

# SUBMITTAL CHECKLIST

FOR ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT-OF-WAY

**Any Submittal not meeting all minimum checklist criteria herein will be rejected as incomplete.**

## Encroachments shall be in accordance with:

- [Rules and Regulations Governing Encroachments & Encumbrances in the Public Right-of-Way](#)
- [Transportation Standards and Details for the Engineering Division](#)

## Application

- Signed by adjacent property owner as owner of Encroachment or authorized Special District representative

## Evidence of Adjacent Property Ownership

- Title Work/Warranty Deed confirming property owner and legal description for adjacent property

## Legal Description sealed and signed by a Professional Land Surveyor licensed in Colorado

- Legal Description and Exhibit(s) in PDF format stamped and signed by PLS
- Legal Description in Word format

## Site Plans sealed and signed by a Professional Engineer licensed in Colorado

### GENERAL

- Vicinity map
- North arrow
- Numerical and bar scale (Scale not to exceed 1" = 40')
- Legend
- PE stamp area
- Plan set date and revision number (if applicable)

### PLAN VIEW

*Show, label and dimension existing and proposed final site conditions, including but not limited to the following (aerial imagery is allowed; however, it does not replace requirement for accurately scaled engineering drawings):*

- Property lines, right-of-way width
- Edge of pavement, curb and gutter, sidewalks, nearby driveways and alleys
- Street lights, pedestrian lights, signal poles, utility poles
- Surface utility features (e.g. cabinets, handholes, manholes, inlets, vaults, valves, fire hydrants)
- Regulatory Floodplain boundaries (FEMA)
- Underground and overhead utilities (e.g. water, sewer, power, communications, gas, irrigation)
- Trees and landscaping in the ROW
- Street names and adjacent property address(es)
- Regional Transportation District (RTD) bus stop with any amenities
- Location and size of Encroachment – Show and dimension limits of both above and below ground elements
- Construction Materials



- Projection from building
- Distance from Encroachment to the nearest flowline
- Distance from Encroachment to any other Streetscape feature/obstruction in the vicinity
- Distance from property line to back of curb
- Electrical service alignment, electrical connection location, and voltage/amps
- No proposed Encroachments located in the intersection clear zone per Transportation Std. Dwg. 7.9

**ELEVATION OR CROSS-SECTION VIEWS**

- Location and size of Encroachment – Show and dimension limits of both above and below ground elements
- Existing and final grade
- Existing utilities and their size and depth
- Vertical height/clearance of the Encroachment from finish grade

**DETAIL SHEET(S)**

- Manufacturer’s and/or construction detail(s)
- Referenced City detail(s) by drawing number on the appropriate plan and elevation view(s)
- Office of the Forester’s (OCF) tree protection detail and notes
- Special, non-standard, or modified City details

**STRUCTURAL PLANS IF APPLICABLE**  Not Applicable

- Structural plans
- Manufacturers certification

**ADDITIONAL REQUIRED MATERIAL(S)**  Not Applicable

- Approval from applicable reviewing authorities (e.g. design review district, floodplain, Arts & Venues)
- For properties sharing the Encroachment, appropriate legal documentation for review by the City

**COMMENT RESOLUTION SHEET(S) IF APPLICABLE**  Not Applicable

- Agency Name
- Reviewer’s name
- Review comments (reviewer comments must be verbatim)
- Formal written response to each comment

**Fees:**

**Fees must be paid immediately after ER provides a project number and invoice for your application.**

<b>Fees (Non-Refundable):</b>	<b>Tier I Encroachment:</b>	<b>Tier II Encroachment:</b>	<b>Tier III Encroachment:</b>
<b>Initial Processing</b>	No Fee	\$1,500.00	\$1,500.00
<b>Legal Description Review</b>	N/A	\$300.00	\$300.00
<b>Resolution Review</b>	N/A	N/A	\$300.00
<b>Annual Permit</b>	No Fee	\$200.00	\$200.00

