86'	123.86'
C4	S74°05'00"	688.34'	174.02'	N47°52'50"	123.86'	123.86'
C5	S74°05'00"	4.00°	5.85'	S87°50'29"	123.86'	123.86'
C6	S74°05'00"	1354.16'	146.13'	S87°42'27"	140.86'	140.86'
C7	S74°05'00"	14.00°	21.25'	S87°42'27"	140.86'	140.86'
C8	S74°05'00"	7.00°	10.51'	N44°47'39"	19.37'	19.37'
C9	S74°05'00"	20.00°	25.37'	N45°38'44"	8.95'	8.95'
C10	S74°05'00"	32.00°	27.07'	N45°38'44"	23.89'	23.89'
C11	S74°05'00"	10.00°	15.25'	N45°38'44"	26.67'	26.67'
C12	S74°05'00"	3.87°	3.87'	N45°38'44"	13.81'	13.81'
C13	S74°05'00"	3.87°	3.87'	S20°25'14"	3.87'	3.87'
C14	S74°05'00"	15.00°	15.00'	S74°05'00"	18.49'	18.49'
C15	S74°05'00"	15.00°	15.00'	S74°05'00"	15.00'	15.00'
C16	S74°05'00"	15.00°	15.00'	S74°05'00"	50.54'	50.54'
C17	S74°05'00"	14.00°	21.25'	S87°42'27"	266.37'	266.37'
C18	S74°05'00"	14.00°	21.25'	S87°42'27"	17.08'	17.08'

LINE TABLE

LINE NUMBER	BEARING	DIRECTION	DISTANCE
L1	S89°54'13"	120.91'	120.91'
L2	S74°05'00"	120.91'	120.91'
L3	N89°54'13"	120.91'	120.91'

LINE TABLE

LINE NUMBER	BEARING	DIRECTION	DISTANCE
L1	S89°54'13"	120.91'	120.91'
L2	S74°05'00"	120.91'	120.91'
L3	N89°54'13"	120.91'	120.91'
L4	N01°15'31"	148.63'	148.63'
L5	S00°17'29"	112.73'	112.73'
L6	S00°17'29"	112.73'	112.73'
L7	N45°38'44"	20.54'	20.54'
L8	S87°42'27"	20.54'	20.54'
L9	N74°05'00"	148.58'	148.58'
L10	N45°38'44"	108.84'	108.84'
L11	N45°38'44"	17.25'	17.25'
L12	N07°19'22"	18.07'	18.07'
L13	N07°19'22"	18.05'	18.05'
L14	N09°49'47"	19.37'	19.37'
L15	S00°17'29"	112.73'	112.73'
L16	S00°17'29"	112.73'	112.73'
L17	S00°17'29"	112.73'	112.73'
L18	S00°17'29"	112.73'	112.73'
L19	S00°17'29"	112.73'	112.73'
L20	S87°42'27"	140.86'	140.86'

MARTIN/MARTIN assumes no responsibility for utility locations, easements, or encroachments shown on this plan. The contractor shall verify the location and depth of all utilities prior to construction. ALL DIMENSIONS SHOWN ARE U.S. SURVEY FEET.

Administration Building

Front (east elevation)



Back (west elevation)



Administration Building

Left (south elevation)



Right (north elevation)



Administration Building

Right (north elevation)



Chapel

Front (east elevation)



Back (west elevation)



Chapel

Left (south elevation)



Left (south elevation)



Chapel

Right (north elevation)

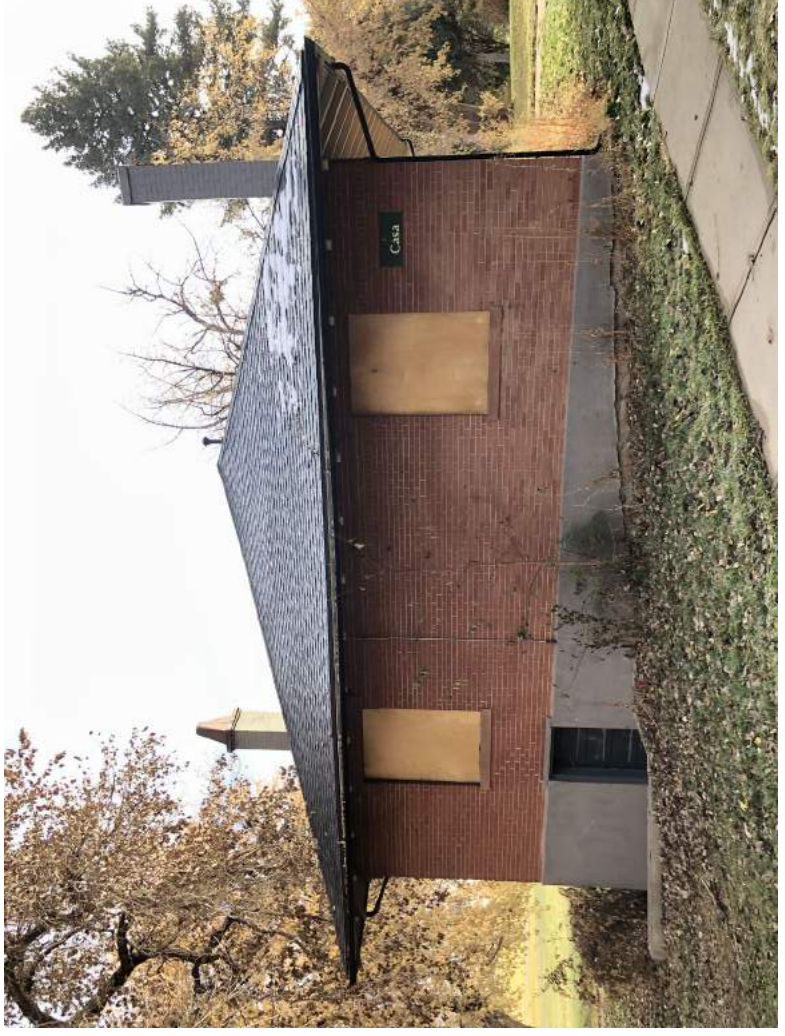


Priest's House

Front (east elevation)



Back (west elevation)

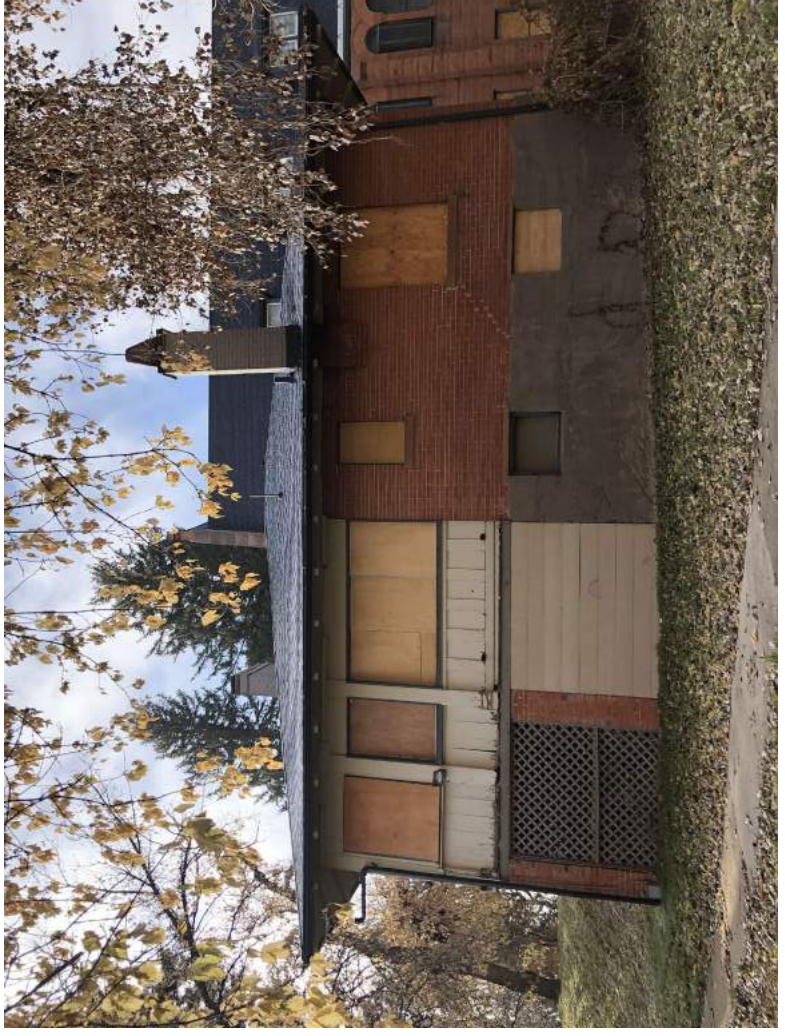


Priest's House

Left (south elevation)



Right (north elevation)



Pancreatia Hall

Front (east elevation)



Back (west elevation)



Pancratia Hall

Left (south elevation)



Right (north elevation)



Machebeuf Hall

Front (east elevation)



Back (northwest elevation)



Machebeuf Hall

Left (south elevation)



Left (southwest elevation)



Machebeuf Hall

Right (northeast elevation)



May Bonfils Stanton Library

Front (east elevation)



Back (west elevation)



May Bonfils Stanton Library

Left (south elevation)



Right (north elevation)



May Bonfils Stanton Theater

Front (east elevation)



Back (west elevation)



May Bonfils Stanton Theater

Left (south elevation)

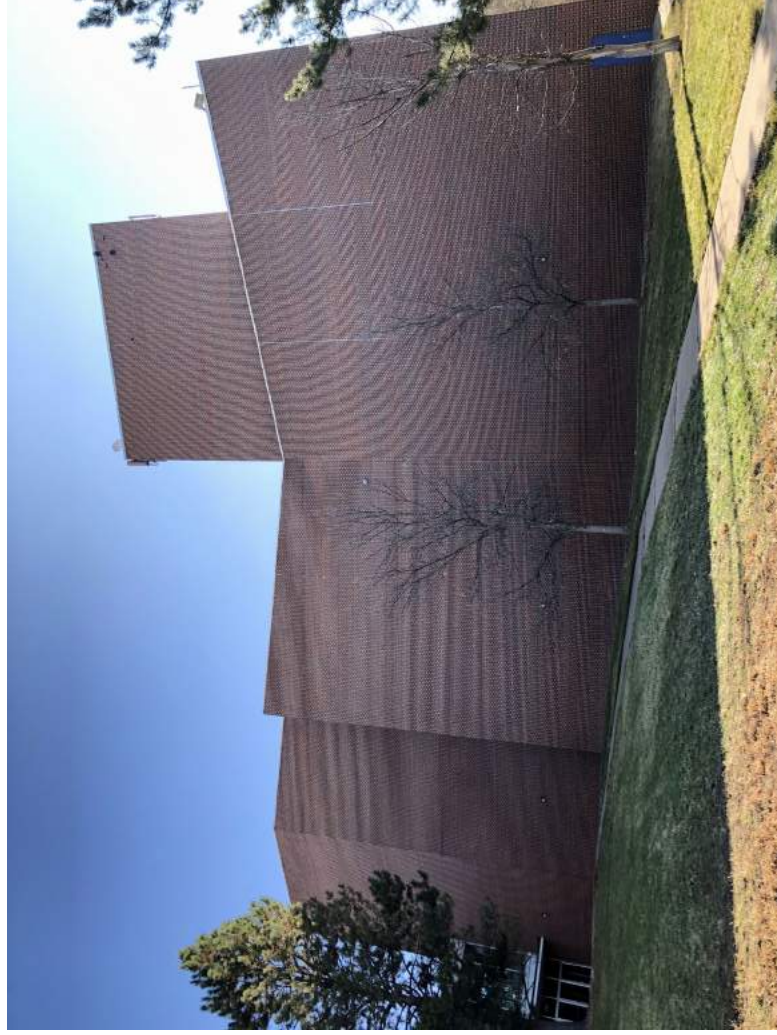


Left (south elevation)



May Bonfils Stanton Theater

Right (north elevation)





Zone Map Amendment (Rezoning) for PUD - Application

PROPERTY OWNER INFORMATION*	
<input checked="" type="checkbox"/> CHECK IF POINT OF CONTACT FOR APPLICATION	
Property Owner Name	Mark Witkiewicz - ACM LORE
Address	4100 E. Mississippi
City, State, Zip	Denver, CO 80246
Telephone	303-984-9800
Email	MarkW@westsideinv.com
*If More Than One Property Owner: All official map amendment applications for a PUD District shall be initiated by all the owners of the entire land area subject to the rezoning application, or their representatives authorized in writing to do so.	

PROPERTY OWNER(S) REPRESENTATIVE**	
<input checked="" type="checkbox"/> CHECK IF POINT OF CONTACT FOR APPLICATION	
Representative Name	Shears Adkins Rockmore Archi
Address	1550 Wynkoop Street, Suite 100
City, State, Zip	Denver, CO 80202
Telephone	303-634-8653
Email	dcraig@sararch.com
**Property owner shall provide a written letter authorizing the representative to act on his/her behalf. See attached authorization letter.	

Please attach Proof of Ownership acceptable to the Manager for all property owners, such as (a) Assessor's Record, (b) Warranty deed or deed of trust, or (c) Title policy or commitment dated no earlier than 60 days prior to application date.

SUBJECT PROPERTY INFORMATION	
Location (address and/or boundary description):	3001 S Federal Blvd, Denver, CO 80236
Assessor's Parcel Numbers:	0532200033000, 0532200034000, 0532300035000
Area in Acres or Square Feet:	33.803
Current Zone District(s):	CMP-EI2

PROPOSAL		
Proposed Zone District:	<input checked="" type="checkbox"/> General PUD	<input type="checkbox"/> Detailed PUD
Proposing SubAreas:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Intent of PUD:	G-25: To allow a customized residential zone district.	
Standard Zone District: Please list the zone district(s) on which the PUD will be based:	G-25: S-SU-A, S-RH-2.5, U-RX-3	
Deviations from Standard Zone District: Please provide a list of proposed deviations and an explanation of why the deviation is needed. Please provide as an attachment if necessary:	Deviation	Why deviation is necessary
	See Exhibit VII-b	(See attached)
	See Exhibit VII-b	

Last updated: September 29, 2015

Return completed form to rezoning@denvergov.org



For Office Use Only:
Date _____ Fee _____

201 W. Colfax Ave., Dept. 205

Denver, CO 80202

720-865-2974 • rezoning@denvergov.org

REVIEW CRITERIA	
<p>General Review Criteria: The proposal must comply with all of the general review criteria DZC Sec. 12.4.10.7</p>	<p><input checked="" type="checkbox"/> Consistency with Adopted Plans: The proposed official map amendment is consistent with the City's adopted plans, or the proposed rezoning is necessary to provide land for a community need that was not anticipated at the time of adoption of the City's Plan</p> <p>Please provide an attachment describing relevant adopted plans and how proposed map amendment is consistent with those plan recommendations; or, describe how the map amendment is necessary to provide for an unanticipated community need.</p> <p><input checked="" type="checkbox"/> Uniformity of District Regulations and Restrictions: The proposed official map amendment results in regulations and restrictions that are uniform for each kind of building throughout each district having the same classification and bearing the same symbol or designation on the official map, but the regulations in one district may differ from those in other districts.</p> <p><input checked="" type="checkbox"/> Public Health, Safety and General Welfare: The proposed official map amendment furthers the public health, safety, and general welfare of the City.</p>
<p>Additional Review Criteria for Non-Legislative Rezoning: The proposal must comply with both of the additional review criteria DZC Sec. 12.4.10.8</p>	<p>Justifying Circumstances - One of the following circumstances exists:</p> <p><input type="checkbox"/> The existing zoning of the land was the result of an error.</p> <p><input type="checkbox"/> The existing zoning of the land was based on a mistake of fact.</p> <p><input type="checkbox"/> The existing zoning of the land failed to take into account the constraints on development created by the natural characteristics of the land, including, but not limited to, steep slopes, floodplain, unstable soils, and inadequate drainage.</p> <p><input checked="" type="checkbox"/> The land or its surroundings has changed or is changing to such a degree that rezoning that it is in the public interest to encourage a redevelopment of the area to recognize the changed character of the area</p> <p><input type="checkbox"/> It is in the public interest to encourage a departure from the existing zoning through application of supplemental zoning regulations that are consistent with the intent and purpose of, and meet the specific criteria stated in, Article 9, Division 9.4 (Overlay Zone Districts), of this Code.</p> <p>Please provide an attachment describing the justifying circumstance.</p> <p><input checked="" type="checkbox"/> The proposed official map amendment is consistent with the description of the applicable neighborhood context, and with the stated purpose and intent of the proposed Zone District.</p> <p>Please provide an attachment describing how the above criterion is met.</p>
<p>Additional Review Criteria for Rezoning to PUD District: The proposal must comply with all of the additional review criteria DZC Sec. 12.4.10.9</p>	<p><input checked="" type="checkbox"/> The PUD District is consistent with the intent and purpose of such districts stated in Article 9, Division 9.6 (Planned Unit Development).</p> <p><input checked="" type="checkbox"/> The PUD District and the PUD District Plan comply with all applicable standards and criteria station in Division 9.6.</p> <p><input checked="" type="checkbox"/> The development proposed on the subject property is not feasible under any other Zone Districts, and would require an unreasonable number of variances or waivers and conditions.</p> <p><input checked="" type="checkbox"/> The PUD District, the PUD District Plan establish permitted uses that are compatible with existing land uses adjacent to the subject property.</p> <p><input checked="" type="checkbox"/> The PUD District, the PUD District Plan establish permitted building forms that are compatible with adjacent existing building forms, or which are made compatible through appropriate transitions at the boundaries of the PUD District Plan (e.g., through decreases in building height; through significant distance or separation by rights-of-way, landscaping or similar features; or through innovative building design).</p> <p>Please provide an attachment describing how the above criteria are met.</p>

REZONING GUIDE

Rezoning Application for PUD Page 3 of 3



REQUIRED ATTACHMENTS

Please ensure the following required attachments are submitted with this application:

- Legal Description (required to be attached as a Microsoft Word document)
- Proof of Ownership Document(s)
- Review Criteria

ADDITIONAL ATTACHMENTS

Please identify any additional attachments provided with this application:

- Written Authorization to Represent Property Owner(s)
- Deviations from Standard Zone District

Please list any additional attachments:

PROPERTY OWNER OR PROPERTY OWNER(S) REPRESENTATIVE CERTIFICATION

We, the undersigned represent that we are the owners of the property described opposite our names, or have the authorization to sign on behalf of the owner as evidenced by a Power of Attorney or other authorization attached, and that we do hereby request initiation of this application. I hereby certify that, to the best of my knowledge and belief, all information supplied with this application is true and accurate. I understand that without such owner consent, the requested official map amendment action cannot lawfully be accomplished.

Property Owner Name(s) (please type or print legibly)	Property Address City, State, Zip Phone Email	Property Owner Interest % of the Area to Be Rezoned	Please sign below as an indication of your consent to the above certification statement (must sign in the exact same manner as title to the property is held)	Date	Indicate the type of ownership documentation provided: (A) Assessor's record, (B) warranty deed or deed of trust, (C) title policy or commitment, or (D) other as approved	Property owner representative written authorization? (YES/NO)
EXAMPLE John Alan Smith and Josie Q. Smith	123 Sesame Street Denver, CO 80202 (303) 555-5555 sample@sample.gov	100%	<i>John Alan Smith</i> <i>Josie Q. Smith</i>	01/01/12	(A)	NO
Daniel Craig (Owner's Rep)	3001 S Federal Blvd, Denver, CO 80236 303-634-8653 dcraig@sararch.com	100%	<i>Daniel Craig</i>	1/22/21	(A)	Yes

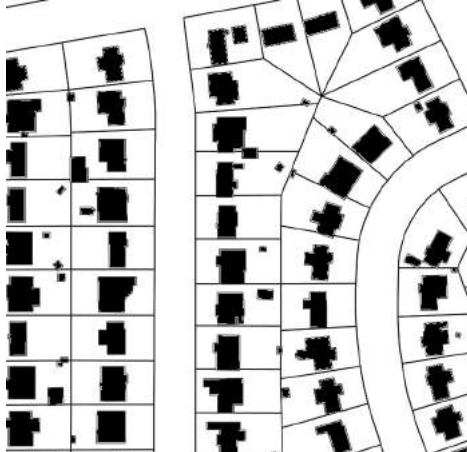
Last updated: September 29, 2015

Return completed form to rezoning@denvergov.org





PUD-G 25



3001 S Federal Boulevard
Loretto Heights Residential

Contents

PUD-G 25

CHAPTER 1. ESTABLISHMENT AND INTENT	1
Section 1.1 PUD-G 25 Established	1
Section 1.2 PUD-G 25 General Purpose	8
Section 1.3 PUD-G 25 Specific Intent	8
Section 1.4 Remaining Open Space Defined	8
CHAPTER 2. NEIGHBORHOOD CONTEXT DESCRIPTION	9
Section 2.1 Suburban Neighborhood context description	9
Section 2.2 Urban Neighborhood Context Description	9
CHAPTER 3. UNDERLYING ZONE DISTRICTS	9
Section 3.1 Subarea A	9
Section 3.2 Subareas B and C	9
Section 3.3 Subarea D	9
CHAPTER 4. DESIGN STANDARDS	10
Section 4.1 Primary Building Form Standards	10
Section 4.2 Detached Accessory Building Form Standards	16
Section 4.3 Supplemental Design Standards	17
Section 4.4 Design Standard Exceptions	17
Section 4.5 Preservation of Remaining Open Space	17
CHAPTER 5. USES AND REQUIRED MINIMUM PARKING	19
Section 5.1 Uses in Subarea A	19
Section 5.2 Uses in Subareas B and C	19
Section 5.3 Uses in Subarea D	19
CHAPTER 6. ADDITIONAL STANDARDS	20
Section 6.1 Article 1 of the Denver Zoning Code	20
Section 6.2 Article 2 of the Denver Zoning Code	21
Section 6.3 Article 9 of the Denver Zoning Code	21
Section 6.4 Article 10 of the Denver Zoning Code	21
Section 6.5 Article 11 of the Denver Zoning Code	21
Section 6.6 Article 12 of the Denver Zoning Code	21
Section 6.7 Article 13 of the Denver Zoning Code	22
CHAPTER 7. RULES OF INTERPRETATION	24
CHAPTER 8. VESTED RIGHTS	24

CHAPTER 1. ESTABLISHMENT AND INTENT

SECTION 1.1 PUD-G 25 ESTABLISHED

The provisions of PUD-G 25 apply to the land depicted on the Official Zoning Map with the label PUD-G 25, and more generally described as a parcel of land situated in the west half of Section 32, Township 4 South, Range 68 west of the Sixth Principal Meridian, City and County of Denver, State of Colorado.

1.1.1 Subareas Established

The following subareas are hereby established within PUD-G 25 for the purpose of applying the zoning Standards contained herein. All subareas established are shown generally on Figure 1.1 below and described legally as follows:

A. Subarea A Legal Description

A PARCEL OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;
THENCE NORTH 87°50'36" WEST, A DISTANCE OF 1,754.50 FEET TO A POINT OF NON-TANGENT CURVATURE AND THE POINT OF BEGINNING;

THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 19.08 FEET, SAID CURVE HAVING A RADIUS OF 495.50 FEET, A CENTRAL ANGLE OF 02°12'23", AND A CHORD WHICH BEARS SOUTH 73°46'41" WEST A CHORD DISTANCE OF 19.08 FEET TO A POINT OF REVERSE CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 116.15 FEET, SAID CURVE HAVING A RADIUS OF 204.50 FEET, A CENTRAL ANGLE OF 32°32'32", AND A CHORD WHICH BEARS SOUTH 88°56'45" WEST A CHORD DISTANCE OF 114.60 FEET TO A POINT OF NON-TANGENT CURVATURE AND TO A POINT ON THE CENTERLINE OF S. IRVING ST;

THENCE ALONG SAID CENTERLINE THE FOLLOWING SIX (6) COURSES:

1) ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 59.01 FEET, SAID CURVE HAVING A RADIUS OF 135.00 FEET, A CENTRAL ANGLE OF 25°02'46", AND A CHORD WHICH BEARS NORTH 05°48'08" EAST A CHORD DISTANCE OF 58.54 FEET TO A POINT OF NON-TANGENT CURVATURE;

2) ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 151.08 FEET, SAID CURVE HAVING A RADIUS OF 335.00 FEET, A CENTRAL ANGLE OF 25°50'22", AND A CHORD WHICH BEARS NORTH 06°11'43" EAST A CHORD DISTANCE OF 149.80 FEET;

3) NORTH 19°06'52" EAST, A DISTANCE OF 50.00 FEET TO A POINT OF CURVATURE;

4) ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 104.46 FEET, SAID CURVE HAVING A RADIUS OF 315.00 FEET, A CENTRAL ANGLE OF 19°00'00", AND A CHORD WHICH BEARS NORTH 09°36'52" EAST A CHORD DISTANCE OF 103.98 FEET;

5) NORTH 00°06'52" EAST, A DISTANCE OF 379.80 FEET TO A POINT OF CURVATURE;

6) ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 14.50 FEET, SAID CURVE HAVING A RADIUS OF 350.00 FEET, A CENTRAL ANGLE OF 02°22'23", AND A CHORD WHICH BEARS NORTH 01°18'03" EAST A CHORD DISTANCE OF 14.49 FEET;

THENCE SOUTH 88°00'52" EAST, A DISTANCE OF 128.63 FEET;

THENCE SOUTH 00°06'52" WEST, A DISTANCE OF 91.89 FEET;

THENCE SOUTH 04°02'11" EAST, A DISTANCE OF 53.48 FEET;

THENCE SOUTH 02°03'27" EAST, A DISTANCE OF 36.02 FEET;

THENCE SOUTH 05°42'54" WEST, A DISTANCE OF 144.54 FEET;

THENCE SOUTH 00°06'52" WEST, A DISTANCE OF 87.15 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 12.42 FEET, SAID CURVE HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 14°14'16", AND A CHORD WHICH BEARS SOUTH 07°14'00" WEST A CHORD DISTANCE OF 12.39 FEET; THENCE SOUTH 14°21'08" WEST, A DISTANCE OF 177.03 FEET; THENCE SOUTH 13°11'51" WEST, A DISTANCE OF 72.63 FEET; THENCE SOUTH 14°46'35" EAST, A DISTANCE OF 75.10 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 93,046 SQUARE FEET OR 2.14 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARS NORTH 00°01'10" EAST.

B. Subarea B Legal Description

A PARCEL OF LAND SITUATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32; THENCE NORTH 87°35'59" WEST, A DISTANCE OF 1,032.59 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 52°25'53" WEST, A DISTANCE OF 270.00 FEET; THENCE SOUTH 37°34'07" EAST, A DISTANCE OF 162.17 FEET; THENCE SOUTH 53°33'22" WEST, A DISTANCE OF 142.50 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 124.05 FEET, SAID CURVE HAVING A RADIUS OF 698.34 FEET, A CENTRAL ANGLE OF 10°10'41", AND A CHORD WHICH BEARS SOUTH 40°55'25" EAST A CHORD DISTANCE OF 123.89 FEET; THENCE NORTH 47°49'28" EAST, A DISTANCE OF 15.20 FEET TO A POINT OF CURVATURE; THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 5.56 FEET, SAID CURVE HAVING A RADIUS OF 4.00 FEET, A CENTRAL ANGLE OF 79°40'00", AND A CHORD WHICH BEARS NORTH 87°39'28" EAST A CHORD DISTANCE OF 5.12 FEET TO A POINT OF COMPOUND CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 13.11 FEET, SAID CURVE HAVING A RADIUS OF 14.62 FEET, A CENTRAL ANGLE OF 51°22'36", AND A CHORD WHICH BEARS SOUTH 26°49'14" EAST A CHORD DISTANCE OF 12.67 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 29.61 FEET, SAID CURVE HAVING A RADIUS OF 19.41 FEET, A CENTRAL ANGLE OF 87°23'59", AND A CHORD WHICH BEARS SOUTH 37°48'52" WEST A CHORD DISTANCE OF 26.82 FEET; THENCE NORTH 89°59'11" WEST, A DISTANCE OF 0.63 FEET; THENCE SOUTH 00°00'49" WEST, A DISTANCE OF 17.44 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 89.25 FEET, SAID CURVE HAVING A RADIUS OF 492.31 FEET, A CENTRAL ANGLE OF 10°23'15", AND A CHORD WHICH BEARS NORTH 86°43'02" WEST A CHORD DISTANCE OF 89.13 FEET; THENCE SOUTH 09°49'31" WEST, A DISTANCE OF 2.47 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 122.34 FEET, SAID CURVE HAVING A RADIUS OF 306.50 FEET, A CENTRAL ANGLE OF 22°52'14", AND A CHORD WHICH BEARS NORTH 68°44'22" WEST A CHORD DISTANCE OF 121.53 FEET;

THENCE NORTH 57°18'15" WEST, A DISTANCE OF 301.34 FEET TO A POINT ON THE PERIMETER OF THE VILLAGE AT LORETTO HEIGHTS RECORDED AT RECEPTION NO. 1987146151;

THENCE ALONG SAID PERIMETER THE FOLLOWING SIX (6) COURSES:

- 1) SOUTH 32°41'45" WEST, A DISTANCE OF 404.78 FEET;
- 2) SOUTH 58°04'44" WEST, A DISTANCE OF 150.00 FEET;
- 3) NORTH 00°06'48" EAST, A DISTANCE OF 150.00 FEET;
- 4) NORTH 89°53'12" WEST, A DISTANCE OF 50.00 FEET;
- 5) SOUTH 00°06'48" WEST, A DISTANCE OF 275.00 FEET;
- 6) SOUTH 58°04'44" WEST, A DISTANCE OF 250.00 FEET;

THENCE NORTH 68°58'54" WEST, A DISTANCE OF 25.97 FEET TO A POINT ON THE CENTERLINE OF S. JULIAN WAY AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG SAID CENTERLINE THE FOLLOWING FIVE (5) COURSES:

- 1) ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 145.50 FEET, SAID CURVE HAVING A RADIUS OF 375.00 FEET, A CENTRAL ANGLE OF 22°13'51", AND A CHORD WHICH BEARS NORTH 11°13'48" EAST A CHORD DISTANCE OF 144.59 FEET;
- 2) NORTH 00°06'52" EAST, A DISTANCE OF 395.59 FEET TO A POINT OF CURVATURE;
- 3) ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 471.35 FEET, SAID CURVE HAVING A RADIUS OF 395.00 FEET, A CENTRAL ANGLE OF 68°22'12", AND A CHORD WHICH BEARS NORTH 34°17'58" EAST A CHORD DISTANCE OF 443.87 FEET;
- 4) NORTH 68°29'04" EAST, A DISTANCE OF 68.87 FEET TO A POINT OF NON-TANGENT CURVATURE;
- 5) ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 65.90 FEET, SAID CURVE HAVING A RADIUS OF 135.00 FEET, A CENTRAL ANGLE OF 27°58'05", AND A CHORD WHICH BEARS NORTH 32°18'32" EAST A CHORD DISTANCE OF 65.25 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 116.15 FEET, SAID CURVE HAVING A RADIUS OF 204.50 FEET, A CENTRAL ANGLE OF 32°32'32", AND A CHORD WHICH BEARS NORTH 88°56'45" EAST A CHORD DISTANCE OF 114.60 FEET TO A POINT OF REVERSE CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 19.08 FEET, SAID CURVE HAVING A RADIUS OF 495.50 FEET, A CENTRAL ANGLE OF 02°12'23", AND A CHORD WHICH BEARS NORTH 73°46'41" EAST A CHORD DISTANCE OF 19.08 FEET;

THENCE NORTH 14°46'35" WEST, A DISTANCE OF 75.10 FEET;

THENCE NORTH 13°11'51" EAST, A DISTANCE OF 72.63 FEET;

THENCE NORTH 14°21'08" EAST, A DISTANCE OF 177.03 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 12.42 FEET, SAID CURVE HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 14°14'16", AND A CHORD WHICH BEARS NORTH 07°14'00" EAST A CHORD DISTANCE OF 12.39 FEET;

THENCE NORTH 00°06'52" EAST, A DISTANCE OF 87.15 FEET;

THENCE NORTH 05°42'54" EAST, A DISTANCE OF 144.54 FEET;

THENCE NORTH 02°03'27" WEST, A DISTANCE OF 36.02 FEET;

THENCE NORTH 04°02'11" WEST, A DISTANCE OF 53.48 FEET;

THENCE NORTH 00°06'52" EAST, A DISTANCE OF 183.78 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 16.20 FEET, SAID CURVE HAVING A RADIUS OF 37.50 FEET, A CENTRAL ANGLE OF 24°45'12", AND A CHORD WHICH BEARS NORTH 12°29'28" EAST A CHORD DISTANCE OF 16.08 FEET;

THENCE NORTH 24°52'04" EAST, A DISTANCE OF 57.09 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 6.45 FEET, SAID CURVE HAVING A RADIUS OF 37.50 FEET, A CENTRAL ANGLE OF 09°51'31", AND A CHORD WHICH BEARS NORTH 29°47'50" EAST A CHORD DISTANCE OF 6.44 FEET;

THENCE NORTH 34°43'35" EAST, A DISTANCE OF 60.19 FEET;
 THENCE NORTH 33°48'21" EAST, A DISTANCE OF 129.97 FEET;
 THENCE NORTH 47°58'00" EAST, A DISTANCE OF 134.96 FEET;
 THENCE NORTH 48°31'30" EAST, A DISTANCE OF 154.85 FEET;
 THENCE SOUTH 00°00'00" EAST, A DISTANCE OF 177.36 FEET;
 THENCE SOUTH 52°36'46" EAST, A DISTANCE OF 40.50 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 75.51 FEET, SAID CURVE HAVING A RADIUS OF 149.03 FEET, A CENTRAL ANGLE OF 29°01'50", AND A CHORD WHICH BEARS SOUTH 22°58'04" WEST A CHORD DISTANCE OF 74.70 FEET;
 THENCE SOUTH 08°32'55" WEST, A DISTANCE OF 344.41 FEET TO A POINT OF CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 242.34 FEET, SAID CURVE HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 69°25'33", AND A CHORD WHICH BEARS SOUTH 26°09'52" EAST A CHORD DISTANCE OF 227.79 FEET TO A POINT OF REVERSE CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 122.68 FEET, SAID CURVE HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 35°08'47", AND A CHORD WHICH BEARS SOUTH 43°18'15" EAST A CHORD DISTANCE OF 120.77 FEET;
 THENCE SOUTH 25°43'52" EAST, A DISTANCE OF 414.97 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 1,049,605 SQUARE FEET OR 24.10 ACRES, MORE OR LESS.

C. Subarea C Legal Description

SITUATED IN THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO

A PARCEL OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;
 THENCE NORTH 10°40'34" WEST, A DISTANCE OF 1,380.39 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 89°58'50" WEST, A DISTANCE OF 942.88 FEET; THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 112.32 FEET;
 THENCE SOUTH 45°00'00" WEST, A DISTANCE OF 51.07 FEET;
 THENCE SOUTH 48°31'30" WEST, A DISTANCE OF 154.85 FEET;
 THENCE SOUTH 47°58'00" WEST, A DISTANCE OF 134.96 FEET;
 THENCE SOUTH 33°48'21" WEST, A DISTANCE OF 129.97 FEET;
 THENCE SOUTH 34°43'35" WEST, A DISTANCE OF 60.19 FEET TO A POINT OF CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 6.45 FEET, SAID CURVE HAVING A RADIUS OF 37.50 FEET, A CENTRAL ANGLE OF 09°51'31", AND A CHORD WHICH BEARS SOUTH 29°47'50" WEST A CHORD DISTANCE OF 6.44 FEET;
 THENCE SOUTH 24°52'04" WEST, A DISTANCE OF 57.09 FEET TO A POINT OF CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 16.20 FEET, SAID CURVE HAVING A RADIUS OF 37.50 FEET, A CENTRAL ANGLE OF 24°45'12", AND A CHORD WHICH BEARS SOUTH 12°29'28" WEST A CHORD DISTANCE OF 16.08 FEET;
 THENCE SOUTH 00°06'52" WEST, A DISTANCE OF 91.89 FEET;
 THENCE NORTH 88°00'52" WEST, A DISTANCE OF 126.80 FEET TO A POINT ON THE CENTER LINE OF S. IRVING ST;
 THENCE ALONG SAID CENTERLINE THE FOLLOWING NINE (9) COURSES:
 1) NORTH 01°58'19" EAST, A DISTANCE OF 33.14 FEET;

2) NORTH 09°49'51" EAST, A DISTANCE OF 31.62 FEET;
 3) NORTH 12°48'54" EAST, A DISTANCE OF 61.60 FEET TO A POINT OF NON-TANGENT CURVATURE;
 4) ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 198.79 FEET, SAID CURVE HAVING A RADIUS OF 455.03 FEET, A CENTRAL ANGLE OF 25°01'50", AND A CHORD WHICH BEARS NORTH 30°07'21" EAST A CHORD DISTANCE OF 197.21 FEET;
 5) NORTH 47°53'27" EAST, A DISTANCE OF 353.38 FEET TO A POINT OF NON-TANGENT CURVATURE;
 6) ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 52.03 FEET, SAID CURVE HAVING A RADIUS OF 303.60 FEET, A CENTRAL ANGLE OF 09°49'07", AND A CHORD WHICH BEARS NORTH 43°19'15" EAST A CHORD DISTANCE OF 51.96 FEET;
 7) NORTH 34°21'43" EAST, A DISTANCE OF 44.81 FEET;
 8) NORTH 25°03'24" EAST, A DISTANCE OF 52.07 FEET;
 9) NORTH 15°52'29" EAST, A DISTANCE OF 26.95 FEET;
 THENCE SOUTH 74°04'53" EAST, A DISTANCE OF 35.95 FEET TO A POINT ON THE SOUTH LINE OF SHARON PARK SUBDIVISION RECORDED AT RECEPTION NO. 52537;
 THENCE NORTH 89°16'41" EAST, A DISTANCE OF 1,065.64 FEET;
 THENCE SOUTH 00°01'10" WEST, A DISTANCE OF 136.57 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 214,572 SQUARE FEET OR 4.93 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARS NORTH 00°01'10" EAST.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARS NORTH 00°01'10" EAST.

D. Subarea D Legal Description

SITUATED IN THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO

A PARCEL OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;
 THENCE NORTH 12°15'11" WEST, A DISTANCE OF 1,204.82 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 89°58'50" WEST, A DISTANCE OF 939.84 FEET TO A POINT OF CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 137.79 FEET, SAID CURVE HAVING A RADIUS OF 150.00 FEET, A CENTRAL ANGLE OF 52°37'56", AND A CHORD WHICH BEARS SOUTH 63°42'12" WEST A CHORD DISTANCE OF 133.00 FEET;
 THENCE NORTH 52°36'46" WEST, A DISTANCE OF 40.50 FEET;
 THENCE NORTH 00°00'00" EAST, A DISTANCE OF 177.36 FEET;
 THENCE NORTH 45°00'00" EAST, A DISTANCE OF 51.07 FEET;
 THENCE NORTH 90°00'00" EAST, A DISTANCE OF 112.32 FEET;
 THENCE SOUTH 89°58'50" EAST, A DISTANCE OF 942.88 FEET;
 THENCE SOUTH 00°01'10" WEST, A DISTANCE OF 179.15 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 198,467 SQUARE FEET OR 4.56 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARS N00°01'10"E.

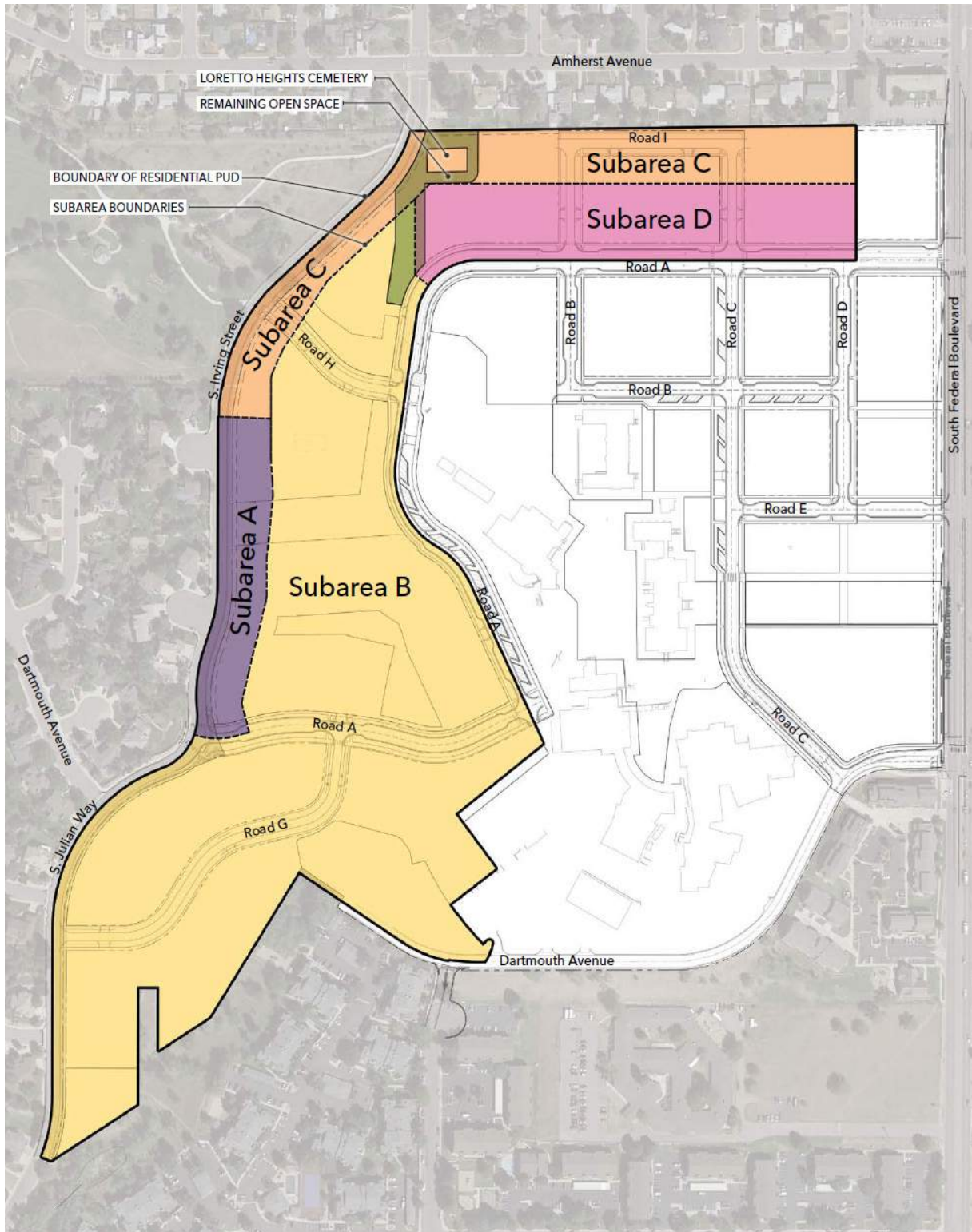


Figure 1.1. Subareas Established and Remaining Open Space Defined within PUD-G 25

SECTION 1.2 PUD-G 25 GENERAL PURPOSE

The general purpose of PUD-G 25 is to facilitate responsible and sustainable redevelopment of the former Loretto Heights campus that is compatible with the established residential character found in the adjacent neighborhoods. Future growth and development will take advantage of the unique topography of the site and incorporate an enhanced open space network.

SECTION 1.3 PUD-G 25 SPECIFIC INTENT

More specifically, PUD-G 25 is intended to:

- 1.3.1 Allow residential development, and some supporting commercial development, that contributes to the vibrancy of the surrounding neighborhood and facilitates a transition between future mixed uses in the Campus Core, and existing residential uses to the north, south and west.
- 1.3.2 Facilitate compatible development through the use of appropriate building form and design standards and guidelines that respond to the surrounding neighborhood contexts.
- 1.3.3 Encourage pedestrian-activated spaces and connections as envisioned in the City's adopted plans.
- 1.3.4 Allow uses and building forms at a scale that is compatible with the surrounding residential neighborhoods and the future mixed use in the Campus Core.
- 1.3.5 Ensure quality, human-scaled building design, particularly along South Irving Street/South Julian Street.
- 1.3.6 Create an enhanced open space network of trails, parkways, and turf that is thoughtfully woven into the neighborhood and connects future residential to regional and local assets like Loretto Heights Park.
- 1.3.7 Preserve and complement character-defining features of the Remaining Open Space.

SECTION 1.4 REMAINING OPEN SPACE DEFINED

As shown in Figure 1.1, a portion of the Remaining Open Space is hereby defined within PUD-G 25 for the purpose of applying the design standards provided in Chapter 4 (this space retains its historical name):

A. Loretto Heights Cemetery Remaining Open Space

The existing 1898 flat grassy landscape feature within Subarea C with an area defined by distances taken from the existing ornamental steel fence, as of the date of this PUD-G 25, north to the PUD-G 25 zone district boundary line, south by 30 feet, east by 30 feet and west to the property line, and including a burial site.

CHAPTER 2. NEIGHBORHOOD CONTEXT DESCRIPTION

SECTION 2.1 SUBURBAN NEIGHBORHOOD CONTEXT DESCRIPTION

All Development in Subareas A, B, and C of PUD-G 25 shall conform to the Denver Zoning Code, Division 3.1, Suburban Neighborhood Context Description, as amended from time to time, except as modified in this PUD-G 25.

SECTION 2.2 URBAN NEIGHBORHOOD CONTEXT DESCRIPTION

All Development in Subarea D of PUD-G 25 shall conform to the Denver Zoning Code, Division 5.1, Urban Neighborhood Context Description, as amended from time to time, except as modified in this PUD-G 25.

CHAPTER 3. UNDERLYING ZONE DISTRICTS

SECTION 3.1 SUBAREA A

All Development in Subarea A of this PUD-G 25 shall conform to the Denver Zoning Code, Division 3.2, Districts, as specifically applicable to the S-SU-A Zone District, as amended from time to time, and except as modified in this PUD-G 25.

SECTION 3.2 SUBAREAS B AND C

All Development in Subarea B and Subarea C of this PUD-G 25 shall conform to the Denver Zoning Code, Division 3.2, Districts, as specifically applicable to the S-RH-2.5 Zone District, as amended from time to time, and except as modified in this PUD-G 25.

SECTION 3.3 SUBAREA D

All Development in Subarea D of this PUD-G 25 shall conform to the Denver Zoning Code, Division 5.2, Districts, as specifically applicable to the U-RX-3 Zone District, as amended from time to time, and except as modified in this PUD-G 25.

CHAPTER 4. DESIGN STANDARDS

Development in this PUD-G 25 shall comply with the Denver Zoning Code, Article 10, General Design Standards, and Article 3, Division 3.3 Design Standards (Subareas A, B and C) or Article 5, Division 5.3 Design Standards (Subarea D), as amended from time to time, except as modified in this PUD-G 25.

SECTION 4.1 PRIMARY BUILDING FORM STANDARDS

4.1.1 District Specific Standards Summary

The maximum number of Primary Structures per Zone Lot and building forms allowed by zone district is summarized below:

	Building Forms												
	Suburban House	Urban House	Duplex	Tandem House	Row House	Garden Court	Town House	Apartment	Drive Thru Services	Drive Thru Restaurants	General	Shopfront	
Max Number of Primary Structures per Zone Lot	1	1	1	2	No Maximum								
Subarea A	■												
Subarea B and Subarea C	■		■		■								
Subarea D					□		■					■	

■ = Allowed □ = Allowed subject to the Row House building form standards applicable to Subarea C

4.1.2 District Specific Standards

Development of Primary Structures in this PUD-G 25 shall comply with the Denver Zoning Code, Article 3, Section 3.3.3.4 District Specific Standards as applicable to the S-SU-A Zone District (Subarea A), S-RH-2.5 Zone District (Subareas B and C) or Article 5, Division 5.3.3 Building Form Standards as applicable to the U-RX-3 Zone District (Subarea D), as amended from time to time, with the following exceptions, additions, and modifications set forth in the Primary Building Form Standards tables below.

SUBURBAN HOUSE

HEIGHT	Subarea A (based on S-SU-A)	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)
See Underlying Zone District for Additional Applicable Height Standards for the Suburban House Building Form that are Not Listed Below			
Stories (max)	See Underlying Zone District	3	See Underlying Zone District
Feet (max)	35'	35'	35'
Incentive Height feet for Pitched Roof (max)	na	45'	na
Requirements for Structures using Incentive Height	Any Structure exceeding the maximum specified height in feet shall have a Pitched Roof and be approved by City and County of Denver as meeting the Denver Green Code at time of building permit approval		
Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot Line	No Bulk Plane applies		
Bulk Plane Vertical Slope at Side Interior and Side Street Zone Lot Line	No Bulk Plane applies		

SITING	Subarea A (based on S-SU-A)	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)
See Underlying Zone District for Additional Applicable Siting Standards for the Suburban House Building Form that are Not Listed Below			
ZONE LOT			
Zone Lot Size (min)	See Underlying Zone District	no min	no min
Zone Lot Width (min)	20'	20'	20'
SETBACKS AND BUILDING COVERAGE			
Primary Street, on Irving and Julian Streets (min)	15'	15'	15'
Primary Street, on all other Streets (min)	10'	10'	10'
Side Street, on Irving and Julian Streets (min)	15'	15'	15'
Side Street, on all other Streets (min)	5'	5'	5'
Side Interior (min)	5'	3'	3'
Rear, alley/no alley (min)	0'/0'	0'/0'	0'/0'
Building Coverage per Zone Lot, including all accessory structures (max)	50%	no max	no max
PARKING			
Parking and Drive Lot Coverage in Primary Street Setback (max)	No parking or Drive shall be allowed in the Primary Street Setback		
Vehicle Access	From Alley, Private Alley, Drive or Driveway (See Sec. 4.4.1 of this PUD-G 25)		
DETACHED ACCESSORY STRUCTURES	See Section 4.2 of this PUD-G 25		

DESIGN ELEMENTS	Subarea A (based on S-SU-A)	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)
See Underlying Zone District for Additional Applicable Design Element Standards for the Suburban House Building Form that are Not Listed Below			
BUILDING CONFIGURATION			
Rooftop and/or Second Story Decks	See Underlying Zone District	See Section 4.3.1 of this PUD-G 25	See Underlying Zone District
Primary Street-Facing Attached Garage Door Width	Primary Street-Facing Attached Garage Doors are not allowed		
Upper Story Stepback, for any portion of building with Low-Slope Roof, above 25': Primary Street and Side Street (min)	See Underlying Zone District	No Upper Story Stepback applies	See Underlying Zone District
STREET LEVEL ACTIVATION			
Transparency, Side Street on South Irving Street and South Julian Street (min)	25%		
Pedestrian Access	Entrance. See Section 6.7.1.C of this PUD-G 25.		

USES	Subarea A (based on S-SU-A)	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)
See Underlying Zone District for All Applicable Use Standards for the Suburban House Building Form			

DUPLEX

HEIGHT	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)
See Underlying Zone District for Additional Applicable Height Standards for the Duplex Building Form that are Not Listed Below		
Stories (max)	3	See Underlying Zone District
Feet (max)	35'	35'
Incentive Height feet for Pitched Roof (max)	45'	na
Requirements for Structures using Incentive Height	Any Structure exceeding the maximum specified height in feet shall have a Pitched Roof and be approved by City and County of Denver as meeting the Denver Green Code at time of building permit approval	
Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot Line	No Bulk Plane applies	
Bulk Plane Vertical Slope at Side Interior and Side Street Zone Lot Line	No Bulk Plane applies	

SITING	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)
See Underlying Zone District for Additional Applicable Siting Standards for the Duplex Building Form that are Not Listed Below		
ZONE LOT		
Zone Lot Size (min)	No minimum Zone Lot size applies	
Zone Lot Width (min)	20'	20'
SETBACKS AND BUILDING COVERAGE		
Primary Street, on Irving and Julian Streets (min)	15'	15'
Primary Street, on all other Streets (min)	10'	10'
Side Street, on Irving and Julian Streets (min)	15'	15'
Side Street, on all other Streets (min)	5'	5'
Side Interior (min)	5'	5'
Rear, alley/no alley (min)	0'/0'	0'/0'
Building Coverage per Zone Lot, including all accessory structures (max)	no max	no max

PARKING		
Parking and Drive Lot Coverage in Primary Street Setback (max)	No parking or Drive shall be allowed in the Primary Street Setback	
Vehicle Access	From Alley, Private Alley, Drive or Driveway	
DETACHED ACCESSORY STRUCTURES	From Alley, Private Alley, Drive or Driveway (See Sec. 4.4.1 of this PUD-G 25)	

DESIGN ELEMENTS	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)
See Underlying Zone District for Additional Applicable Design Element Standards for the Duplex Building Form that are Not Listed Below		
BUILDING CONFIGURATION		
Rooftop and/or Second Story Decks	See Section 4.3.1 of this PUD-G 25	See Underlying Zone District
Primary Street-Facing Attached Garage Door Width	Primary Street-Facing Attached Garage Doors are not allowed	
Upper Story Stepback, for any portion of building with Low-Slope Roof, above 25': Primary Street and Side Street (min)	No Upper Story Stepback applies	See Underlying Zone District
Attached Garage doors facing Primary Street	Not Allowed	
STREET LEVEL ACTIVATION		
Transparency, Side Street on South Irving Street and South Julian Street (min)	25%	
Pedestrian Access	Each dwelling unit shall have a street-facing Entrance. See Section 6.7.1.C of this PUD-G 25.	

USES	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)
See Underlying Zone District for All Applicable Use Standards for the Duplex Building Form		

ROW HOUSE

HEIGHT	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)
See Underlying Zone District for Additional Applicable Height Standards for the Row House Building Form that are Not Listed Below		
Stories (max)	3	See Underlying Zone District
Feet (max)	See Underlying Zone District	
Incentive Height feet for Pitched Roof (max)	45'	na
Requirements for Structures using Incentive eight	Any Structure exceeding the maximum specified height in feet shall have a Pitched Roof and be approved by City and County of Denver as meeting the Denver Green Code at time of building permit approval	
Side Wall Height (max)	No side wall height maximum applies	

SITING	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)
See Underlying Zone District for Additional Applicable Siting Standards for the Row House Building Form that are Not Listed Below		
ZONE LOT		
Zone Lot Size (min)	No minimum Zone Lot size applies	
Zone Lot Width (min)	20'	20'
Primary Dwelling Units per Primary Residential Structure (max)	See Underlying Zone District	
REQUIRED BUILD-TO		
Primary Street (min % within min/max)	No build-to requirement applies	
SETBACKS		
Primary Street, on all other Streets (min)	10'	10'
Side Street, on Irving and Julian Streets (min)	15'	15'
Side Street, on all other Streets (min)	5'	5'
Side Interior (min)	5'	5'
Rear, alley/no alley (min)	0'/0'	0'/0'
BUILDING SEPARATION		
Separation between Primary Structures located on the same Zone Lot (min)	10'	10'
PARKING		
Vehicle Access	From Alley, Private Alley, Drive or Driveway (See Sec. 4.4.1 of this PUD-G 25)	
DETACHED ACCESSORY STRUCTURES	See Section 4.2 of this PUD-G 25	

DESIGN ELEMENTS	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)
See Underlying Zone District for Additional Applicable Design Element Standards for the Row House Building Form that are Not Listed Below		
BUILDING CONFIGURATION		
Rooftop and/or Second Story Decks	See Section 4.3.1 of this PUD-G 25	See Underlying Zone District
Primary Street-Facing Attached Garage Door Width (max per unit)	Primary Street-Facing Attached Garage Doors are not allowed	
Upper Story Stepback, for any portion of building with Low-Slope Roof, above 25': Primary Street and Side Street (min)	No Upper Story Stepback applies	10'
STREET LEVEL ACTIVATION		
Transparency, Side Street on South Irving Street and South Julian Street (min)	25%	25%
Pedestrian Access	Each dwelling unit shall have a street-facing Entrance. See Section 6.7.1.C of this PUD-G 25.	

USES	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)
See Underlying Zone District for All Applicable Use Standards for the Row House Building Form		

TOWN HOUSE

HEIGHT	Subarea D (based on U-RX-3)
See Underlying Zone District for Additional Applicable Height Standards for the Town House Building Form that are Not Listed Below	
Stories and feet (max)	See Underlying Zone District
Incentive Height feet for Pitched Roof (max)	45'
Requirements for Structures using incentive height	Any Structure exceeding the maximum specified height in feet shall have a Pitched Roof and be approved by City and County of Denver as meeting the Denver Green Code at time of building permit approval
SITING	Subarea D (based on U-RX-3)
See Underlying Zone District for Additional Applicable Siting Standards for the Town House Building Form that are Not Listed Below, including Required Build-to	
SETBACKS	
Side Street (min)	5'
BUILDING SEPARATION	
Separation between Primary Structures located on the same Zone Lot (min)	10'
PARKING	
Vehicle Access	From Alley, Private Alley, Drive or Driveway (See Sec. 4.4.1 of this PUD-G 25)
DETACHED ACCESSORY STRUCTURES	See Section 4.2 of this PUD-G 25
DESIGN ELEMENTS	Subarea D (based on U-RX-3)
See Underlying Zone District for Additional Applicable Design Element Standards for the Town House Building Form Not Listed Below, including Building Configuration Standards	
STREET LEVEL ACTIVATION	
Pedestrian Access	Each dwelling unit shall have a Dwelling Unit Entrance with Entry Feature. See Section 6.7.1.C of this PUD-G 25.
USES	Subarea D (based on U-RX-3)
See Underlying Zone District for All Applicable Use Standards for the Town House Building Form	

SHOPFRONT

HEIGHT

Subarea D
(based on U-RX-3)

See Underlying Zone District for All Applicable Height Standards for the Shopfront Building Form

SITING

Subarea D
(based on U-RX-3)

See Underlying Zone District for Additional Applicable Siting Standards for the Shopfront Building Form that are Not Listed Below
DETACHED ACCESSORY STRUCTURES See Section 4.2 of this PUD-G 25

DESIGN ELEMENTS

Subarea D
(based on U-RX-3)

See Underlying Zone District for All Applicable Design Element Standards for the Shopfront Building Form

USES

Subarea D
(based on U-RX-3)

See Underlying Zone District for All Applicable Use Standards for the Shopfront Building Form

*The configuration of Uses within the Shopfront building form shall be subject to the use provisions included in the Denver Zoning Code Article 5, Section 5.3.3 building form table for the Shopfront Building Form as applicable to the U-MX-3 zone district.

SECTION 4.2 DETACHED ACCESSORY BUILDING FORM STANDARDS

Development of Detached Accessory Structures in this PUD-G 25 shall comply with the Denver Zoning Code, Article 3, Section 3.3.4 Detached Accessory Building Form Standards as applicable to the S-SU-A Zone District (Subarea A), S-RH-2.5 Zone District (Subareas B and C) or Article 5, Section 5.3.4 Detached Accessory Building Form Standards as applicable to the U-RX-3 Zone District (Subarea D), as amended from time to time, except that all Detached Accessory Structures in this PUD-G 25 shall comply with the district specific standards for Detached Accessory Structures in Section 4.2.1 of this PUD-G 25 rather than the district specific standards for individual Detached Accessory Structure building forms in the underlying Zone Districts. For example, a Detached Accessory Structure with an accessory dwelling unit use can be built as accessory to a Suburban House building form in Subareas A, B and C according to the standards set forth in Section 4.2.1 of this PUD-G 25 rather than the standards set forth for the Detached Accessory Dwelling Unit building form in Denver Zoning Code Section 3.3.4.5 District Specific Standards.

4.2.1 District Specific Standards for Detached Accessory Structures

HEIGHT	Subarea A (based on S-SU-A)	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)	Subarea D (based on U-RX-3)
Stories (max)	2	2	2	2
Feet (max)	24'	24'	24'	24'

SITING	Subarea A (based on S-SU-A)	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)	Subarea D (based on U-RX-3)
ZONE LOT				
Zone Lot Size (min)	No minimum Zone Lot size applies			
Zone Lot Width (min)	No minimum Zone Lot width applies			

SETBACKS				
Location of Structure	Located a minimum of 10' behind 75% of the total width of the Primary Street-facing facade(s) of one Primary Structure			
Side Street, on Irving and Julian Streets (min)	15'	15'	15'	na
Side Street, on all other Streets (min)	5'	5'	5'	5'
Side Interior (min)	5'	3'	3'	0'
Rear (min)	0'	0'	0'	0'
PARKING				
Vehicle Access	From Alley, Private Alley, Drive or Driveway			

DESIGN ELEMENTS	Subarea A (based on S-SU-A)	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)	Subarea D (based on U-RX-3)
BUILDING CONFIGURATION				
Building Footprint (max)	1,000 sf	1,000 sf	1,000 sf	no maximum
Gross Floor Area (max)	na	na	na	10% of the Zone Lot; provided this restriction shall not apply to structures used for the parking of vehicles See Denver Zoning Code Section 5.3.4.3 Supplemental Standards for Detached Accessory Building Forms

USES	Subarea A (based on S-SU-A)	Subarea B (based on S-RH-2.5)	Subarea C (based on S-RH-2.5)	Subarea D (based on U-RX-3)
Accessory Uses Only, including Accessory Dwelling Unit use				

See Denver Zoning Code Sections 3.3.5 - 3.3.7 (Subareas A, B and C) and Denver Zoning Code Sections 5.3.5 - 5.3.7 (Subarea D) for Supplemental Design Standards, Design Standard Alternatives and Design Standard Exceptions.

SECTION 4.3 SUPPLEMENTAL DESIGN STANDARDS

4.3.1 Rooftop and/or Second Story Decks

A. Intent

To allow flexibility for Rooftop and/or Second Story Decks where protection for the privacy of adjacent rear yards in low-scale residential neighborhoods is not needed.

B. Applicability

This Section 4.3 shall apply to Development under all allowed building forms in Subarea B. The underlying zone district standards shall apply to Development under all allowed building forms in Subareas A, C and D.

C. Supplemental Design Standard

Rooftop and/or Second Story Decks are allowed on all portions of a Zone Lot.

4.3.2 Other Supplemental Design Standards in Underlying Zone Districts

All other Supplemental Design Standards set forth in Denver Zoning Code, Section 3.3.5 (Subarea A-C) and Denver Zoning Code, Section 5.3.5 (Subarea D) shall apply to PUD-G 25.

SECTION 4.4 DESIGN STANDARD EXCEPTIONS

The design standard exceptions set forth in Denver Zoning Code, Division 3.3 (Subareas A-C) or Denver Zoning Code, Division 5.3 (Subarea D) are available to Development in PUD-G 25 with the following modification:

4.4.1 Vehicle Access From Alley, Private Alley, Drive or Driveway - Exceptions

Where a building form table in Section 4.1.2 of this PUD-G 25 specifies vehicle access from an Alley, Private Alley, Drive or Driveway, any newly-constructed Off-Street Parking Area, Garage, Carport or other parking facility shall be accessed solely from an Alley, Private Alley, Drive or Driveway that is itself connected to a public Street, unless:

- A. The Department of Transportation and Infrastructure ("DOTI") prohibits use of the Alley, Private Alley, Drive or Driveway for vehicular access to the Zone Lot based upon a determination that the Alley cannot safely or operationally accommodate additional vehicular traffic;
- B. The Primary Use is within the Civic, Public, and Institutional Use Category and DOTI determines that vehicular access is needed from the street; or
- C. The applicant can demonstrate at the time of zoning permit application that vehicular access to an Accessory Garage, Carport, or other Off-Street Parking Area must be provided directly from a public Street because a unique site constraint or condition prevents vehicle access from an Alley, Private Alley, Drive or Driveway and if the Zoning Administrator determines that such exception (1) is consistent with the specific intent of this PUD-G 25, (2) will have no adverse impacts on abutting property, and (3) will be limited in nature so as not to allow multiple vehicle access points to individual zone lots directly from a public Street.

SECTION 4.5 PRESERVATION OF REMAINING OPEN SPACE

A. Intent

Maintain the natural landscape and character of the Loretto Heights Cemetery Remaining Open Space as defined in Section 1.4 of PUD-G 25.

B. Applicability

This Section 4.5 applies to new Development in the Remaining Open Space in Subarea C as illustrated in Figure 1.1 and the location of any Primary, Detached Accessory, and Temporary Structures within the Remaining Open Space.

C. Key Features to Preserve/Retain

1. Existing design features and elements that were established during the period of significance of the Loretto Heights Cemetery (1891-1970) shall be preserved and maintained including the following Key Features to Preserve/Retain:
 - a. Ornamental steel fence and gate
 - b. Tree canopy
 - c. Open, green space
2. Removal of existing design features not listed in Section 4.5.C.1., and elements are allowed provided that they (i) fall outside of the period of significance or (ii) are otherwise permitted in this PUD-G 25.

D. Supplemental Design Standards for Remaining Open Space in Subarea C

1. No permanent enclosed or habitable structure with a foundation shall be constructed within the Remaining Open Space in Subarea C as illustrated in Figure 1.1.
2. New landscaping and flatwork/hardscape elements shall be compatible in character with the existing Remaining Open Space and provide a visual transition between the Remaining Open Space and the surrounding Development.

CHAPTER 5. USES AND REQUIRED MINIMUM PARKING

SECTION 5.1 USES IN SUBAREA A

In Subarea A, Primary, Accessory, and Temporary Uses, and minimum parking allowed in this PUD-G 25 shall be those same uses allowed in the S-SU-A zone district, as stated in the Denver Zoning Code, Division 3.4, Uses and Required Minimum Parking, as amended from time to time, with the following exceptions, additions, and modifications:

5.1.1 Primary Uses

A. Community Center

1. A Primary Community Center use need not be enclosed.
2. No minimum vehicle parking requirement shall apply to the Primary Community Center use.

5.1.2 Accessory Uses

A. Accessory Dwelling Unit

An Accessory Dwelling Unit Use shall be permitted as accessory to a primary Single Unit Dwelling use, subject to the use limitations and permit review procedure required for an Accessory Dwelling Unit use in the U-SU-F1 zone district. See Section 4.2 of this PUD-G 25 for building form standards applicable to an Accessory Dwelling Unit Use located in a detached accessory structure.

SECTION 5.2 USES IN SUBAREAS B AND C

In Subareas B and C, Primary, Accessory, and Temporary Uses, and minimum parking allowed in this PUD-G 25 shall be those same uses allowed in the S-RH-2.5 zone district, as stated in the Denver Zoning Code, Division 3.4, Uses and Required Minimum Parking, as amended from time to time, with the following exceptions, additions, and modifications:

5.2.1 Primary Uses

A. Community Center

1. A Primary Community Center use need not be enclosed.
2. No minimum vehicle parking requirement shall apply to the Primary Community Center use.

B. Cemetery

A Cemetery shall be a permitted Primary Use in Subarea C subject to the same use limitations and permit review procedure required for a Cemetery in Denver Zoning Code, Section 11.3.6.

SECTION 5.3 USES IN SUBAREA D

In Subarea D, Primary, Accessory, and Temporary Uses, and minimum parking allowed in this PUD-G 25 shall be those same uses allowed in the U-RX-3 zone district, as stated in the Denver Zoning Code, Division 5.3, Uses and Required Minimum Parking, as amended from time to time, with the following exceptions, additions, and modifications:

5.3.1 Primary Uses

A. Community Center

1. A Primary Community Center use need not be enclosed.
2. No minimum vehicle parking requirement shall apply to the Primary Community Center use.

CHAPTER 6. ADDITIONAL STANDARDS

SECTION 6.1 ARTICLE 1 OF THE DENVER ZONING CODE

6.1.1 Applicability

Development in this PUD-G 25 shall conform to Article 1, General Provisions of the Denver Zoning Code, as amended from time to time, with the following exceptions, additions, and modifications:

A. Public Street Frontage Required for Zone Lots Containing Only Publicly Accessible Open Space as Designated in the Loretto Heights Infrastructure Master Plan

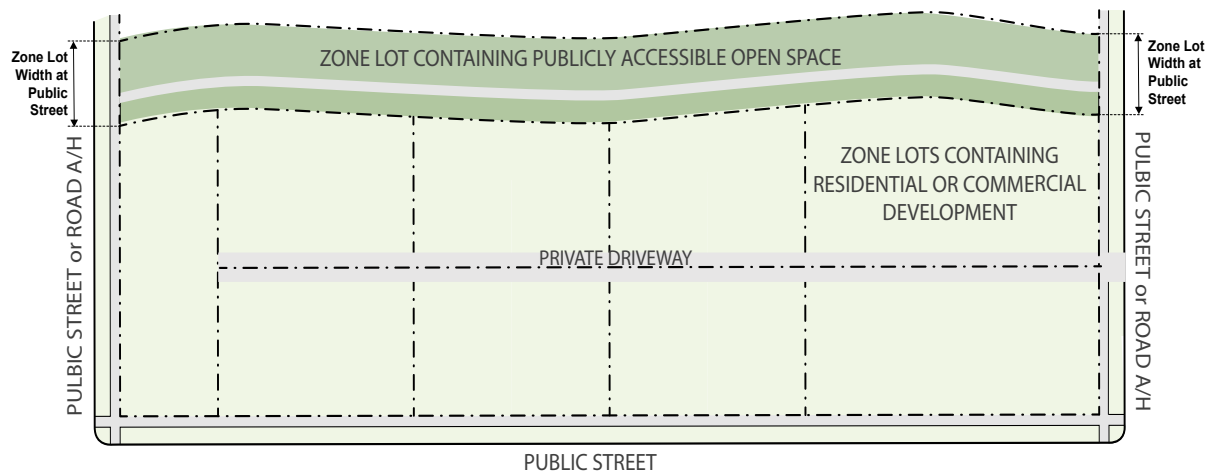
Each Zone Lot containing Publicly Accessible Open Space designated within the Loretto Heights Infrastructure Master Plan as Required Open Space or Bonus Open Space shall:

1. Have at least one Zone Lot line abutting one of the following street types for a minimum and continuous Zone Lot line width of 20 feet:
 - a. A dedicated named or numbered Public Street; or
 - b. A privately developed, owned, or maintained portion of “Road A” or “Road H” as designated on the Loretto Heights Infrastructure Master Plan.
2. Be designed and configured to maintain visibility of the Publicly Accessible Open Space from (a) one of the street types identified in Section 6.1.1.A.1 of this PUD-G 25, and (b) from any portion of the Zone Lot that will serve as a Primary Street Zone Lot line per the provisions of Section 6.7.1.B.1.c of this PUD-G 25.

B. Public Street or Open Space Frontage Required for Zone Lots Containing Primary Residential or Primary Commercial Sales, Service and Repair Uses

Each Zone Lot containing Primary Residential or Primary Commercial Sales, Service and Repair Uses shall have at least one Zone Lot line abutting:

1. A dedicated named or numbered public Street; or
2. A privately developed, owned, or maintained portion of “Road A” or “Road H” as designated on the Loretto Heights Infrastructure Master Plan; or
3. A Zone Lot composed only of Publicly Accessible Open Space, where such Publicly Accessible Open Space is designated within the Loretto Heights Infrastructure Master Plan as Required Open Space or Bonus Open Space.



Not to Scale. Illustrative Only.

Figure 6.1. Street Frontage for Zone Lots

SECTION 6.2 ARTICLE 2 OF THE DENVER ZONING CODE

6.2.1 Applicability

Development in this PUD-G 25 shall conform to Article 2, Using the Code, of the Denver Zoning Code, as amended from time to time.

SECTION 6.3 ARTICLE 9 OF THE DENVER ZONING CODE

6.3.1 Applicability

Development in this PUD-G 25 shall conform to Article 9, Special Contexts and Districts, of the Denver Zoning Code, as amended from time to time, with the following exceptions:

A. Amendments to Approved PUD District Plans

This PUD District Plan may be amended by subarea, platted lots, or metes and bounds parcels, as allowed in Denver Zoning Code, Section 9.6.1.4, Amendments to Approved PUD District Plans.

SECTION 6.4 ARTICLE 10 OF THE DENVER ZONING CODE

6.4.1 Applicability

Development in PUD-G 25 shall comply with the Denver Zoning Code, Article 10, General Design Standards, as specifically applicable to the S-SU-A, S-SU-F1, S-RH-2.5, and U-RX-3 Zone Districts, as amended from time to time.

SECTION 6.5 ARTICLE 11 OF THE DENVER ZONING CODE

6.5.1 Applicability

Establishment of Uses in this PUD-G 25 shall comply with the Denver Zoning Code, Article 11, Use Limitations and Definitions, as specifically applicable to the S-SU-A, S-RH-2.5, and U-RX-3 Zone Districts, as amended from time to time, as amended from time to time with the following modifications:

A. Community Center

In this PUD-G 25, the limitations applied to a Community Center use shall be those set forth in Denver Zoning Code Section 11.3.3 Community Center as applied to the S-RH-2.5 zone district, except that:

1. An unenclosed Community Center use need not be operated and controlled in a manner that prevents unauthorized use.
2. Outdoor lighting for pedestrian safety purposes may operate at any hour.

SECTION 6.6 ARTICLE 12 OF THE DENVER ZONING CODE

6.6.1 Applicability

All development in this PUD-G 25 shall comply with the Denver Zoning Code, Article 12: Zoning Procedures and Enforcement, as amended from time to time, with the following exceptions/ additions:

A. Official Map Amendment

1. This PUD-G 25 may be amended by subarea, platted lots, or metes and bounds parcels, as allowed in the Denver Zoning Code Section 9.6.1.4, Amendment to Approved PUD District Plans.

SECTION 6.7 ARTICLE 13 OF THE DENVER ZONING CODE

6.7.1 Applicability

Development in this PUD-G 25 shall comply with the Denver Zoning Code, Article 13, Rules of Measurement and Definitions, as amended from time to time, with the following exceptions/additions:

A. Height Rules of Measurement

1. Height Rule of Measurement for Subarea A, B and C

The height of development in Subarea A, B and C of this PUD-G 25 shall be measured according to Denver Zoning Code, Section 13.1.2 Height for all SU, TU, RH, E-MU-2.5, E-MU-3 and RO-3 Zone Districts, as applicable to the Underlying Zone District for each PUD subarea, except that all development may use the building-specific base plane described in Denver Zoning Code, Section 13.1.2.2.B.2, Building Specific Base Plane regardless of the Zone Lot size or number of primary buildings located on the Zone Lot.

2. Height Rule of Measurement for Subarea D

The height of development in Subarea D of this PUD-G 25 shall be measured according to Denver Zoning Code, Section 13.1.3, Height for All Other Zone Districts as applicable to the U-RX-3 underlying Zone District.

B. Determination of Primary Street Zone Lot Line, Side Street Zone Lot Line, Side Interior Zone Lot Line, and Rear Zone Lot Line

Within all subareas of this PUD-G 25, Zone Lot Lines shall be determined using the criteria set forth in Denver Zoning Code Section 13.1.5.2 Determination of Primary Street Zone Lot Line, Side Street Zone Lot Line, Side Interior Zone Lot Line and Rear Zone Lot Line for All Zone Districts except Mixed Use Commercial Zone Districts with the following exceptions, additions and modifications:

1. Determination of Primary Street Zone Lot Line

Per Figure 6.2, the Primary Street shall be a Zone Lot line abutting:

- a. A dedicated named or numbered public Street; or
- b. A privately developed, owned, or maintained portion of "Road A" or "Road H" as designated on the Loretto Heights Infrastructure Master Plan; or
- c. A Zone Lot containing only Publicly Accessible Open Space that is designated as either Required Open Space or Bonus Open Space within the Loretto Heights Infrastructure Master Plan per the provisions of Section 6.1.1.A of this PUD-G 25. The portion of the Zone Lot containing Required Open Space or Bonus Open Space abutting the Primary Street Zone Lot line shall include:
 - i. A minimum width of 20 feet as measured perpendicular to the Primary Street Zone Lot line; and
 - ii. A sidewalk, within the minimum Zone Lot width specified in Section 6.7.1.B.1.c.i above, with a minimum width of 6 feet that provides access to a public Street.

2. Determination of Side Street Zone Lot Line on a Corner Zone Lot

Per Figure 6.2, on a Corner Zone Lot, the Zoning Administrator may designate one or more of the Zone Lot lines meeting the conditions for determination as a Primary Street Zone Lot line per Section 6.7.1.B.1 of this PUD-G 25, as a Side Street Zone Lot line according to the criteria set forth in Denver Zoning Code Section 13.1.5.2.A.3, Criteria for Zoning Administrator Determinations, regardless of whether the block is square or oblong.

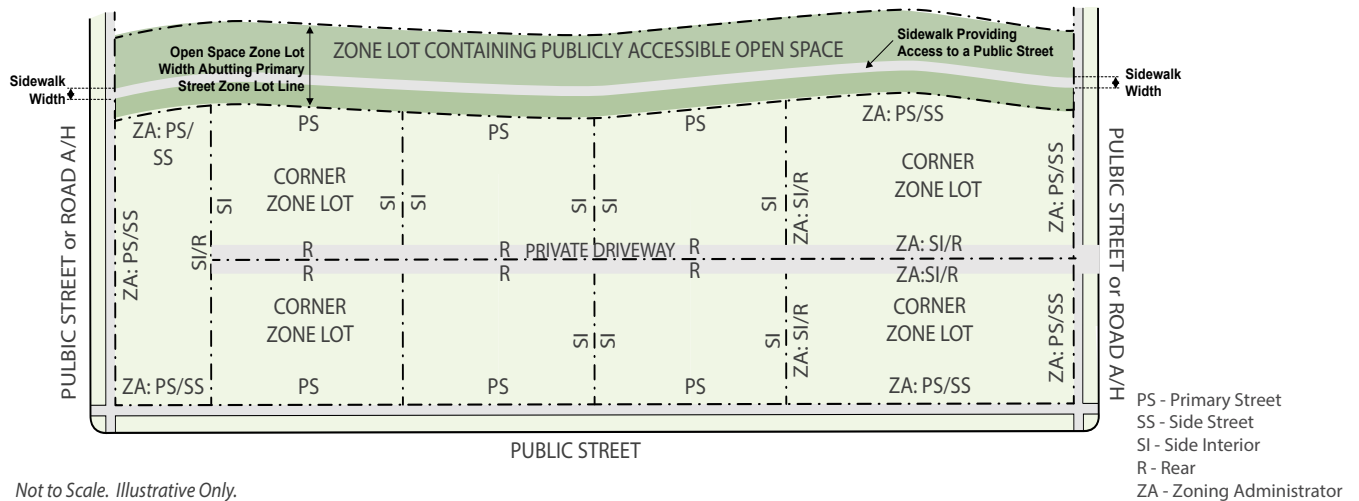


Figure 6.2. Determination of Zone Lot Lines and Conditions for Publicly Accessible Open Space Abutting a Primary Street Zone Lot Line

C. Pedestrian Access

Within all subareas of this PUD-G 25, Pedestrian Access standards shall be measured according to the provisions of Denver Zoning Code Section 13.1.6.3.B. Pedestrian Access, with the exception that references to ‘Street’ or ‘Primary Street’ shall mean ‘Primary Street Zone Lot Line’ within this PUD-G 25. For example, when the Primary Street Zone Lot Line for a Row House building form has been established abutting a Zone Lot containing only Publicly Accessible Open Space per the provisions of Section 6.7.1.B of this PUD-G 25, the street-facing Entrance required for each Row House unit shall face towards the Publicly Accessible Open Space.

D. Definition of Words, Terms and Phrases

1. Protected District Status

This PUD-G 25 will not be considered a Protected District as defined in Denver Zoning Code Division 13.3 Definition of Words, Terms and Phrases.

2. Road A

For the purpose of this PUD-G 25, Road A shall be considered the street running west from Federal Blvd. on the north of PUD-G 24, thence primarily south along the boundary between this PUD-G 25 and PUD-G 24 as designated in the Loretto Heights Infrastructure Master Plan. Portions of Road A may be a privately developed, owned, or maintained Private Street.

3. Road H

For the purpose of this PUD-G 25, Road H shall be considered the street running west/northwest from Road A in Subarea B of this PUD-G 25, thence connecting to South Irving St. in Subarea C of this PUD-G 24 across from Loretto Heights Park as designated in the Loretto Heights Infrastructure Master Plan. All, or portions of, Road H may be a privately developed, owned, or maintained Private Street.

4. Underlying Zone District

For the purpose of this PUD-G 25, the definition of Underlying Zone District shall include standard non-overlay zone districts that provide base building form and use requirements when used in combination with an Overlay Zone District or Planned Unit Development (PUD) Zone District.

5. Zone Lot, Corner

For the purpose of this PUD-G 25, the definition of Corner Zone Lot shall include Zone Lots situated at the intersection of a public street and Publicly Accessible Open Space that is designated as either Required Open Space or Bonus Open Space within the Loretto Heights Infrastructure Master Plan. See Figure 6.2.

CHAPTER 7. RULES OF INTERPRETATION

Subject to Chapter 8 of this PUD-G 25 whenever a section of the Denver Zoning Code is referred to in this PUD-G 25, that reference shall extend and apply to the section referred to as subsequently amended, recodified, or renumbered; provided, however, if a section of the Denver Zoning Code, as subsequently amended, recodified, or renumbered conflicts with a provision of this PUD-G 25, this PUD-G 25 shall control.

CHAPTER 8. VESTED RIGHTS

This PUD-G 25 shall be established in accordance with Denver Zoning Code sections 9.6.1.2.C, Vested Rights, and 9.6.1.5, Vested Rights, and vested property rights shall be created 90 days after the effective date of the ordinance approving this PUD-G 25.

ALTA/NSPS LAND TITLE SURVEY

TEIKYO LORETTO HEIGHTS UNIVERSITY

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH,
RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY AND COUNTY OF DENVER,
STATE OF COLORADO

SHEET 14 OF 17

MATCHLINE SEE SHEET 2 OF 7

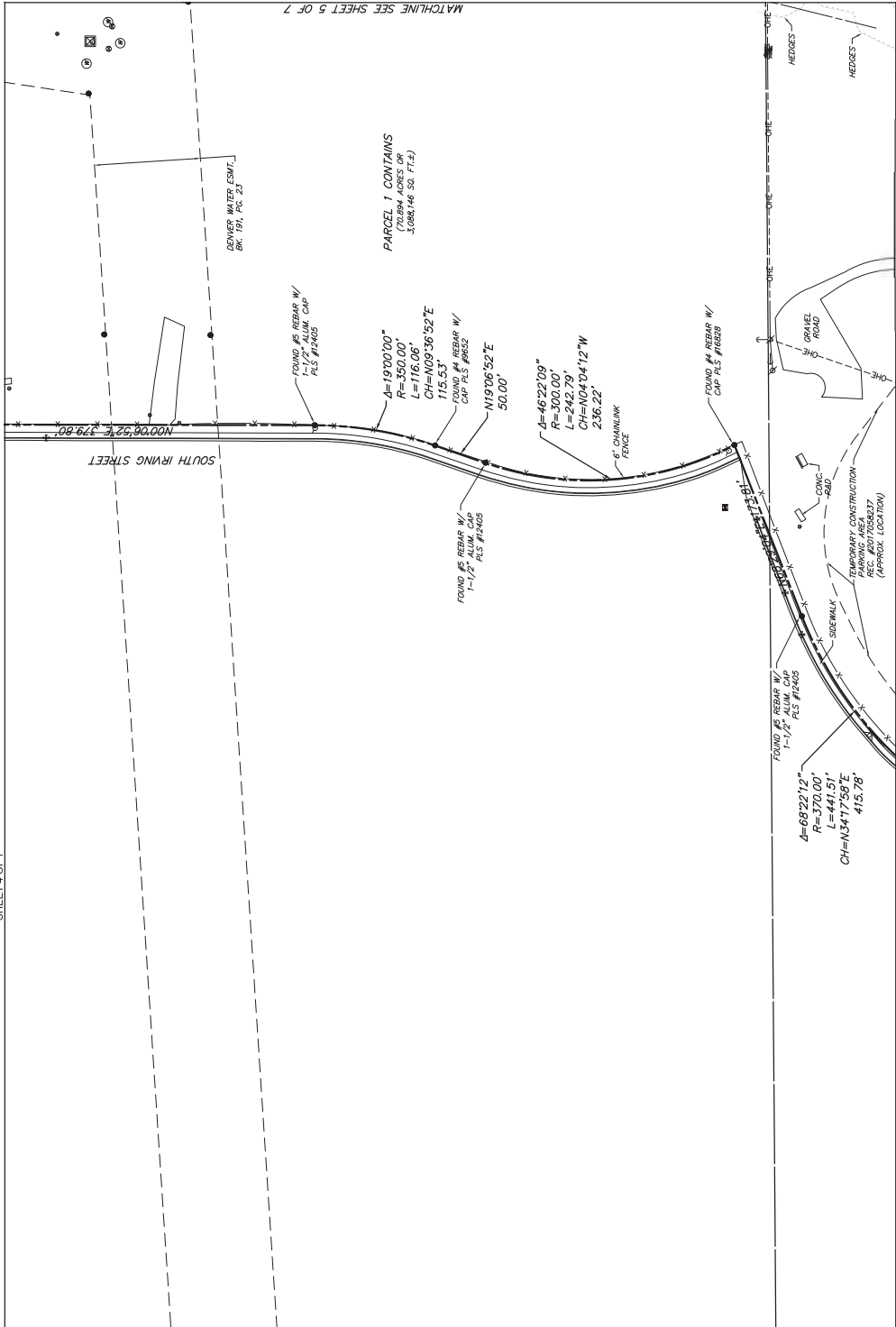
MATCHLINE SEE SHEET 5 OF 7

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT
- CURB AND GUTTER
- CONTOUR
- 5500'
- STORM SEWER
- STORM SEWER
- ELECTRIC LINE
- OVERHEAD UTILITY LINE
- TELEPHONE CABLE
- FIBER OPTIC LINE
- GAS LINE
- CABLE TV
- LIGHT POLE-METAL
- UTILITY POLE
- SANITARY MANHOLE
- STORM MANHOLE
- WATER MANHOLE
- WATER VALVE
- WATER METER
- FIRE STAND PIPE
- CLEAN OUT
- CURB INLET
- AREA INLET
- TELEPHONE BOX
- ELECTRIC BOX
- CABLE BOX
- IRRIGATION BOX
- GAS METER
- SIGN
- PROPERTY CORNER
- DECIDUOUS TREE
- CONIFER TREE
- BUSH/SHRUB
- SET #4 REBAR W/ CAP PLS #23899



MARTIN/MARTIN assumes no responsibility for utility locations. The user of this drawing is advised to verify the location of all utilities prior to construction. It is the responsibility of the contractor to verify the location of all utilities prior to construction.