**Attestation:**

**I hereby attest that the above information is incorporated into our Encroachment Application and plan submittal:**

**SIGNATURE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

**PRINT NAME:** \_\_\_\_\_ **EMAIL:** \_\_\_\_\_

**COMPANY:** \_\_\_\_\_

# APPLICATION

## FOR ENCROACHMENTS & ENCUMBRANCES IN THE PUBLIC RIGHT-OF-WAY

An Encroachment Permit is required prior to placing privately-owned improvements ("Encroachment" or "Encumbrance") in the public Right-of-Way (ROW). Only Encroachment Permit Applications in accordance with Rules and Regulations and Permit Entrance Requirements for Encroachments in the Public Right-of-Way will be considered by the Department of Transportation & Infrastructure (DOTI). **It is the City's sole discretion whether to grant an Encroachment Permit based on any facts the City feels are relevant. Approval is not guaranteed.**

To apply, complete this application and submit together with required application materials in accordance with the Permit Entrance Requirements to [DOTI.ER@denvergov.org](mailto:DOTI.ER@denvergov.org). Please type or print clearly. If necessary, attach additional sheets to fully answer any of the following sections. Incomplete applications packages will not be accepted. Questions on this application or the process can be sent to [DOTI.ER@denvergov.org](mailto:DOTI.ER@denvergov.org).

### ENCROACHMENT OWNER/ADJACENT PROPERTY OWNER:

**The adjacent property owner will be the Encroachment Owner and Permittee and is the responsible party for the Encroachment in accordance with the Rules and Regulations, including all fees and annual billing.**

Company Name: \_\_\_\_\_  
Contact Name: John Beldock  
Property Address: 2855 Walnut Street Denver, CO 80205  
Billing Address: 2855 Walnut Street Denver, CO 80205  
Telephone Number: 303.898.6769 Email Address: jbeldock@ericomotorsports.com

### OWNER REPRESENTATIVE:

*Check if the same as Adjacent Property Owner*

Company Name: Track Architecture  
Contact Name: Patrick McMichael  
Address: 2265 Lawrence Street Denver, CO 80205  
Telephone Number: 303.249.1154 Email Address: patrick@trackarch.com

### ENCROACHMENT INFORMATION:

Project Name: 2811 Walnut  
Adjacent Property Address: 2811 Walnut Street Denver, CO 80205  
Coordinates (Lat/Long): 39.761560, -104.983840  
Encroachment Area, in SF: 295 SF

City and County of Denver — Department of Transportation & Infrastructure  
Right-of-Way Services | Engineering & Regulatory  
201 West Colfax Ave. Dept. 507 | Denver, CO 80202  
[www.denvergov.org/doti](http://www.denvergov.org/doti)  
Phone: 720-865-3003

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Location Description: (e.g. Located on the South side of 23rd Ave, twenty (20) feet from face of curb, and ten (10) feet west of pavement on Private Drive.)

Located on the north side of Walnut, 15'-1" from the face of curb, roughly centered on the existing building and extending to the east

Is this project associated with a LAND DEVELOPMENT REVIEW?

Yes  No  If 'Yes', provide Project Master, Site Plan and/or Concept Development Project Numbers:

Description of Encroachment:

Describe the proposed encroachment, including the type, dimensions, and quantity of objects. If the space below is not enough space to describe the encroachment, attach the description as a separate document. Additionally, provide required application materials in accordance with the Permit Entrance Requirements. It is not acceptable to simply state "please see attached plans" or other vague descriptors.

Concrete ~~ramp~~, platform, and stair for pedestrian access to the raised entry of the existing building. Overall size of ~~5'-0"~~ wide by ~~57'-11"~~ long.  
6'-0" 59'-11"

Justification for Private Improvements in the Public ROW:

Private improvements should be located on private property. Only in cases where there are physical constraints that preclude the placement of private improvements on private property that an encroachment may be considered within the right-of-way. Make your case as to why this is a good use of the public right-of-way. It is not acceptable to simply state "you want/need it" or other vague reasons.

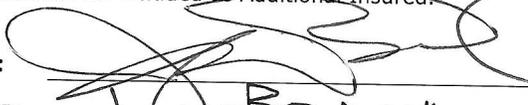
Enhanced accessibility access to the raised main level of the existing building.