MATCHLINE SEE SHEET 6 OF 7

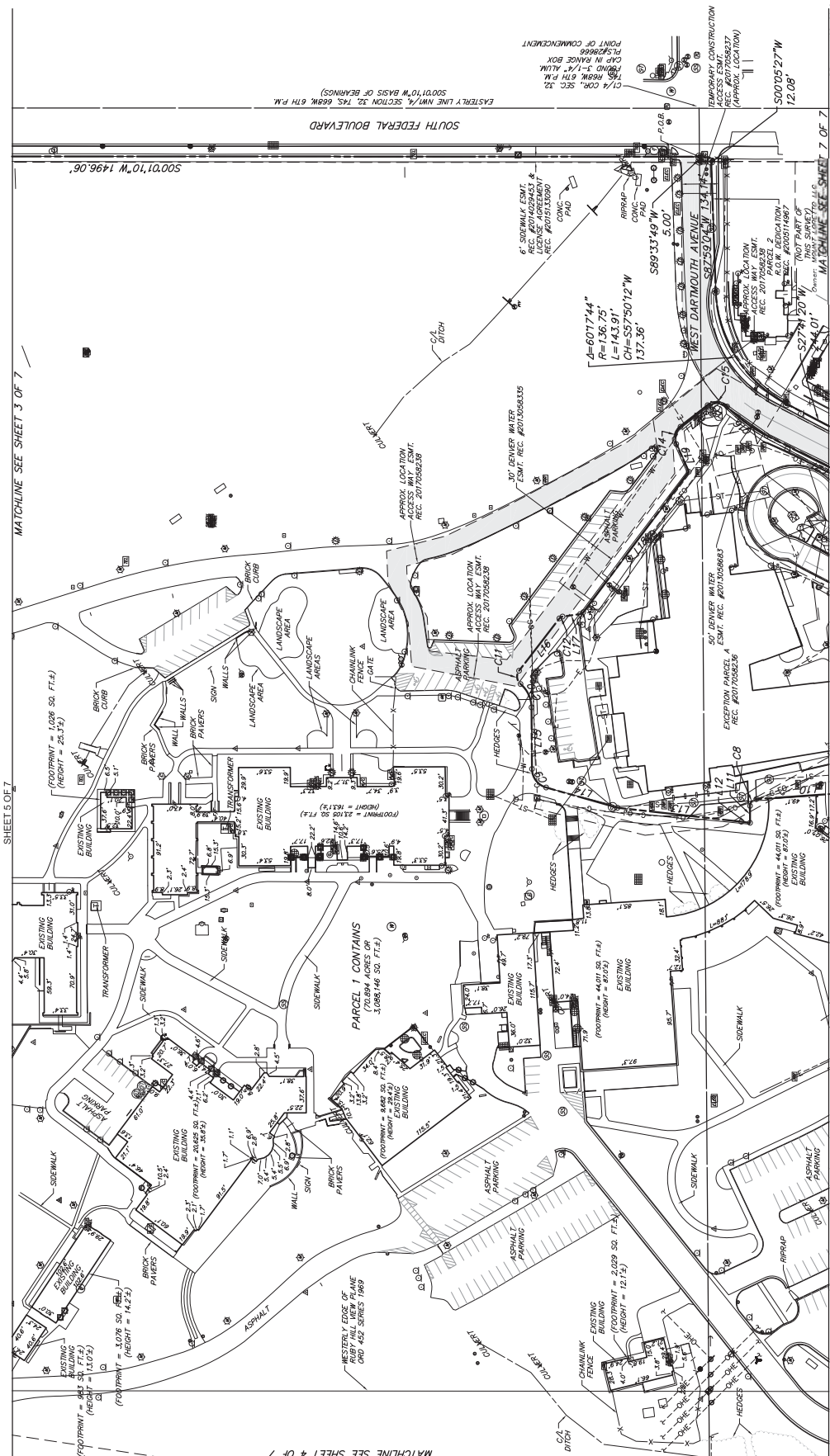
MATCHLINE SEE SHEET 5 OF 7

TEIKYO LORETTO HEIGHTS UNIVERSITY ALTA/NSPS SURVEY 14 OF 17

REV. MAY 08, 2018
MAY 07, 2015

ALTA/NSPS LAND TITLE SURVEY TEIKYO LORETTO HEIGHTS UNIVERSITY

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH,
RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY AND COUNTY OF DENVER,
STATE OF COLORADO



MATCHLINE SEE SHEET 4 OF 7

MATCHLINE SEE SHEET 3 OF 7

LEGEND:

- PROPERTY LINE
- EASEMENT
- RIGHT-OF-WAY
- CURB AND GUTTER
- CONTOUR
- SANITARY SEWER
- STORM SEWER
- DRAIN
- ELECTRIC LINE
- OVERHEAD UTILITY LINE
- TELEPHONE CABLE
- FIBER OPTIC LINE
- GAS LINE
- CABLE TV
- LIGHT POLE-METAL
- UTILITY POLE
- SANITARY MANHOLE
- STORM MANHOLE
- WATER MANHOLE
- WATER VALVE
- WATER METER
- PIPE STAND PIPE
- CLEAN OUT
- CURB INLET
- AREA INLET
- TELEPHONE BOX
- UTILITY BOX
- CABLE TV BOX
- IRRIGATION BOX
- GAS METER
- SIGN
- PROPERTY CORNER
- DECIDUOUS TREE
- UTILITY UNK. D

Scale: 1" = 100'

ALL DIMENSIONS SHOWN ARE U.S. SURVEY FEET

05/09/18 Aekhart
Project Manager: R. NOBBER
By: S. JARVEY/17.0339-Teikyo Loretto Heights University/SURVEY/14005-18/AR05-18.dwg
Sheet Number: 5 OF 7
12.0339.C.87

Point Date: January 26, 2021 \$39,300 fee pd Chk

MATCHLINE SEE SHEET 7 OF 7

REV. MAY 08, 2018
MAY 07, 2019

MARTIN/MARTIN ASSOCIATES, INC.
1335 W. 15TH AVENUE, SUITE 200
DENVER, CO 80202
PHONE: 303.433.4400
WWW.MARTINMARTIN.COM

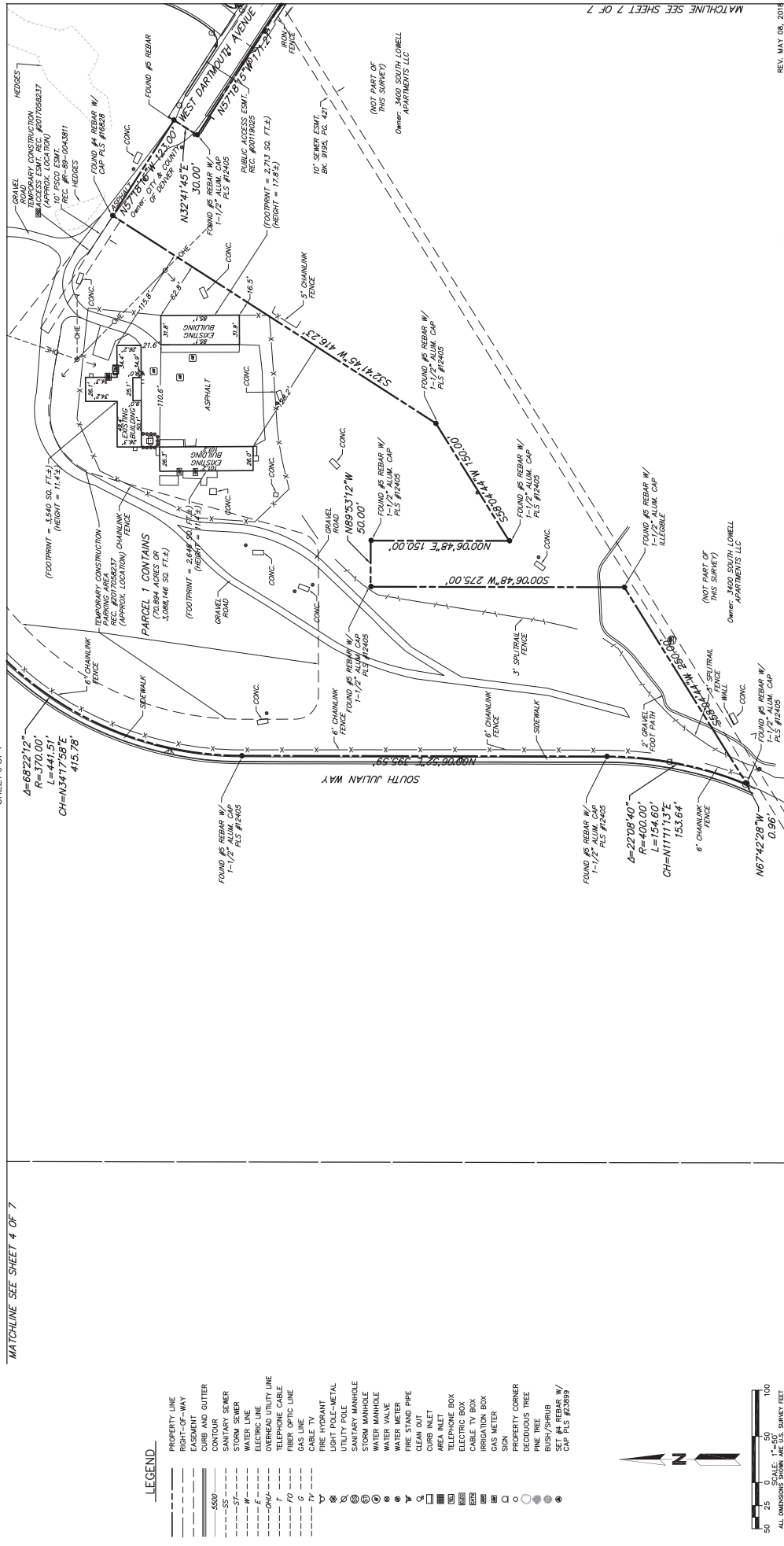
TEIKYO LORETTO HEIGHTS UNIVERSITY ALTA/NSPS SURVEY SHEET 3 OF 7

ALTA/NSPS LAND TITLE SURVEY

TEIKYO LORETTO HEIGHTS UNIVERSITY

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH,
RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY AND COUNTY OF DENVER,
STATE OF COLORADO

SHEET 6 OF 7



MATCHLINE SEE SHEET 4 OF 7

- LEGEND**
- PROPERTY LINE
 - RIGHT-OF-WAY
 - EASEMENT
 - CURB AND GUTTER
 - CONTOUR
 - SANITARY SEWER
 - STORM SEWER
 - WATER MAIN
 - ELECTRIC LINE
 - OVERHEAD UTILITY LINE
 - TELEPHONE CABLE
 - FIBER OPTIC LINE
 - GAS LINE
 - CABLE TV
 - CABLE TRAY
 - LIGHT POLE-METAL
 - UTILITY POLE
 - SANITARY MANHOLE
 - STORM MANHOLE
 - WATER MANHOLE
 - WATER VALVE
 - WATER METER
 - FIRE STAND PIPE
 - CLEAN OUT
 - CURB INLET
 - AREA INLET
 - TELEPHONE BOX
 - ELECTRIC BOX
 - CABLE BOX
 - IRRIGATION BOX
 - GAS METER
 - SIGN
 - PROPERTY CORNER
 - DECIDUOUS TREE
 - CONIFER TREE
 - SET #4 REBAR W/ CONCRETE
 - SET #4 REBAR W/ CONCRETE



MARTIN/MARTIN assumes no responsibility for utility locations. The contractor shall verify the location of all utilities prior to construction. ALL DIMENSIONS SHOWN ARE U.S. SURVEY FEET.

REV. MAY 09, 2018
MAY 07, 2015

TEIKYO LORETTO HEIGHTS UNIVERSITY ALTA/NSPS SURVEY SHEET 7 OF 7

MARTIN/MARTIN
SURVEYORS & ENGINEERS
1400 SOUTH LONNELL AVE., SUITE 200
DENVER, CO 80202
PH: 303.431.2100 FAX: 303.431.2101
WWW.MARTINMARTIN.COM

ALTA/NSPS LAND TITLE SURVEY

TEIKYO LORETTO HEIGHTS UNIVERSITY

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH,
RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY AND COUNTY OF DENVER,
STATE OF COLORADO

SHEET 7 OF 7

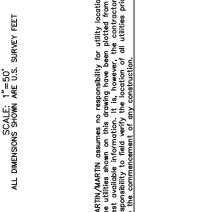
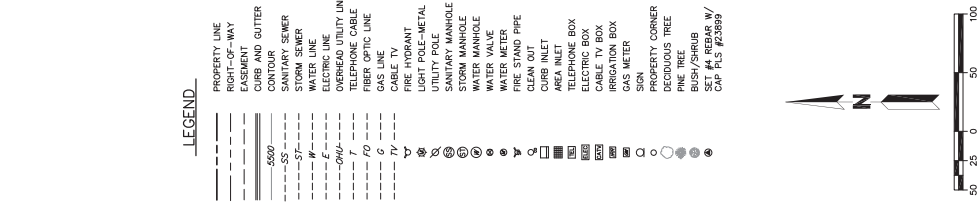
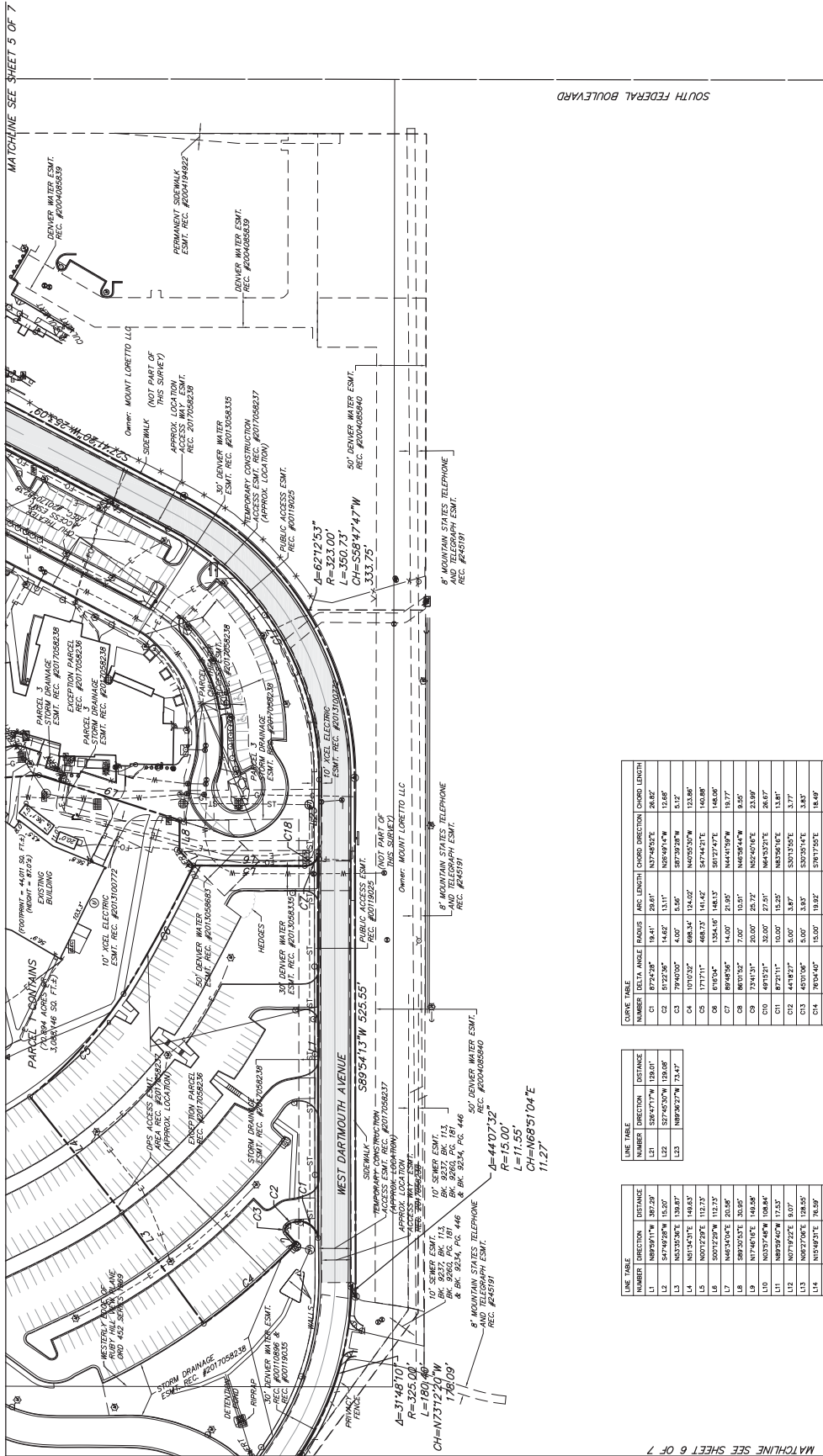


TABLE 1

LINE NUMBER	BEARING	ANGLE	RADIUS	ARC LENGTH	CURVE DIRECTION	CHORD LENGTH
C1	S72°29'00\"	19.41°	20.81'	N37°40'00\"	26.30'	12.86'
C2	S72°29'00\"	14.62°	13.11'	N68°04'47\"	12.86'	5.57'
C3	S72°29'00\"	4.00°	5.85'	S87°50'29\"	123.86'	123.86'
C4	S72°29'00\"	688.34°	174.02'	N47°52'50\"	123.86'	123.86'
C5	S72°29'00\"	171.71°	468.37'	S47°42'57\"	140.86'	140.86'
C6	S72°29'00\"	1354.16°	1463.13'	S81°57'47\"	146.50'	146.50'
C7	S72°29'00\"	14.00°	21.25'	N44°47'09\"	19.37'	19.37'
C8	S72°29'00\"	7.00°	10.51'	N48°58'44\"	8.95'	8.95'
C9	S72°29'00\"	20.00°	25.37'	N52°40'07\"	23.99'	23.99'
C10	S72°29'00\"	32.00°	27.57'	N45°33'77\"	26.67'	26.67'
C11	S72°29'00\"	10.00°	15.25'	N83°50'07\"	13.81'	13.81'
C12	S72°29'00\"	5.00°	3.87'	S20°25'07\"	3.77'	3.77'
C13	S72°29'00\"	5.00°	3.87'	S20°25'07\"	3.83'	3.83'
C14	S72°29'00\"	15.00°	19.50'	S18°17'55\"	18.49'	18.49'
C15	S72°29'00\"	15.00°	19.50'	S18°17'55\"	19.54'	19.54'
C16	S72°29'00\"	10.00°	15.25'	S20°25'07\"	15.44'	15.44'
C17	S72°29'00\"	286.00°	311.50'	S30°43'30\"	286.37'	286.37'
C18	S72°29'00\"	14.00°	14.37'	S37°24'37\"	17.08'	17.08'

TABLE 2

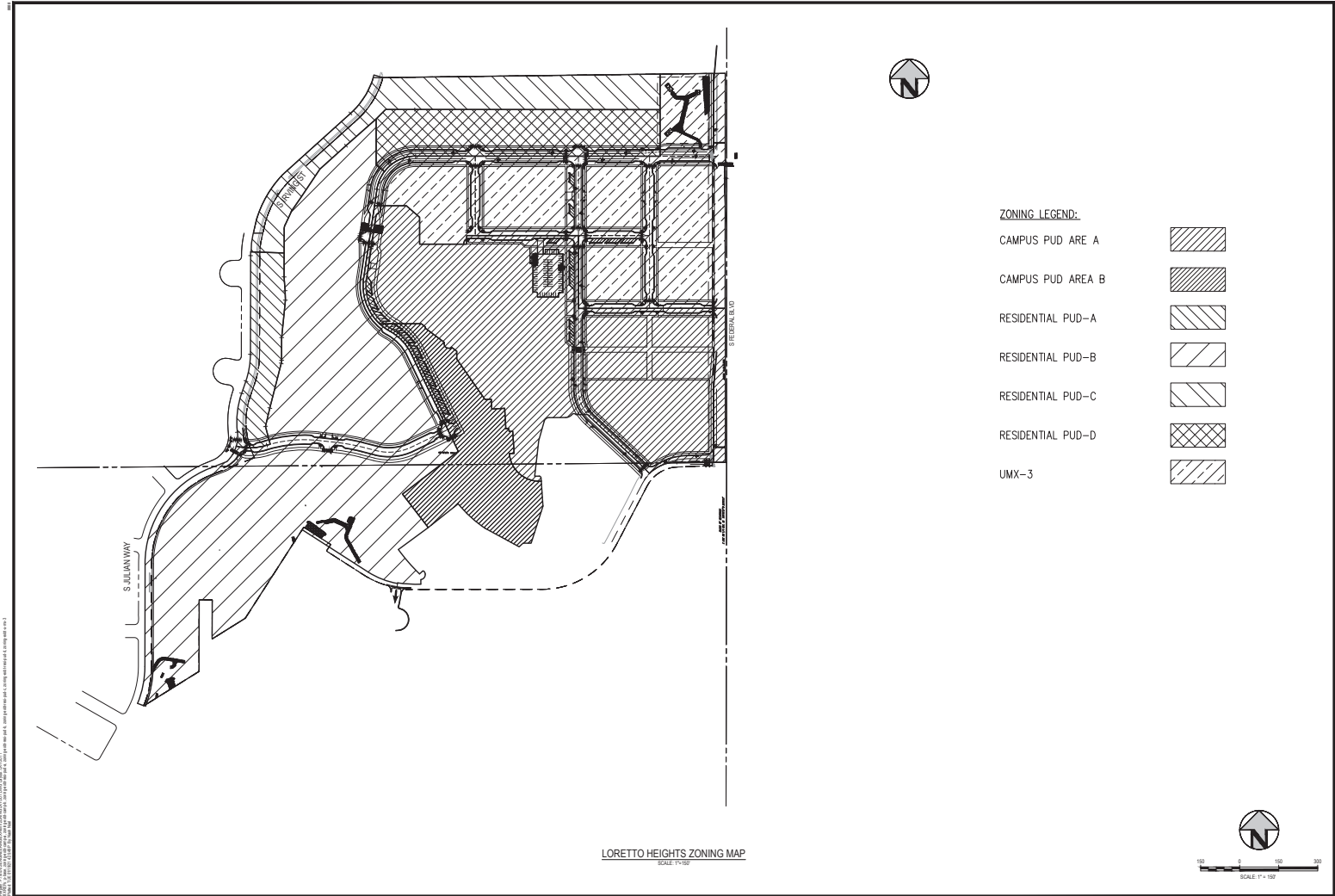
LINE NUMBER	DIRECTION	DISTANCE
L1	S38°47'17\"	120.91'
L2	S27°42'50\"	120.98'
L3	N89°04'27\"	73.47'

TABLE 3

LINE NUMBER	DIRECTION	DISTANCE
L1	N89°04'27\"	80.20'
L2	S47°42'50\"	120.97'
L3	N43°32'56\"	120.87'
L4	N71°34'31\"	148.63'
L5	S20°27'29\"	112.73'
L6	S20°27'29\"	112.73'
L7	N45°30'47\"	20.54'
L8	S89°30'53\"	20.50'
L9	N77°46'19\"	149.58'
L10	N43°37'48\"	108.84'
L11	N89°56'47\"	172.53'
L12	N67°19'22\"	14.07'
L13	N20°25'07\"	128.55'
L14	N49°43'11\"	18.97'
L15	N49°43'11\"	18.97'
L16	S23°23'06\"	84.32'
L17	S23°23'06\"	84.32'
L18	S23°23'06\"	84.32'
L19	N62°59'45\"	141.30'
L20	S28°15'25\"	62.72'

MARTIN/MARTIN assumes no responsibility for utility locations. The contractor shall verify the location of all utilities prior to construction. ALL DIMENSIONS SHOWN ARE U.S. SURVEY FEET.

09/09/18 Month
 Project Manager: R. Nossel
 Survey By: R. Nossel
 ERI/RSY
 12/03/19 12:03:39.87
 Sheet 7 of 7



Legal Descriptions

DESCRIPTION U-MX-3

SITUATED IN THE WEST 1/2 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
CITY AND COUNTY OF DENVER, STATE OF COLORADO

A PARCEL OF LAND SITUATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE
PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;
THENCE NORTH 00°32'15" WEST, A DISTANCE OF 592.61 FEET TO A POINT ON THE CENTERLINE OF S.
FEDERAL BOULEVARD AS DESCRIBED IN SUB-AREA A, PUD G24 AND THE POINT OF BEGINNING;

THENCE SOUTH 89°57'25" WEST, A DISTANCE OF 564.02 FEET; THENCE NORTH 00°01'10" EAST, A
DISTANCE OF 280.19 FEET;
THENCE NORTH 89°58'50" WEST, A DISTANCE OF 396.60 FEET;
THENCE SOUTH 89°57'46" WEST, A DISTANCE OF 33.00 FEET;
THENCE SOUTH 00°01'10" WEST, A DISTANCE OF 32.97 FEET;
THENCE NORTH 89°58'50" WEST, A DISTANCE OF 180.85 FEET;
THENCE NORTH 00°00'00" EAST, A DISTANCE OF 103.13 FEET;
THENCE NORTH 48°57'51" WEST, A DISTANCE OF 67.55 FEET;
THENCE NORTH 90°00'00" WEST, A DISTANCE OF 122.48 FEET;
THENCE NORTH 08°32'55" EAST, A DISTANCE OF 63.66 FEET TO A POINT OF CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 213.29 FEET, SAID CURVE
HAVING A RADIUS OF 150.00 FEET, A CENTRAL ANGLE OF 81°28'15", AND A CHORD WHICH BEARS
NORTH 49°17'02" EAST A CHORD DISTANCE OF 195.77 FEET;
THENCE SOUTH 89°58'50" EAST, A DISTANCE OF 939.84 FEET;
THENCE NORTH 00°01'10" EAST, A DISTANCE OF 315.71 FEET TO A POINT ON THE SOUTH LINE OF
SHARON PARK SUBDIVISION RECORDED AT RECEPTION NO. 52537;
THENCE NORTH 89°16'41" EAST ALONG SAID SOUTH LINE, A DISTANCE OF 260.68 FEET TO A POINT ON
SAID CENTERLINE;
THENCE SOUTH 00°01'10" WEST ALONG SAID CENTERLINE, A DISTANCE OF 903.65 FEET TO THE POINT
OF BEGINNING.

SAID PARCEL CONTAINS 629,739 SQUARE FEET OR 14.46 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE
NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL
MERIDIAN, BEARS NORTH 00°01'10" EAST.

PREPARED BY: AARON MURPHY
PLS 38162

ON BEHALF OF: HARRIS KOCHER SMITH
1120 LINCOLN STREET, SUITE 1000
DENVER, CO 80203
303.623.6300



DESCRIPTION

SITUATED IN THE WEST 1/2 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO

A PARCEL OF LAND SITUATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;
 THENCE NORTH 00°32'15" WEST, A DISTANCE OF 592.61 FEET TO A POINT ON THE CENTERLINE OF S. FEDERAL BOULEVARD AS DESCRIBED IN SUB-AREA A, PUD G24 AND THE POINT OF BEGINNING;
 THENCE SOUTH 89°57'25" WEST, A DISTANCE OF 564.02 FEET;
 THENCE NORTH 00°01'10" EAST, A DISTANCE OF 280.19 FEET;
 THENCE NORTH 89°58'50" WEST, A DISTANCE OF 396.60 FEET;
 THENCE SOUTH 89°57'46" WEST, A DISTANCE OF 33.00 FEET;
 THENCE SOUTH 00°01'10" WEST, A DISTANCE OF 32.97 FEET;
 THENCE NORTH 89°58'50" WEST, A DISTANCE OF 180.85 FEET;
 THENCE NORTH 00°00'00" EAST, A DISTANCE OF 103.13 FEET;
 THENCE NORTH 48°57'51" WEST, A DISTANCE OF 67.55 FEET;
 THENCE NORTH 90°00'00" WEST, A DISTANCE OF 122.48 FEET;
 THENCE NORTH 08°32'55" EAST, A DISTANCE OF 63.66 FEET TO A POINT OF CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 213.29 FEET, SAID CURVE HAVING A RADIUS OF 150.00 FEET, A CENTRAL ANGLE OF 81°28'15", AND A CHORD WHICH BEARS NORTH 49°17'02" EAST A CHORD DISTANCE OF 195.77 FEET;
 THENCE SOUTH 89°58'50" EAST, A DISTANCE OF 939.84 FEET;
 THENCE NORTH 00°01'10" EAST, A DISTANCE OF 315.71 FEET TO A POINT ON THE SOUTH LINE OF SHARON PARK SUBDIVISION RECORDED AT RECEPTION NO. 52537;
 THENCE NORTH 89°16'41" EAST ALONG SAID SOUTH LINE, A DISTANCE OF 260.36 FEET TO A POINT ON SAID CENTERLINE;
 THENCE SOUTH 00°01'10" WEST ALONG SAID CENTERLINE, A DISTANCE OF 903.65 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 629,739 SQUARE FEET OR 14.46 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARS NORTH 00°01'10" EAST.

PREPARED BY: AARON MURPHY
 PLS 38162
 ON BEHALF OF: HARRIS KOCHER SMITH
 1120 LINCOLN STREET, SUITE 1000
 DENVER, CO 80203
 303.623.6300



ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
11/17/2020	REV. BNDY
12/18/2020	REV PARCELS
1/18/2021	REV. BNDY

Plotted: TUE 01/19/21 3:08:08P By: Jeremy Felder Filepath: p:\180702\survey\zoning-exbt-u-mx-3.dwg Layout: desc.1

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 harris@hks.com

LORETTO
DESCRIPTION
 U-MX-3

PROJECT #:	180702
CHECKED BY:	AWM
DRAWN BY:	JAF
SHEET NUMBER	1
	OF 2

ILLUSTRATION

SITUATED IN THE WEST 1/2 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO



NORTH 1/4
COR. SEC 32

BASIS OF BEARINGS
EAST LINE NW 1/4 SEC 32
N00°01'10"E

S FEDERAL BLVD
903.65'

POINT OF COMMENCEMENT
CENTER 1/4
COR. SEC. 32

SHARON PARK SUBDIVISION
REC. NO. 52537

L=213.29'
R=150.00'
Δ=81°28'15"
ChB=N49°17'02"E
ChL=195.77'

N89°16'41"E 250.36'

N00°01'10"E 315.71'

UNPLATTED

S89°58'50"E 939.84'

PARCEL CONTAINS
629,739 SQ. FT.
OR 14.46 AC. ±

N08°32'55"E 63.66'

N90°00'00"W 122.48'

N48°57'51"W 67.55'

POINT OF BEGINNING

N00°00'00"E
103.13'

N89°58'50"W 396.60'

S89°57'46"W 33.00'

S00°01'10"W 32.97'

N89°58'50"W 180.85'

N00°01'10"E 280.19'

UNPLATTED

S89°57'25"W 564.02'

N00°23'24"W
592.60'



SCALE: 1" = 250'

ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
11/17/2020	REV BNDY
12/18/2020	REV PARCELS
1/18/2021	REV BNDY

NOTE:
THIS EXHIBIT DOES NOT REPRESENT A MONUMENTED LAND SURVEY.
IT IS INTENDED TO DEPICT ONLY THE ATTACHED DESCRIPTION.



1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
harris@kochersmith.com

LORETTO
ILLUSTRATION
U-MX-3

PROJECT #: 180702
CHECKED BY: AWM
DRAWN BY: JAF
SHEET NUMBER

2

2 OF 2

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

Plotted: TUE 01/19/21 3:08:08P By: Jeremy Felder Filepath: p:\180702\survey\zoning-exbi-u-mx-3.dwg Layout: layout2

20191-00165

January 26, 2021 \$39,300 fee pd CLK

DESCRIPTION
CAMPUS PUD AREA A

A PARCEL OF LAND SITUATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;
THENCE NORTH 75°20'27" WEST, A DISTANCE OF 5.95 FEET TO A POINT ON THE CENTERLINE OF S. FEDERAL BOULEVARD AND THE POINT OF BEGINNING;
THENCE SOUTH 89°57'15" WEST, A DISTANCE OF 186.06 FEET TO A POINT OF NON-TANGENT CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 116.13 FEET, SAID CURVE HAVING A RADIUS OF 150.00 FEET, A CENTRAL ANGLE OF 44°21'31", AND A CHORD WHICH BEARS SOUTH 67°22'44" WEST A CHORD DISTANCE OF 113.25 FEET;
THENCE NORTH 44°48'02" WEST, A DISTANCE OF 59.51 FEET;
THENCE NORTH 45°52'49" WEST, A DISTANCE OF 5.65 FEET;
THENCE NORTH 46°57'35" WEST, A DISTANCE OF 245.88 FEET TO A POINT OF NON-TANGENT CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 17.23 FEET, SAID CURVE HAVING A RADIUS OF 150.92 FEET, A CENTRAL ANGLE OF 06°32'27", AND A CHORD WHICH BEARS NORTH 43°37'01" WEST A CHORD DISTANCE OF 17.22 FEET;
THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 44.86 FEET;
THENCE NORTH 52°23'08" WEST, A DISTANCE OF 2.38 FEET TO A POINT OF NON-TANGENT CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 15.22 FEET, SAID CURVE HAVING A RADIUS OF 10.07 FEET, A CENTRAL ANGLE OF 86°36'25", AND A CHORD WHICH BEARS SOUTH 83°57'59" WEST A CHORD DISTANCE OF 13.81 FEET TO A POINT OF NON-TANGENT CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 27.51 FEET, SAID CURVE HAVING A RADIUS OF 32.00 FEET, A CENTRAL ANGLE OF 49°15'10", AND A CHORD WHICH BEARS SOUTH 64°53'27" WEST A CHORD DISTANCE OF 26.67 FEET;
THENCE SOUTH 89°31'02" WEST, A DISTANCE OF 63.67 FEET TO A POINT OF CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 25.72 FEET, SAID CURVE HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 73°41'31", AND A CHORD WHICH BEARS SOUTH 52°40'17" WEST A CHORD DISTANCE OF 23.99 FEET;
THENCE SOUTH 15°49'31" WEST, A DISTANCE OF 76.59 FEET;
THENCE SOUTH 06°28'16" WEST, A DISTANCE OF 125.46 FEET;
THENCE SOUTH 06°54'03" WEST, A DISTANCE OF 12.16 FEET;
THENCE SOUTH 89°52'50" EAST, A DISTANCE OF 17.53 FEET TO A POINT OF CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 10.51 FEET, SAID CURVE HAVING A RADIUS OF 7.00 FEET, A CENTRAL ANGLE OF 86°01'52", AND A CHORD WHICH BEARS SOUTH 46°58'44" EAST A CHORD DISTANCE OF 9.55 FEET;
THENCE SOUTH 03°57'48" EAST, A DISTANCE OF 12.71 FEET TO A POINT OF NON-TANGENT CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 179.41 FEET, SAID CURVE HAVING A RADIUS OF 114.75 FEET, A CENTRAL ANGLE OF 89°35'00", AND A CHORD WHICH BEARS NORTH 49°10'44" WEST A CHORD DISTANCE OF 161.69 FEET;
THENCE NORTH 86°09'44" EAST, A DISTANCE OF 18.25 FEET;
THENCE NORTH 03°47'14" WEST, A DISTANCE OF 85.15 FEET;
THENCE SOUTH 86°15'10" WEST, A DISTANCE OF 13.79 FEET;

THENCE NORTH 06°58'47" WEST, A DISTANCE OF 11.82 FEET;
THENCE SOUTH 83°01'13" WEST, A DISTANCE OF 11.20 FEET;
THENCE NORTH 03°16'47" WEST, A DISTANCE OF 79.16 FEET;
THENCE SOUTH 86°28'34" WEST, A DISTANCE OF 49.72 FEET;
THENCE NORTH 03°01'23" WEST, A DISTANCE OF 38.12 FEET;
THENCE SOUTH 87°00'28" WEST, A DISTANCE OF 24.03 FEET;
THENCE NORTH 34°59'18" WEST, A DISTANCE OF 189.64 FEET;
THENCE NORTH 00°07'18" EAST, A DISTANCE OF 30.32 FEET;
THENCE NORTH 53°18'53" WEST, A DISTANCE OF 25.76 FEET;
THENCE SOUTH 35°58'03" WEST, A DISTANCE OF 6.72 FEET;
THENCE NORTH 52°06'49" WEST, A DISTANCE OF 2.81 FEET;
THENCE SOUTH 87°28'38" WEST, A DISTANCE OF 6.86 FEET;
THENCE NORTH 72°57'35" WEST, A DISTANCE OF 5.53 FEET;
THENCE NORTH 53°33'06" WEST, A DISTANCE OF 5.45 FEET;
THENCE NORTH 33°54'22" WEST, A DISTANCE OF 5.42 FEET;
THENCE NORTH 13°54'45" WEST, A DISTANCE OF 6.95 FEET;
THENCE NORTH 53°44'27" WEST, A DISTANCE OF 2.83 FEET;
THENCE NORTH 36°47'57" EAST, A DISTANCE OF 5.21 FEET;
THENCE NORTH 53°12'03" WEST, A DISTANCE OF 92.46 FEET;
THENCE NORTH 38°04'28" EAST, A DISTANCE OF 1.67 FEET;
THENCE NORTH 52°02'40" WEST, A DISTANCE OF 2.13 FEET;
THENCE NORTH 38°17'45" EAST, A DISTANCE OF 2.27 FEET;
THENCE NORTH 52°03'17" WEST, A DISTANCE OF 19.88 FEET;
THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 160.20 FEET TO A POINT OF NON-TANGENT CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 193.95 FEET, SAID CURVE HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 55°33'50", AND A CHORD WHICH BEARS NORTH 19°14'01" WEST A CHORD DISTANCE OF 186.44 FEET;
THENCE NORTH 08°32'55" EAST, A DISTANCE OF 280.75 FEET;
THENCE NORTH 90°00'00" EAST, A DISTANCE OF 122.48 FEET;
THENCE SOUTH 48°57'51" EAST, A DISTANCE OF 67.55 FEET;
THENCE SOUTH 00°00'00" EAST, A DISTANCE OF 103.13 FEET;
THENCE SOUTH 89°58'50" EAST, A DISTANCE OF 180.85 FEET;
THENCE NORTH 00°01'10" EAST, A DISTANCE OF 32.97 FEET;
THENCE NORTH 89°57'46" EAST, A DISTANCE OF 33.00 FEET;
THENCE SOUTH 89°58'50" EAST, A DISTANCE OF 396.60 FEET;
THENCE SOUTH 00°01'10" WEST, A DISTANCE OF 280.19 FEET;
THENCE NORTH 89°57'25" EAST, A DISTANCE OF 564.02 FEET TO A POINT ON THE CENTERLINE OF S. FEDERAL BOULEVARD;
THENCE SOUTH 00°01'10" WEST ALONG SAID CENTERLINE, A DISTANCE OF 591.08 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 781,650 SQUARE FEET OR 17.94 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARS NORTH 00°01'10" EAST.

PREPARED BY: AARON MURPHY
PLS 38162
ON BEHALF OF: HARRIS KOCHER SMITH
1120 LINCOLN STREET, SUITE 1000
DENVER, CO 80203
303.623.6300



DESCRIPTION

SITUATED IN THE WEST 1/2 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO

A PARCEL OF LAND SITUATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;
 THENCE NORTH 75°20'27" WEST, A DISTANCE OF 5.95 FEET TO A POINT ON THE CENTERLINE OF S. FEDERAL BOULEVARD AND THE POINT OF BEGINNING;
 THENCE SOUTH 89°57'15" WEST, A DISTANCE OF 186.06 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 116.13 FEET, SAID CURVE HAVING A RADIUS OF 150.00 FEET, A CENTRAL ANGLE OF 44°21'31", AND A CHORD WHICH BEARS SOUTH 67°22'44" WEST A CHORD DISTANCE OF 113.25 FEET;
 THENCE NORTH 44°48'02" WEST, A DISTANCE OF 59.51 FEET;
 THENCE NORTH 45°52'49" WEST, A DISTANCE OF 5.65 FEET;
 THENCE NORTH 46°57'35" WEST, A DISTANCE OF 245.88 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 17.23 FEET, SAID CURVE HAVING A RADIUS OF 150.92 FEET, A CENTRAL ANGLE OF 06°32'27", AND A CHORD WHICH BEARS NORTH 43°37'01" WEST A CHORD DISTANCE OF 17.22 FEET;
 THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 44.86 FEET;
 THENCE NORTH 52°23'08" WEST, A DISTANCE OF 2.38 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 15.22 FEET, SAID CURVE HAVING A RADIUS OF 10.07 FEET, A CENTRAL ANGLE OF 86°36'25", AND A CHORD WHICH BEARS SOUTH 83°57'59" WEST A CHORD DISTANCE OF 13.81 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 27.51 FEET, SAID CURVE HAVING A RADIUS OF 32.00 FEET, A CENTRAL ANGLE OF 49°15'10", AND A CHORD WHICH BEARS SOUTH 64°53'27" WEST A CHORD DISTANCE OF 26.67 FEET;
 THENCE SOUTH 89°31'02" WEST, A DISTANCE OF 63.67 FEET TO A POINT OF CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 25.72 FEET, SAID CURVE HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 73°41'31", AND A CHORD WHICH BEARS SOUTH 52°40'17" WEST A CHORD DISTANCE OF 23.99 FEET;
 THENCE SOUTH 15°49'31" WEST, A DISTANCE OF 76.59 FEET;
 THENCE SOUTH 06°28'16" WEST, A DISTANCE OF 125.46 FEET;
 THENCE SOUTH 06°54'03" WEST, A DISTANCE OF 12.16 FEET;
 THENCE SOUTH 89°52'50" EAST, A DISTANCE OF 17.53 FEET TO A POINT OF CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 10.51 FEET, SAID CURVE HAVING A RADIUS OF 7.00 FEET, A CENTRAL ANGLE OF 86°01'52", AND A CHORD WHICH BEARS SOUTH 46°58'44" EAST A CHORD DISTANCE OF 9.55 FEET;
 THENCE SOUTH 03°57'48" EAST, A DISTANCE OF 12.71 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 179.41 FEET, SAID CURVE HAVING A RADIUS OF 114.75 FEET, A CENTRAL ANGLE OF 89°35'00", AND A CHORD WHICH BEARS NORTH 49°10'44" WEST A CHORD DISTANCE OF 161.69 FEET;
 THENCE NORTH 86°09'44" EAST, A DISTANCE OF 18.25 FEET;
 THENCE NORTH 03°47'14" WEST, A DISTANCE OF 85.15 FEET;
 THENCE SOUTH 86°15'10" WEST, A DISTANCE OF 13.79 FEET;
 THENCE NORTH 06°58'47" WEST, A DISTANCE OF 11.82 FEET;
 THENCE SOUTH 83°01'13" WEST, A DISTANCE OF 11.20 FEET;
 THENCE NORTH 03°16'47" WEST, A DISTANCE OF 79.16 FEET;
 THENCE SOUTH 86°28'34" WEST, A DISTANCE OF 49.72 FEET;
 THENCE NORTH 03°01'23" WEST, A DISTANCE OF 38.12 FEET;
 THENCE SOUTH 87°00'28" WEST, A DISTANCE OF 24.03 FEET;
 THENCE NORTH 34°59'18" WEST, A DISTANCE OF 189.64 FEET;
 THENCE NORTH 00°07'18" EAST, A DISTANCE OF 30.32 FEET;
 THENCE NORTH 53°18'53" WEST, A DISTANCE OF 25.76 FEET;
 THENCE SOUTH 35°58'03" WEST, A DISTANCE OF 6.72 FEET;
 THENCE NORTH 52°06'49" WEST, A DISTANCE OF 2.81 FEET;
 THENCE SOUTH 87°28'38" WEST, A DISTANCE OF 6.86 FEET;
 THENCE NORTH 72°57'35" WEST, A DISTANCE OF 5.53 FEET;

ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
11/17/2020	REV. BNDY
12/21/2020	REV. BNDY
1/18/2021	REV. PER COMMENTS

Plotted: THU 02/04/21 10:40:37A By: Jeremy Felder Filepath: p:\180702\survey\zoning\zab1-camp-a.dwg Layout: desc.1

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



HKS HARRIS KOCHER SMITH
 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

LORETTO

DESCRIPTION

CAMPUS PUD AREA A

PROJECT #: 180702
 CHECKED BY: AWM
 DRAWN BY: JAF
 SHEET NUMBER
1
 1 OF 6

DESCRIPTION

SITUATED IN THE WEST 1/2 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO

THENCE NORTH 53°33'06" WEST, A DISTANCE OF 5.45 FEET;
 THENCE NORTH 33°54'22" WEST, A DISTANCE OF 5.42 FEET;
 THENCE NORTH 13°54'45" WEST, A DISTANCE OF 6.95 FEET;
 THENCE NORTH 53°44'27" WEST, A DISTANCE OF 2.83 FEET;
 THENCE NORTH 36°47'57" EAST, A DISTANCE OF 5.21 FEET;
 THENCE NORTH 53°12'03" WEST, A DISTANCE OF 92.46 FEET;
 THENCE NORTH 38°04'28" EAST, A DISTANCE OF 1.67 FEET;
 THENCE NORTH 52°02'40" WEST, A DISTANCE OF 2.13 FEET;
 THENCE NORTH 38°17'45" EAST, A DISTANCE OF 2.27 FEET;
 THENCE NORTH 52°03'17" WEST, A DISTANCE OF 19.88 FEET;
 THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 160.20 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 193.95 FEET, SAID CURVE HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 55°33'50", AND A CHORD WHICH BEARS NORTH 19°14'01" WEST A CHORD DISTANCE OF 186.44 FEET;
 THENCE NORTH 08°32'55" EAST, A DISTANCE OF 280.75 FEET;
 THENCE NORTH 90°00'00" EAST, A DISTANCE OF 122.48 FEET;
 THENCE SOUTH 48°57'51" EAST, A DISTANCE OF 67.55 FEET;
 THENCE SOUTH 00°00'00" EAST, A DISTANCE OF 103.13 FEET;
 THENCE SOUTH 89°58'50" EAST, A DISTANCE OF 180.85 FEET;
 THENCE NORTH 00°01'10" EAST, A DISTANCE OF 32.97 FEET;
 THENCE NORTH 89°57'46" EAST, A DISTANCE OF 33.00 FEET;
 THENCE SOUTH 89°58'50" EAST, A DISTANCE OF 396.60 FEET;
 THENCE SOUTH 00°01'10" WEST, A DISTANCE OF 280.19 FEET;
 THENCE NORTH 89°57'25" EAST, A DISTANCE OF 564.02 FEET TO A POINT ON THE CENTERLINE OF S. FEDERAL BOULEVARD;
 THENCE SOUTH 00°01'10" WEST ALONG SAID CENTERLINE, A DISTANCE OF 591.08 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 781,650 SQUARE FEET OR 17.94 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARS NORTH 00°01'10" EAST.

PREPARED BY: AARON MURPHY
 PLS 38162
 ON BEHALF OF: HARRIS KOCHER SMITH
 1120 LINCOLN STREET, SUITE 1000
 DENVER, CO 80203
 303.623.6300



ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
11/17/2020	REV. BNDY
12/21/2020	REV. BNDY
1/18/2021	REV. PER COMMENTS

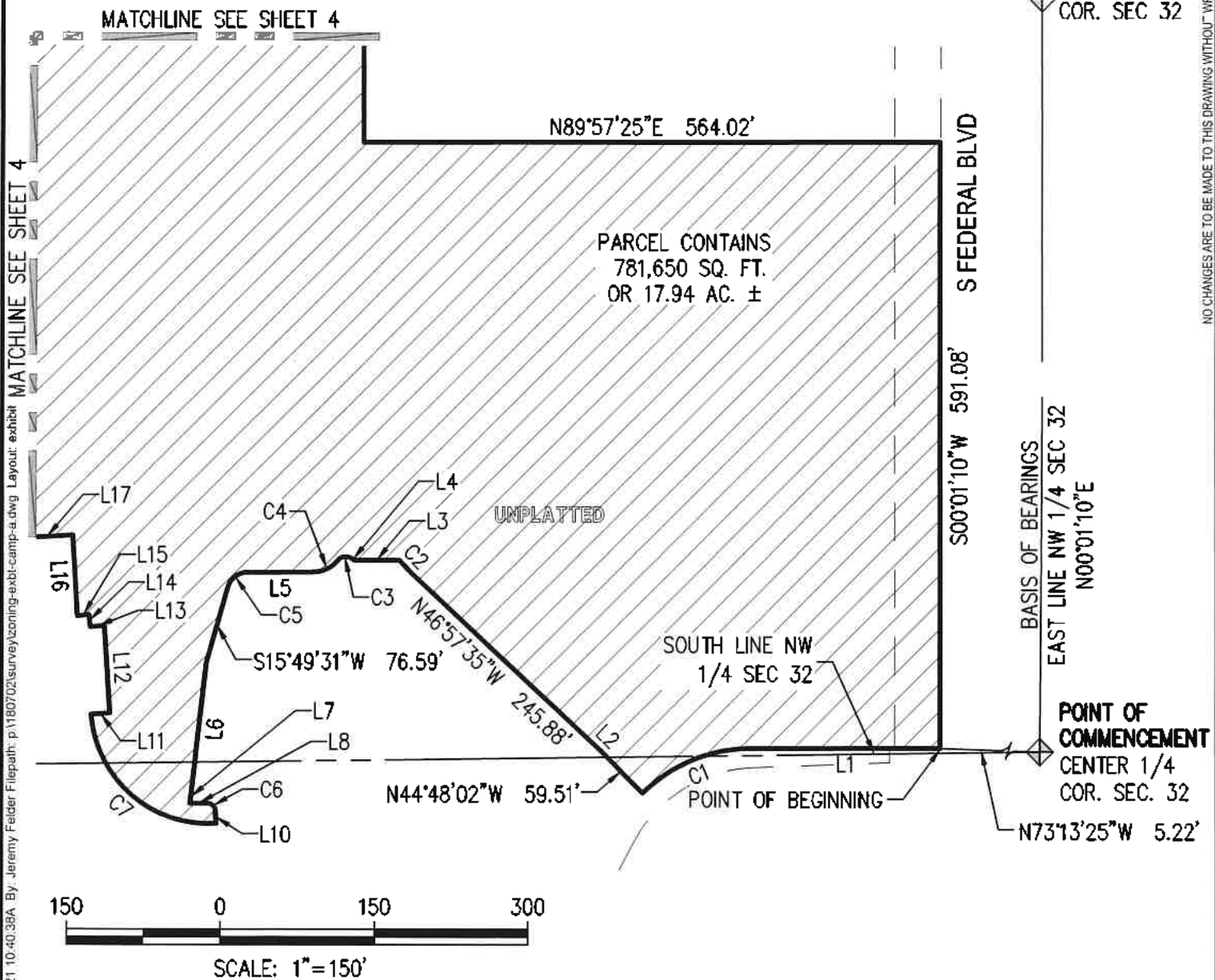
Plotted: THU 02/04/21 10:40:38A By: Jeremy Felder Filepath: p:\180702\survey\zoning-exbl-camp-a.dwg Layout: desc 2

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH

<p style="font-size: 8px;">1120 Lincoln Street, Suite 1000 Denver, Colorado 80203 P: 303.623.6300 F: 303.623.6311 HarrisKocherSmith.com</p>	<p style="font-size: 1.2em; margin: 0;">LORETTO</p> <p style="font-size: 1.2em; margin: 0;">DESCRIPTION</p> <p style="font-size: 1.2em; margin: 0;">CAMPUS PUD AREA A</p>	<p>PROJECT #: 180702</p> <p>CHECKED BY: AWM</p> <p>DRAWN BY: JAF</p> <p>SHEET NUMBER</p> <p style="font-size: 2em; text-align: center; margin: 5px 0;">2</p> <p style="text-align: center;">2 OF 6</p>
	<p style="font-size: 1.2em; margin: 0;">LORETTO</p> <p style="font-size: 1.2em; margin: 0;">DESCRIPTION</p> <p style="font-size: 1.2em; margin: 0;">CAMPUS PUD AREA A</p>	

ILLUSTRATION

SITUATED IN THE WEST 1/2 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

Plotted: THU 02/04/21 10:40:38A By: Jeremy Felder Filepath: p:\180702\survey\zoning-exhibit-campus-a.dwg Layout: exhibit

NOTE:
THIS EXHIBIT DOES NOT REPRESENT A MONUMENTED LAND SURVEY.
IT IS INTENDED TO DEPICT ONLY THE ATTACHED DESCRIPTION.

ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
11/17/2020	REV. BNDY
12/21/2020	REV. BNDY
1/18/2021	REV. PER COMMENTS

HKS HARRIS KOCHER SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

LORETTO
ILLUSTRATION
CAMPUS PUD AREA A

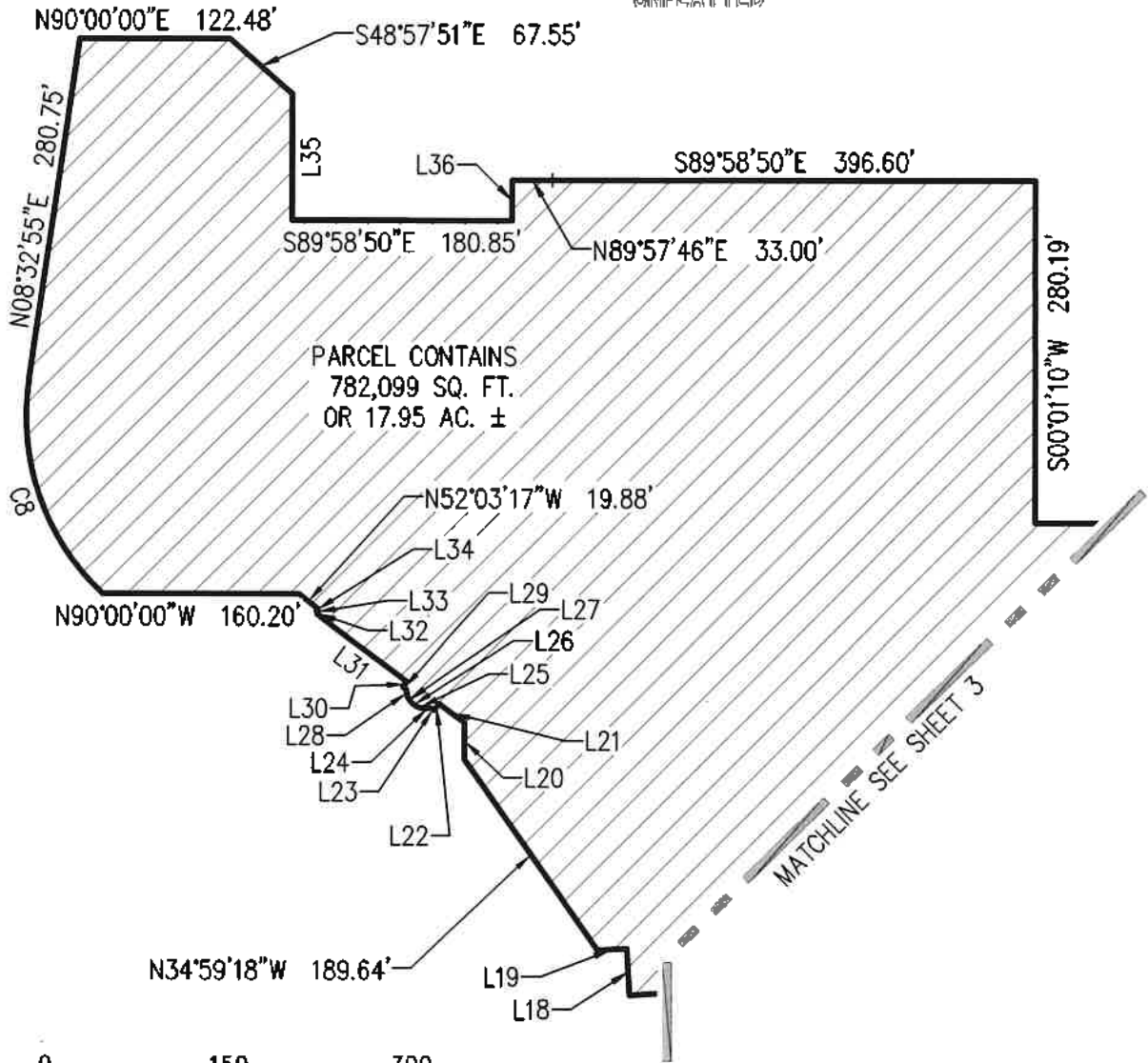
PROJECT #:	180702
CHECKED BY:	AWM
DRAWN BY:	JAF
SHEET NUMBER	3
	3 OF 6

ILLUSTRATION

SITUATED IN THE WEST 1/2 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO

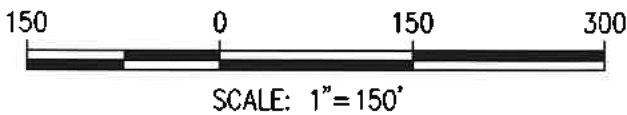


UNPLATTED



PARCEL CONTAINS
782,099 SQ. FT.
OR 17.95 AC. ±

MATCHLINE SEE SHEET 3



Plotted: THU 02/04/21 10:40:38A By: Jeremy Feilder Filepath: p:\180702\survey\zoning-exbl-camp-a.dwg Layout: layout2

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

NOTE:
THIS EXHIBIT DOES NOT REPRESENT A MONUMENTED LAND SURVEY.
IT IS INTENDED TO DEPICT ONLY THE ATTACHED DESCRIPTION.

ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
11/17/2020	REV. BNDY
12/21/2020	REV. BNDY
1/18/2021	REV PER COMMENTS

HKS HARRIS KOCHER SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

LORETTO
ILLUSTRATION
CAMPUS PUD AREA A

PROJECT #: 180702
CHECKED BY: AWM
DRAWN BY: JAF
SHEET NUMBER
4
4 OF 6

LINE TABLES

LINE TABLE		
LINE	BEARING	LENGTH
L1	S89°57'15"W	186.06'
L2	N45°52'49"W	5.65'
L3	N90°00'00"W	44.86'
L4	N52°23'08"W	2.38'
L5	S89°31'02"W	63.67'
L6	S06°28'16"W	125.46'
L7	S06°54'03"W	12.16'
L8	S89°52'50"E	17.53'
L10	S03°57'48"E	12.71'
L11	N86°09'44"E	18.25'
L12	N03°47'14"W	85.15'
L13	S86°15'10"W	13.79'
L14	N06°58'47"W	11.82'
L15	S83°01'13"W	11.20'
L16	N03°16'47"W	79.16'
L17	S86°28'34"W	49.72'
L18	N03°01'23"W	38.12'
L19	S87°00'28"W	24.03'
L20	N00°07'18"E	30.32'
L21	N53°18'53"W	25.76'

LINE TABLE		
LINE	BEARING	LENGTH
L22	S35°58'03"W	6.72'
L23	N52°06'49"W	2.81'
L24	S87°28'38"W	6.86'
L25	N72°57'35"W	5.53'
L26	N53°33'06"W	5.45'
L27	N33°54'22"W	5.42'
L28	N13°54'45"W	6.95'
L29	N53°44'27"W	2.83'
L30	N36°47'57"E	5.21'
L31	N53°12'03"W	92.46'
L32	N38°04'28"E	1.67'
L33	N52°02'40"W	2.13'
L34	N38°17'45"E	2.27'
L35	S00°00'00"E	103.13'
L36	N00°01'10"E	32.97'

ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
11/17/2020	REV. BNDY
12/21/2020	REV. BNDY
1/18/2021	REV. PER COMMENTS

Plotted: THU 02/04/21 10:40:40A By: Jeremy Felder Filepath: p:\180702\survey\zoning-exbt-camp-a.dwg Layout: layout3

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH



HKS HARRIS KOCHER SMITH
 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

LORETTO

LINE TABLES

CAMPUS PUD AREA A

PROJECT #: 180702
CHECKED BY: AWM
DRAWN BY: JAF
SHEET NUMBER
5
5 OF 6

CURVE TABLE

CURVE TABLE					
CURVE	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD
C1	150.00'	44°21'31"	116.13'	S67°22'44"W	113.25'
C2	150.92'	6°32'27"	17.23'	N43°37'01"W	17.22'
C3	10.07'	86°36'25"	15.22'	S83°57'59"W	13.81'
C4	32.00'	49°15'10"	27.51'	S64°53'27"W	26.67'
C5	20.00'	73°41'31"	25.72'	S52°40'16"W	23.99'
C7	114.75'	89°35'00"	179.41'	N49°10'44"W	161.69'
C8	200.00'	55°33'50"	193.95'	N19°14'01"W	186.44'

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

Plotted: MON 01/18/21 12:50:48P By: Jeremy Feider Filepath: p:\180702\survey\zoning-exbl-camp-a.dwg Layout: layout4

ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
11/17/2020	REV. BNDY
12/21/2020	REV. BNDY
1/18/2021	REV. PER COMMENTS



1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.523.6300 F: 303.523.6311
 HarrisKocherSmith.com

LORETTO

CURVE TABLE

CAMPUS PUD AREA A

PROJECT #: 180702
CHECKED BY: AWM
DRAWN BY: JAF
SHEET NUMBER
6
6 OF 6

DESCRIPTION

CAMPUS PUD AREA B

SITUATED IN THE WEST 1/2 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
CITY AND COUNTY OF DENVER, STATE OF COLORADO

A PARCEL OF LAND SITUATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE
PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;

THENCE SOUTH 84°14'39" WEST, A DISTANCE OF 716.02 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 03°57'48" EAST, A DISTANCE OF 96.13 FEET;

THENCE SOUTH 17°46'16" WEST, A DISTANCE OF 149.58 FEET;

THENCE NORTH 89°30'53" WEST, A DISTANCE OF 30.95 FEET;

THENCE SOUTH 46°37'40" WEST, A DISTANCE OF 20.57 FEET;

THENCE NORTH 61°27'47" WEST, A DISTANCE OF 148.06 FEET TO A POINT OF NON-TANGENT
CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 141.42 FEET, SAID CURVE
HAVING A RADIUS OF 468.73 FEET, A CENTRAL ANGLE OF 17°17'11", AND A CHORD WHICH BEARS
NORTH 47°44'21" WEST A CHORD DISTANCE OF 140.88 FEET;

THENCE SOUTH 51°34'19" WEST, A DISTANCE OF 147.01 FEET;

THENCE NORTH 37°34'07" WEST, A DISTANCE OF 162.17 FEET;

THENCE NORTH 52°25'53" EAST, A DISTANCE OF 270.00 FEET;

THENCE NORTH 25°43'52" WEST, A DISTANCE OF 414.97 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 122.68 FEET, SAID CURVE
HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 35°08'47", AND A CHORD WHICH BEARS
NORTH 43°18'15" WEST A CHORD DISTANCE OF 120.77 FEET TO A POINT OF REVERSE CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 48.39 FEET, SAID CURVE
HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 13°51'43", AND A CHORD WHICH BEARS
NORTH 53°56'47" WEST A CHORD DISTANCE OF 48.27 FEET;

THENCE NORTH 90°00'00" EAST, A DISTANCE OF 160.20 FEET;

THENCE SOUTH 52°03'17" EAST, A DISTANCE OF 19.88 FEET;

THENCE SOUTH 38°17'45" WEST, A DISTANCE OF 2.27 FEET;
THENCE SOUTH 52°02'40" EAST, A DISTANCE OF 2.13 FEET;
THENCE SOUTH 38°04'28" WEST, A DISTANCE OF 1.67 FEET;
THENCE SOUTH 53°12'03" EAST, A DISTANCE OF 92.46 FEET;
THENCE SOUTH 36°47'57" WEST, A DISTANCE OF 5.21 FEET;
THENCE SOUTH 53°44'27" EAST, A DISTANCE OF 2.83 FEET;
THENCE SOUTH 13°54'45" EAST, A DISTANCE OF 6.95 FEET;
THENCE SOUTH 33°54'22" EAST, A DISTANCE OF 5.42 FEET;
THENCE SOUTH 53°33'06" EAST, A DISTANCE OF 5.45 FEET;
THENCE SOUTH 72°57'35" EAST, A DISTANCE OF 5.53 FEET;
THENCE NORTH 87°28'38" EAST, A DISTANCE OF 6.86 FEET;
THENCE SOUTH 52°06'49" EAST, A DISTANCE OF 2.81 FEET;
THENCE NORTH 35°58'03" EAST, A DISTANCE OF 6.72 FEET;
THENCE SOUTH 53°18'53" EAST, A DISTANCE OF 25.76 FEET;
THENCE SOUTH 00°07'18" WEST, A DISTANCE OF 30.32 FEET;
THENCE SOUTH 34°59'18" EAST, A DISTANCE OF 189.64 FEET;
THENCE NORTH 87°00'28" EAST, A DISTANCE OF 24.03 FEET;
THENCE SOUTH 03°01'23" EAST, A DISTANCE OF 38.12 FEET;
THENCE NORTH 86°28'34" EAST, A DISTANCE OF 49.72 FEET;
THENCE SOUTH 03°16'47" EAST, A DISTANCE OF 79.16 FEET;
THENCE NORTH 83°01'13" EAST, A DISTANCE OF 11.20 FEET;
THENCE SOUTH 06°58'47" EAST, A DISTANCE OF 11.82 FEET;
THENCE NORTH 86°15'10" EAST, A DISTANCE OF 13.79 FEET;
THENCE SOUTH 03°47'14" EAST, A DISTANCE OF 85.15 FEET;
THENCE SOUTH 86°09'44" WEST, A DISTANCE OF 18.25 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 179.41 FEET, SAID CURVE HAVING A RADIUS OF 114.75 FEET, A CENTRAL ANGLE OF 89°35'00", AND A CHORD WHICH BEARS SOUTH 49°10'44" EAST A CHORD DISTANCE OF 161.69 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 216,237 SQUARE FEET OR 4.96 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARS

NORTH 00°01'10" EAST.

PREPARED BY: AARON MURPHY

PLS 38162

ON BEHALF OF: HARRIS KOCHER SMITH

1120 LINCOLN STREET, SUITE 1000

DENVER, CO 80203

303.623.6300



DESCRIPTION

SITUATED IN THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO

A PARCEL OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;

THENCE NORTH 87°50'36" WEST, A DISTANCE OF 1,754.50 FEET TO A POINT OF NON-TANGENT CURVATURE AND THE POINT OF BEGINNING;

THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 19.08 FEET, SAID CURVE HAVING A RADIUS OF 495.50 FEET, A CENTRAL ANGLE OF 02°12'23", AND A CHORD WHICH BEARS SOUTH 73°46'41" WEST A CHORD DISTANCE OF 19.08 FEET TO A POINT OF REVERSE CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 116.15 FEET, SAID CURVE HAVING A RADIUS OF 204.50 FEET, A CENTRAL ANGLE OF 32°32'32", AND A CHORD WHICH BEARS SOUTH 88°56'45" WEST A CHORD DISTANCE OF 114.60 FEET TO A POINT OF NON-TANGENT CURVATURE AND TO A POINT ON THE CENTERLINE OF S. IRVING ST;

THENCE ALONG SAID CENTERLINE THE FOLLOWING SIX (6) COURSES:

- 1) ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 59.01 FEET, SAID CURVE HAVING A RADIUS OF 135.00 FEET, A CENTRAL ANGLE OF 25°02'46", AND A CHORD WHICH BEARS NORTH 05°48'08" EAST A CHORD DISTANCE OF 58.54 FEET TO A POINT OF NON-TANGENT CURVATURE;
- 2) ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 151.08 FEET, SAID CURVE HAVING A RADIUS OF 335.00 FEET, A CENTRAL ANGLE OF 25°50'22", AND A CHORD WHICH BEARS NORTH 06°11'43" EAST A CHORD DISTANCE OF 149.80 FEET;
- 3) NORTH 19°06'52" EAST, A DISTANCE OF 50.00 FEET TO A POINT OF CURVATURE;
- 4) ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 104.46 FEET, SAID CURVE HAVING A RADIUS OF 315.00 FEET, A CENTRAL ANGLE OF 19°00'00", AND A CHORD WHICH BEARS NORTH 09°36'52" EAST A CHORD DISTANCE OF 103.98 FEET;
- 5) NORTH 00°06'52" EAST, A DISTANCE OF 379.80 FEET TO A POINT OF CURVATURE;
- 6) ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 14.50 FEET, SAID CURVE HAVING A RADIUS OF 350.00 FEET, A CENTRAL ANGLE OF 02°22'23", AND A CHORD WHICH BEARS NORTH 01°18'03" EAST A CHORD DISTANCE OF 14.49 FEET;

THENCE SOUTH 88°00'52" EAST, A DISTANCE OF 128.63 FEET;

THENCE SOUTH 00°06'52" WEST, A DISTANCE OF 91.89 FEET;

THENCE SOUTH 04°02'11" EAST, A DISTANCE OF 53.48 FEET;

THENCE SOUTH 02°03'27" EAST, A DISTANCE OF 36.02 FEET;

THENCE SOUTH 05°42'54" WEST, A DISTANCE OF 144.54 FEET;

THENCE SOUTH 00°06'52" WEST, A DISTANCE OF 87.15 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 12.42 FEET, SAID CURVE HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 14°14'16", AND A CHORD WHICH BEARS SOUTH 07°14'00" WEST A CHORD DISTANCE OF 12.39 FEET;

THENCE SOUTH 14°21'08" WEST, A DISTANCE OF 177.03 FEET;

THENCE SOUTH 13°11'51" WEST, A DISTANCE OF 72.63 FEET;

THENCE SOUTH 14°46'35" EAST, A DISTANCE OF 75.10 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 93,046 SQUARE FEET OR 2.14 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARS NORTH 00°01'10" EAST.

PREPARED BY: AARON MURPHY
 PLS 38162
 ON BEHALF OF: HARRIS KOCHER SMITH
 1120 LINCOLN STREET, SUITE 1000
 DENVER, CO 80203
 303.623.6300



ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
1/18/2021	REV BNDY
2/4/2021	REV PER COMMENTS
2/18/2021	REV PER COMMENTS

1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

LORETTO

DESCRIPTION

RESIDENTIAL PUD-A

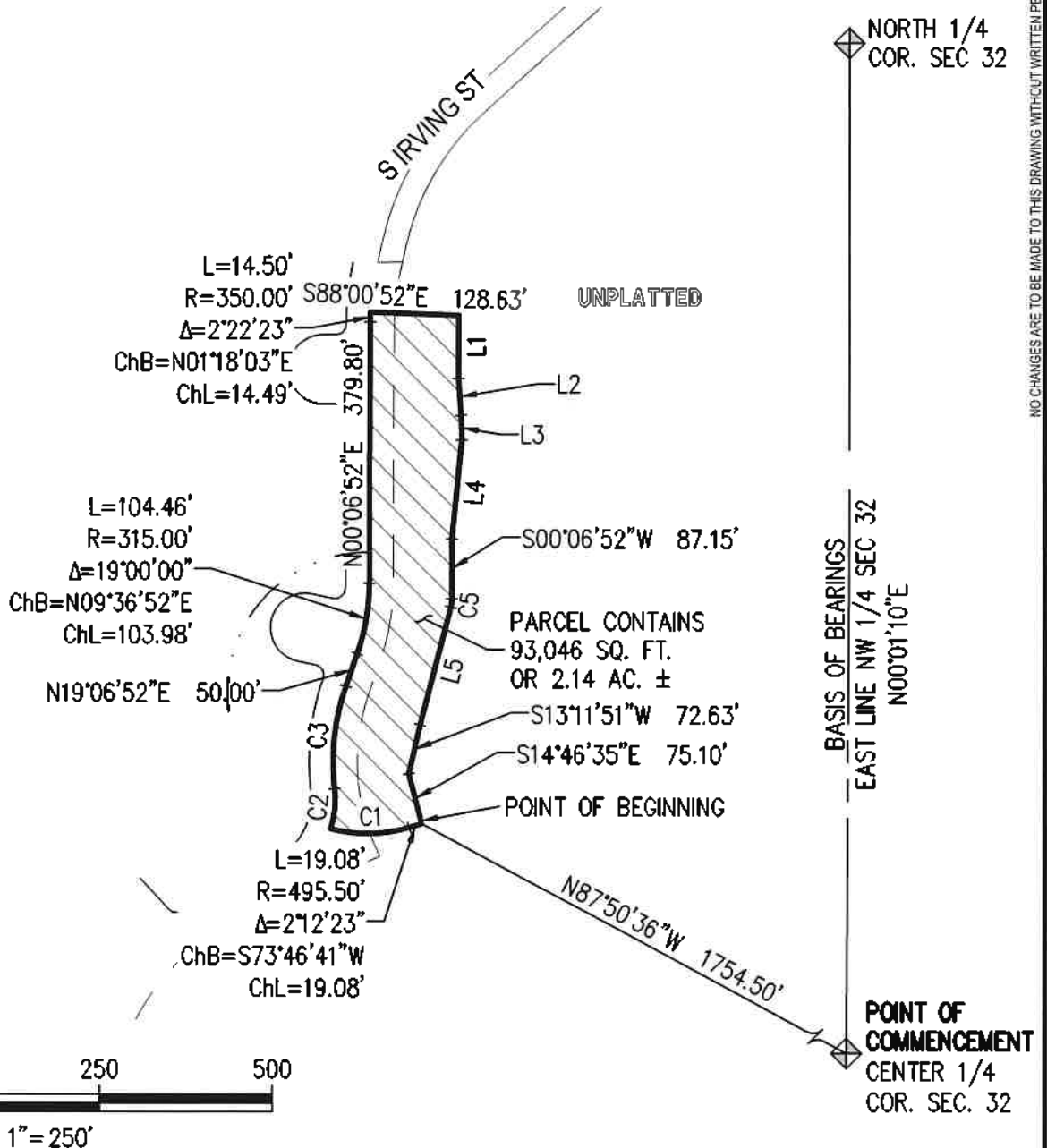
PROJECT #:	180702
CHECKED BY:	AWM
DRAWN BY:	JAF
SHEET NUMBER	1
	1 OF 3

Plotted: TUE 02/23/21 6:12:08A By: Jeremy Felder Filepath: p:\180702\survey\zoning-excl-res-pud-a.dwg Layout: layout1

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

ILLUSTRATION

SITUATED IN THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO



Plotted: TUE 02/23/21 6:12:10A By: Jeremy Felder Filepath: p:\1807\02\survey\zoning-exhib-resi-pud-a.dwg Layout: layout2

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH

NOTE:
THIS EXHIBIT DOES NOT REPRESENT A MONUMENTED LAND SURVEY.
IT IS INTENDED TO DEPICT ONLY THE ATTACHED DESCRIPTION.

ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
1/18/2021	REV. BNDY
2/4/2021	REV. PER COMMENTS
2/18/2021	REV. PER COMMENTS

HKS HARRIS KOCHER SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

LORETTO
ILLUSTRATION
RESIDENTIAL PUD-A

PROJECT #:	180702
CHECKED BY:	AWM
DRAWN BY:	JAF
SHEET NUMBER	2
	2 OF 3

LINE AND CURVE TABLES

LINE TABLE		
LINE	BEARING	LENGTH
L1	S00°06'52"W	91.89'
L2	S04°02'11"E	53.48'
L3	S02°03'27"E	36.02'
L4	S05°42'54"W	144.54'
L5	S14°21'08"W	177.03'

CURVE TABLE					
CURVE	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD
C1	204.50'	32°32'32"	116.15'	S88°56'45"W	114.60'
C2	135.00'	25°02'46"	59.01'	N05°48'08"E	58.54'
C3	335.00'	25°50'22"	151.08'	N06°11'43"E	149.80'
C5	50.00'	14°14'16"	12.42'	S07°14'00"W	12.39'

Plotted: TUE 02/23/21 6:12:10A By: Jeremy Felder Filepath: p:\180702\survey\zoning-exhib-resi-pud-a.dwg Layout: layout3

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH

NOTE:
 THIS EXHIBIT DOES NOT REPRESENT A MONUMENTED LAND SURVEY.
 IT IS INTENDED TO DEPICT ONLY THE ATTACHED DESCRIPTION.

ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
1/18/202	REV. BNDY
2/4/2021	REV. PER COMMENTS
2/18/2021	REV. PER COMMENTS



1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

LORETTO

ILLUSTRATION

RESIDENTIAL PUD-A

PROJECT #: 180702
CHECKED BY: AWM
DRAWN BY: JAF
SHEET NUMBER
3
3 OF 3

DESCRIPTION

SITUATED IN THE WEST 1/2 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO

A PARCEL OF LAND SITUATED IN THE WEST HALF OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;
THENCE NORTH 87°35'59" WEST, A DISTANCE OF 1,032.59 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 52°25'53" WEST, A DISTANCE OF 270.00 FEET;
THENCE SOUTH 37°34'07" EAST, A DISTANCE OF 162.17 FEET;
THENCE SOUTH 53°33'22" WEST, A DISTANCE OF 142.50 FEET TO A POINT OF NON-TANGENT CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 124.05 FEET, SAID CURVE HAVING A RADIUS OF 698.34 FEET, A CENTRAL ANGLE OF 10°10'41", AND A CHORD WHICH BEARS SOUTH 40°55'25" EAST A CHORD DISTANCE OF 123.89 FEET;
THENCE NORTH 47°49'28" EAST, A DISTANCE OF 15.20 FEET TO A POINT OF CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 5.56 FEET, SAID CURVE HAVING A RADIUS OF 4.00 FEET, A CENTRAL ANGLE OF 79°40'00", AND A CHORD WHICH BEARS NORTH 87°39'28" EAST A CHORD DISTANCE OF 5.12 FEET TO A POINT OF COMPOUND CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 13.11 FEET, SAID CURVE HAVING A RADIUS OF 14.62 FEET, A CENTRAL ANGLE OF 51°22'36", AND A CHORD WHICH BEARS SOUTH 26°49'14" EAST A CHORD DISTANCE OF 12.67 FEET TO A POINT OF NON-TANGENT CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 29.61 FEET, SAID CURVE HAVING A RADIUS OF 19.41 FEET, A CENTRAL ANGLE OF 87°23'59", AND A CHORD WHICH BEARS SOUTH 37°48'52" WEST A CHORD DISTANCE OF 26.82 FEET;
THENCE NORTH 89°59'11" WEST, A DISTANCE OF 0.63 FEET;
THENCE SOUTH 00°00'49" WEST, A DISTANCE OF 17.44 FEET TO A POINT OF NON-TANGENT CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 89.25 FEET, SAID CURVE HAVING A RADIUS OF 492.31 FEET, A CENTRAL ANGLE OF 10°23'15", AND A CHORD WHICH BEARS NORTH 86°43'02" WEST A CHORD DISTANCE OF 89.13 FEET;
THENCE SOUTH 09°49'31" WEST, A DISTANCE OF 2.47 FEET TO A POINT OF NON-TANGENT CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 122.34 FEET, SAID CURVE HAVING A RADIUS OF 306.50 FEET, A CENTRAL ANGLE OF 22°52'14", AND A CHORD WHICH BEARS NORTH 68°44'22" WEST A CHORD DISTANCE OF 121.53 FEET;
THENCE NORTH 57°18'15" WEST, A DISTANCE OF 301.34 FEET TO A POINT ON THE PERIMETER OF THE VILLAGE AT LORETTO HEIGHTS RECORDED AT RECEPTION NO. 1987146151;
THENCE ALONG SAID PERIMETER THE FOLLOWING SIX (6) COURSES:

- 1) SOUTH 32°41'45" WEST, A DISTANCE OF 404.78 FEET;
- 2) SOUTH 58°04'44" WEST, A DISTANCE OF 150.00 FEET;
- 3) NORTH 00°06'48" EAST, A DISTANCE OF 150.00 FEET;
- 4) NORTH 89°53'12" WEST, A DISTANCE OF 50.00 FEET;
- 5) SOUTH 00°06'48" WEST, A DISTANCE OF 275.00 FEET;
- 6) SOUTH 58°04'44" WEST, A DISTANCE OF 250.00 FEET;

THENCE NORTH 68°58'54" WEST, A DISTANCE OF 25.97 FEET TO A POINT ON THE CENTERLINE OF S. JULIAN WAY AND A POINT OF NON-TANGENT CURVATURE;
THENCE ALONG SAID CENTERLINE THE FOLLOWING FIVE (5) COURSES:

- 1) ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 145.50 FEET, SAID CURVE HAVING A RADIUS OF 375.00 FEET, A CENTRAL ANGLE OF 22°13'51", AND A CHORD WHICH BEARS NORTH 11°13'48" EAST A CHORD DISTANCE OF 144.59 FEET;
- 2) NORTH 00°06'52" EAST, A DISTANCE OF 395.59 FEET TO A POINT OF CURVATURE;
- 3) ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 471.35 FEET, SAID CURVE HAVING A RADIUS OF 395.00 FEET, A CENTRAL ANGLE OF 68°22'12", AND A CHORD WHICH BEARS NORTH 34°17'58" EAST A CHORD DISTANCE OF 443.87 FEET;

ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
1/18/2021	REV. BNDY
2/4/2021	REV. PER COMMENTS
2/18/2021	REV. PER COMMENTS

Plotted: FRI 02/19/21 2:12:35P By: Aaron Murphy Filepath: p:\180702\survey\zoning-exbt-resi-pud-b.dwg Layout: layout1

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

LORETTO

DESCRIPTION

RESIDENTIAL PUD-B

PROJECT #: 180702
CHECKED BY: AWM
DRAWN BY: JAF
SHEET NUMBER
1
1 OF 5

DESCRIPTION

SITUATED IN THE WEST 1/2 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF
THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO

- 4) NORTH 68°29'04" EAST, A DISTANCE OF 68.87 FEET TO A POINT OF NON-TANGENT CURVATURE;
- 5) ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 65.90 FEET, SAID CURVE HAVING A RADIUS OF 135.00 FEET, A CENTRAL ANGLE OF 27°58'05", AND A CHORD WHICH BEARS NORTH 32°18'32" EAST A CHORD DISTANCE OF 65.25 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 116.15 FEET, SAID CURVE HAVING A RADIUS OF 204.50 FEET, A CENTRAL ANGLE OF 32°32'32", AND A CHORD WHICH BEARS NORTH 88°56'45" EAST A CHORD DISTANCE OF 114.60 FEET TO A POINT OF REVERSE CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 19.08 FEET, SAID CURVE HAVING A RADIUS OF 495.50 FEET, A CENTRAL ANGLE OF 02°12'23", AND A CHORD WHICH BEARS NORTH 73°46'41" EAST A CHORD DISTANCE OF 19.08 FEET;

THENCE NORTH 14°46'35" WEST, A DISTANCE OF 75.10 FEET;

THENCE NORTH 13°11'51" EAST, A DISTANCE OF 72.63 FEET;

THENCE NORTH 14°21'08" EAST, A DISTANCE OF 177.03 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 12.42 FEET, SAID CURVE HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 14°14'16", AND A CHORD WHICH BEARS NORTH 07°14'00" EAST A CHORD DISTANCE OF 12.39 FEET;

THENCE NORTH 00°06'52" EAST, A DISTANCE OF 87.15 FEET;

THENCE NORTH 05°42'54" EAST, A DISTANCE OF 144.54 FEET;

THENCE NORTH 02°03'27" WEST, A DISTANCE OF 36.02 FEET;

THENCE NORTH 04°02'11" WEST, A DISTANCE OF 53.48 FEET;

THENCE NORTH 00°06'52" EAST, A DISTANCE OF 183.78 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 16.20 FEET, SAID CURVE HAVING A RADIUS OF 37.50 FEET, A CENTRAL ANGLE OF 24°45'12", AND A CHORD WHICH BEARS NORTH 12°29'28" EAST A CHORD DISTANCE OF 16.08 FEET;

THENCE NORTH 24°52'04" EAST, A DISTANCE OF 57.09 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 6.45 FEET, SAID CURVE HAVING A RADIUS OF 37.50 FEET, A CENTRAL ANGLE OF 09°51'31", AND A CHORD WHICH BEARS NORTH 29°47'50" EAST A CHORD DISTANCE OF 6.44 FEET;

THENCE NORTH 34°43'35" EAST, A DISTANCE OF 60.19 FEET;

THENCE NORTH 33°48'21" EAST, A DISTANCE OF 129.97 FEET;

THENCE NORTH 47°58'00" EAST, A DISTANCE OF 134.96 FEET;

THENCE NORTH 48°31'30" EAST, A DISTANCE OF 154.85 FEET;

THENCE SOUTH 00°00'00" EAST, A DISTANCE OF 177.36 FEET;

THENCE SOUTH 52°36'46" EAST, A DISTANCE OF 40.50 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 75.51 FEET, SAID CURVE HAVING A RADIUS OF 149.03 FEET, A CENTRAL ANGLE OF 29°01'50", AND A CHORD WHICH BEARS SOUTH 22°58'04" WEST A CHORD DISTANCE OF 74.70 FEET;

THENCE SOUTH 08°32'55" WEST, A DISTANCE OF 344.41 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 242.34 FEET, SAID CURVE HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 69°25'33", AND A CHORD WHICH BEARS SOUTH 26°09'52" EAST A CHORD DISTANCE OF 227.79 FEET TO A POINT OF REVERSE CURVATURE;

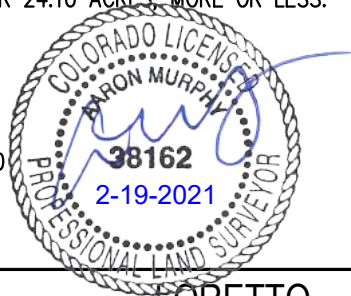
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 122.68 FEET, SAID CURVE HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 35°08'47", AND A CHORD WHICH BEARS SOUTH 43°18'15" EAST A CHORD DISTANCE OF 120.77 FEET;

THENCE SOUTH 25°43'52" EAST, A DISTANCE OF 414.97 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 1,049,605 SQUARE FEET OR 24.10 ACRES, MORE OR LESS.

PREPARED BY: AARON MURPHY
PLS 38162

ON BEHALF OF: HARRIS KOCHER SMITH
1120 LINCOLN STREET, SUITE 1000
DENVER, CO 80203
303.623.6300



ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
1/18/2021	REV. BNDY
2/4/2021	REV. PER COMMENTS
2/18/2021	REV. PER COMMENTS



LORETTO

DESCRIPTION

RESIDENTIAL PUD-B

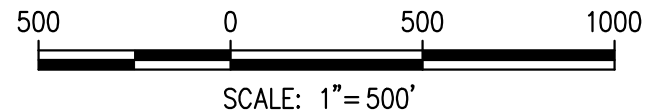
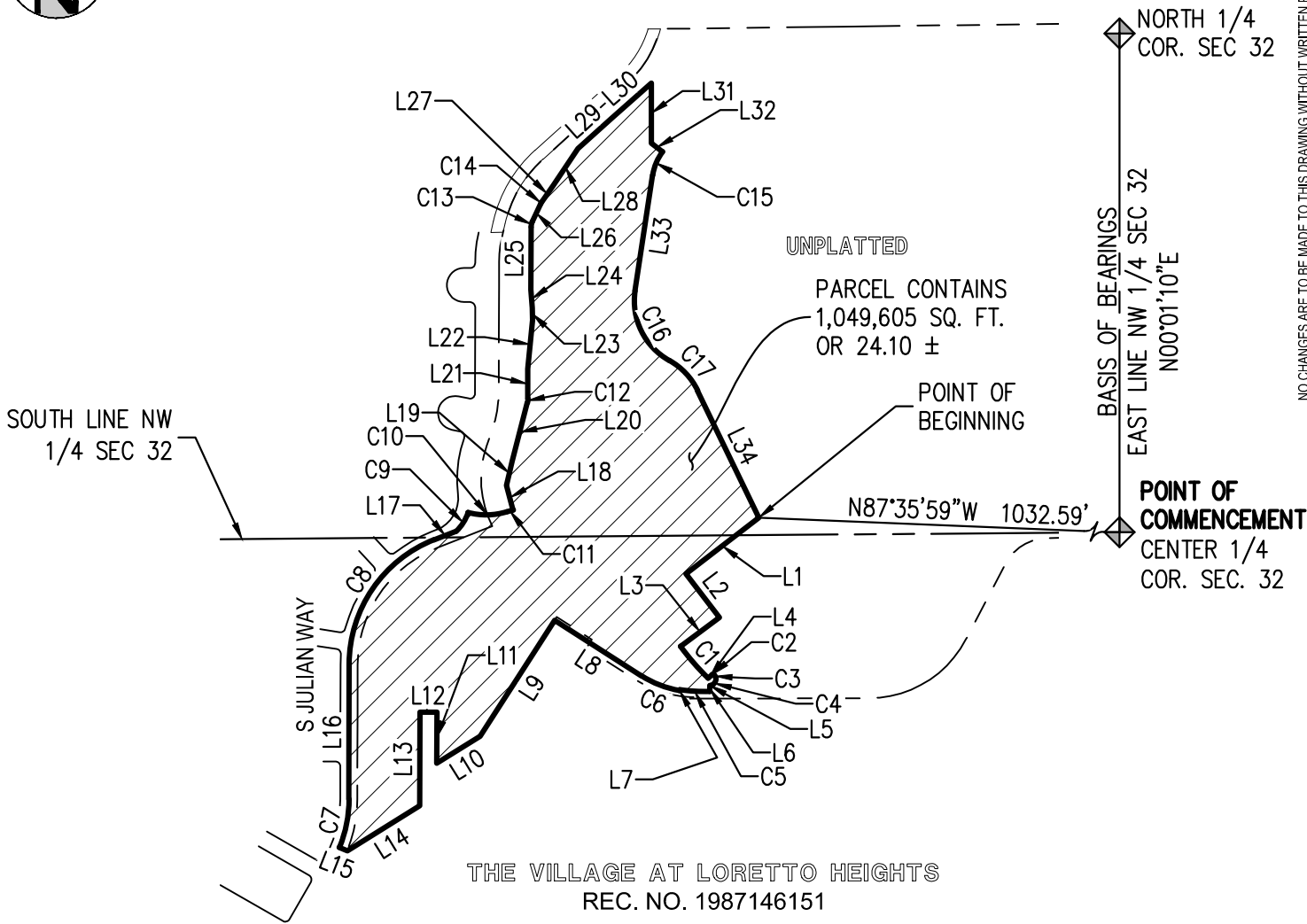
PROJECT #:	180702
CHECKED BY:	AWM
DRAWN BY:	JAF
SHEET NUMBER	2
	2 OF 5

Plotted: FRI 02/19/21 2:12:37P By: Aaron Murphy Filepath: p:\180702\survey\zoning-exbt-resi-pud-b.dwg Layout: desc 2

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

ILLUSTRATION

SITUATED IN THE WEST 1/2 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO



THE VILLAGE AT LORETTO HEIGHTS
REC. NO. 1987146151

ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
1/18/2021	REV. BNDY
2/4/2021	REV. PER COMMENTS
2/18/2021	REV. PER COMMENTS

NOTE:
THIS EXHIBIT DOES NOT REPRESENT A MONUMENTED LAND SURVEY.
IT IS INTENDED TO DEPICT ONLY THE ATTACHED DESCRIPTION.