## ATTESTATION:

**By submitting this permit application and signing below, I understand and agree to the following:**

1. That I am the property owner adjacent to the Encroachment Area, or the authorized representative of a Special District, that is responsible for the placement, maintenance, repair, replacement, removal, site restoration, ownership, or is otherwise responsible for the Encroachment in accordance with the Rules & Regulations for Encroachments and Encumbrances in the Public Right-of-Way.
2. That it is the City's sole discretion to classify the Tier of an Encroachment and whether to grant an Encroachment Permit based on any facts the City feels are relevant. The issuance of an Encroachment Permit confers no rights to the Right-of-Way, the Encroachment Permit is revocable and DOTI can order the removal of the Encroachment and restoration of the Encroachment Area for any reason the City feels relevant.
3. Permittee agrees to defend, indemnify, reimburse and hold harmless the City, its appointed and elected officials, agents and employees for, from and against all liabilities, claims, judgments, suits or demands for damages to persons or property arising out of, resulting from, or relating to an Encroachment Permit and the Encroachment ("Claims"). This indemnity shall be interpreted in the broadest possible manner to indemnify City for any acts or omissions of Permittee or its subcontractors either passive or active, irrespective of fault, including City's negligence whether active or passive.
4. Permittee's duty to defend and indemnify City shall arise at the time written notice of the Claim is first provided to City regardless of whether claimant has filed suit on the Claim. Permittee's duty to defend and indemnify City shall arise even if City is the only party sued by claimant and/or claimant alleges that City's negligence or willful misconduct was the sole cause of claimant's damages.
5. Permittee will defend any and all Claims which may be brought or threatened against City and will pay on behalf of City any expenses incurred by reason of such Claims including, but not limited to, court costs and attorney fees incurred in defending and investigating such Claims or seeking to enforce this indemnity obligation. Such payments on behalf of City shall be in addition to any other legal remedies available to City and shall not be considered City's exclusive remedy.
6. Insurance coverage requirements specified in an Encroachment Permit shall in no way lessen or limit the liability of Permittee under the terms of this indemnification obligation. Permittee shall obtain, at its own expense, any additional insurance that it deems necessary for the City's protection.
7. This defense and indemnification obligation shall survive the expiration or termination of any issued Encroachment Permit.
8. Permittee is fully responsible for all costs to install, maintain, repair, replace, remove, and restore the Encroachment Area, including annual City Encroachment Permit Fees. A lien will be placed on the Permittee's property for failure to remove a revoked or abandoned Encroachment for cost incurred by CCD to remove the Encroachment and restore the Encroachment Area on behalf of the Permittee.
9. Indemnity and Insurance for Tier I and Tier II Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier I or Tier II Encroachment, the Owner of such Tier I or Tier II Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier I or Tier II Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$2,000,000 policy aggregate. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.
10. Indemnity and Insurance for Tier III Encroachments: Pursuant to and not superseding any General Terms and Conditions, as a condition for placement of a Tier III Encroachment, the Owner of such Tier III Encroachment shall hold CCD harmless from all loss or damage to persons or property on account of injury arising from the construction, repair, or maintenance of the Tier III Encroachment. Obtain and Maintain a Commercial General Liability insurance policy with limits of \$1,000,000 for each occurrence, \$1,000,000 for each personal and advertising injury claim, \$2,000,000 products and completed operations aggregate, and \$5,000,000 policy aggregate. A combination of primary and excess coverage may be used to meet the aggregate limit. The City and County of Denver, its Elected and Appointed Officials, Employees and Volunteers shall be included as Additional Insured.

SIGNATURE:



DATE:

5.25.22

PRINT NAME:

John Belsock

TITLE:

FRES.