Plotted: FRI 02/19/21 2:12:42P By: Aaron Murphy Filepath: p:\180702\survey\zoning-exbt-resi-pud-b.dwg Layout: layout2

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

LORETTO

ILLUSTRATION

RESIDENTIAL PUD-B

PROJECT #:	180702
CHECKED BY:	AWM
DRAWN BY:	JAF
SHEET NUMBER	3
	3 OF 5

LINE TABLES


LINE TABLE		
LINE	BEARING	LENGTH
L1	S52°25'53"W	270.00'
L2	S37°34'07"E	162.17'
L3	S53°33'22"W	142.50'
L4	N47°49'28"E	15.20'
L5	N89°59'11"W	0.63'
L6	S00°00'49"W	17.44'
L7	S09°49'31"W	2.47'
L8	N57°18'15"W	301.34'
L9	S32°41'45"W	404.78'
L10	S58°04'44"W	150.00'
L11	N00°06'48"E	150.00'
L12	N89°53'12"W	50.00'
L13	S00°06'48"W	275.00'
L14	S58°04'44"W	250.00'
L15	N68°58'54"W	25.97'
L16	N00°06'52"E	395.59'
L17	N68°29'04"E	68.87'
L18	N14°46'35"W	75.10'
L19	N13°11'51"E	72.63'
L20	N14°21'08"E	177.03'

LINE TABLE		
LINE	BEARING	LENGTH
L21	N00°06'52"E	87.15'
L22	N05°42'54"E	144.54'
L23	N02°03'27"W	36.02'
L24	N04°02'11"W	53.48'
L25	N00°06'52"E	183.78'
L26	N24°52'04"E	57.09'
L27	N34°43'35"E	60.19'
L28	N33°48'21"E	129.97'
L29	N47°58'00"E	134.96'
L30	N48°31'30"E	154.85'
L31	S00°00'00"E	177.36'
L32	S52°36'46"E	40.50'
L33	S08°32'55"W	344.41'
L34	S25°43'52"E	414.97'

ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
1/18/2021	REV. BNDY
2/4/2021	REV. PER COMMENTS
2/18/2021	REV. PER COMMENTS

Plotted: FRI 02/19/21 2:12:47P By: Aaron Murphy Filepath: p:\180702\survey\zoning-exbt-resi-pud-b.dwg Layout: layout4

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

 <p style="font-size: small;">1120 Lincoln Street, Suite 1000 Denver, Colorado 80203 P: 303.623.6300 F: 303.623.6311 HarrisKocherSmith.com</p>	<p style="font-size: large; font-weight: bold;">LORETTO</p> <p style="font-size: large; font-weight: bold;">LINE TABLES</p> <p style="font-weight: bold;">RESIDENTIAL PUD-B</p>	PROJECT #: 180702 CHECKED BY: AWM DRAWN BY: JAF SHEET NUMBER <div style="font-size: x-large; font-weight: bold; text-align: center;">4</div> 4 OF 5
	<p style="font-size: large; font-weight: bold;">LORETTO</p> <p style="font-size: large; font-weight: bold;">LINE TABLES</p> <p style="font-weight: bold;">RESIDENTIAL PUD-B</p>	


CURVE TABLES

CURVE TABLE					
CURVE	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD
C1	698.34'	10°10'41"	124.05'	S40°55'25"E	123.89'
C2	4.00'	79°40'00"	5.56'	N87°39'28"E	5.12'
C3	14.62'	51°22'36"	13.11'	S26°49'14"E	12.67'
C4	19.41'	87°23'59"	29.61'	S37°48'52"W	26.82'
C5	492.31'	10°23'15"	89.25'	N86°43'02"W	89.13'
C6	306.50'	22°52'14"	122.34'	N68°44'22"W	121.53'
C7	375.00'	22°13'51"	145.50'	N11°13'48"E	144.59'
C8	395.00'	68°22'12"	471.35'	N34°17'58"E	443.87'
C9	135.00'	27°58'05"	65.90'	N32°18'32"E	65.25'
C10	204.50'	32°32'32"	116.15'	N88°56'45"E	114.60'
C11	495.50'	2°12'23"	19.08'	N73°46'41"E	19.08'
C12	50.00'	14°14'16"	12.42'	N07°14'00"E	12.39'
C13	37.50'	24°45'12"	16.20'	N12°29'28"E	16.08'
C14	37.50'	9°51'31"	6.45'	N29°47'50"E	6.44'
C15	149.03'	29°01'50"	75.51'	S22°58'04"W	74.70'
C16	200.00'	69°25'33"	242.34'	S26°09'52"E	227.79'
C17	200.00'	35°08'47"	122.68'	S43°18'15"E	120.77'

Plotted: FRI 02/19/21 2:12:52P By: Aaron Murphy Filepath: p:\180702\survey\zoning-exbt-resi-pud-b.dwg Layout: layout5

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

ISSUE DATE: 10/15/2020	
DATE	REVISION COMMENTS
1/18/2021	REV. BNDY
2/4/2021	REV. PER COMMENTS
2/18/2021	REV. PER COMMENTS

 <p style="font-size: small;">1120 Lincoln Street, Suite 1000 Denver, Colorado 80203 P: 303.623.6300 F: 303.623.6311 HarrisKocherSmith.com</p>	<p style="font-size: large; font-weight: bold;">LORETTO</p> <p style="font-size: large; font-weight: bold;">CURVE TABLES</p> <p style="font-size: large; font-weight: bold;">RESIDENTIAL PUD-B</p>	<p>PROJECT #: 180702</p> <p>CHECKED BY: AWM</p> <p>DRAWN BY: JAF</p> <p>SHEET NUMBER</p> <p style="font-size: x-large; font-weight: bold; text-align: center;">5</p> <p style="text-align: center;">5 OF 5</p>
	<p style="font-size: large; font-weight: bold;">CURVE TABLES</p> <p style="font-size: large; font-weight: bold;">RESIDENTIAL PUD-B</p>	

DESCRIPTION
RESIDENTIAL PUD-C

SITUATED IN THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO

A PARCEL OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;
THENCE NORTH 10°40'34" WEST, A DISTANCE OF 1,380.39 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 89°58'50" WEST, A DISTANCE OF 942.88 FEET; THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 112.32 FEET;

THENCE SOUTH 45°00'00" WEST, A DISTANCE OF 51.07 FEET;

THENCE SOUTH 48°31'30" WEST, A DISTANCE OF 154.85 FEET;

THENCE SOUTH 47°58'00" WEST, A DISTANCE OF 134.96 FEET;

THENCE SOUTH 33°48'21" WEST, A DISTANCE OF 129.97 FEET;

THENCE SOUTH 34°43'35" WEST, A DISTANCE OF 60.19 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 6.45 FEET, SAID CURVE HAVING A RADIUS OF 37.50 FEET, A CENTRAL ANGLE OF 09°51'31", AND A CHORD WHICH BEARS SOUTH 29°47'50" WEST A CHORD DISTANCE OF 6.44 FEET;

THENCE SOUTH 24°52'04" WEST, A DISTANCE OF 57.09 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 16.20 FEET, SAID CURVE HAVING A RADIUS OF 37.50 FEET, A CENTRAL ANGLE OF 24°45'12", AND A CHORD WHICH BEARS SOUTH 12°29'28" WEST A CHORD DISTANCE OF 16.08 FEET;

THENCE SOUTH 00°06'52" WEST, A DISTANCE OF 91.89 FEET;

THENCE NORTH 88°00'52" WEST, A DISTANCE OF 126.80 FEET TO A POINT ON THE CENTER LINE OF S. IRVING ST;

THENCE ALONG SAID CENTERLINE THE FOLLOWING NINE (9) COURSES:

1) NORTH 01°58'19" EAST, A DISTANCE OF 33.14 FEET;

2) NORTH 09°49'51" EAST, A DISTANCE OF 31.62 FEET;

3) NORTH 12°48'54" EAST, A DISTANCE OF 61.60 FEET TO A POINT OF NON-TANGENT CURVATURE;

4) ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 198.79 FEET, SAID CURVE HAVING A RADIUS OF 455.03 FEET, A CENTRAL ANGLE OF 25°01'50", AND A CHORD WHICH BEARS NORTH 30°07'21" EAST A CHORD DISTANCE OF 197.21 FEET;

5) NORTH 47°53'27" EAST, A DISTANCE OF 353.38 FEET TO A POINT OF NON-TANGENT CURVATURE;

6) ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 52.03 FEET, SAID CURVE HAVING A RADIUS OF 303.60 FEET, A CENTRAL ANGLE OF 09°49'07", AND A CHORD WHICH BEARS NORTH 43°19'15" EAST A CHORD DISTANCE OF 51.96 FEET;

7) NORTH 34°21'43" EAST, A DISTANCE OF 44.81 FEET;

8) NORTH 25°03'24" EAST, A DISTANCE OF 52.07 FEET;

9) NORTH 15°52'29" EAST, A DISTANCE OF 26.95 FEET;

THENCE SOUTH 74°04'53" EAST, A DISTANCE OF 35.95 FEET TO A POINT ON THE SOUTH LINE OF SHARON PARK SUBDIVISION RECORDED AT RECEPTION NO. 52537;

THENCE NORTH 89°16'41" EAST, A DISTANCE OF 1,065.64 FEET;

THENCE SOUTH 00°01'10" WEST, A DISTANCE OF 136.57 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 214,572 SQUARE FEET OR 4.93 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARS NORTH 00°01'10" EAST.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARS NORTH 00°01'10" EAST.

PREPARED BY: AARON MURPHY
PLS 38162
ON BEHALF OF: HARRIS KOCHER SMITH
1120 LINCOLN STREET, SUITE 1000
DENVER, CO 80203
303.623.6300



DESCRIPTION

SITUATED IN THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO

A PARCEL OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;
THENCE NORTH 10°40'34" WEST, A DISTANCE OF 1,380.39 FEET TO THE POINT OF BEGINNING;

- THENCE NORTH 89°58'50" WEST, A DISTANCE OF 942.88 FEET;
 - THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 112.32 FEET;
 - THENCE SOUTH 45°00'00" WEST, A DISTANCE OF 51.07 FEET;
 - THENCE SOUTH 48°31'30" WEST, A DISTANCE OF 154.85 FEET;
 - THENCE SOUTH 47°58'00" WEST, A DISTANCE OF 134.96 FEET;
 - THENCE SOUTH 33°48'21" WEST, A DISTANCE OF 129.97 FEET;
 - THENCE SOUTH 34°43'35" WEST, A DISTANCE OF 60.19 FEET TO A POINT OF CURVATURE;
 - THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 6.45 FEET, SAID CURVE HAVING A RADIUS OF 37.50 FEET, A CENTRAL ANGLE OF 09°51'31", AND A CHORD WHICH BEARS SOUTH 29°47'50" WEST A CHORD DISTANCE OF 6.44 FEET;
 - THENCE SOUTH 24°52'04" WEST, A DISTANCE OF 57.09 FEET TO A POINT OF CURVATURE;
 - THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 16.20 FEET, SAID CURVE HAVING A RADIUS OF 37.50 FEET, A CENTRAL ANGLE OF 24°45'12", AND A CHORD WHICH BEARS SOUTH 12°29'28" WEST A CHORD DISTANCE OF 16.08 FEET;
 - THENCE SOUTH 00°06'52" WEST, A DISTANCE OF 91.89 FEET;
 - THENCE NORTH 88°00'52" WEST, A DISTANCE OF 126.80 FEET TO A POINT ON THE CENTER LINE OF S. IRVING ST;
 - THENCE ALONG SAID CENTERLINE THE FOLLOWING NINE (9) COURSES:
- 1) NORTH 01°58'19" EAST, A DISTANCE OF 33.14 FEET;
 - 2) NORTH 09°49'51" EAST, A DISTANCE OF 31.62 FEET;
 - 3) NORTH 12°48'54" EAST, A DISTANCE OF 61.60 FEET TO A POINT OF NON-TANGENT CURVATURE;
 - 4) ALONG THE ARC OF SAID CURVE TO THE RIGHT-AN-ARC-LENGTH OF 198.79 FEET, SAID CURVE HAVING A RADIUS OF 455.03 FEET, A CENTRAL ANGLE OF 25°01'50", AND A CHORD WHICH BEARS NORTH 30°07'21" EAST A CHORD DISTANCE OF 197.21 FEET;
 - 5) NORTH 47°53'27" EAST, A DISTANCE OF 353.38 FEET TO A POINT OF NON-TANGENT CURVATURE;
 - 6) ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 52.03 FEET, SAID CURVE HAVING A RADIUS OF 303.60 FEET, A CENTRAL ANGLE OF 09°49'07", AND A CHORD WHICH BEARS NORTH 43°19'15" EAST A CHORD DISTANCE OF 51.96 FEET;
 - 7) NORTH 34°21'43" EAST, A DISTANCE OF 44.81 FEET;
 - 8) NORTH 25°03'24" EAST, A DISTANCE OF 52.07 FEET;
 - 9) NORTH 15°52'29" EAST, A DISTANCE OF 26.95 FEET;

Plotted: TUE 01/19/21 3:32:28P By: Jeremy Felder Filepath: p:\180702\survey\zoning-exbt-rsi-pud-c.dwg Layout: layout

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH

ISSUE DATE: 10/14/2020	
DATE	REVISION COMMENTS
12/21/2020	REV BNDY



HKS HARRIS KOCHER SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.523.6300 F: 303.523.6311
harris@hks.com

LORETTO

DESCRIPTION

RESIDENTIAL PUD-C

PROJECT #: 180702
CHECKED BY: AWM
DRAWN BY: JAF
SHEET NUMBER
1

DESCRIPTION

SITUATED IN THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO

THENCE SOUTH 74°04'53" EAST, A DISTANCE OF 35.95 FEET TO A POINT ON THE SOUTH LINE OF SHARON PARK SUBDIVISION RECORDED AT RECEPTION NO. 52537;
 THENCE NORTH 89°16'41" EAST, A DISTANCE OF 1,065.64 FEET;
 THENCE SOUTH 00°01'10" WEST, A DISTANCE OF 136.57 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 214,572 SQUARE FEET OR 4.93 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARS NORTH 00°01'10" EAST.

PREPARED BY: AARON MURPHY
 PLS 38162
 ON BEHALF OF: HARRIS KOCHER SMITH
 1120 LINCOLN STREET, SUITE 1000
 DENVER, CO 80203
 303.623.6300



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

Plotted: TUE 01/19/21 3:32:28P By: Jeremy Felder Filepath: p:\180702\survey\zoning-exbi-resi-pud-c.dwg Layout: desc 2

ISSUE DATE: 10/14/2020	
DATE	REVISION COMMENTS
12/21/2020	REV BNDY

HKS HARRIS KOCHER SMITH
 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

LORETTO
DESCRIPTION
RESIDENTIAL PUD-C

PROJECT #: 180702
CHECKED BY: AWM
DRAWN BY: JAF
SHEET NUMBER
2
OF 4

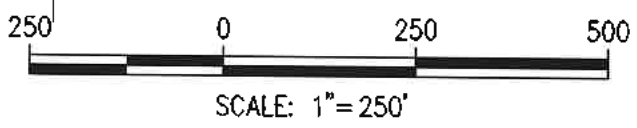
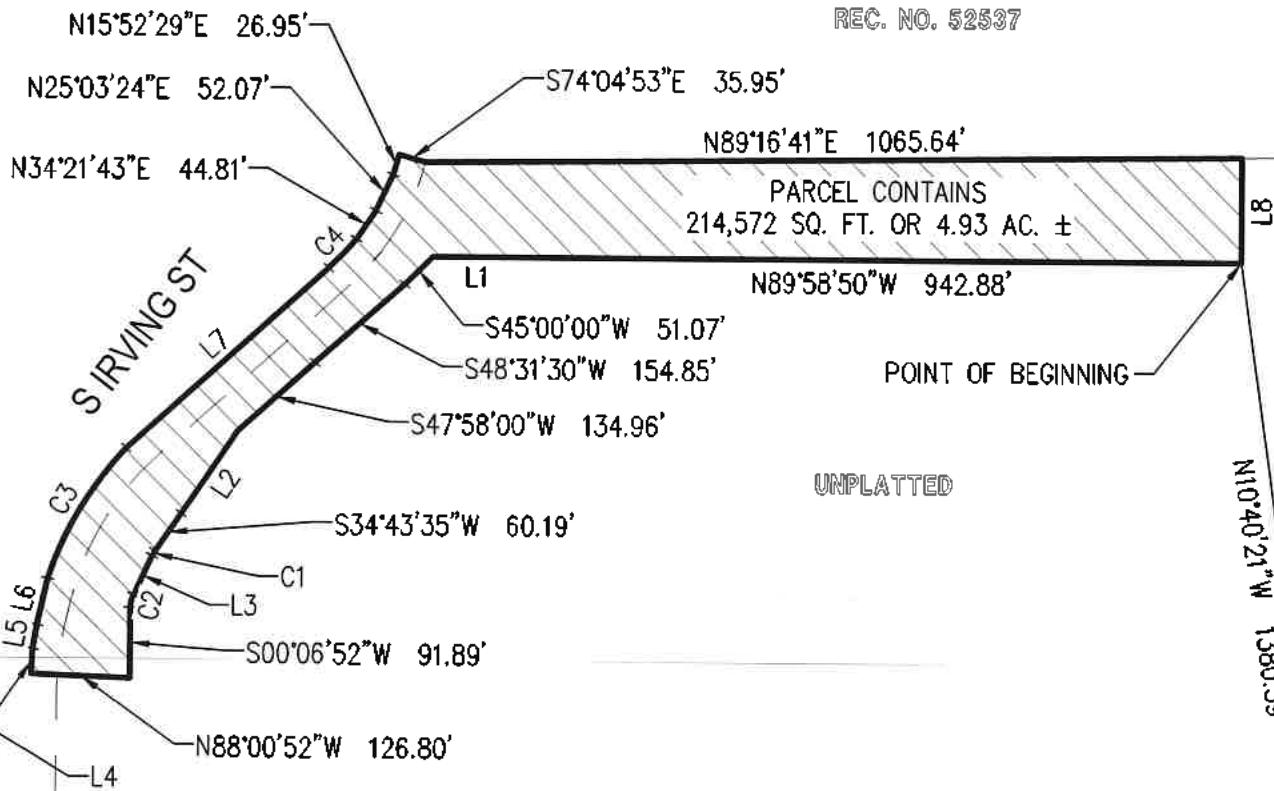
ILLUSTRATION

SITUATED IN THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO



NORTH 1/4
COR. SEC 32

SHARON PARK SUBDIVISION
REC. NO. 52537



Plotted: TUE 01/19/21 3:32:28P By: Jeremy Felder Filepath: p:\180702\survey\zoning-exbt-resi-pud-c.dwg Layout: exhb 1

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH

NOTE:
THIS EXHIBIT DOES NOT REPRESENT A MONUMENTED LAND SURVEY.
IT IS INTENDED TO DEPICT ONLY THE ATTACHED DESCRIPTION.

ISSUE DATE: 10/14/2020	
DATE	REVISION COMMENTS
12/21/2020	REV BNDY

HKS HARRIS
KOCHER
SMITH

1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
harris@hks.com

LORETTO

ILLUSTRATION
RESIDENTIAL PUD-C

PROJECT #: 180702
CHECKED BY: AWM
DRAWN BY: JAF
SHEET NUMBER
3
OF 4

LINE AND CURVE TABLES

LINE TABLE		
LINE	BEARING	LENGTH
L1	N90°00'00"W	112.32'
L2	S33°48'21"W	129.97'
L3	S24°52'04"W	57.09'
L4	N01°58'19"E	33.14'
L5	N09°49'51"E	31.62'
L6	N12°48'54"E	61.60'
L7	N47°53'27"E	353.38'
L8	S00°01'10"W	136.57'

CURVE TABLE					
CURVE	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD
C1	37.50'	9°51'31"	6.45'	S29°47'50"W	6.44'
C2	37.50'	24°45'12"	16.20'	S12°29'28"W	16.08'
C3	455.03'	25°01'50"	198.79'	N30°07'21"E	197.21'
C4	303.60'	9°49'07"	52.03'	N43°19'15"E	51.96'

ISSUE DATE: 10/14/2020	
DATE	REVISION COMMENTS
12/21/2020	REV BNDY

Plotted: TUE 01/19/21 3:32:30P. By: Jeremy Felder Filepath: p:\180702\survey\zoning-exbt-rsi-pud-c.dwg Layout: layout4

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



HKS HARRIS KOCHER SMITH
 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 harris@harriskochersmith.com
 20191-00165

LORETTO

LINE AND CURVE TABLES

RESIDENTIAL PUD-C

PROJECT #: 180702
CHECKED BY: AWM
DRAWN BY: JAF
SHEET NUMBER
4
OF 4

DESCRIPTION
RESIDENTIAL PUD-D

SITUATED IN THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH
P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO

A PARCEL OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH,
RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF
COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;
THENCE NORTH 12°15'11" WEST, A DISTANCE OF 1,204.82 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 89°58'50" WEST, A DISTANCE OF 939.84 FEET TO A POINT OF CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 137.79 FEET, SAID CURVE
HAVING A RADIUS OF 150.00 FEET, A CENTRAL ANGLE OF 52°37'56", AND A CHORD WHICH BEARS
SOUTH 63°42'12" WEST A CHORD DISTANCE OF 133.00 FEET;
THENCE NORTH 52°36'46" WEST, A DISTANCE OF 40.50 FEET;
THENCE NORTH 00°00'00" EAST, A DISTANCE OF 177.36 FEET;
THENCE NORTH 45°00'00" EAST, A DISTANCE OF 51.07 FEET;
THENCE NORTH 90°00'00" EAST, A DISTANCE OF 112.32 FEET;
THENCE SOUTH 89°58'50" EAST, A DISTANCE OF 942.88 FEET;
THENCE SOUTH 00°01'10" WEST, A DISTANCE OF 179.15 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 198,467 SQUARE FEET OR 4.56 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE
NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL
MERIDIAN, BEARS N00°01'10"E.

PREPARED BY: AARON MURPHY
PLS 38162
ON BEHALF OF: HARRIS KOCHER SMITH
1120 LINCOLN STREET, SUITE 1000
DENVER, CO 80203
303.623.6300



DESCRIPTION

SITUATED IN THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO

A PARCEL OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32;
THENCE NORTH 12°15'11" WEST, A DISTANCE OF 1,204.82 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 89°58'50" WEST, A DISTANCE OF 939.84 FEET TO A POINT OF CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 137.79 FEET, SAID CURVE HAVING A RADIUS OF 150.00 FEET, A CENTRAL ANGLE OF 52°37'56", AND A CHORD WHICH BEARS SOUTH 63°42'12" WEST A CHORD DISTANCE OF 133.00 FEET;

THENCE NORTH 52°36'46" WEST, A DISTANCE OF 40.50 FEET;
THENCE NORTH 00°00'00" EAST, A DISTANCE OF 177.36 FEET;
THENCE NORTH 45°00'00" EAST, A DISTANCE OF 51.07 FEET;
THENCE NORTH 90°00'00" EAST, A DISTANCE OF 112.32 FEET;
THENCE SOUTH 89°58'50" EAST, A DISTANCE OF 942.88 FEET;
THENCE SOUTH 00°01'10" WEST, A DISTANCE OF 179.15 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 198,467 SQUARE FEET OR 4.56 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEARS N00°01'10"E.

PREPARED BY: AARON MURPHY
PLS 38162
ON BEHALF OF: HARRIS KOCHER SMITH
1120 LINCOLN STREET, SUITE 1000
DENVER, CO 80203
303.623.6300



ISSUE DATE: 10/7/2020	
DATE	REVISION COMMENTS
1/19/2021	REV. BNDY

HKS HARRIS KOCHER SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

LORETTO
DESCRIPTION
RESIDENTIAL PUD-D

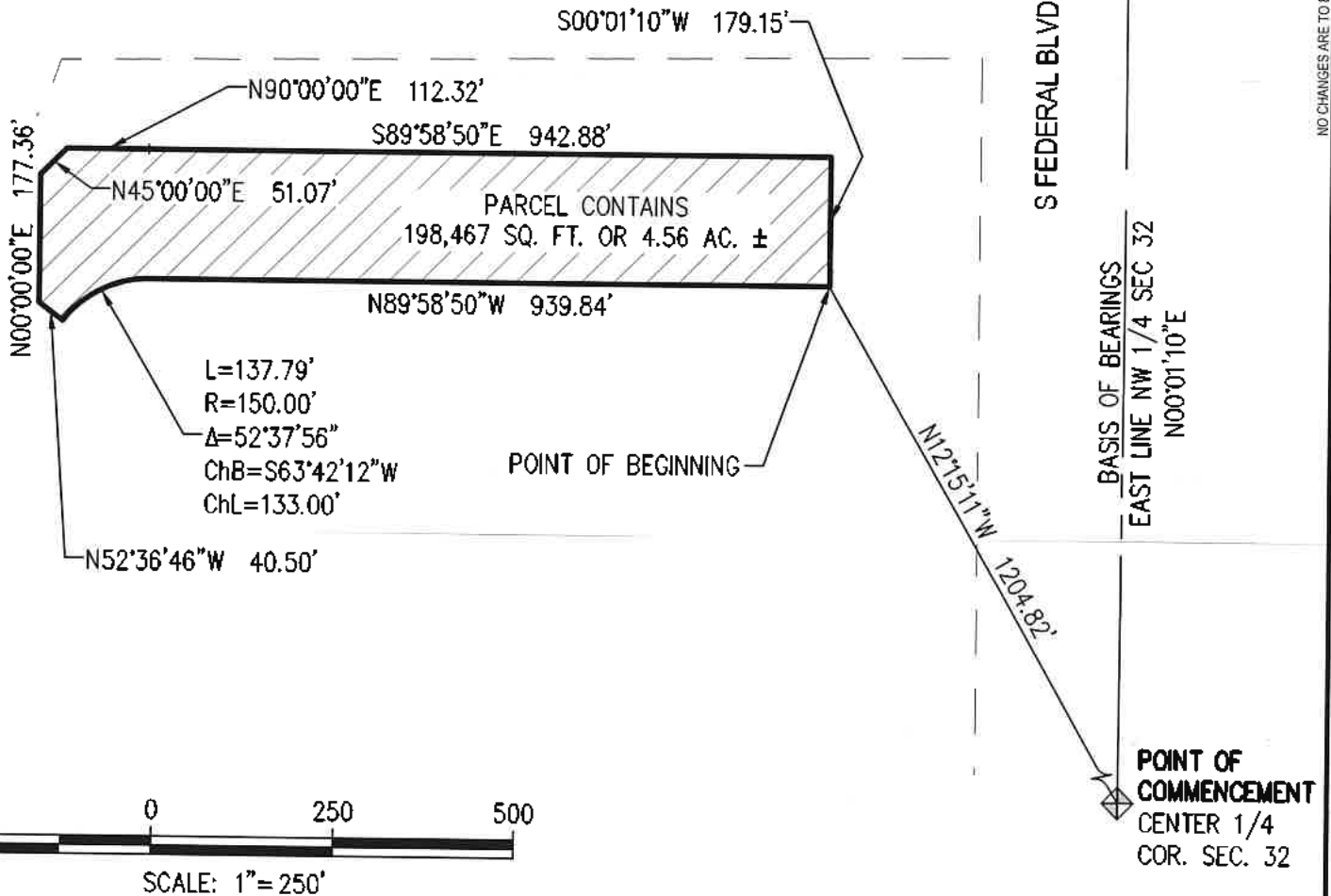
PROJECT #: 180702
CHECKED BY: AWM
DRAWN BY: JAF
SHEET NUMBER
1
OF 2

Plotted: TUE 01/19/21 3:22:59P By: Jeremy Felder Filepath: p:\180702\survey\zoning-exbl-resl-pud-d.dwg Layout: layout1

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

ILLUSTRATION

SITUATED IN THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE 6TH P.M., CITY AND COUNTY OF DENVER, STATE OF COLORADO



Plotted: TUE 01/19/21 3:23:01P By: Jeremy Felder Filepath p:\180702\survey\zoning-exbl-resi-pud-d.dwg Layout: layout2

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

NOTE:
THIS EXHIBIT DOES NOT REPRESENT A MONUMENTED LAND SURVEY.
IT IS INTENDED TO DEPICT ONLY THE ATTACHED DESCRIPTION.

ISSUE DATE: 10/7/2020	
DATE	REVISION COMMENTS
1/19/2021	REV. BNDY

HKS HARRIS KOCHER SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303-673-6300 F: 303-673-6311
HarrisKocherSmith.com

LORETTO
ILLUSTRATION
RESIDENTIAL PUD-D

PROJECT #: 180702
CHECKED BY: AWM
DRAWN BY: JAF
SHEET NUMBER
2
OF 2

3001 S FEDERAL BLVD APPRX

Owner ACM LORETTO VI LLC
 4100 E MISSISSIPPI AVE 500
 GLENDALE , CO 80246-3053

Schedule Number 05322-00-033-000

Legal Description T4 R68 S32 COM CENT 1/4 SEC 32N04.3721W 1433.51FT TPOB TH N
 66FT E 66FT S 66FT W 66FT TPOB

Property Type

Tax District 493A

Chain Of Title Records

ACTION: R SCREEN: PUBL USERID: CIMO 08/27/20 05:37:48 PM

----- PUBLIC INFORMATION -----

JURISDICTION= DC YR= 2020 RL= RE PARCEL= 05322-00-034-000 PIN=

----- NAME AND ADDRESS INFORMATION -----+----- LEGAL DESCRIPTION -----

ACM LORETTO VI LLC					S32 4S 68W PT NR/4 S32 COM
					CTR/4 S32 TH W 50FT TPOB
4100	MISSISSIPPI	AVE	E	500	DAF
GLENDALE	CO 80246				*
SITUS ADDRESS					
3001	FEDERAL	BLVD	S		
DENVER	STAT/COMP: A	COMPLETE			PC: MULTI USE-COMM/RESID

-----ASSESSMENT INFORMATION-----+-----PRIOR YEAR ASSESSMENT-----

TOTAL	LAND	IMPS			TOTAL	LAND	IMPS
15978400	14847200	1,131,200		ACTUAL			
4,611,560	4,305,690	305,870		ASSESSED			
0				EXEMPT			
4,611,560				TAXABLE			

-----+-----+-----

RECEPTION: 20201 34402	RECP DATE: 20200826	INSTRUMENT: PS	PIN: 164376577
TAX DIST: DENVER	PROP CLASS: 2140	ZONING: CMP	SREX: N
RES SQ FT:	YEAR BUILT: 1890	COMM SQ FT: 346,969	MODEL:
RES BSMT:	BEDROOMS:	COMM BSMT: 18,351	
FIN BSMT:	BATHS F/H:	LAND SQ FT: 2,981,362	

ACTION: R SCREEN: NOTE USERID: LES1

CHANGE-REASON:

H- -----

PARCEL NOTES

JURI= DC ROLL= RE PARCEL= 05322-00-034-000 YEAR= 2020
TOPIC= LEGAL
PAGE= 1 SCAN-LINE=

	DESCRIPTION	SUB LINE
	-----	- ===
01-	S32 4S 68W PT NR/4 S32 COM CTR/4 S32 TH W 50FT TPOB TH	100
02-	W 5FT S 12.08FT S87.5904W 134.14FT TH CV/L RAD 136.75FT	200
03-	ARC 143.91FT DELTA 60.1744 CHORD S57.5012W 137.65FT TH	300
04-	S27.4120W 253.09FT TH CV/R RAD 323FT ARC 350.73FT DELTA	400
05-	62.1253 CHORD S58.4747W 333.75FT TH W 525.55FT TH CV/R	500
06-	RAD 15FT ARC 11.55FT DELTA 44.0732 CHORD N68.5104E 11.27FT	600
07-	TH CV/R RAD 325FT ARC 180.4FT DELTA 31.4810 CHORD N73.1220W	700
08-	178.09FT TH N57.1815W 171.21FT N32.4145E 30FT N57.1815W	800
09-	123FT S32.4145W 416.23FT S58.0444W 150FT N 150FT W 50FT	900
10-	S 275FT S58.0444W 250FT N67.4228W 0.96FT CV/L RAD 400FT	901
11-	ARC 154.6FT DELTA 22.0840 CHORD N11.1113E 153.64FT TH	902

ACTION: R SCREEN: NOTE USERID: LES1

CHANGE-REASON:

H- -----
PARCEL NOTES

JURI= DC ROLL= RE PARCEL= 05322-00-034-000 YEAR= 2020
TOPIC= LEGAL
PAGE= 2 SCAN-LINE=

	DESCRIPTION	SUB LINE
	-----	- ==
01-	N 395.59FT CV/R RAD 370FT ARC 441.51FT DELTA 68.2212 CHORD	903
02-	N34.1758E 415.78FT TH N68.2904E 173.81FT CV/R RAD 300 ARC	904
03-	242.79FT DELTA 46.2209 CHORD N04.0412W 236.22FT TH N19.0652E	905
04-	50FT CV/L RAD 350FT ARC 116.06FT DELTA 19.0000 CHORD	906
05-	N09.3652E 115.53FT TH N 379.8FT CV/R RAD 315FT ARC 70.76FT	907
06-	DELTA 12.5216 CHORD N06.3301E 70.61FT TH N12.5909E 17.02FT	908
07-	N12.5852E 26.19FT CV/R RAD 365FT ARC 222.97FT DELTA 35.0000	909
08-	CHORD N30.2800E 219.52FT TH N47.5800E 330FT CV/L RAD 335FT	910
09-	ARC 192.61FT DELTA 32.5634 CHORD N31.2943E 189.97FT TH	911
10-	E 1271.76FT S 1496.06FT EXC PT DIF #2017058236 & #2017114942	912
11-	& EXC PT COM CTR/4 S32 TH N52.0506W 1001.07FT TPOB TH	913

ACTION: R SCREEN: NOTE USERID: LES1

CHANGE-REASON:

H- -----

PARCEL NOTES

JURI= DC ROLL= RE PARCEL= 05322-00-034-000 YEAR= 2020
TOPIC= NOTE
PAGE= 3 SCAN-LINE=

DESCRIPTION

SUB LINE

	DESCRIPTION	SUB LINE
01-	W 167.35FT N40.3651W 79.99FT N 163.62FT E 219.18FT	915
02-	S 224.47FT TPOB & EXC PT S32 COM CTR/4 S32 TH N04.3721W	916
03-	1433.51FT TPOB TH N66FT E 66FT S 66FT W 66FT TPOB	917
04-		
05-		
06-		
07-		
08-		
09-		
10-		
11-		
04-*	L009 HEADER CHANGE	

ACTION: R SCREEN: PUBL USERID: LES1 08/27/20 03:53:40 PM

----- PUBLIC INFORMATION -----

JURISDICTION= DC YR= 2020 RL= RE PARCEL= 05322-00-035-000 PIN=

----- NAME AND ADDRESS INFORMATION -----+----- LEGAL DESCRIPTION -----

ACM LORETTO VI LLC				S32 4S 68W PT NR/4 S32 COM
				CTR/4 S32 TH N52.0506W
4100 MISSISSIPPI	AVE E	500		1001.07FT PTOB TH W 167.35FT
GLENDALE	CO 80246			N40.3651W 79.99FT N 163.62FT
SITUS ADDRESS				E 219.18FT S 224.47FT TPOB
3001 FEDERAL	BLVD S	7		
DENVER	STAT/COMP: A	COMPLETE		PC: OFFICES

-----ASSESSMENT INFORMATION-----+-----PRIOR YEAR ASSESSMENT-----

TOTAL	LAND	IMPS				TOTAL	LAND	IMPS
439,000	247,700	191,300		ACTUAL				
127,310	71,830	55,480		ASSESSED				
0				EXEMPT				
127,310				TAXABLE				

RECEPTION: 20201 34402	RECP DATE: 20200826	INSTRUMENT: PS	PIN: 164376585
TAX DIST: DENVER	PROP CLASS: 2120	ZONING: CMP	SREX: N
RES SQ FT:	YEAR BUILT: 1929	COMM SQ FT: 58,841	MODEL:
RES BSMT:	BEDROOMS:	COMM BSMT: 0	
FIN BSMT:	BATHS F/H:	LAND SQ FT: 47,611	



10/02/2020 12:26 PM
City & County of Denver
Electronically Recorded

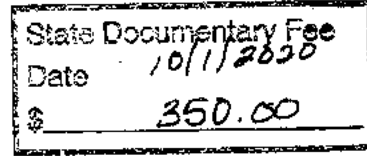
R \$43.00

D \$350.00

WD

After recording return to:

Treasa J. Burke, Esq.
Faegre Drinker Biddle & Reath LLP
1144 15th Street, Suite 3400
Denver, Colorado 80202



SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED, dated this 1st day of October, 2020, between ACM LORETTO VI LLC, a Delaware limited liability company (“Grantor”) and PANCRATIA HALL PARTNERS LLC, a Colorado limited liability company (“Grantee”), whose legal address is 2120 Bluebell Avenue, Boulder, Colorado 80302.

WITNESSETH, That Grantor, for and in consideration of the sum of Ten Dollars & no/100ths (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and confirm unto the Grantee, and Grantee’s heirs, successors and assigns forever, all the real property, together with all improvements, if any, situate, lying and being in the City and County of Denver and State of Colorado, described as follows:

See Exhibit A attached hereto

TOGETHER WITH all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the Grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto Grantee, AND Grantee’s heirs, successors and assigns forever. Grantor, for Grantor and Grantor’s heirs, successors and assigns, do covenant and agree that Grantor shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of Grantee, and Grantee’s heirs, successors and assigns, against all and every person or persons claiming the whole or any part thereof, by, through or under Grantor, subject to taxes and assessments for the current year and subsequent years and the exceptions shown on the attached Exhibit B which is hereby incorporated herein by this reference.

EXCEPTING AND RESERVING TO GRANTOR, its successors and assigns forever, all right, title and interest in and to all oil, gas, and other liquid hydrocarbon substances, casinghead gas, coal, carbon dioxide, helium, geothermal resources on, in or that may be produced from the Property, and shall retain the right to develop and remove the same, regardless of their intended use or current commercial value; provided that Grantor, for itself, its successors and assigns hereby relinquishes and quit claims to Grantee, its successors and assigns all rights to enter on or use and shall be prohibited from using the surface of the Property (or any portion thereof) to exercise the rights reserved in this subsection. Such relinquishment and quit claim of surface rights by Grantor shall be permanent.

70604908



FURTHER EXCEPTING AND RESERVING TO GRANTOR, its successors and assigns forever all right, title, and interest (including all right, title and interest under Colorado Revised Statutes Section 37-90-137) in and to all water and water rights, ditches and ditch rights, reservoirs and reservoir rights, water wells and well rights, whether tributary, non-tributary or not non-tributary, on, underlying, appurtenant to or used or to be used on or in connection with the Property, whether appropriated, conditionally appropriated or unappropriated and whether adjudicated or unadjudicated, including without limitation any and all rights of use, reuse and successive use of all water and water rights produced on or used on or upon the Property, including all recirculated irrigation water supplies, surface runoff, irrigation return flow, and municipal or domestic effluent flows, and including as well without limitation all State Engineer filings, well registration statements, well permits, well permit applications, decrees and pending water court applications, and any well equipment or other personalty or fixtures currently used for the supply, diversion, storage, treatment or distribution of water on or in connection with the Property. Grantee does not and shall not object to the extraction or appropriation by Grantor of any tributary, non-tributary or not non-tributary ground water, including without limitation ground water in the Dawson, Denver, Arapahoe, Laramie-Fox Hills, and Dakota aquifers, underlying the surface of the Property and, to the extent that the consent of Grantee may be required by Colorado law, including but not limited to Colorado Revised Statutes Section 37-90-137, to the withdrawal or appropriation of any such water by Grantor, the consent is hereby given. Grantee, for itself, its successors and assigns, hereby waives its right to receive notice pursuant to Colorado Revised Statutes Sections 37-90-137 and 37-92-302 of any well permit application or water court application affecting the ground water underlying the Property. Notwithstanding the foregoing, Grantor agrees that in the exercise of the rights reserved in this section, Grantor's activities shall not unreasonably interfere with or unreasonably restrict the Grantee's use of the Property. Grantee agrees that upon request of Grantor from time to time, Grantee will execute such documents as may be required to enable Grantor to appropriate and develop any unappropriated water, tributary, non-tributary, not non-tributary or otherwise, underlying the Property.

[Signature page follows]

EXHIBIT A**(Legal Description)**

A PARCEL OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 32; THENCE NORTH 52°05'06" WEST, A DISTANCE OF 1,001.07 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 167.35 FEET;
THENCE NORTH 40°36'51" WEST, A DISTANCE OF 79.99 FEET;
THENCE NORTH 00°01'10" EAST, A DISTANCE OF 163.62 FEET;
THENCE SOUTH 89°58'50" EAST, A DISTANCE OF 219.18 FEET;
THENCE SOUTH 00° 02'49" EAST, A DISTANCE 224.47 FEET TO THE POINT OF BEGINNING

EXHIBIT B
(EXCEPTIONS)

- 1 (A) TAXES OR ASSESSMENTS THAT ARE NOT SHOWN AS EXISTING LIENS BY THE RECORDS OF ANY TAXING AUTHORITY THAT LEVIES TAXES OR ASSESSMENTS ON REAL PROPERTY OR BY THE PUBLIC RECORDS; (B) PROCEEDINGS BY A PUBLIC AGENCY THAT MAY RESULT IN TAXES OR ASSESSMENTS, OR NOTICES OF SUCH PROCEEDINGS, WHETHER OR NOT SHOWN BY THE RECORDS OF SUCH AGENCY OR BY THE PUBLIC RECORDS.
2. (A) UNPATENTED MINING CLAIMS; (B) RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF; (C) WATER RIGHTS, CLAIMS OR TITLE TO WATER.
3. INTENTIONALLY OMITTED.
4. RESTRICTIONS, PERTAINING TO THE PRESERVATION OF MOUNTAIN VIEWS AS CONTAINED IN ORDINANCE #452, SERIES OF 1969, RECORDED DECEMBER 11, 1969 IN BOOK 119 AT PAGE 391.
5. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN EXCLUSION AGREEMENT RECORDED JUNE 01, 2004 UNDER RECEPTION NO. 2004116475.
6. FINDINGS OF FACT, CONCLUSIONS OF LAW, RULING OF REFEREE, AND DECREE OF THE WATER COURT RECORDED JANUARY 19, 2006 UNDER RECEPTION NO. 2006012666.
7. BUILDING PRESERVATION RESTRICTIONS AS CONTAINED IN SPECIAL WARRANTY DEED FROM TEIKYO LORETTO HEIGHTS UNIVERSITY, A COLORADO NON-PROFIT CORPORATION, FORMERLY KNOWN AS TEIKYO LORETTO HEIGHTS COLLEGE, A COLORADO NON-PROFIT CORPORATION TO ACM LORETTO VI LLC, A DELAWARE LIMITED LIABILITY COMPANY RECORDED AUGUST 1, 2018 UNDER RECEPTION NO. 2018094939.
8. TERMS, CONDITIONS AND PROVISIONS OF THE FOLLOWING UNRECORDED LEASES AND AGREEMENTS: A. FOOD SERVICES LEASE DATED JULY 1, 2016, BETWEEN TEIKYO LORETTO HEIGHTS UNIVERSITY, A COLORADO NON-PROFIT CORPORATION AND SCHOOL DISTRICT NO. 1 IN THE CITY AND COUNTY OF DENVER, A POLITICAL SUBDIVISION OF THE STATE OF COLORADO, AS AMENDED BY FIRST AMENDMENT DATED MAY 1, 2017. B. ROOF ANTENNA LICENSE AGREEMENT, DATED MAY 15, 2007, BETWEEN TEIKYO LORETTO

HEIGHTS UNIVERSITY, A COLORADO NON-PROFIT CORPORATION AND THE CITY AND COUNTY OF DENVER, AS AMENDED BY THAT CERTAIN AMENDMENT TO THE AGREEMENT DATED NOVEMBER 20, 2007, AND AS FURTHER AMENDED BY THAT CERTAIN SECOND AMENDMENT TO ROOF ANTENNA LICENSE AGREEMENT, DATED AS OF AUGUST 11, 2017, AND NOTICE OF LICENSE TERMINATION OF ROOF ANTENNA LICENSE AGREEMENT DATED MAY 4, 2018. C. LEASE AGREEMENT, DATED AUGUST 1, 2017, BETWEEN TEIKYO LORETTO HEIGHTS UNIVERSITY, A COLORADO NON-PROFIT CORPORATION AND EARLY COLLEGES OF COLORADO, INC., A COLORADO NON-PROFIT CORPORATION, D/B/A SOUTHWEST EARLY COLLEGE, AS AMENDED BY FIRST AMENDMENT DATED JULY 13, 2018.

9. ANY LOSS OR DAMAGE WHICH THE PROPOSED INSURED MAY INCUR BY REASON OF THE FAILURE TO COMPLY WITH THE LAWS AND REGULATIONS OF ANY STATE, COUNTY OR OTHER AUTHORITY RELATING TO THE SUBDIVISION OF THE LAND TO BE INSURED.
10. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN LARGE DEVELOPMENT FRAMEWORK LORETTO HEIGHTS RECORDED FEBRUARY 11, 2020 UNDER RECEPTION NO. 2020018011.
11. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE FOLLOWING FACTS SHOWN ON ALTA/NSPS LAND TITLE SURVEY DATED AUGUST 20, 2020, LAST REVISED SEPTEMBER 30, 2020, PREPARED BY HARRIS KOCHER SMITH, JOB #180702: A. THE BUILDING LOCATED UPON THE LAND IS ALSO PARTIALLY LOCATED ON THE ADJACENT LAND TO THE NORTH. B. AN UNDERGROUND TUNNEL LEADING FROM THE BUILDING LOCATED ON THE LAND ONTO THE LAND ADJACENT TO THE SOUTH. C. CONCRETE WALKWAYS CROSSING THE LAND.
12. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN ASSESSOR PARCEL RECONFIGURATION FORM (SPLIT) RECORDED AUGUST 26, 2020 UNDER RECEPTION NO. 2020134402, AS AMENDED BY PLAT CORRECTION CERTIFICATE RECORDED SEPTEMBER 23, 2020 UNDER RECEPTION NO. 2020154660.
13. Intentionally Omitted
14. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE LORETTO HEIGHTS METROPOLITAN DISTRICT NO. 2, AS EVIDENCED BY INSTRUMENT RECORDED SEPTEMBER 24, 2020, UNDER RECEPTION NO. 2020156322.

15. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE LORETTO HEIGHTS PROGRAMMING METROPOLITAN DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED SEPTEMBER 24, 2020, UNDER RECEPTION NO. 2020156323.
16. DECLARATION OF PAYMENT IN LIEU OF TAXES MADE BY ACM LORETTO VI, LLC, A DELAWARE LIMITED LIABILITY COMPANY FOR THE BENEFIT OF LORETTO HEIGHTS METROPOLITAN DISTRICT NO. 1
17. DECLARATION OF COVENANTS IMPOSING AND IMPLEMENTING THE ACM LORETTO VI, LLC LODGING ADD ON PUBLIC IMPROVEMENT FEE MADE BY ACM LORETTO VI, LLC
18. DECLARATION OF COVENANTS IMPOSING AND IMPLEMENTING THE ACM LORETTO VI, LLC SALES ADD ON PUBLIC IMPROVEMENT FEE MADE BY ACM LORETTO VI, LLC

Authorization Letters

ACM LORETTO VI LLC

August 20, 2020

Shears Adkins Rockmore Architects
1550 Wynkoop Street, Suite 100
Denver, CO 80202

This letter serves as authorization for Shears Adkins Rockmore Architects to act on behalf of and represent ACM Loretto VI LLC for the purpose of submitting and processing the rezoning application for the property owned by ACM Loretto VI LLC at 3001 South Federal Boulevard, Denver, CO 80226.


IN WITNESS WHEREOF, the undersigned, being all of the Members of the Company, have executed this unanimous written consent to be effective as of the date first written above.

MEMBERS:

ACM Loretto VI, LLC,
a Delaware limited liability company

By: 
Name: Joshua Ufberg
Title: Authorized Signatory

Loretto Heights LLC,
a Colorado limited liability company

By: 
Name: Andrew R. Klein, Manager
Title:

**UNANIMOUS WRITTEN CONSENT OF THE MEMBERS
OF
ACM LORETTO VI LLC**

The undersigned, being all of the members (the "**Members**") of ACM Loretto VI LLC, a Delaware limited liability company (the "**Company**"), hereby adopt the following resolutions by unanimous written consent as of August 20, 2020:

WHEREAS, the Company owns the property located at 3001 South Federal Boulevard, Denver, CO 80226 (the "**Property**") and the Company desires to rezone the Property (the "**Rezoning**").

WHEREAS, the Company desires to authorize Andrew R. Klein or Mark J. Witkiewicz to act on behalf of and represent ACM Loretto VI LLC for the purpose of obtaining the Rezoning, including without limitation submitting and processing the rezoning application for the Property.

NOW, THEREFORE, BE IT RESOLVED, that the Members of the Company hereby authorize, approve and ratify in all respects the completion of the Rezoning;

FURTHER RESOLVED, that the Members of the Company hereby authorize and direct Andrew R. Klein (solely with respect to the matters set forth herein, the "**Authorized Signatory**") to execute and deliver, on behalf of the Company, and any all documents required to obtain the Rezoning, including without limitation the rezoning application, and such execution and delivery by the Authorized Signatory shall evidence and be the binding acts and deeds of the Company; and

FURTHER RESOLVED, that any number of counterparts hereof may be executed, each of which shall for all purposes be deemed an original and all of which shall constitute the same document.

[SIGNATURE PAGE FOLLOWS]

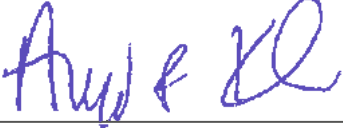
IN WITNESS WHEREOF, the undersigned, being all of the Members of the Company, have executed this unanimous written consent to be effective as of the date first written above.

MEMBERS:

ACM Loretto VI, LLC,
a Delaware limited liability company

By: 
Name: Joshua Ufberg
Title: Authorized Signatory

Loretto Heights, LLC,
a Colorado limited liability company

By: 
Andrew R. Klein, Manager

CONSENT OF PANCRATIA HALL PARTNERS LLC

The undersigned, being a Manager of Pancratia Hall Partners LLC, a Colorado limited liability company (the "Company"), hereby issues this authorization as of January 26, 2021:

WHEREAS, the Company owns the property at 3001 South Federal Boulevard, Building 7, Denver, CO 80226 (the "Property") and the Company desires to rezone the Property (the "Rezoning").

WHEREAS, the Company desires to authorize Jim Hartman to act on behalf of and represent Pancratia Hall Partners LLC for the purpose of obtaining the rezoning, including without limitation submitting and processing the rezoning application for the Property.

NOW, THEREFORE, BE IT RESOLVED, that the Company hereby authorizes, approves and ratifies in all respects the completion of the rezoning:

FURTHER RESOLVED, that the Company hereby authorizes and directs Jim Hartman (solely with respect to the matters set forth herein, (the "Authorized Signatory") to execute and deliver, on behalf of the Company, any documents required to obtain the rezoning, including without limitation the rezoning application, and such execution and delivery by the Authorized Signatory shall evidence and be the binding acts and deeds of the Company; and

FURTHER RESOLVED, that any number of counterparts hereof may be executed, each of which shall for all purposes be deemed an original and all of which shall constitute the same document.

IN WITNESS WHEREOF, the undersigned, being a Manager of the Company, has executed this written consent to be effective as of the date first written above.

Pancratia Hall Partners LLC,
a Colorado limited liability company



By: _____
Jim Hartman, Manager

Pancratia Hall Partners LLC

2120 Bluebell Avenue
Boulder CO 80302
720-333-0110

January 26, 2021

Shears Adkins Rockmore Architects
1550 Wynkoop Street, Suite 100
Denver, CO 80202

Re: Pancratia Hall Lofts
Letter of Authorization for SAR re Loretto Rezoning

Dear Sirs,

This letter serves as authorization for Shears Adkins Rockmore Architects to act on behalf of and represent Pancratia Hall Partners LLC for the purpose of submitting and processing the rezoning application for the property owned by Pancratia Hall Partners LLC at 3001 South Federal Boulevard, Building 7, Denver, CO 80226.

IN WITNESS WHEREOF, the undersigned, being a Manager of the Company, has executed this consent to be effective as of the date first written above.

Sincerely,

PANCRATIA HALL PARTNERS LLC



Jim Hartman, Manager

Xc: Grant Bennett, Proximity Green
Susan Ely, Hartman Ely Investments

Rezoning Narratives

The City Council may approve a rezoning application if the proposed rezoning complies with:

I. Consistency with Adopted Plans

The proposed official map amendment is consistent with the City's adopted plans, or the proposed rezoning is necessary to provide land for a community need that was not anticipated at the time of the adoption of the City's plan (DZC 12.4.10.7).

There are three adopted plans that apply to the subject area:

- A. Comprehensive Plan 2040**
- B. Blueprint Denver (2019)**
- C. Loretto Heights Small Area Plan**

These plans are detailed further on the following pages.

A. Comprehensive Plan 2040

The proposed rezoning is consistent with the goals and strategies within the Comprehensive Plan 2040. More specifically, it furthers the following equity, community design, and climate related strategies:

- Equitable, Affordable and Inclusive Goal 1 – Ensure all Denver residents have safe, convenient and affordable access to basic services and a variety of amenities (p. 28).
- Strong and Authentic Neighborhoods Goal 2, Strategy C – Create people-oriented places that embrace community character with thoughtful transitions, aspirational design and an engaging public realm (p. 34).
- Environmentally Resilient Goal 8, Strategy C – Focus growth by transit stations and along high- and medium- capacity transit corridors (p. 54).

The proposed map amendment will further the Comprehensive Plan 2040's Equitable, Affordable and Inclusive Goal to ensure all Denver residents have safe, convenient, and affordable access to basic services and a variety of amenities. The Campus Core PUD and U-MX-3 (with Waivers to 5 Stories) zone districts allow for a variety of uses, including public services, cultural, commercial, and residential. The list of permitted uses will provide basic services and amenities to the residents in the surrounding neighborhoods. The Residential PUD will allow for-sale units, providing a diversity of residential sizes and prices that will allow for a greater diversity of homeowners in this neighborhood. In addition, the design standards in the proposed districts will promote greater walkability and accessibility in and around Loretto Heights and the surrounding South Federal Boulevard neighborhoods.

The proposed rezoning to U-MX-3 (with Waivers to 5 Stories), Campus Core PUD, and Residential PUD is consistent with the Comprehensive Plan 2040's stated Strong and Authentic Neighborhoods Goal to create people-oriented places that embrace community character with thoughtful transitions, aspirational design and an engaging public realm as the proposed zone districts design standards for transparency, active use, reduced visibility of parking and building entrance locations enable the creation of an active experience at the street level.

The property is currently zoned as CMP-EI2. By rezoning to U-MX-3 (with Waivers to 5 Stories), Campus Core PUD, and Residential PUD, we are enabling a mix of uses, much-needed residential capacity and density, and unique treatment of the existing campus and building fabric, such as will allow future residents to "live, work and play" all in the same area, reducing resource consumption. Therefore the rezoning is consistent with the strategy of Denver's Comprehensive Plan 2040.

The proposed rezoning to U-MX-3 (with Waivers to 5 Stories), Campus Core PUD, and Residential PUD is consistent with Comprehensive Plan 2040's strategy of focusing growth near transit stations and along high and medium-capacity transit corridors. The subject area is located in southwest Denver, along the South Federal Boulevard corridor. The U-MX-3 (with Waivers to 5 Stories), Campus Core PUD, and Residential PUD zone districts feature transit-supportive uses and more pedestrian-friendly design standards, promoting pedestrian-friendly infill and growth in and around this South Federal Boulevard neighborhood and corridor.

B. Blueprint Denver (2019)

Blueprint Denver is Denver’s citywide, long range, land use and transportation plan, adopted by City Council in 2019 as a supplement to Comprehensive Plan 2040. The proposed rezoning will promote development that supports the complete neighborhood and transportation network vision in Blueprint Denver, including neighborhood context, future place, street type and growth guidance.

Following are exhibits from Blueprint Denver and further discussion on Neighborhood Context, Future Places, Street Types, Growth Strategies, and the Equity Concepts identified in Blueprint Denver. (Note that further detail on Equity Concepts are described below under the Loretto Heights Small Area Plan section of the rezoning application.)

1. Neighborhood Contexts
2. Future Places
3. Street Types,
4. Growth Strategies
5. Equity Concepts

1. Neighborhood Contexts

Referencing Blueprint Denver, the site is home to three different context designations in the future: Urban, District, and Suburban as shown in Figures 1 and 2. The rezone request, outlined below, shares that vision and is in response to the future intended zoning.

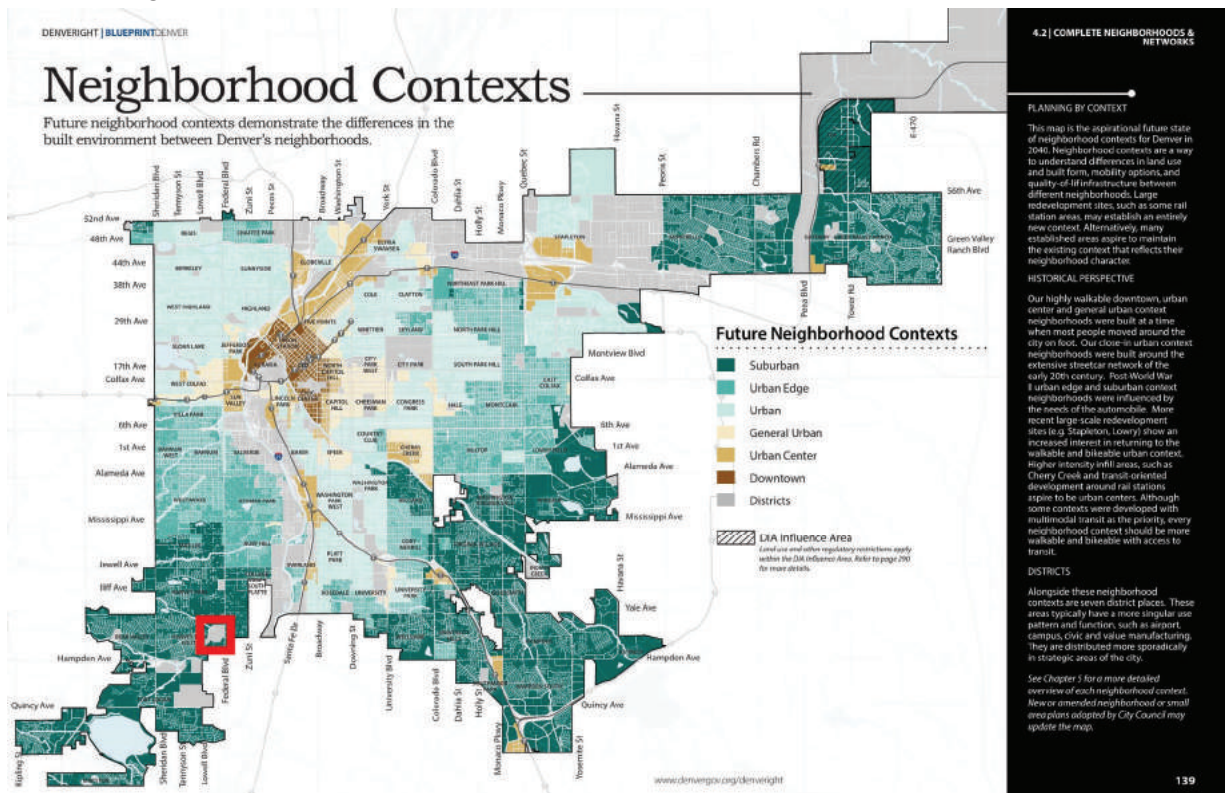


Figure 1: Blueprint Denver - Neighborhood Contexts

- a. **Urban** – Blueprint Denver describes, Urban, as “widely distributed throughout the city. Homes vary from multi-unit developments to compact single-unit homes. Development in this context should be sensitive to the existing neighborhood character and offer residents a mix of uses, with good street activation and connectivity. Residents living in this context have access to varied transit options and amenities. The urban context is walkable due to a predictable street grid in residential areas and the availability of transit and dedicated bike lanes. These areas offer access to neighboring areas and commercial nodes, with some small mixed-use nodes within the neighborhood.”(Section 5.3)
- b. **District** - Districts are areas with a specially designed purpose, such as educational campuses, civic centers or manufacturing areas. (Section 5.7.1 Blueprint Denver)
- c. **Suburban** - The suburban context represents the most varied development in Denver’s neighborhoods. Homes in this context are largely single-unit, but can also include higher intensity residential. Commercial development is focused along main corridors and centers bordering residential areas. Although this context is more auto-oriented than others, there should still be quality multimodal connectivity. The aspiration of the suburban context in Denver is different than traditional suburban development of the past. Especially compared to other parts of the metro area, Denver’s suburban areas are still more urban in nature and suburban places should reflect that. (section 5.1)

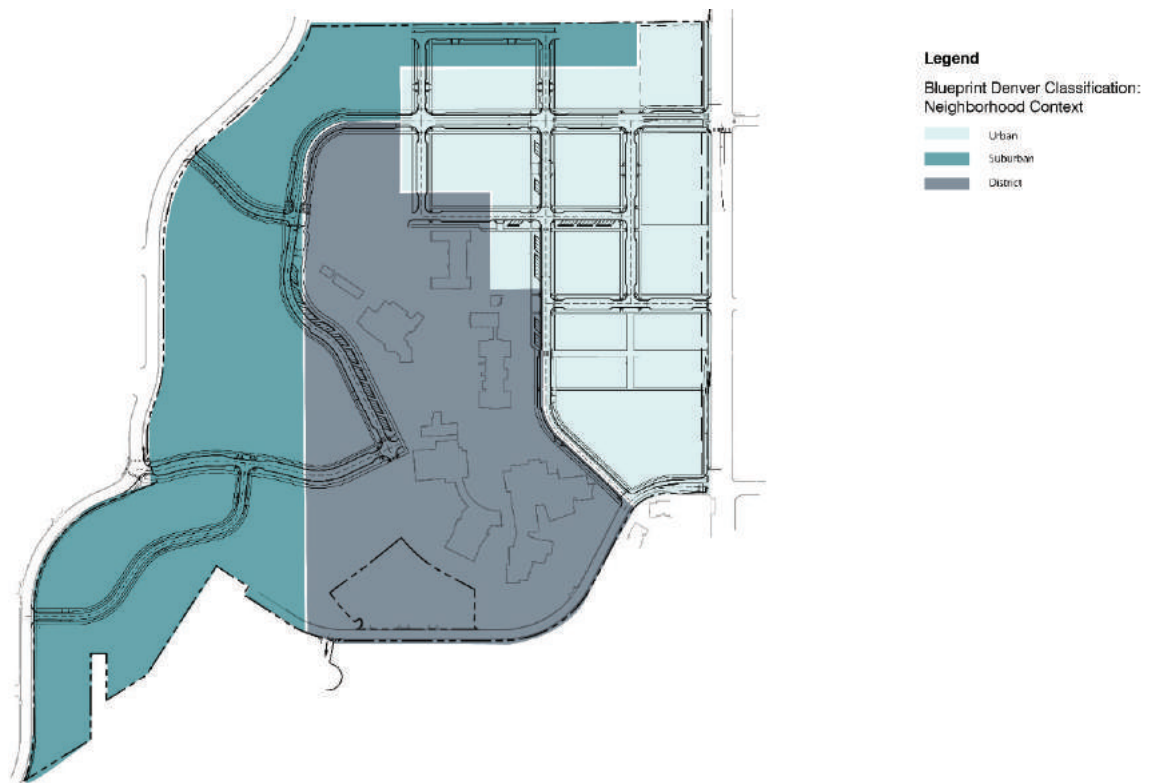


Figure 2: Blueprint Denver - Neighborhood Context Overlaid on Site

In response to the three Blueprint Denver neighborhood designations on-site, Loretto Heights is requesting a map amendment to support these uses. To achieve “suburban” neighborhood qualities the land adjacent to the residential neighborhoods on the north and west are proposed to be rezoned to a “Residential PUD,” which is based on districts in the Suburban neighborhood context. To achieve “district” neighborhood qualities the existing campus would be rezoned as a “Campus Core PUD,” which is based on a campus zone district. To achieve “urban” qualities, the land adjacent to Federal BLVD would be rezoned as “U-MX-3 with waivers up to 5 stories,” a district in the Urban neighborhood context.

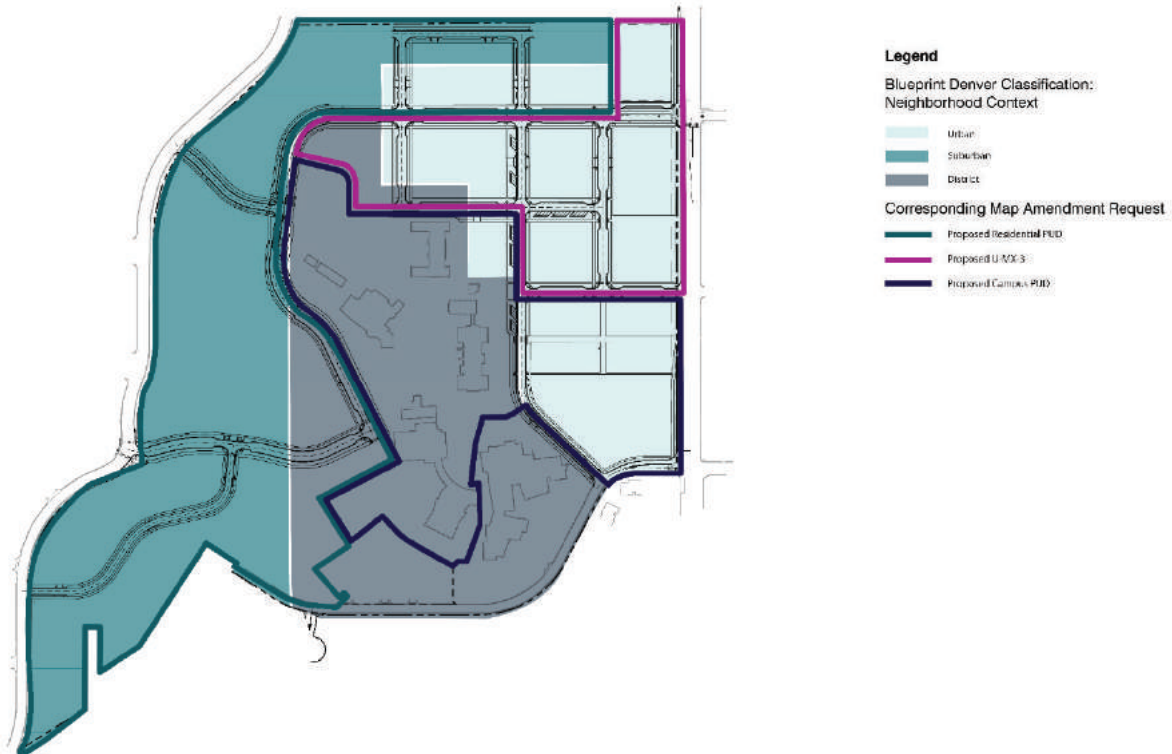


Figure 2: Blueprint Denver - Neighborhood Context - Proposed Map Amendment Overlaid on Site

2. Future Places

Outlined in Blueprint Denver, the Loretto Heights’ site is home to six different “future place” designations, which accompany the three “neighborhood context” designations referenced in the previous section. Below we will breakdown the six future place designations and narrate how the proposed zoning is supporting that intricate network of designations.

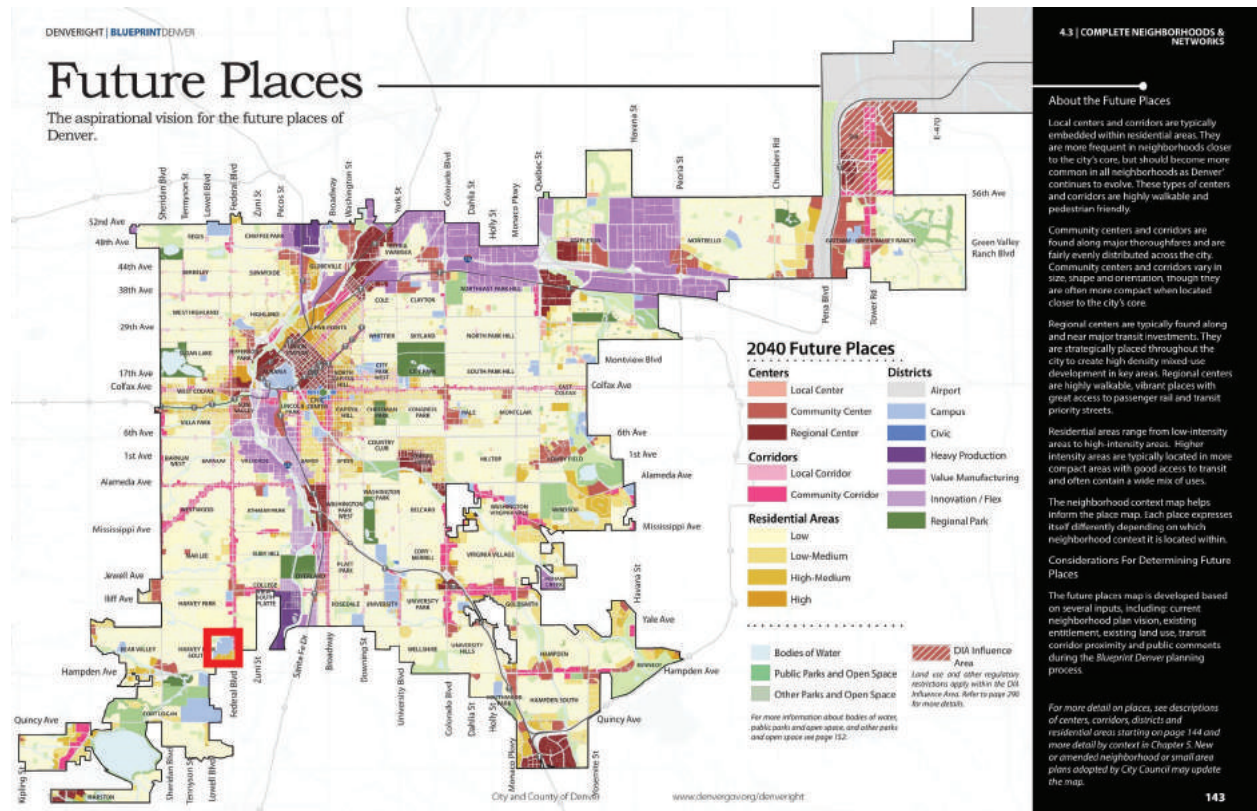


Figure 4: Blueprint Denver – Future Places

- a. **Community Center** - “Typically provides some mix of office, commercial and residential uses. A wide customer draw both of local residents from surrounding neighborhoods and from other parts of the city. Activity levels will vary depending on the type and mix of uses. Buildings are larger in scale than local centers and orient to the street or other public spaces. Strong degree of urbanism with mostly continuous building frontages to define the public realm. Heights are generally up to 5 stories. Open spaces promote social interaction and respond to the distinct uses within the center. Green infrastructure can serve the needs of a site or the surrounding area. Public spaces are flexible to benefit different types of users and daily activities through” (5.3.3)
- b. **Community Corridor**- “Typically provides some mix of office, commercial and residential uses. Have a distinctly linear orientation along the street. Lot coverage is typically higher, with open spaces that are often accommodated by spaces between buildings rather than along the street. Heights are generally up to 5 stories.”

- c. **Campus** - “Campus districts each have a primary purpose such as education or medical services. These environments often provide retail, restaurants, offices and residential uses to support the primary use and serve the surrounding neighborhoods.” (section 5.7.3 Blueprint Denver)
- d. **Residential High-Medium-** “Contains a mix of medium-scale, multi-unit residential types and can accommodate compatible commercial/retail uses. Buildings are generally up to 5 stories in height. Building heights and scaling help provide transitions to adjacent places.” 5.1.5
- e. **Residential Low-Medium** - “Mix of low- to mid-scale multi-unit residential options. Small scale multi-unit buildings are interspersed between single and two-unit residential. A variety of lower scale residential forms including row houses and small multi-unit buildings are found. Buildings are generally 3 stories or less in height.”
- f. **Residential Low** “Generally characterized by single-unit uses on larger lots. Buildings are typically up to 2.5 stories in height. Outdoor space is generally privatized in the form of larger yards in the front and rear. Public parks provide open space and recreation. Canopy trees should be appropriately spaced and abundant within the right-of-way and on private property.” 5.1.5

Legend

Blueprint Denver Classifications:
Neighborhood Context - Future Place

-  Urban - Community Corridor
-  Urban - Community Center
-  Urban - Residential High-Medium
-  Suburban - Residential Low-Medium
-  Suburban - Residential Low
-  District - Campus

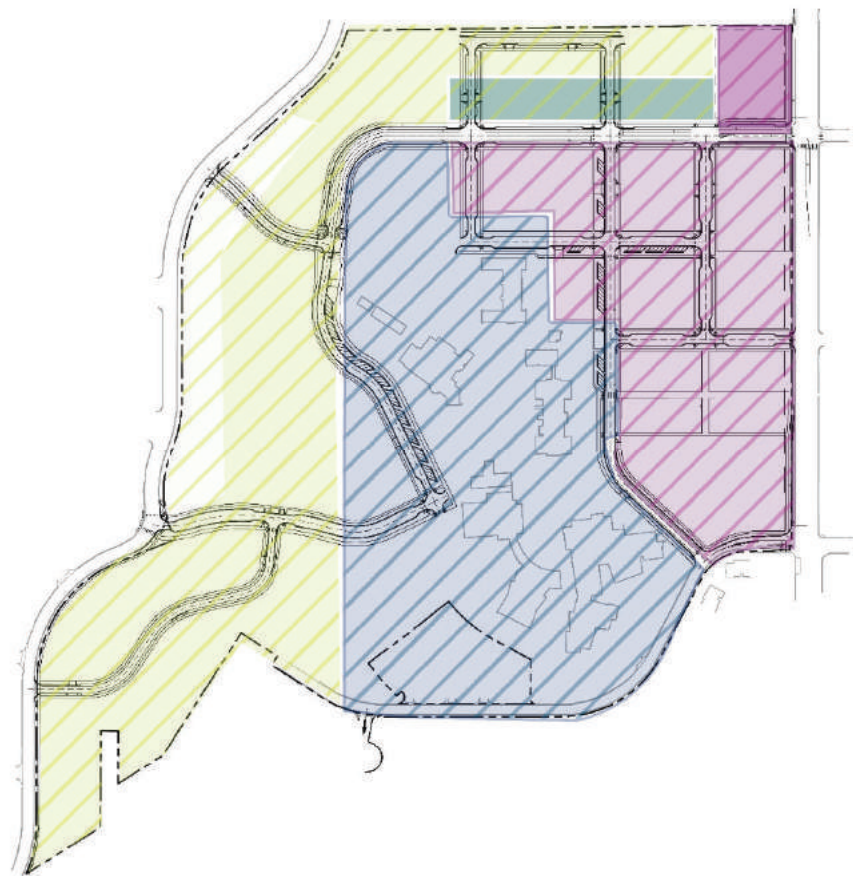


Figure 3: Blueprint Denver - Future Places Overlaid on Site

The request to designate the subject area to U-MX-3 (with Waivers to 5 Stories), Campus Core PUD, and Residential PUD zone districts is consistent with the overall intent of Blueprint Denver’s neighborhood contexts map and the future places plan in.

Community Center achieved by U-MX-3 with 5 story waivers:

The eastern-most portion of the rezoning area is shown in Blueprint Denver as a Community Center that extends along South Federal Boulevard. Blueprint Denver describes Community Centers as “have(ing) an active street level presence and provide a mix of uses, including retail and dining.

Development should contain a high mix of uses, with good street activation and connectivity. Building form should be “larger in scale than local centers and orient to the street or other public spaces. Strong degree of urbanism with mostly continuous building frontages to define the public realm. Heights are generally up to 5 stories.”

As shown in the land use plan (exhibit 1.4 in the IMP), the area proposed as U-MX-3 with waivers achieves these goals. Heights are shown as 3-5 stories with a balanced mix of multi-family, commercial and retail oriented on a large green space, the Great Lawn. The community center is oriented along the project’s main public space, the Great Lawn, seen as the heart of Loretto Heights project. The Great Lawn helps transition the Community Center activity level to the Campus which is also home to a series of existing quads. The Great Lawn is seen as an extension of that legacy.

Campus achieved by Campus PUD:

As described in Blueprint Denver, Campus districts “each have a primary purpose such as education or medical services. These environments often provide retail, restaurants, offices and residential uses to support the primary use and serve the surrounding neighborhoods”.

The existing campus core will be honored and enhanced by the “Campus Core PUD” designation. The Campus Core PUD is intended to support existing Campus buildings by adding retail, offices and residential units as outlined in Blueprint Denver. This area is envisioned as a mixed-use center of activity. Development would include adaptive re-use of existing structures, where possible, and new buildings and additions to provide the density and activity required to make this a vibrant Campus Core.

Residential achieved by Residential PUD:

negotiating low, low-medium and medium-high blueprint Denver designations

The Residential PUD is meant to include low-to-medium density for-sale residential development that transitions LH from its mixes of uses on the east and core to the residential and suburban context to the north and west. The PUD allows the flexibility to negotiate the urban – high- medium residential designation that covers a portion of the site with the suburban low and medium-low residential designations on the western portion of the site.

Implementation:

The Plan offers the following guidance for applying the plan to re-zonings in terms of neighborhood context stating, “When a new zone district is proposed for a site, the neighborhood contexts map and description should be used to guide which zone districts are appropriate. The mapping of neighborhood context is at the citywide scale, so the boundaries of the contexts may be interpreted with limited flexibility if the request furthers the goals of

Blueprint Denver and is consistent with the overall intent of the neighborhood contexts map” (p. 66).

A site that can accommodate three “neighborhood contexts” and six “future places” designations, a significant portion of the urban-suburban transect, has many opportunities but also a responsibility to transition those differing zones seamlessly. Blueprint Denver is a helpful context-based tool and will be used as continuous reference.

The request to rezone Loretto Heights Campus to U-MX-3 (with Waivers to 5 Stories), Campus Core PUD, and Residential PUD zone districts is consistent with the intent of the plan as the districts will allow for mixed use along the Community Center on the east side of the campus (U-MX-3 with Waivers to 5 Stories); mixes of use and treatment of existing campus and building fabric within the campus core (Campus Core PUD); and lower density, more suburban context along the property’s west side (Residential PUD). The proposed U-MX-3 (with Waivers to 5 Stories), Campus Core PUD, and Residential PUD zone districts will implement a vibrant, walkable area as envisioned with the Urban Center future context. The proposed rezoning is consistent with the overall intent of the neighborhood contexts map and the plan.

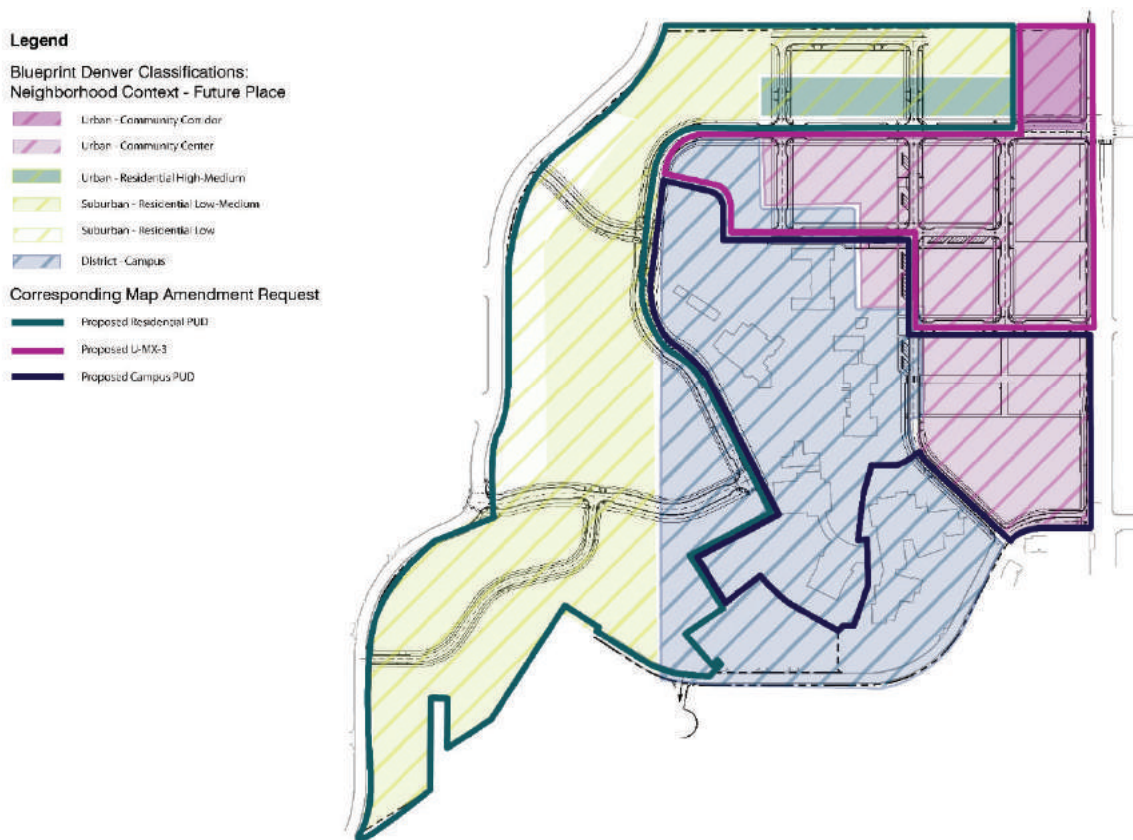


Figure 4: Blueprint Denver - Future Places with Proposed Map Amendment overlaid on Site

To resolve these transitions seamlessly, some boundaries shown in Blueprint Denver have been shifted to align with the proposed road network, however liberties taken were minimal and context driven.

3. Street Types

In Blueprint Denver, street types work together with the future place to evaluate the appropriateness of the intensity of the adjacent development (p. 67). Federal Boulevard – including at 3001 South Federal Boulevard, where the subject property is located – is classified as a Mixed-Use Arterial. Arterial streets are designed for the highest degree of movement and access. Furthermore, streets designated as Mixed Use provide a “varied mix of uses including retail, office, residential and restaurants. Buildings are pedestrian-oriented, typically multi-story, usually with high building coverage with a shallow front setback. A street wall is present, but may vary” (p. 159). Note that residential Collectors are located in the surrounding neighborhoods, although not immediately adjacent to the subject property.

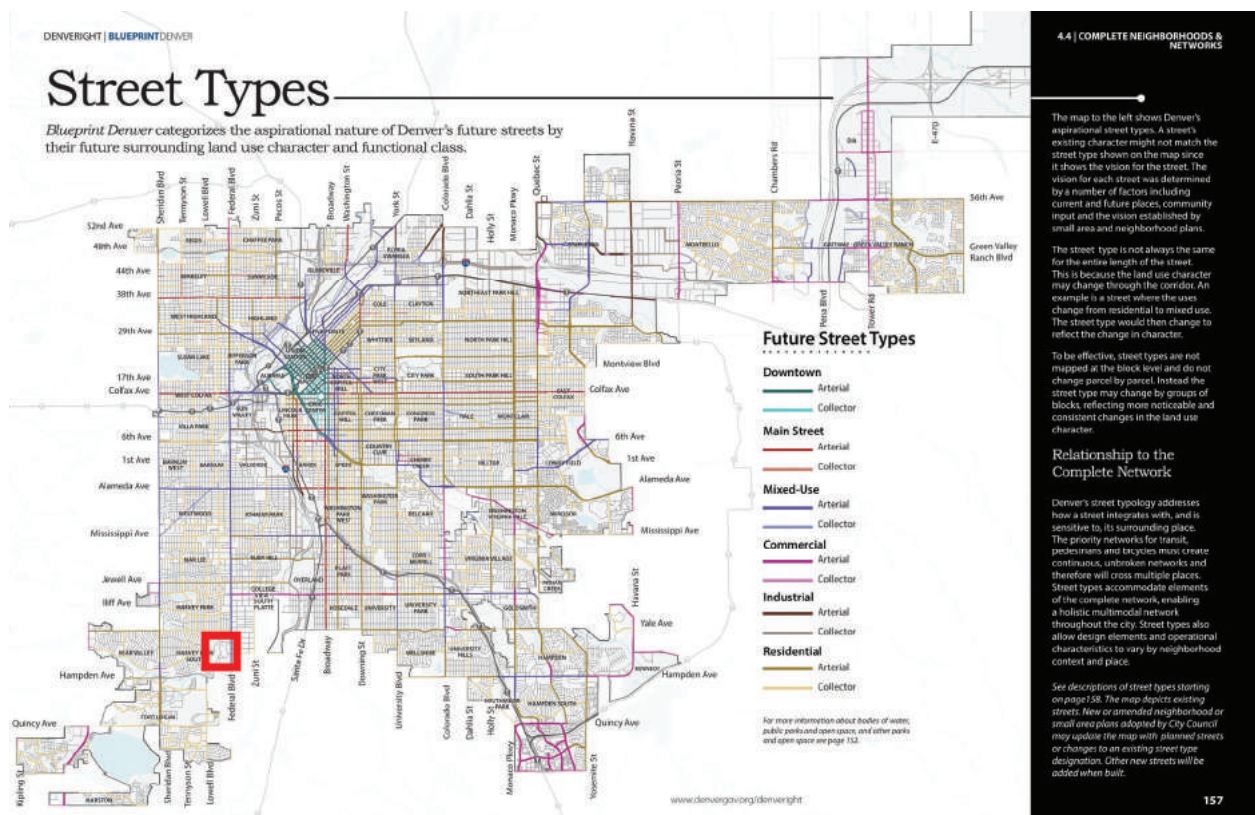


Figure 5: Blueprint Denver - Street Types

The proposed U-MX-3 (with Waivers to 5 Stories), Campus Core PUD, and Residential PUD zone districts are consistent with the Future Street Types designation because they allow for a variety of mixed-use and residential uses, whereas the eastern portion of the site is along a Mixed-use Arterial, and the western portion of the site is in a suburban neighborhood context with associated suburban streets. Similarly, Irving Street borders the west side of Loretto Heights, which is a residential street and, therefore, characterized by residential uses. The Residential PUD – located adjacent to Irving Street – provides for residential uses, in keeping with the character of Irving Street’s type.

4. Growth Strategy

Blueprint Denver’s growth strategy map is a version of the future places map, showing the aspiration for distributing future growth in Denver (p. 51). The subject is one of the many areas indicated as “All other areas of the city.” These areas anticipate 10% of new jobs growth and 20% of housing growth in the city by 2040 (p. 51).

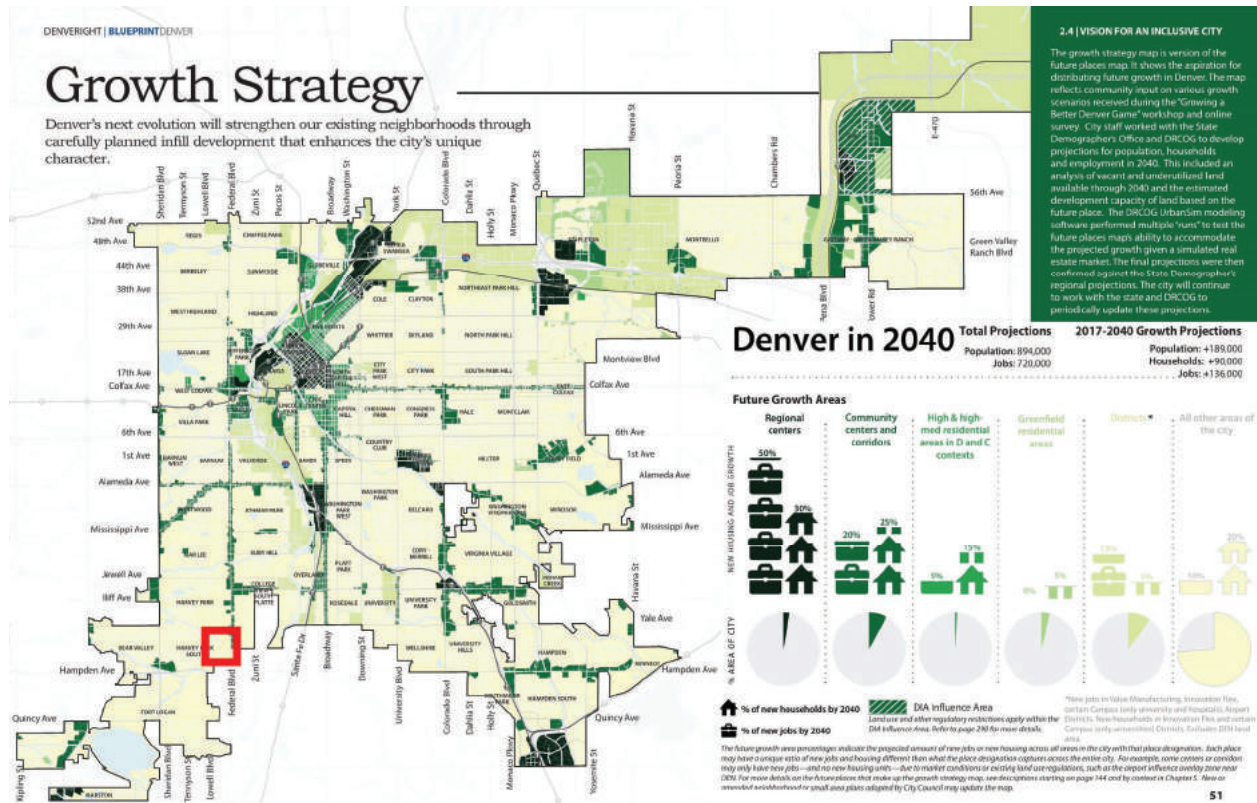


Figure 6: Blueprint Denver- Growth Strategy

The eastern portion of the site is along one of Blueprint Denver’s growth corridor. In keeping with that proposal, our community center, is proposing an amendment to U-MX-3 (with Waivers to 5 stories) to allow for density and the mix of uses that would support jobs and housing growth.

The proposed map amendment to U-MX-3 (with Waivers to 5 Stories), Campus Core PUD, and Residential PUD will focus pedestrian-oriented, mixed-use growth to an area where it has been determined to be appropriate. The proposed map amendment to the existing CMP-EI2 zoning allows residential infill and some mixed-use/retail/commercial, mirroring the jobs and housing growth indicated for this area in Blueprint Denver. Therefore, the requested zone districts are consistent with the Blueprint’s Growth Strategy.

5. Equity Concepts

Blueprint Denver contains four equity concepts to help guide change to benefit everyone:

- a. Access to Opportunities
- b. Vulnerability to Displacement
- c. Housing Diversity
- d. Jobs Diversity

Each equity concept has associated measurements that helps inform considerations for large-scale city-led map amendments.

a. Access to Opportunities

In Blueprint Denver 2019, Access to Opportunity seeks to create “more equitable access to quality-of-life amenities, health and quality education” (p. 30). It measures an area’s Access to Opportunity through Denver’s Department of Public Health and Environment’s neighborhood equity index, access to high-capacity transit, and access to centers and corridors. Overall, the subject site has Less Access to opportunity, as indicated above. The proposed U-MX-3 (with Waivers to 5 Stories), Campus Core PUD, and Residential PUD zone districts are mixed-use, pedestrian-oriented districts that help improve the area’s walkability through enhanced building siting standards. The Campus PUD and U-MX-3 will bring a variety of commercial uses to the area within walking distance of new and existing homes.

This quasi-judicial rezoning may not create direct impacts that result in an improvement of these indicators. However, improvement of built form standards will promote improved health outcomes and facilitate improved redevelopment outcomes.