COMPANY:

2801 WALNUT, LLC

**FOR ER INTERNAL USE ONLY**

Tier Determination: \_\_\_\_\_

Project Number: \_\_\_\_\_

Initials: \_\_\_\_\_



**Project Team**

**ARCHITECT**  
Track Architecture  
2265 Lawrence Street  
Denver, Colorado 80205

Patrick McMichael, Principal  
patrick@trackarch.com  
PH: 303.249.1154

**MEP ENGINEER**  
Ramirez, Johnson & Associates  
3377 Blake Street, Suite 101  
Denver, Colorado 80205

Darin Ramirez, PE  
darin@rja-eng.com  
PH: 720.598.0774

**CONTRACTOR**  
Sprung Construction  
2500 Larimer Street, Unit 104  
Denver, Colorado 80205

Tom Sprung  
tom@sprungconstruction.com  
PH: 303.293.2777

**CLIENT/OWNER**  
John & Tai Beldock  
2855 Walnut Street  
Denver, Colorado 80205

John & Tai Beldock  
tai@ericomotorsports.com  
PH: 303.308.1811

**STRUCTURAL ENGINEER**  
Apex Engineers Inc.  
2701 Lawrence Street, Unit 19  
Denver, Colorado 80205

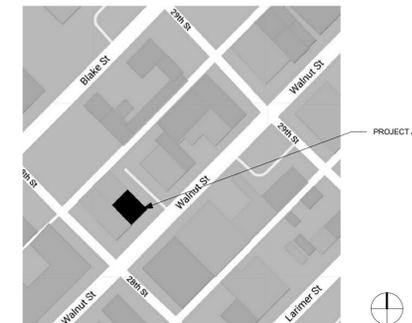
Jared Lambrecht, P.E.  
jared@apex-engineers.com  
PH: 720.588.3222

SHEET INDEX	
Number	Sheet

DELTA

ARCHITECTURAL	
A-000	ABBREVIATIONS, SYMBOLS & NOTES
A-009	ARCHITECTURAL SITE PLAN
A-099	CODE ANALYSIS
A-100	FLOOR PLANS
A-411	ENLARGED PLANS & ELEVATIONS
A-412	ENLARGED PLANS & DETAILS
A-413	ENLARGED PLANS & ELEVATIONS
A-414	ENLARGED PLANS & ELEVATIONS