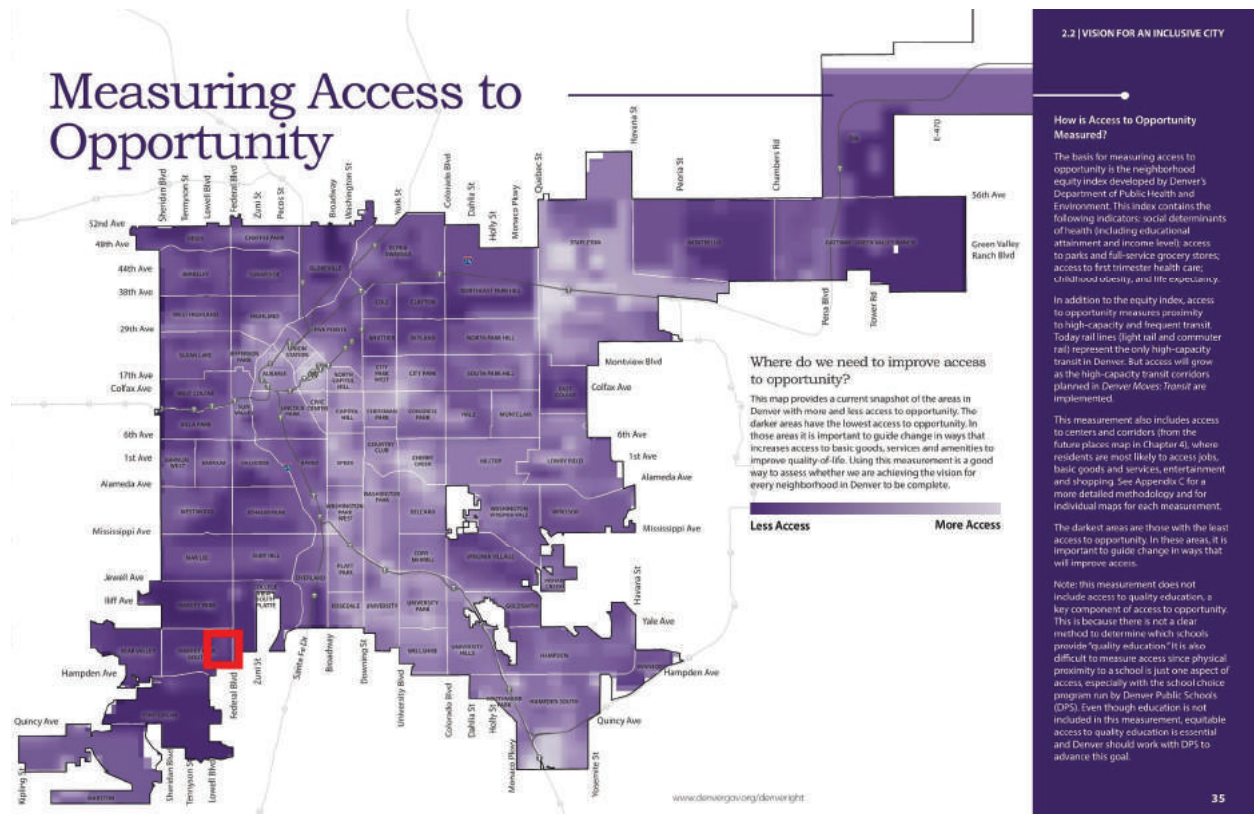
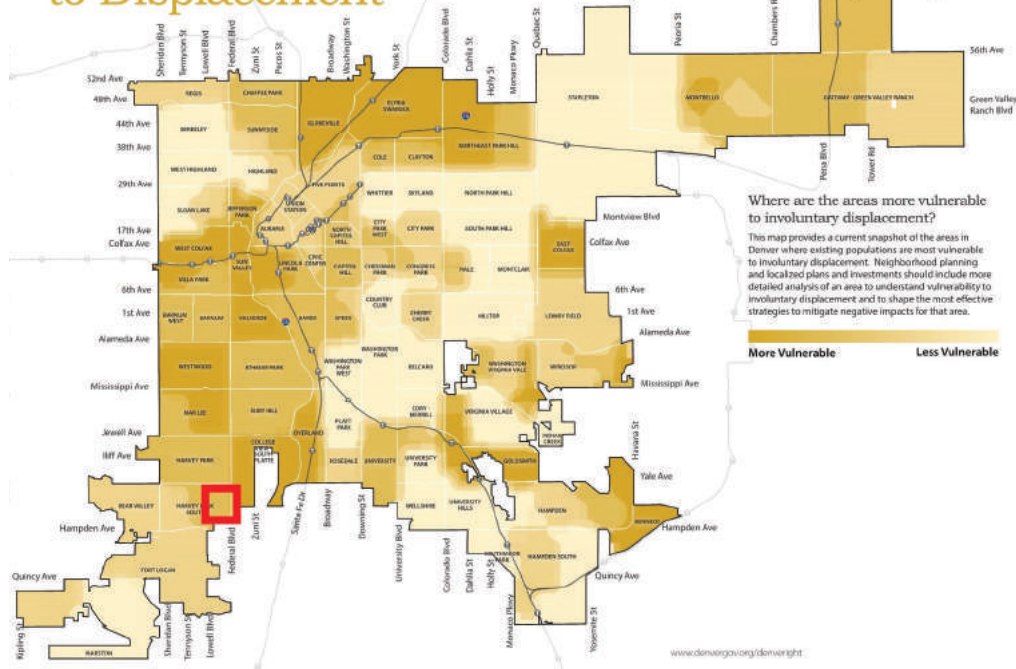


Figure 7: Blueprint Denver – access to opportunity

b. Vulnerability to Displacement

Vulnerability to Displacement compares three variables in a census tract to Denver as a whole. The three variables include, the percent of residents with less than a bachelor's degree, percent of renter-occupied units, and the median household income. This concept is used to stabilize "residents and businesses who are vulnerable to involuntary displacement due to increasing property values and rents" (p. 30). The property is currently More Vulnerable to Displacement, as described above, and it is desired to offer zoning that would make this area less vulnerable to involuntary displacement. The plan notes that this area is more vulnerable because it has a larger percentage of residents with less than a college degree and a lower household income than Denver as a whole. It is believed that rezoning the subject properties to U-MX-3 (with Waivers to 5 Stories), Campus Core PUD, and Residential PUD can decrease the residents' vulnerability to displacement as it provides much-needed additional jobs and residential opportunities, both in rental and in for-sale markets. The proposed Residential PUD rezoning along the west side of the property will allow for low-density residential development, which is compatible with the surrounding suburban context. The Campus Core PUD rezoning will allow for added jobs and residential opportunities within the existing campus core. And the U-MX-3 (With Waivers to 5 Stories) will allow for a mix of uses and density along the east side of the property. Therefore, overall, the rezoning should decrease vulnerability to displacement through added opportunities for jobs and residences.

Measuring Vulnerability to Displacement



Where are the areas more vulnerable to involuntary displacement?

This map provides a current snapshot of the areas in Denver where existing populations are most vulnerable to involuntary displacement. Neighborhood planning and localized plans and investments should include more detailed analysis of an area to understand vulnerability to involuntary displacement and to shape the most effective strategies to mitigate negative impacts for that area.

2.2 | VISION FOR AN INCLUSIVE CITY

How is Vulnerability to Involuntary Displacement Measured?

We measured vulnerability of involuntary displacement with Denver's Office of Economic Development's vulnerability to displacement index, which combines three main data points:

- Median household income
- Percent of renters
- Percent of population with less than a college degree

See Appendix C for a more detailed methodology and for individual maps of each of the components above.

While the index is an appropriate tool to understand this type of change at a citywide scale, it will be important to customize the approach to combating involuntary displacement at a much more local scale through neighborhood planning and prior to other localized plans and investments.

The intent of this map is to show areas where larger populations are vulnerable to displacement, which should help to guide policy decisions and large investments. It is important to note there are also residents vulnerable to displacement who live in neighborhoods that are shown as "less vulnerable" on this map. Any cost-burdened household (one generally paying more than 30% of their income on housing costs) is vulnerable to increasing rents or rising property taxes. Effectively mitigating involuntary displacement requires attention to all cost-burdened households. See the city's housing plan, Housing an Inclusive Denver, for more about policies and programs to help stabilize cost-burdened households.

Figure 8: Blueprint Denver - Measuring Vulnerability to Displacement

c. Housing Diversity

As a Blueprint Denver Equity Concept, housing diversity refers to an area being able to offer residents a variety of housing options to accommodate households of different ages, sizes and incomes. Housing Diversity examines the diversity of housing for an area by evaluating housing diversity, home size diversity, tenure diversity, housing costs, and the number of affordable housing units (Blueprint Denver Appendix C, p. 13). The subject property currently includes diverse housing options, as indicated above (p. 43). However, it is anticipated that the proposed rezoning to U-MX-3 (with Waivers to 5 Stories), Campus Core PUD, and Residential PUD will further increase the diversity of housing options, including single-unit, town homes and multi-unit apartments allowing more and more diverse groups of people to find residence in this part of Denver. This is made possible through the addition of much-needed additional residential density, as well as through the availability of affordable for-sale and rental units that the proposed rezoning would allow. Therefore, while existing housing diversity is indicated in Blueprint Denver to be on the good side of the spectrum, the proposed rezoning should further improve the diversity of housing options made available to this community.

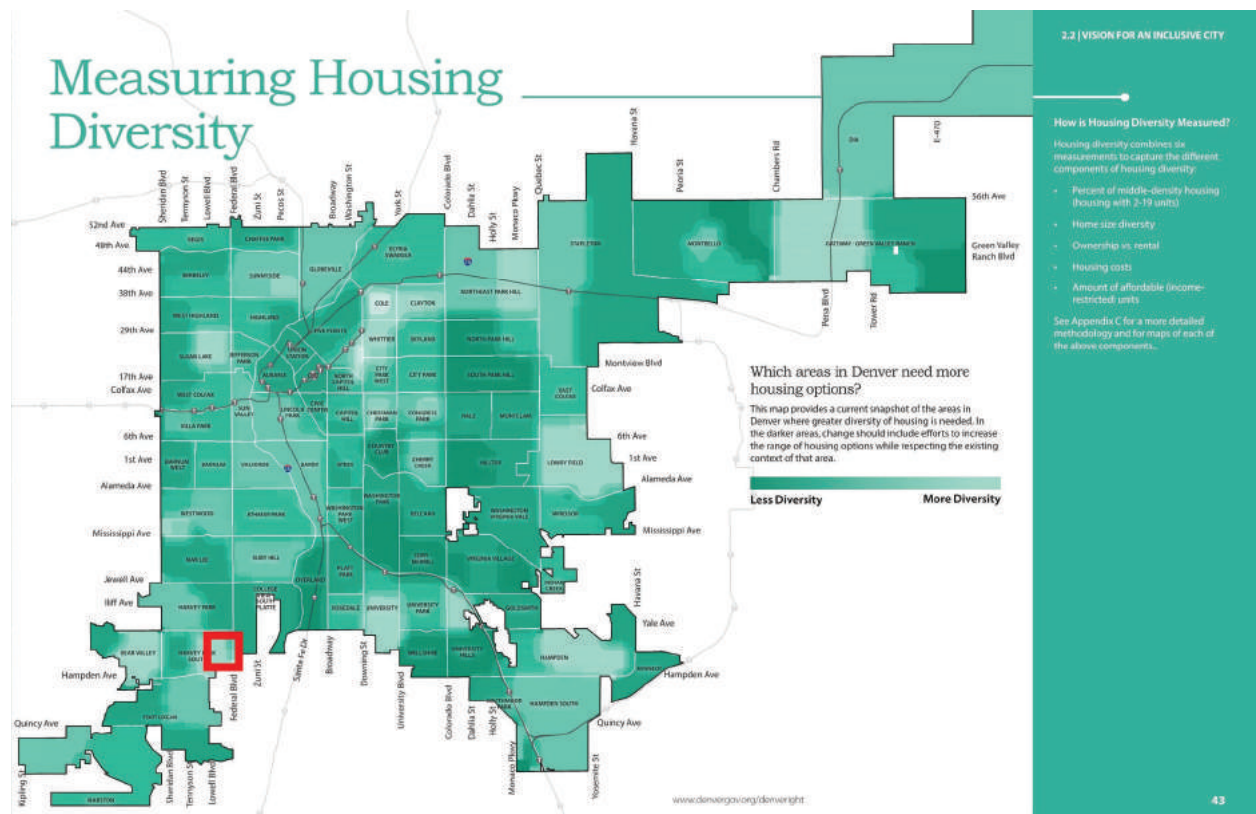


Figure 9: Blueprint Denver- Measuring Housing Diversity

d. Jobs Diversity

Access to a range of quality jobs enables people of different incomes and education levels to find employment and wealth building opportunities. To measure jobs diversity, the city looks at the number of jobs available and how the variety of these jobs compares to the variety of jobs citywide. The subject property and its current campus zoning of CMP-EI2 are noted as offering Less Jobs Per Acre, as noted above. (p. 45) Given that the Loretto Heights Campus is not currently functioning as a campus, the proposed rezoning and subsequent redevelopment will positively impact the available Jobs Per Acre in this community. The proposed rezoning to U-MX-3 (with Waivers to 5 Stories), Campus Core PUD, and Residential PUD – specifically the mixed-use districts of U-MX-3 and the Campus PUD – will allow for a variety of commercial and retail uses that will promote job growth and diversity of job opportunities in this area well beyond what is currently allowed on this property in its existing CMP-EI2 zoning. Finally, note that – within the subject area – the current mix of jobs is consistent with the city's overall job mix.

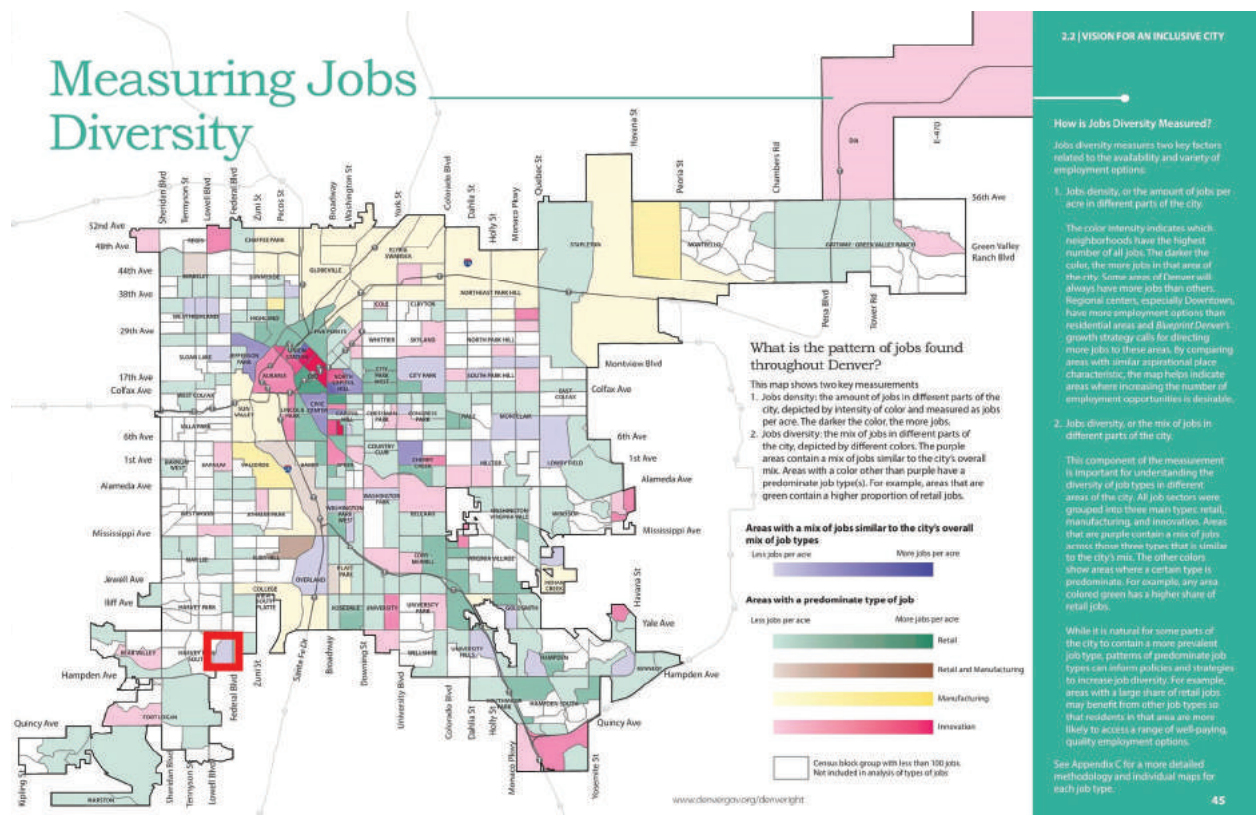


Figure 10: Blueprint Denver - Jobs Diversity

C. Loretto Heights Small Area Plan

The Loretto Heights Small Area Plan was produced through a City-led Area Plan process that began in September of 2018 and which was adopted by City Council in September, 2019. The Area Plan process engaged the community to better understand their existing conditions and needs, as well as their future goals and vision for their community.

Future Neighborhood Context

The Loretto Heights development includes three Future Neighborhood Contexts: Urban along the east, Suburban along the north and west, and District within the campus core. (See Future Neighborhoods above under Blueprint Denver.) The following exhibit is from the Loretto Heights Small Area Plan. (p. 38)

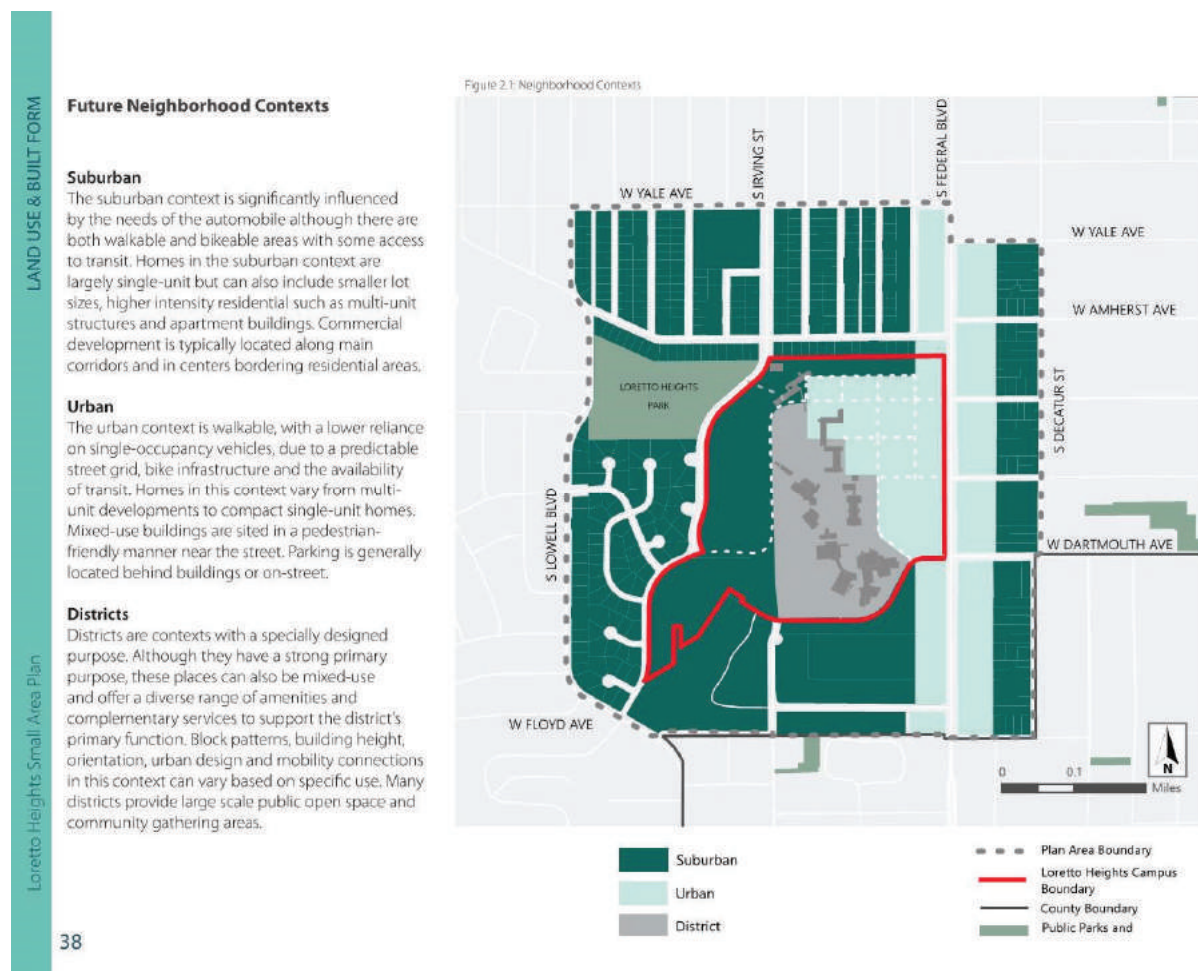


Figure 11: Small Area Plan - Future Neighborhood Context

Future Places

The Loretto Heights development includes six Future Place Types: Community Center and Community Corridor along Federal Boulevard; Residential High-to-Medium, Medium-to-Low and low-density Residential along the north and west; and the Campus future place type in the existing campus core. (See Future Places above under Blueprint Denver.) The following exhibit is from the Loretto Heights Small Area Plan. (p. 39)

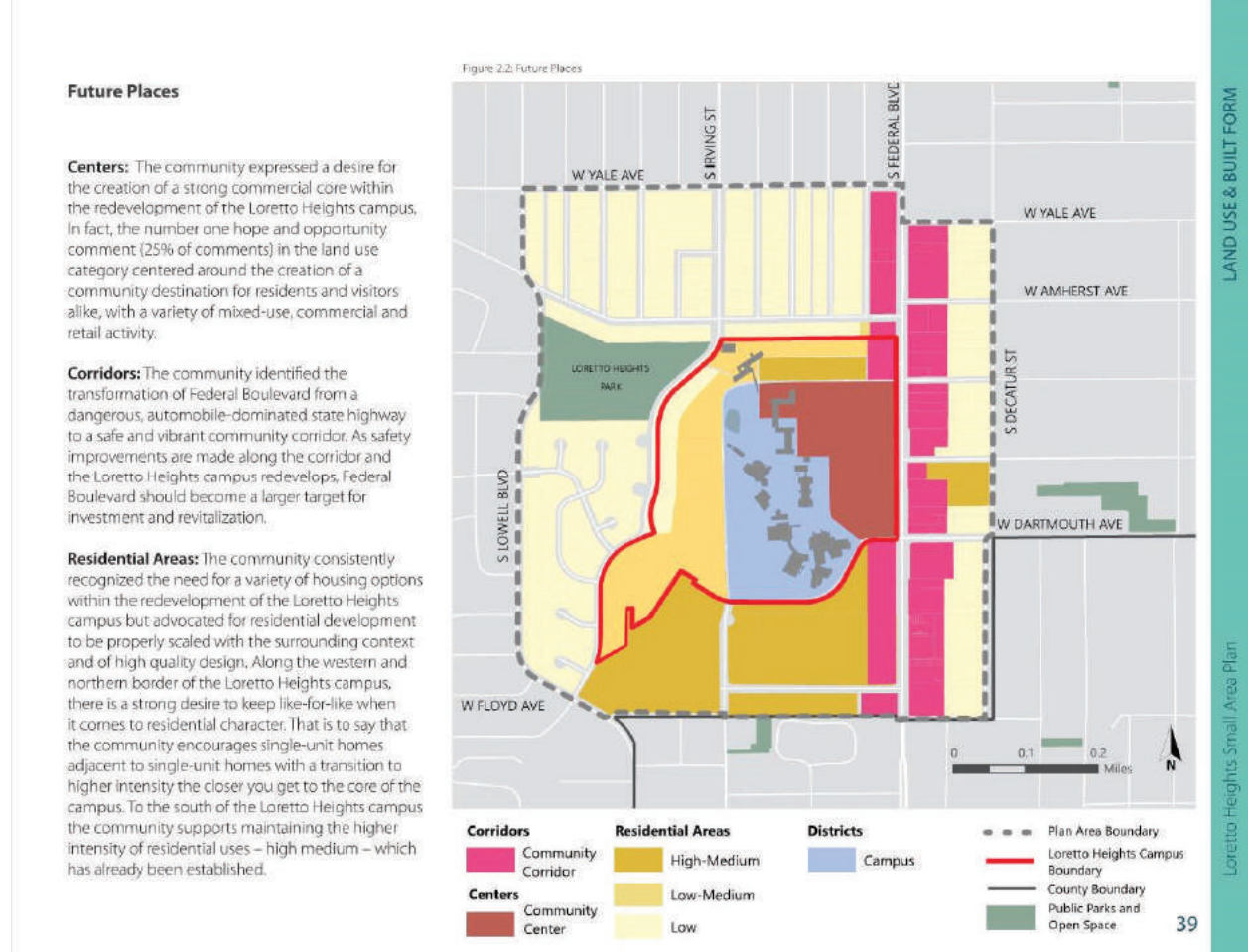


Figure 12: Small Area Plan- Future Places

Note that the Urban Neighborhood Context from Future Neighborhoods mirrors The Community Centers and Corridors indicated in the Future Places Exhibit, indicated above from the Loretto Heights Small Area Plan. Similarly, the proposed Zone Map Amendment indicates U-MX-3 (With Waivers to 5 Stories) along the South Federal Boulevard Corridor, similar to what the Loretto Heights Small Area Plan indicates. (See pages 38 and 39 from the Loretto Heights Small Area Plan for additional information.) Similarly, the Campus District from the Loretto Heights Small Area Plan mirrors the Campus Core PUD indicated in the proposed Zone Map Amendment. And the Suburban/Residential areas from the from the Loretto Heights Small Area Plan mirror the Residential PUD in the proposed Zone Map Amendment. Furthermore, the accompanying narrative that describes the intent and vision for these future neighborhoods and places are reflected in the underlying proposed zone districts and associated building form, place-making, and design guidance they provide.

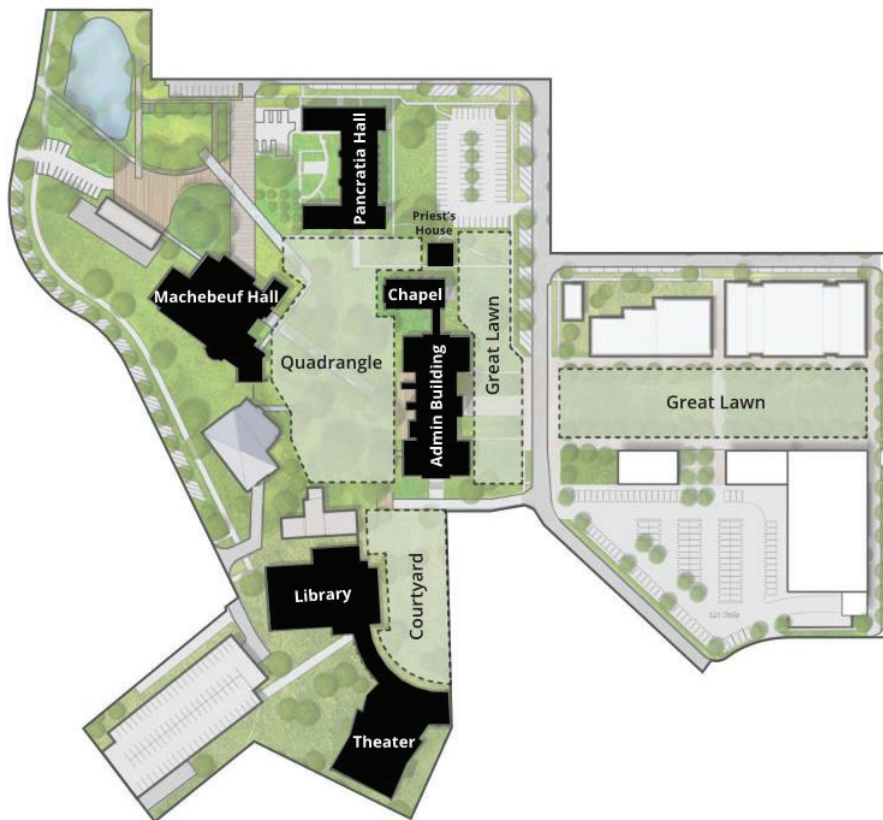
Preservation Guidance from the Small Area Plan

As described in LU-07 from the Loretto Heights Small Area Plan is to “Preserve and re-use historic structures and features on the Loretto Heights campus.” (p. 53) The Loretto Heights Small Area Plan identifies the Administration Building, Chapel, Priest’s House, Pancratia Hall, Machebeuf Hall, Library, and Theater as priority existing building resources to remain and be adaptively re-used. Additionally, the Quadrangle at the heart of the Campus Core, the Great Lawn leading from Federal Boulevard up to the Administration Building, and the Courtyard north and east of the Theater and Library are identified as priority open spaces to remain.

The proposed Campus Core PUD likewise identifies these resources as priorities and notes which portions of these resources are to remain and why, as well as if/how they may be altered. Thus, the proposed re-zoning carries the guidance of the Small Area Plan directly into the zoning code, such that future development will honor the existing priority resources as indicated in the Loretto Heights Small Area Plan.

This graphic depicts the existing buildings and open spaces within the Campus Core PUD area that the Small Area Plan indicates as priority historic resources.

Figure 13: Campus Core



Equity Concepts

Following are exhibits from the Loretto Heights Small Area Plan on Access to Opportunity, Vulnerability to Displacement, and Housing and Jobs Diversity and descriptions of how the proposed rezoning will address these key priorities for the Small Area Plan.

Access to Opportunity

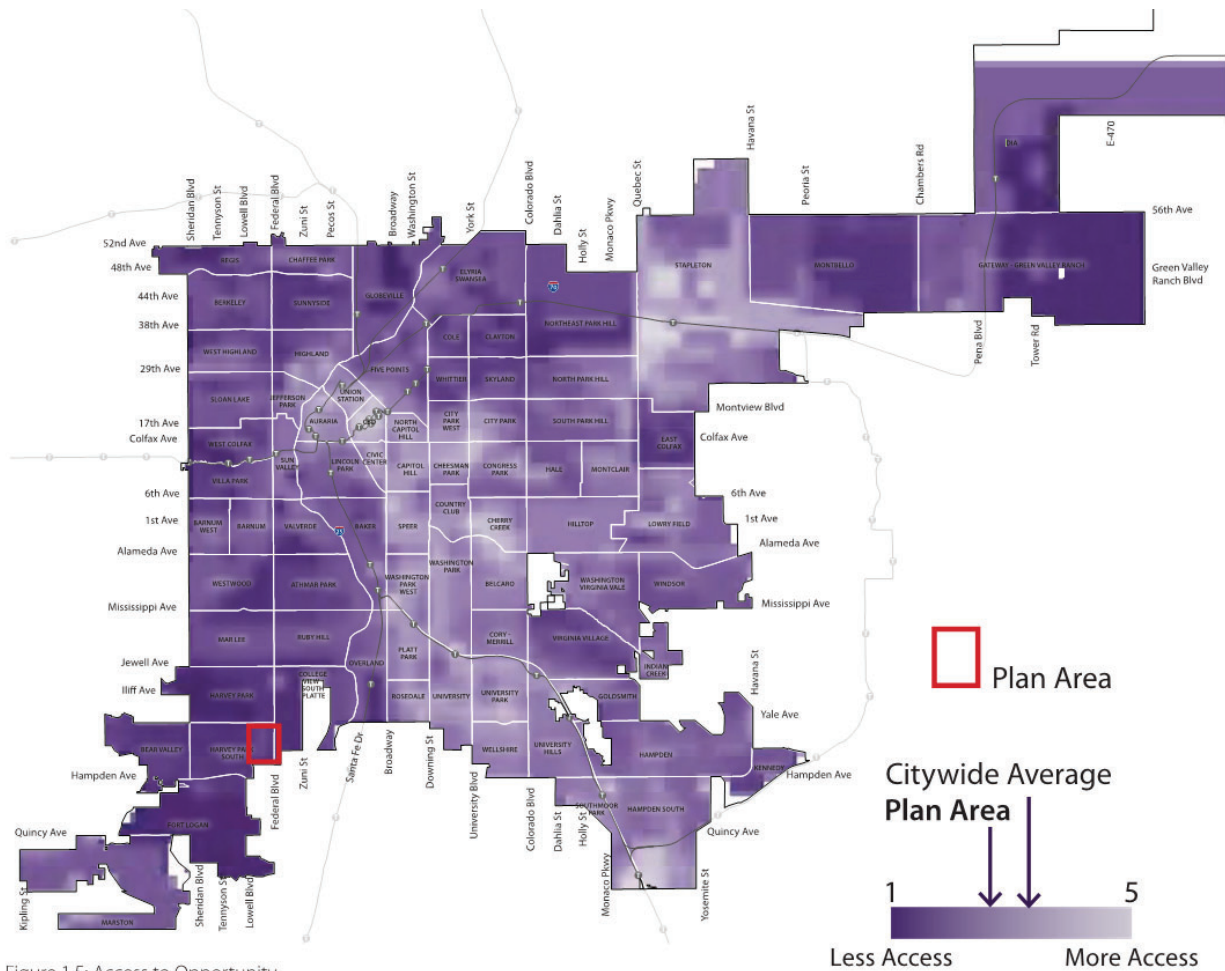


Figure 1.5: Access to Opportunity

Figure 14: Small Area Plan- Access to Opportunity

The Loretto Heights Small Area Plan notes that, on average, there is Less Access to Opportunity within the Plan Area than throughout the City of Denver. (p. 27 – see Loretto Heights Small Area Plan Exhibit above.) Therefore, the Small Area Plan indicates improved Access to Opportunity as a priority for Loretto Heights. (See Loretto Heights Small Area Plan Exhibit below.) Key areas indicated in the plan where opportunity can be improved are: socio-economic, access to healthcare, childhood obesity, death rate, and access to high frequency transit and centers and corridors at all scales. (p. 27)

The proposed rezoning to U-MX-3 (With Waivers to 5 Stories), Campus Core PUD, and Residential PUD addresses this by allowing for the development of diverse housing types and mixes of uses that can provide greater diversity of diverse job opportunity in the area.

Additionally, proposed rezoning along the east side of the site – adjacent to the South Federal Boulevard Corridor (U-MX-3 with Waivers to 5 Stories) – will promote redevelopment and growth along this corridor, which supports greater access and proximity to high-frequency transit and centers/corridors. Finally, the proposed rezoning will result in the implementation of pedestrian-friendly road networks and streetscapes through the Loretto Heights Campus, which is currently devoid of neighborhood and multi-modal connectivity.

The following exhibits and GIS information were provided by CPD on 8/5/2020:

Improving Access to Opportunity

Creating more equitable access to quality-of-life amenities, health and quality education.

Access to opportunity is scored on a range of 1 (meaning less access) to 5 (meaning more access)

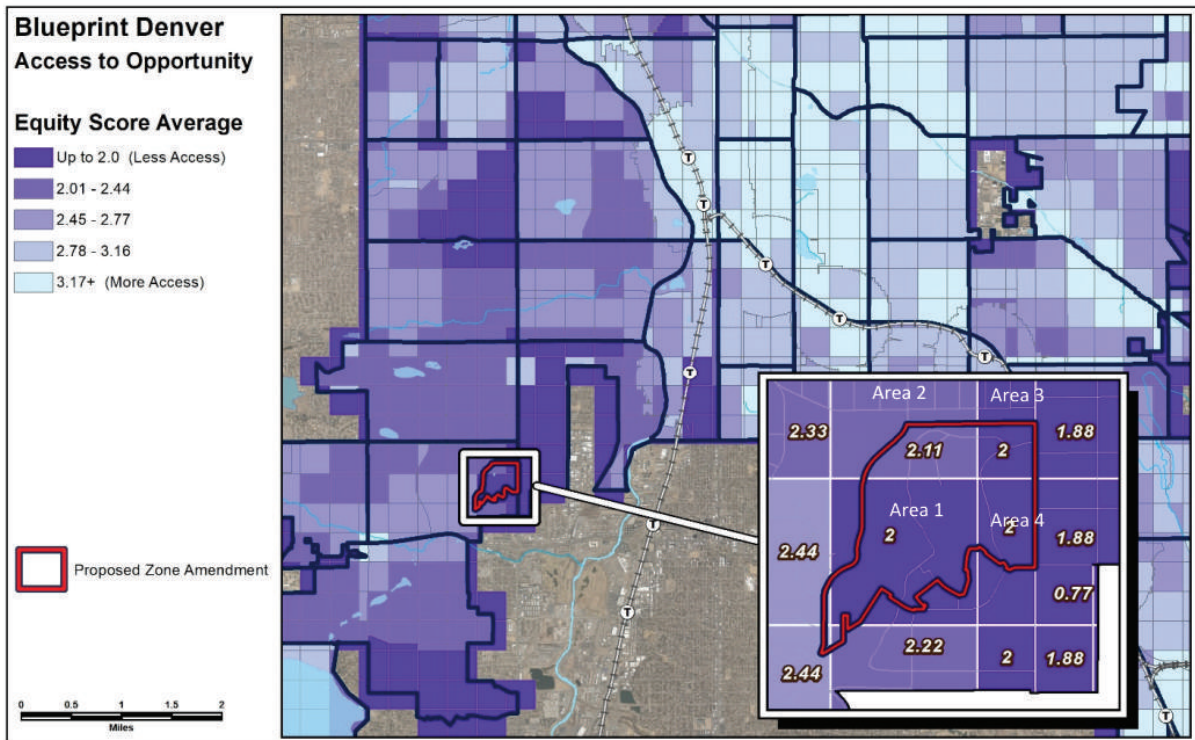


Figure 15: Blueprint Denver- Access to Opportunity

Indicator of Equity	Area 1	Area 2	Area 3	Area 4
DDPHE Equity Index	Social Determinants of Health: 2.5, Less Equitable (24% of 25-year-olds and older without a high school degree; 20% of families below the federal poverty line) Built Environment: 2.5, Less Equitable (15% of housing units within ¼ mile walk of a Park; 44% of residents within ¼ mile walk to full service grocery store) Access to Healthcare: 2, Less Equitable (22% of women that receive no prenatal care during the first trimester of pregnancy) Child Obesity: 3, Somewhat Equitable (16% of children and youth are obese) Life Expectancy: 1, Least Equitable (Life expectancy is 72 years)	Social Determinants of Health: 2.5, Less Equitable (24% of 25-year-olds and older without a high school degree; 20% of families below the federal poverty line) Built Environment: 2.5, Less Equitable (15% of housing units within ¼ mile walk of a Park; 44% of residents within ¼ mile walk to full service grocery store) Access to Healthcare: 2, Less Equitable (22% of women that receive no prenatal care during the first trimester of pregnancy) Child Obesity: 3, Somewhat Equitable (16% of children and youth are obese) Life Expectancy: 1, Least Equitable (Life expectancy is 74 years)	Social Determinants of Health: 2.5, Less Equitable (24% of 25-year-olds and older without a high school degree; 20% of families below the federal poverty line) Built Environment: 2.5, Less Equitable (15% of housing units within ¼ mile walk of a Park; 44% of residents within ¼ mile walk to full service grocery store) Access to Healthcare: 2, Less Equitable (22% of women that receive no prenatal care during the first trimester of pregnancy) Child Obesity: 3, Somewhat Equitable (16% of children and youth are obese) Life Expectancy: 1, Least Equitable (Life expectancy is 74 years)	Social Determinants of Health: 2.5, Less Equitable (24% of 25-year-olds and older without a high school degree; 20% of families below the federal poverty line) Built Environment: 2.5, Less Equitable (15% of housing units within ¼ mile walk of a Park; 44% of residents within ¼ mile walk to full service grocery store) Access to Healthcare: 2, Less Equitable (22% of women that receive no prenatal care during the first trimester of pregnancy) Child Obesity: 3, Somewhat Equitable (16% of children and youth are obese) Life Expectancy: 1, Least Equitable (Life expectancy is 74 years)
Access to Transit	0, has no access to transit	0, has no Access to Transit	0, No access to transit	0, No Access to Transit
Access to Centers and Corridors	Avg: 2.3, 25-49% of area is covered by walk, bike, and driveshed to center or corridor (Local 1, Community, 1, Regional 5)	Avg: 2.7, 25-49% of the area is covered by a walk, bike, or driveshed to a center or corridor. (Local 1, Community 2, Regional 5)	Avg: 2.3, 25-49% of the area is covered by a walk, bike, or driveshed to a center or corridor. (Local 1, Community 1, Regional 5)	Avg: 2.3, 25-49% of the area is covered by a walk, bike, or driveshed to a center or corridor. (Local 1, Community 1, Regional 5)
Average Access to Opportunity	2, Below Average Access	2.11, Below Average Access	2, Below Average Access	2, Below Average Access

Figure 18: Blueprint Denver- Equity Index

In review of the City of Denver’s GIS analysis (See “Improving Access to Opportunity” and “Indicator of Equity” above), the Loretto Heights area scores below average with regard to Access to Opportunity. The proposed re-zoning will allow for greater access to opportunity on all levels – health, transit, and access to corridors and centers – through the redevelopment of 70 acres within the City of Denver that is currently not used nor providing access to opportunity.

In particular, as highlighted on the chart below, access to transit is non-existing and CPD’s GIS provides a score of “0” in this area. Through the rezoning process, the City of Denver is proposing to provide an improved bus-stop along Federal Boulevard (on the west, south-bound side), and improved and signaled crossings across Federal are also being proposed by the City of Denver and the Colorado Department of Transportation (CDOT), who has jurisdiction over Federal Boulevard. Both of these measures – if implemented by the City of Denver and CDOT – will greatly improve access to transit and access to city centers and along corridors, and would improve this part of Denver’s overall score in Access to Opportunity.

Vulnerability to Displacement

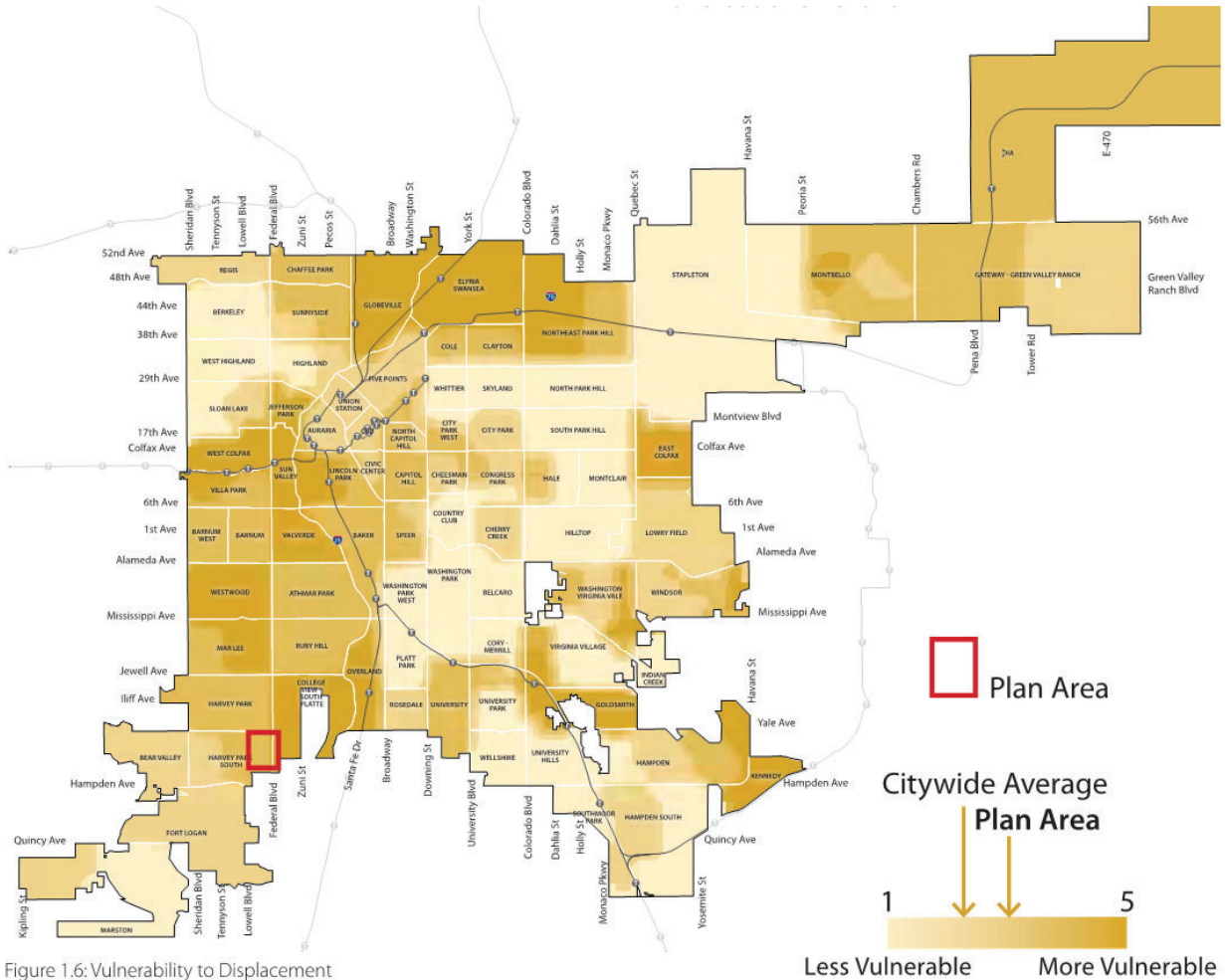


Figure 1.6: Vulnerability to Displacement

Figure 19: Small Area Plan- Vulnerability to Displacement

The Loretto Heights Small Area Plan notes that, on average, are More Vulnerable to Displacement within the Plan Area than throughout the City of Denver. (p. 28 – see Loretto Heights Small Area Plan Exhibit below.) Therefore, the Small Area Plan suggests heightened awareness and protection against Involuntary Displacement in and around Loretto Heights. The plan further details this goal thus:

“While western portions of the study area have higher incomes and education rates, the College View-South Platte neighborhood will be most vulnerable to displacement when development of the former campus occurs. Special attention should be paid to all cost-burdened households in the vicinity to effectively mitigate against involuntary displacement.” (p. 28)

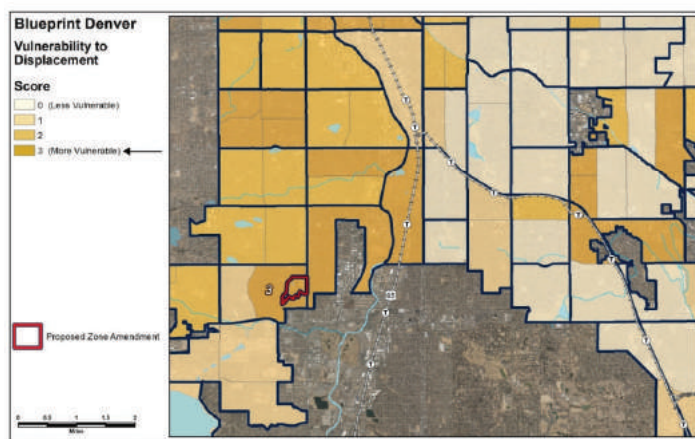
Recommendations from the plan that are addressed through this rezoning application are Recommendations 1 (Promote a diverse use of land uses) and 8 (Identify and preserve the historic character of existing neighborhoods surrounding the redevelopment area) from the Land Use and Built Form Section of the Loretto Heights Small Area Plan. (pps. 51-54)

The proposed rezoning to U-MX-3 (With Waivers to 5 Stories), Campus Core PUD, and Residential PUD allows for the development of diverse housing types and mixes of uses that can provide greater diversity of job opportunity in the area. Additionally, proposed rezoning along the east side of the site – adjacent to the South Federal Boulevard Corridor (U-MX-3 with Waivers to 5 Stories) – will promote redevelopment, growth and density along this corridor, which supports greater access and proximity to high-frequency transit and centers/corridors. And the Campus PUD indicates historic resources, buildings, and open spaces that are important to the community and that require unique treatment and consideration in terms of their rezoning and future redevelopment.