**Vicinity Map:**



**Issue Date:**

**07/07/2022**

**Project Name:**

**2811 WALNUT - CORE & SHELL**

2811 WALNUT STREET, UNIT 100  
DENVER, CO 80205

**Issue Name:**

**PERMIT SET**

**CONSTRUCTION NOTES**

- DRAWINGS ARE PREPARED USING DIMENSIONS AND PRODUCT CONFIGURATIONS OR DETAILS OF SPECIFIC MANUFACTURERS (TYPICALLY THE FIRST MANUFACTURER LISTED UNDER "ACCEPTABLE MANUFACTURERS" IN THE SPECIFICATIONS). DIMENSIONS AND DETAILS FOR SPECIFIC PRODUCTS MAY CHANGE BEFORE THEY ARE ACTUALLY INCORPORATED INTO THE WORK, AND PRODUCTS BY OTHER MANUFACTURERS MAY ALSO BE ACCEPTABLE. THEREFORE, ACTUAL INSTALLATION DETAILS AND DIMENSIONS MAY DIFFER FROM THOSE SHOWN. CONTRACTOR SHALL VERIFY INSTALLATION REQUIREMENTS FOR ALL PRODUCTS TO BE INCORPORATED IN THE WORK (INCLUDING PARTITION THICKNESSES FOR RECESSED OR SEMI-RECESSED PRODUCTS), AND IS RESPONSIBLE FOR ACCOMMODATING AND COORDINATING CHANGES TO OTHER MATERIALS OR PRODUCTS THAT ARE NECESSARY BECAUSE OF THESE DIFFERENCES.
- PROVIDE SOLID BLOCKING WITHIN PARTITIONS AT ALL LOCATIONS WHERE ITEMS WILL BE MOUNTED ON PARTITIONS INCLUDING, BUT NOT LIMITED TO: ACCESSORIES, CASEWORK TRIM, FLASHING, WALL MOUNTED EQUIPMENT, TACK/BULLETIN/MARKER BOARDS, ETC.
- ALL WOOD BLOCKING SHALL BE FIRE-RETARDANT WOOD.
- MAINTAIN RATING AT ALL BLOCKOUTS FOR ALL FIRE EXTINGUISHERS AND TOILET ACCESSORIES THAT ARE TO BE INSTALLED IN RATED WALLS.
- PROVIDE 24" X 24" ACCESS PANELS IN PARTITIONS WHERE REQUIRED FOR MECHANICAL EQUIPMENT EXCEPT WHERE SIZES ARE OTHERWISE NOTED.
- PROVIDE GYPSUM BOARD CONTROL JOINTS IN PARTITIONS AND CEILINGS AT 30'-0" MAX. SPACING. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY, FIRESTOP JOINTS AT RATED PARTITIONS. SUB-CONTRACTOR MUST PROVIDE A SUBMITTAL FOR JOINT MATERIAL.
- CAULK ALL JOINTS OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER AND WHERE THE INTERSECTION IS EXPOSED TO VIEW, UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- NOT USED
- PROVIDE CONTINUOUS PERIMETER BUILDING INSULATION AT ALL EXTERIOR WALLS FROM SLAB TO ROOF DECK.
- ARCHITECTURAL AND STRUCTURAL DRAWINGS BOTH DESCRIBE VARIOUS FLOOR SLAB SLOPE REQUIREMENTS, RECESSES, AND EDGE CONDITIONS. USE BOTH SETS OF DRAWINGS WHEN INSTALLING THE FLOOR SLAB.
- PROVIDE SLIP JOINT CONNECTIONS AT PARTITIONS THAT EXTEND TO STRUCTURE ABOVE. PROVIDE BRACING ABOVE AS REQUIRED. REFER TO STRUCTURAL DRAWINGS AND TO SLIP JOINT DETAILS.
- ASSUME LEVEL 4 FINISH FOR ALL GYPSUM BOARD PARTITIONS, UNLESS NOTED OTHERWISE.
- ALL EXPOSED CMU CORNERS TO BE BULLNOSE U.N.O.
- GROUT CMU CENTER SCORE JOINT SIMILAR TO OTHER ADJACENT JOINTS.
- IT IS THE INTENT OF THE DESIGN THAT ALL METAL STUD PARTITIONS BE OF SUFFICIENT WIDTH TO ADEQUATELY ENCLOSE PIPING, CONDUITS, AND RECESSED EQUIPMENT. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH THIS INTENT.
- ALL VERTICAL AND HORIZONTAL PIPES, CONDUITS, DUCTS, ETC. IN FINISHED ROOMS OR AREAS THROUGHOUT THE BUILDING SHALL BE FURRED IN TO MATCH THE ROOM FINISH, UNLESS NOTED OTHERWISE.
- WHERE MECHANICAL WORK PENETRATES ANY COMPONENT OF A FIRE-RATED ASSEMBLY, PROVIDE THE APPROPRIATE FIRE AND/OR SMOKE DAMPERS. IF IT IS NOT CLEAR WHETHER DUCTWORK PENETRATES A PORTION OF THE RATED ASSEMBLY, OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO BIDDING. SEAL AROUND ALL PENETRATIONS THROUGH PROPOSED FIRE RATED PARTITIONS. PROVIDE UL APPROVED FIRESTOP SYSTEM TO MEET REQUIRED RATING.
- THE FIRE SPRINKLER SYSTEM WILL BE DESIGNED BY THE INSTALLING SUB-CONTRACTOR. THE GENERAL CONTRACTOR SHALL COORDINATE LAYOUT, CLEARANCES, AND LOCATION OF HEAD HEIGHTS WITH THE STRUCTURE, MECHANICAL DUCTWORK, ELECTRICAL LIGHTING, DRAINAGE PIPING, AND THE ARCHITECTURAL REFLECTED CEILING PLANS. THE SPRINKLER DESIGN MUST BE COORDINATED WITH THE PROVISIONS OF ALL ENGINEERING AND ARCHITECTURAL DOCUMENTS AND SHOULD NOT RELY SOLELY ON ONE SERIES OF DRAWINGS OR ONE DISCIPLINE. CONTRACTOR SHALL ADJUST OR ADD FIRE SPRINKLER HEADS TO ACCOMMODATE PARTITION LAYOUT. HEAD SPACING AND PLACEMENT SHALL MEET CODE REQUIREMENTS. SUB-CONTRACTOR SHALL COORDINATE ANY SPRINKLER HEAD LAYOUT CONFLICTS WITH THE ARCHITECT.