The following exhibits and GIS information were provided by CPD on 8/5/2020:

Reducing Vulnerability to Displacement

Creating more equitable access to quality-of-life amenities, health and quality education. Access to opportunity is scored on a range of 0 (less vulnerable) to 3 (more vulnerable)



Indicator of Vulnerability to Displacement	
Percent of population with less than a college degree	1, Vulnerable (77% of 25-year-olds and older with less than a college degree which is higher than Denver's Average of 52%)
Percent of renter-occupied units	1, Vulnerable (58% renters which is higher than Denver's average of 50%)
Median Household Income	1, Vulnerable (\$46,959 median household income, less than Denver's median household income which is \$63,793)
Total Indicators of Vulnerability to Displacement	3, Vulnerable

Figure 16: Blueprint Denver- Vulnerability to Displacement

In review of the City of Denver's GIS analysis (See "Reducing Vulnerability to Displacement" above), the Loretto Heights area is more vulnerable to displacement. The proposed re-zoning will lessen current residents' vulnerability to displacement by providing more housing in general, and more housing options on all levels, in terms of price, size, ownership/rental, and location. By providing additional residential units and options in an area that requires additional options to reduce vulnerability to displacement, the proposed re-zoning will allow for less vulnerability.

Taken as a whole, the rezoning of the Loretto Heights Campus will provide more and more diverse opportunities for housing and jobs, which can lessen this neighborhood's vulnerability to displacement.

Housing and Jobs Diversity

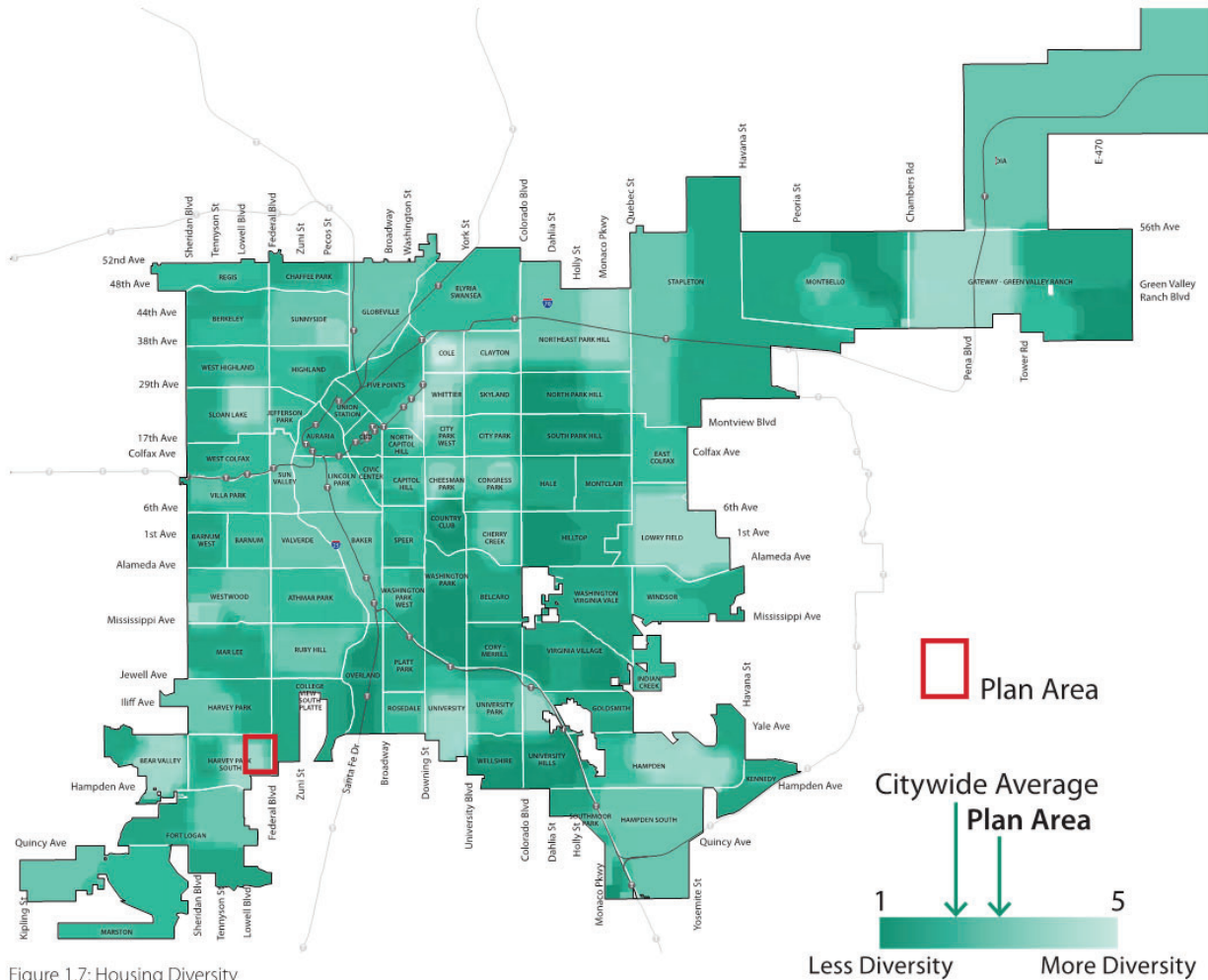


Figure 1.7: Housing Diversity
 Figure 17: Small Area Plan- Housing Diversity

The Loretto Heights Small Area Plan notes that, on average, the Plan Area has More Diverse Housing and Jobs Opportunities than the City of Denver. (p. 29 – see Loretto Heights Small Area Plan Exhibit below.) However, the Small Area Plan suggests even greater diversity of opportunity for housing and jobs thus:

“As the desirability of the Loretto Heights plan area rises, providing a range of housing options will be crucial to advancing the goal of maintaining and increasing racial, ethnic and socioeconomic diversity. The historic campus provides a unique opportunity to help meet this need through adaptive re-use of existing buildings that are well-suited for use as affordable housing.” (p. 29)

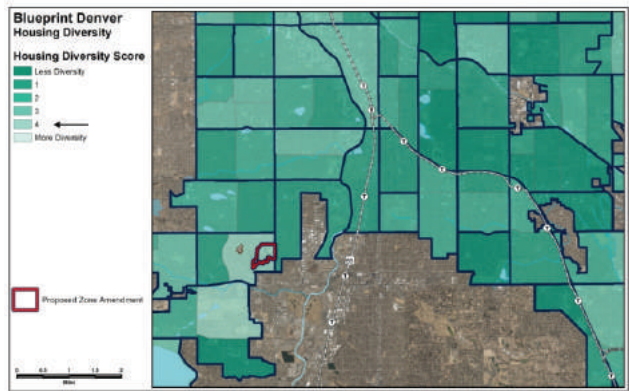
Recommendations from the plan that are addressed through this rezoning application are Recommendations 1 (Promote a diverse use of land uses) and 2 (Promote and anticipate growth in areas adjacent to transit priority streets) from the Land Use and Built Form Section of the Loretto Heights Small Area Plan.

The proposed rezoning to U-MX-3 (With Waivers to 5 Stories), Campus Core PUD, and Residential PUD allows for the development of diverse housing types and mixes of uses that can provide greater diversity of job opportunity in the area. Additionally, proposed rezoning along the east side of the site – adjacent to the South Federal Boulevard Corridor (U-MX-3 with Waivers to 5 Stories) – will promote redevelopment, growth and density along this corridor, which “promotes and anticipates growth in areas adjacent to transit priority streets.” (p. 51) And the Campus PUD indicates historic resources, buildings, and open spaces that are important to the community and that require unique treatment and consideration in terms of their rezoning and future redevelopment – the proposed Campus Core PUD will allow many of these historic buildings and resource to be adaptively re-used for a diverse array of housing and residential opportunities.

The following exhibits and GIS information were provided by CPD on 8/6/2020:

Expanding Housing Diversity – Area 2

Creating more equitable access to quality-of-life amenities, health and quality education.
Housing Diversity is scored on a range of 0 (less diverse) to 5 (More diverse)



Indicator of Housing Diversity	
Percent of middle-density housing	0, Not Diverse (14% of housing with 2-19 units compared to Denver which has 19% middle density housing)
Home size diversity	1, Diverse (mixed ratio of housing unit counts)
Ownership compared to rental	1, Diverse (42% owners and 58% renters compared to Denver's 50% owners and 50% renters)
Housing Costs	1, Diverse (Housing cost ratio is mixed – ratio of housing affordable earning up to 80% AMI and over 120% AMI)
Number of income restricted units	1, Diverse (subject site census tracts have more (249) than the citywide average of 163 units per census tract)
Total Indicators of Housing Diversity	4, Diverse

Figure 22: Blueprint Denver – Housing Diversity

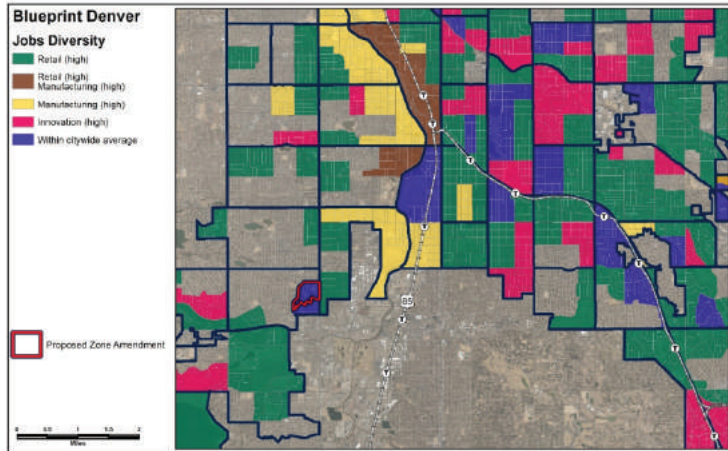
The City of Denver’s GIS analysis of housing diversity (See “Expanding Housing Diversity” above) indicates that there is diversity of housing in the Loretto Heights area. The proposed rezoning will further increase this diversity by providing more housing, in general, and more options for housing on all levels, in terms of size, price, rental and ownership/rental. Therefore, the proposed rezoning will allow for increased diversity of housing.

Taken as a whole, the rezoning of the Loretto Heights Campus will provide more and more diverse opportunities for housing and jobs, which can lessen this neighborhood’s vulnerability to displacement.

The following exhibits and GIS information were provided by CPD on 8/6/2020:

Expanding Jobs Diversity – Area 2

Creating more equitable access to quality-of-life amenities, health and quality education.



Total Jobs	216 jobs (similar mix to city as a whole)
Retail	54% (Equal to the Citywide average of 54%)
Innovation	45% (More than the Citywide average of 36%)
Manufacturing	46% (Less than the Citywide average of 11%)

Figure 18: Blueprint Denver- Jobs Diversity

In review of the City of Denver’s GIS analysis (See “Expanding Jobs Diversity” above), the Loretto Heights area scores average in terms of jobs diversity. The proposed re-zoning for Loretto Heights will provide even greater diversity of jobs and job opportunities in the area through the creation of jobs in an area – the Loretto Heights Campus – that is currently unoccupied and thus, not providing opportunity for employment.

The redevelopment of the Loretto Heights Campus into a mixed-use neighborhood that allows for commercial, retail, educational, cultural, and other uses will only increase access of Denver residents – and residents in the Loretto Heights area – to more and more diverse job opportunities.

II. Uniformity of District Regulations and Restrictions

The proposed official map amendment results in regulations and restrictions that are uniform for each kind of building throughout each district having the same classification and bearing the same symbol or designation on the official map, but the regulations in one district may differ from those in other districts (DZC 12.4.10.7.B). The proposed map amendment would rezone all properties within the defined area currently zoned CMP-EI2 to either U-MX-3 (with Waivers to 5 Stories), Campus Core PUD, or Residential PUD.

III. Public Health, Safety and General Welfare

The proposed official map amendment furthers the public health, safety and general welfare of the City (DZC 12.4.10.7.C).

The City has adopted multiple plans in the interest of public health, safety and the general welfare including Comprehensive Plan 2040 and Blueprint Denver. As described in detail above, the legislative rezoning furthers the goals, policies and strategies in these City plans, and thus by implementing them furthers the health, safety and welfare of the City.

In addition to furthering the public health and safety by implementing the City's adopted plans, the proposed rezoning furthers the general public health, safety and welfare of Denver residents, land-owners and businesses by implementing zone districts that contain enhanced design standards that reinforce the desired character of the South Federal Boulevard corridor and encourage better built form outcomes fostering a more pedestrian-oriented character.

IV. Justifying Circumstances

Since the date of the approval of the existing Zone District, there has been a change to such a degree that the proposed rezoning is in the public interest. (Such change may include a City-adopted plan.)

The Loretto Heights Small Area Plan was adopted on September 16, 2019, which supersedes the existing campus zoning of CMP-EI2, which was predicated on the campus functioning as a campus, which it no longer does. The Loretto Heights neighborhood is closely tied to the historic roots of Denver, and the proposed rezoning helps ensure that this vital piece of the city is invested in and maintained. The Loretto Heights Small Area Plan envisions a redeveloped campus that includes mixed-use development, additional residential density and opportunity, and multi-modal connectivity in and around the existing Loretto Heights Campus.

The proposed zone districts of U-MX-3 (With Waivers to 5 Stories), Campus Core PUD, and Residential PUD are consistent with the vision articulated in the Loretto Heights Small Area Plan. Following are the Future Neighborhood Contexts and Future Places Exhibits from the Loretto Heights Small Area Plan, as well as the proposed Zone Map Amendment, illustrating how the proposed rezoning mirrors the vision from the Small Area Plan:

Future Neighborhoods at Loretto Heights:

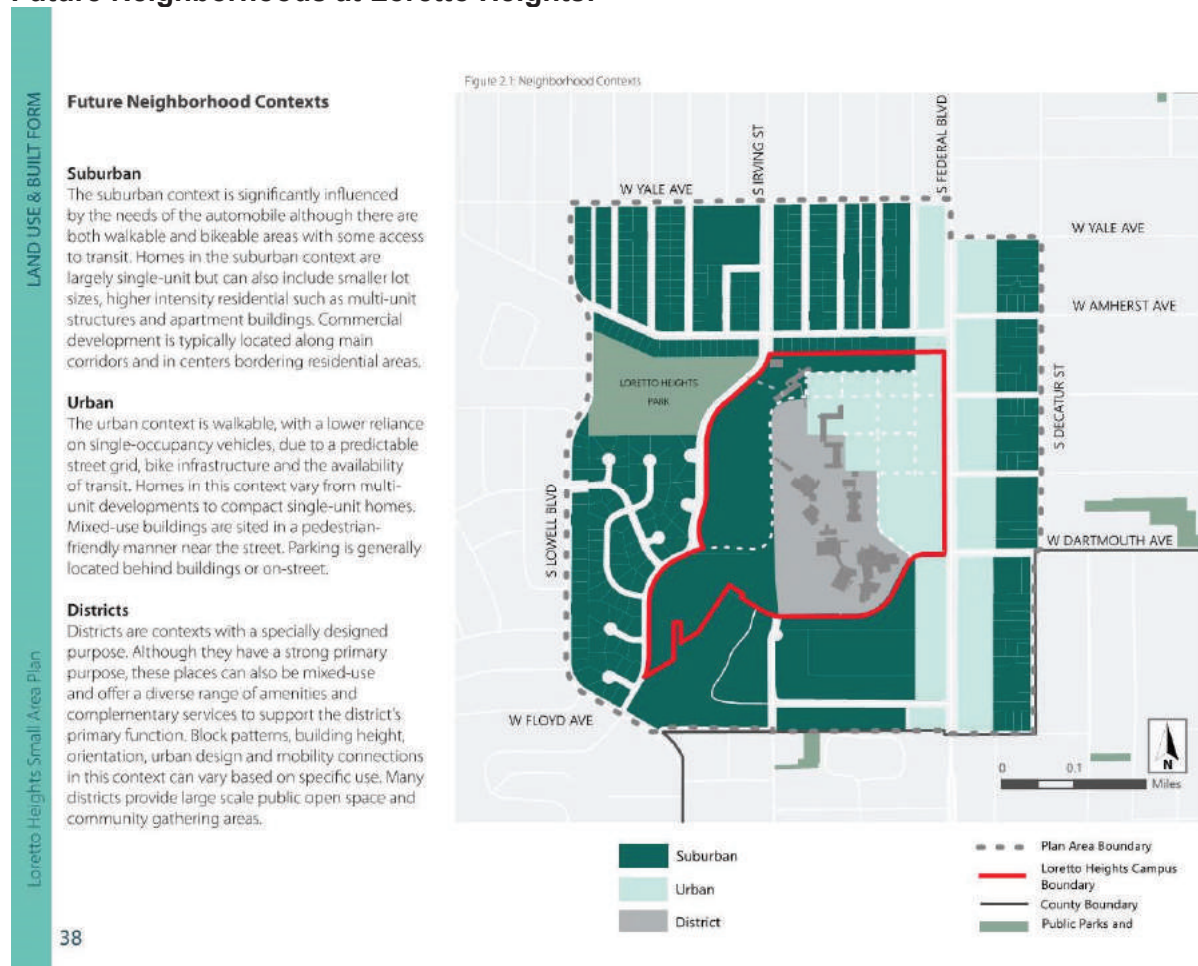


Figure 24: Small Area Plan – Future Neighborhood Context

Future Places at Loretto Heights:

Future Places

Centers: The community expressed a desire for the creation of a strong commercial core within the redevelopment of the Loretto Heights campus. In fact, the number one hope and opportunity comment (25% of comments) in the land use category centered around the creation of a community destination for residents and visitors alike, with a variety of mixed-use, commercial and retail activity.

Corridors: The community identified the transformation of Federal Boulevard from a dangerous, automobile-dominated state highway to a safe and vibrant community corridor. As safety improvements are made along the corridor and the Loretto Heights campus redevelops, Federal Boulevard should become a larger target for investment and revitalization.

Residential Areas: The community consistently recognized the need for a variety of housing options within the redevelopment of the Loretto Heights campus but advocated for residential development to be properly scaled with the surrounding context and of high quality design. Along the western and northern border of the Loretto Heights campus, there is a strong desire to keep like-for-like when it comes to residential character. That is to say that the community encourages single-unit homes adjacent to single-unit homes with a transition to higher intensity the closer you get to the core of the campus. To the south of the Loretto Heights campus the community supports maintaining the higher intensity of residential uses – high medium – which has already been established.

Figure 22: Future Places

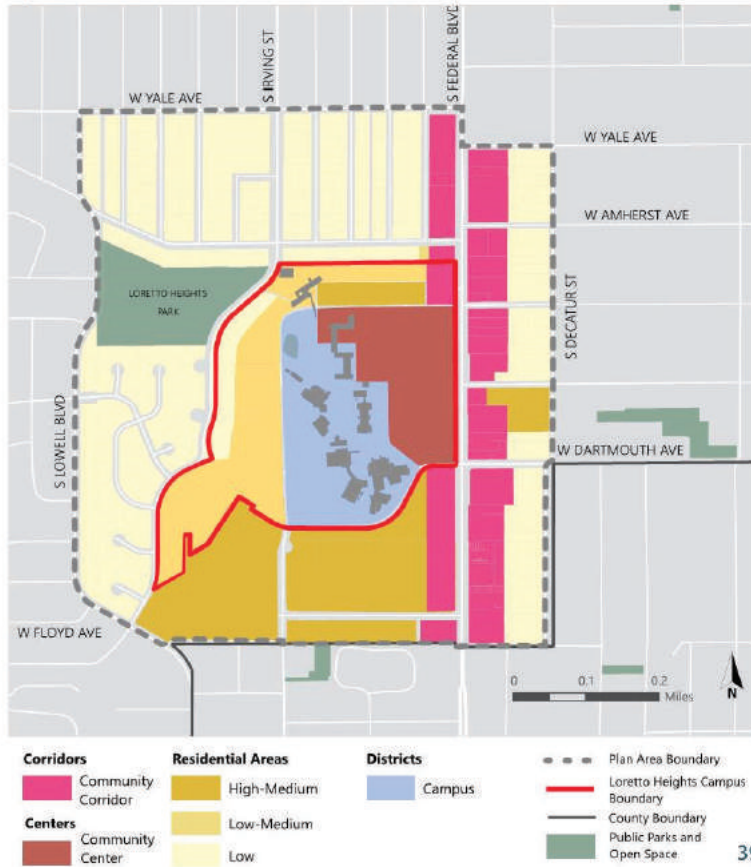


Figure 25: Small Area Plan – Future Places

V. Consistency With the Neighborhood Context and With the Intent of the Proposed Zone District(s)

The proposed official map amendment is consistent with the description of the applicable neighborhood context, and with the stated purpose and intent of the proposed Zone Districts.

Campus Core PUD

The general purpose of PUD-G 24 is to:

1.2.1 Create a community destination.

1.2.2 Facilitate redevelopment of the former Loretto Heights campus with mixed-use residential and commercial uses and amenities.

1.2.3 Ensure preservation and rehabilitation of the Remaining Buildings and Remaining Open Spaces defined in PUD-G 24 Section 1.1.2 while facilitating their original use and adaptive reuse.

1.2.4 Achieve significant additional public benefits including publicly accessible open space that draws residents and visitors into the site from surrounding neighborhoods, allows for circulation around the site, outdoor events and dining, and which provides space for shared mobility devices like bicycles.

More specifically, PUD-G 24 is intended to:

1.3.1 Facilitate compatible development through the use of appropriate building form and design that provides a mix of residential and commercial uses and amenities that respond to the surrounding Suburban and Urban Neighborhood Contexts.

1.3.2 Encourage pedestrian-activated spaces as envisioned in the City's adopted plans.

1.3.3 Preserve and complement character-defining features of the Remaining Buildings and Remaining Open Space.

1.3.4 Ensure quality, human-scaled building design that respects both the overall historic development pattern and design integrity of the Loretto Heights Campus.

1.3.5 Protect and frame key views identified in the Loretto Heights Small Area Plan and ensure that new buildings do not rise above the roofline height of the H-shaped portion of the Administration Building.

The proposed Campus PUD map amendment is consistent with the existing Loretto Heights Campus Core – which serves as the Campus PUD's applicable neighborhood context – in that it establishes a zone district and context where remaining buildings and open spaces have already created a community destination, and the PUD establishes the ways by which this zone district and context may evolve in ways that are complimentary to the context and supportive of Blueprint Denver and Small Area Plan guidance and goals.

Future development allowed by the Campus Core PUD will respect the scale and context of Campus Core, yet will allow for new uses in and around the existing structures that support the development of the community destination envisioned by the Small Area Plan.

Furthermore, the PUD establishes significant elevations and attributes of remaining buildings that are to remain a part of the Campus Core and its fabric. Similarly, remaining open spaces and views to and from these open spaces are defined by the PUD, such that these open spaces and views will remain a part of the Campus Core fabric and future development.

Residential PUD

The general purpose of PUD-G 25 is to facilitate the redevelopment of the former Loretto Heights campus in a responsible and sustainable way and that is compatible with the established residential character found in the adjacent neighborhoods. Future growth and development will take advantage of the unique topography of the site and incorporate an enhanced open space network.

More specifically, PUD-G 25 is intended to:

1.3.1 Allow mixed residential development that contributes to the vibrancy of the surrounding neighborhood and facilitates a transition between future mixed uses in the Campus Core, and existing residential to the west and north.

1.3.2 Facilitate compatible development through the use of appropriate building form and design standards and guidelines that respond to the surrounding Suburban and Urban Contexts.

1.3.3 Encourage pedestrian-activated spaces and connections as envisioned in the City's adopted plans.

1.3.4 Allow uses and building forms at a scale that is compatible with the surrounding residential neighborhoods and the future mixed-use in the Campus Core.

1.3.5 Ensure quality, human-scaled building design, particularly along South Irving Street/South Julian Street.

1.3.6 Create an enhanced open space network of trails, parkways, and turf that is thoughtfully woven into the neighborhood and connects future residential to regional and local assets like Loretto Heights Park.

The proposed Residential PUD map amendment is consistent with the surrounding applicable neighborhood contexts in that it establishes appropriate future development compatible with the existing neighborhoods to the north and west of Loretto Heights as well as to the Campus Core PUD, which is located south and east of the Residential PUD. Allowable future development will be scaled to honor existing adjacent neighborhoods, allow for a diversity of possible residential types, and promote sustainable development throughout.

Furthermore, the Residential PUD allows for future development to be oriented towards open space as well as roads, and it allows the open space to connect the Residential PUD's neighborhoods to surrounding neighborhoods and parks, while simultaneously allowing the open space within the Residential PUD to be used to connect surrounding neighborhoods to the Campus Core PUD. Thus, the Residential PUD map amendment supports the development of a Community Center at the heart of Loretto Heights (located within the Campus Core PUD) through the development of diverse and appropriate residential development that is organized around open space and trails that promote connectivity between Loretto Heights and its surrounding neighborhoods.

As shown below, the Residential PUD Map Amendment includes a number of sub-areas, which further articulate the types of residential development and frontages that are appropriate within those specific sub-areas: Residences that front larger streets within the PUD are described by their sub-areas and unique context; Similarly, residences that front smaller streets or open spaces are described by sub-areas and language in the PUD that ensures these residences will be designed for their unique contexts. This building design strategy supports the purpose and intent to develop diverse housing that is sustainable, site-responsive, and supports the goal of creating a community center and diverse housing opportunities at Loretto Heights.

U-MX-3 w/ Waivers to 5 Stories

The General Purpose of Mixed-use Districts (U-MX-2, -2X, -3) is to:

- A. The Mixed Use zone districts are intended to promote safe, active, and pedestrian-scaled, diverse areas through the use of building forms that clearly define and activate the public street edge.
- B. The Mixed Use zone districts are intended to enhance the convenience, ease and enjoyment of transit, walking, shopping and public gathering within and around the city's neighborhoods.
- C. The Mixed Use zone district standards are also intended to ensure new development contributes positively to established residential neighborhoods and character, and improves the transition between commercial development and adjacent residential neighborhoods.
- D. Compared to the Main Street districts, the Mixed Use districts are focused on creating mixed, diverse neighborhoods. The Mixed Use districts are intended for corridors, embedded neighborhood business areas and larger sites.
- E. In the Urban Neighborhood Context, the Mixed-Use zone districts promote a pedestrian-active street front. Buildings are pulled up to the street with parking at the side or rear of the building; however, the front setback range is deeper than the front setback range for the Main Street districts. The required percentage of building facade that must be located in the front setback area is less than the percentage for the Main Street districts.

The proposed U-MX-3 (w/ Waivers to 5 stories) map amendment is consistent with guidance in the Loretto Heights Small Area Plan and Blueprint Denver, which recommend mixed-use development of 3-to-5 stories. U-MX-3 (w/ Waivers to 5 stories) is also consistent with the surrounding applicable neighborhood context in that the U-MX-3 (w/ Waivers to 5 stories) is located at the northeast quadrant of Loretto Heights, at the main road entrance from Federal Boulevard into the Loretto Heights. These roads along the north and east of Loretto Heights will serve as the primary circulators, therefore five stories of mixed-use development is appropriate at this location.

Furthermore, this area of the site has been identified in Blueprint Denver and in the Small Area plan as warranting the type of development that will provide mixes of uses along Federal Boulevard and higher densities throughout the northeast portion of the site. The mixes of use and higher density support the goals of providing diverse housing opportunities, as well as providing diverse job opportunities.

Finally, this portion of the site warrants street activation as a way of drawing Denver residents into the site and in support of the community center envisioned in the Loretto Heights Small Area Plan, and the U-MX-3 (w/ Waivers to 5 stories) zone district supports this goal.

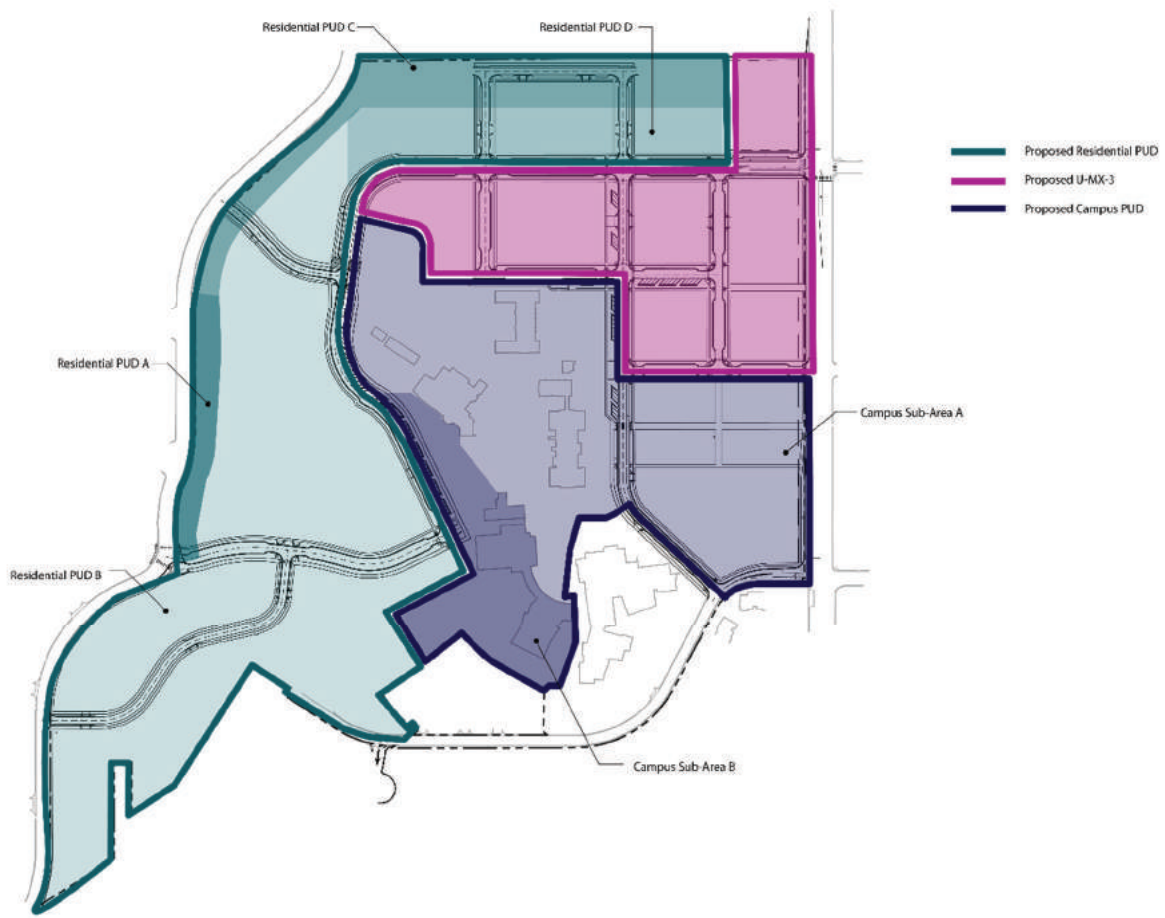


Figure 26: Proposed Zone District Map

The proposed zone districts of U-MX-3 (With Waivers to 5 Stories), Campus Core PUD, and Residential PUD (shown above) will enable the diverse land use, vibrant building forms, and complete streetscapes that will create the diversity of job opportunities, growth and density of residential opportunities, and connectivity and pedestrian-friendly neighborhood that the Loretto Heights Small Area Plan envisions.

VI. Consistency With the Neighborhood Context and With the Intent of the Proposed Zone District(s)

Additional Review Criteria for Rezoning to PUD District (12.4.10.9)

VI-a. PUD G-24 (Campus Core PUD)

A. The PUD District is consistent with the intent and purpose of such districts stated in Article 9, Division 9.6 (Planned Unit Development) of this Code.

9.6.1.1 General Purpose and Intent

A. The general purpose of a Planned Unit Development zone district (“PUD District”) District is to provide an alternative to conventional land use regulations, combining use, density, site plan and building form considerations into a single process, and substituting procedural protections for the more prescriptive requirements in this Code. The PUD District is intended to respond to unique and extraordinary circumstances, where more flexible zoning than what is achievable through a standard zone district is desirable and multiple variances, waivers, and conditions can be avoided.

B. “Unique and extraordinary circumstances” that justify use of a PUD District include, but are not limited to, the following:

1. Where a development site has special physical characteristics, including but not limited to irregular or odd-shaped lots, or lots with significant topographical barriers to standard development or construction practices;

2. Where a customized zoning approach is necessary to protect and preserve the character of a historic structure or a historic district;

PUD G-24 is consistent with the intent and purpose of PUDs because the subject site has special physical characteristics and assets. Specifically, the existing Remaining Buildings and Remaining Open Spaces indicated in PUD G-24 are a vital part of this zone district, and the PUD addresses how these Remaining Buildings and Remaining Open Spaces are to be treated.

Additionally, site topography warrants the two Subareas indicated in PUD G-24 which allow for heights and stories within the zone district – and across varying topography – while honoring guidance in the Loretto Heights Small Area Plan and Blueprint Denver, as well as the Ruby Hill View Plane. Such height allowances and specificity is not provided in standard zone districts. (Note that both Subareas within PUD G-24 limit heights and stories to be less than what is currently allowed under the existing CMP-EI2 zoning.)

B. The PUD District and the PUD District Plan comply with all applicable standards and criteria stated in Division 9.6

The PUD District complies with all standards and criteria stated in Division 9.6.

C. The development proposed on the subject property is not feasible under any other zone districts, and would require an unreasonable number of variances or waivers and conditions.

The PUD is necessary because there is no standard zone district the addresses existing Remaining Buildings and Remaining Open Spaces, nor the topography outlined in PUD G-24.

D. The PUD District and the PUD District Plan establish permitted uses that are compatible with existing land uses adjacent to the subject property.

PUD-G-24 establishes uses that honor guidance provided in the Loretto Heights Small Area Plan and Blueprint Denver, which recommends adaptive re-use of existing Remaining Buildings and mixed-use development throughout the zone district.

E. The PUD District and the PUD District Plan establish permitted building forms that are compatible with adjacent existing building forms, or which are made compatible through appropriate transitions at the boundaries of the PUD District Plan (e.g., through decreases in building height; through significant distance or separation by rights-of-way, landscaping or similar features; or through innovative building design.)

PUD G-24 establishes limits to height and stories with Subarea A (5 stories/70') and Subarea B (8 stories/110'), which are less than the current CMP-EI2 zoning. These heights are consistent with guidance in the Loretto Heights Small Area Plan and Blueprint Denver, as well as the Ruby Hill View Plane.

Furthermore, building forms, setbacks, and – in particular – treatment of Remaining Buildings and Remaining Open Spaces are specified in PDU G-24, such that future development and adaptive re-use of existing buildings with the PUD will both be in keeping with the existing campus context and the Remaining Buildings and Open Spaces that are in the zone district.

VI-b. PUD G-25 (Residential PUD)

A. The PUD District is consistent with the intent and purpose of such districts stated in Article 9, Division 9.6 (Planned Unit Development) of this Code.

9.6.1.1 General Purpose and Intent

A. The general purpose of a Planned Unit Development zone district (“PUD District”) District is to provide an alternative to conventional land use regulations, combining use, density, site plan and building form considerations into a single process, and substituting procedural protections for the more prescriptive requirements in this Code. The PUD District is intended to respond to unique and extraordinary circumstances, where more flexible zoning than what is achievable through a standard zone district is desirable and multiple variances, waivers, and conditions can be avoided.

B. “Unique and extraordinary circumstances” that justify use of a PUD District include, but are not limited to, the following:

1. Where a development site has special physical characteristics, including but not limited to irregular or odd-shaped lots, or lots with significant topographical barriers to standard development or construction practices;
2. Where a customized zoning approach is necessary to protect and preserve the character of a historic structure or a historic district;
3. Where the proposed scale or timing of a development project demands a more customized zoning approach to achieve a successful, phased development

PUD G-25 is consistent with the intent and purpose of PUDs because the subject site has special physical characteristics, including significant topographical barriers to standard development and construction processes, other special and unique physical assets, and the development is of a proposed scale that demands a more customized zoning approach to achieve a phased development.

Specifically, the site topography warrants custom zoning language and requirements to address building-specific or frontage specific base planes, building separation, roof pitches, stories, height, and frontage of homes on open spaces. The Remaining Open Space, including the historic cemetery, are additional special physical characteristics and assets in which PUD G-25 facilitates appropriate buffering, landscaping, and preservation. Finally, the proposed development is likely to take multiple years, so the PUD G-25 helps facilitate a common thread through all phases.

B. The PUD District and the PUD District Plan comply with all applicable standards and criteria stated in Division 9.6

The PUD District complies with all standards and criteria stated in Division 9.6.

C. The development proposed on the subject property is not feasible under any other zone districts, and would require an unreasonable number of variances, waivers, and conditions.

The PUD is necessary because there is no standard zone district that addresses existing the significant topographic barriers, special physical characteristics such as the Remaining Open Spaces and cemetery, or the proposed scale of the development as outlined in PUD G-25.

D. The PUD District and the PUD District Plan establish permitted uses that are compatible with existing land uses adjacent to the subject property.

PUD-G-25 establishes uses that honor guidance provided in the Loretto Heights Small Area Plan and Blueprint Denver, which recommends preservation of the Cemetery Remaining Open Space, promotes diverse and affordable housing mixes within the zone district, and promotes sustainable building practices through flexibility in building height and form.

E. The PUD District and the PUD District Plan establish permitted building forms that are compatible with adjacent existing building forms, or which are made compatible through appropriate transitions at the boundaries of the PUD District Plan (e.g., through decreases in building height; through significant distance or separation by rights-of-way, landscaping or similar features; or through innovative building design.)

PUD G-25 establishes building forms that are compatible with surrounding neighborhoods, which are predominantly low-to-medium density adjacent to PUD G-25. The PUD allows for low-to-medium density residential development, and it specifies how heights, setbacks, and frontages are to be considered within the topography of the zone district as well as ensure appropriate transition to the future Campus Core neighborhood.

Furthermore, following guidance in the Loretto Heights Small Area Plan, publicly accessible open spaces with buildings fronting them are indicated within the PUD to promote health and wellness opportunities for the public through the multiple trails, greenways, and parks. The Small Area Plan indicates neighborhood use trails and open spaces, and the PUD provides guidance for how these trails and open spaces are to be developed within the zone district to promote pedestrian and bicycle use over the automobile.

VII. Deviations From Standard Zone District:

VII-a. Deviations in PUD G-24 (Campus Core PUD):

The Campus Core PUD G-24 deviates from the base zone district of CMP-EI2 in that:

1. It provides guidance for how Remaining Buildings and Remaining Open Spaces within the existing Campus Core are to be addressed within the PUD;
2. It limits stories and height to 5-stories/70' in Subarea A and 8-stories/110' in Subarea B;
3. It allows for a greater mix of uses throughout the Campus Core PUD.

These deviations allow for Remaining Buildings and Open Spaces to be addressed within the zoning for this zone district, and they also reduces the maximum height of the zone district from existing heights to lower heights that are in keeping with the Loretto Heights Small Area Plan and Blueprint Denver, as well as the Ruby Hill View Plane. Finally, the deviations allow for a greater mix of uses within the zone district than would be allowed under the base zone district.

VII-b. Deviations in PUD G-25 (Residential PUD):

The Residential PUD-G 25 deviates from the base zone district S-SU-A in ways that reinforce community objectives outlined in the Small Area Plan and promote development opportunities for creating a remarkable community benefitting the City of Denver, including:

- Allowances for additional height – flexibility in height creates opportunities for diversity in building forms which allow for unique building design and composition, provide occasions for inclusion of energy efficient solar systems, and more.
- Removes bulk plane restrictions – *the site's* unique, endemic topography constraints convolute evaluation of bulk plane requirements. Specific Sub-areas are being developed to help address height considerations for proximity to adjacent neighborhoods. The overall community is being developed with transitional height building towards the Campus core as a strong design feature.
- Decreases zone lot width and minimizes setbacks – smaller zone lots and setbacks allow for achieving the higher-density, walkable development core value of this Community.
- Removes primary street-facing attached garage doors – walkable development focus on prioritizing pedestrian access and movement and relocating garage doors to alleyways helps support this initiative.

The Residential PUD-G 25 deviates from the base zone district S-RH-2.5 in ways that reinforce community objectives outlined in the Small Area Plan and promote development opportunities for creating a remarkable community benefitting the City of Denver, including:

- Increases the number of full stories allowed to three – additional allowances for height creates opportunities for diversity in building forms which allow for unique building design and composition, take advantage of tremendous view opportunities, and provide occasions for inclusion of energy efficient solar systems, and more.
- Offers height incentives for structures using the Denver Green Code – promote sustainable initiatives in design and construction of residential housing and promote Denver's Green Code objectives.

- Removes bulk plane restrictions and upper story step back requirements – *the site's* unique, endemic topography constraints convolute evaluation of bulk plane requirements. Specific Sub-areas are being developed to help address height considerations for proximity to adjacent neighborhoods. The overall community is being developed with transitional height building towards the Campus core as a strong design feature.
- Decreases zone lot widths, minimizes setbacks, decreases building separation – smaller zone lots, setbacks, and building separation allow for achieving the higher-density, walkable development core value of this Community.
- Provides ability to use open space frontage in addition to public right of way frontage – unique, prevalent topography of the site demands a unique approach to community design. Promoting a community lifestyle focused on open space creates opportunities to appropriately design a community which responds to existing site conditions, rather than forcing unsightly site retaining walls and unobtainable grading solutions.
- Promotes flexibility in location of roof top decks – residential unit design on the site's unique topography will necessitate considerations for roof deck location flexibility to maintain tremendous view opportunities.
- Allows for Primary Frontage Base Plane and Building Specific Base Plane measurements of height – unique, endemic topography of the site demands a different approach to calculation of building height that ensures consistency of review for both City and Builder.

The Residential PUD-G 25 deviates from the base zone district U-RX-3 in ways that reinforce community objectives outlined in the Small Area Plan and promote development opportunities for creating a remarkable community benefitting the City of Denver, including:

- Offers height incentives for structures using the Denver Green Code – promote sustainable initiatives in design and construction of residential housing and promote Denver's Green Code objectives.
- removes bulk plane restrictions and upper story step back requirements – *the site's* unique, endemic topography constraints convolute evaluation of bulk plane requirements. Specific Sub-areas are being developed to help address height considerations for proximity to adjacent neighborhoods. The overall community is being developed with transitional height building towards the Campus core as a strong design feature.
- Decreases zone lot widths, minimizes setbacks, decreases building separation – smaller zone lots, setbacks, and building separation allow for achieving the higher-density, walkable development core value of this Community.
- Provides ability to use open space frontage in addition to public right of way frontage – unique, endemic topography of the site demands a unique approach to community design. Promoting a community lifestyle focused on open space creates opportunities to appropriately design a community which responds to existing site conditions, rather than forcing unsightly site retaining walls and unobtainable grading solutions.
- Promotes flexibility in location of roof top decks – residential unit design on the site's unique topography will necessitate considerations for roof deck location flexibility to maintain tremendous view opportunities.
- Allows for Primary Frontage Base Plane and Building Specific Base Plane measurements of height – unique, endemic topography of the site demands a different approach to calculation of building height that ensures consistency of review for both City and Builder.