**DRAWINGS AND DIMENSIONS**

- DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS ON PLANS ARE TO FACE OF BLOCK OR TO FACE OF STUD UNLESS NOTED OTHERWISE.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND IN THE DRAWINGS AND SPECIFICATIONS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL FIELD CONDITIONS AND DIMENSIONS AS THEY RELATE TO THIS PROJECT. SHOULD DISCREPANCIES EXIST BETWEEN THE WORK INDICATED AND ACTUAL FIELD CONDITIONS NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- ACTUAL CONTRACT LIMITS ARE TO BE DETERMINED BY THE CONTRACTOR AND APPROVED BY THE OWNER BEFORE ACTUAL CONSTRUCTION WORK BEGINS. ANY INDICATION OF PROJECT LIMITS OR LINES OF DEMARCATION ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR, AND ARE NOT TO BE TAKEN LITERALLY.
- SEE GENERAL NOTES ON ALL 'N' SERIES DRAWINGS FOR INFORMATION RELATED TO PLANS AND DETAILS ON THOSE SHEETS.
- THE TERM "ALIGN" REFERS TO LOCATING DIFFERENT COMPONENTS OF CONSTRUCTION TO PROVIDE A FLUSH FINISH SURFACE.
- CONTRACTORS AND ALL SUB-CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION AND/OR ORDERING OF MATERIALS.
- USE OF THE WORD "VERIFY" POINTS OUT A SITUATION WHICH MUST BE CONFIRMED PRIOR TO PROCEEDING WITH THE WORK, FABRICATION OF EQUIPMENT, OR ORDERING MATERIAL. NOTIFY THE ARCHITECT OF ANY DISCREPANCY.
- REFER TO THE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATIONS OF ALL CEILING FIXTURES. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR COMPLETE CONSTRUCTION REQUIREMENTS.
- ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS SHOW WHERE EXPOSED DUCTWORK IS TO BE INSTALLED AT A SPECIFIC ELEVATION IN A CONTROLLED PATTERN. THE CONTRACTOR MUST REPLY ON ALL OF THESE DISCIPLINES TO COMPLETE THE WORK AND SHOULD NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES INSTALLING THEIR RESPECTIVE EQUIPMENT IN THE CEILING PLENUMS. MECHANICAL, ELECTRICAL, STRUCTURAL, AND FIRE SPRINKLER SYSTEMS ALL SHARE THIS SAME SPACE. EACH SUB CONTRACTOR IS TO REVIEW THE REQUIREMENTS OF THEIR WORK WITH THE AWARENESS OF THE OTHER TRADES THAT NEED TO SHARE THESE SPACES AND MUST NOT ASSUME THAT THEIR INSTALLATION HAS BEEN CONSIDERED IN THE DESIGN AND SHOP DRAWINGS OF THE OTHER TRADES.
- ALL DOORS TO BE LOCATED 4' OFF ADJACENT CMU OR METAL STUD WALL UNLESS DIMENSIONED OTHERWISE ON THE PLAN.

**PARTITION NOTES**

- PROVIDE AND INSTALL ALL BLOCKING STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK AND OF ALL FLOOR MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT.
- COORDINATE METAL STUD GAUGE WITH PRE-APPROVED EQUIPMENT ANCHORAGE. WHERE A DISCREPANCY OCCURS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- THERE SHALL BE NO BACK-TO-BACK ELECTRICAL TELEPHONE, OR OTHER OUTLETS, EXCEPT WHERE SPECIFICALLY SHOWN
- PROVIDE ACOUSTIC (SOUND) SEALANT AT NON-RATED WALLS AND FIRE-RATED SEALANT AT SMOKE PARTITION AND AS REQUIRED BY TEST NUMBER
- ALL SUB-CONTRACTORS SHALL SUBMIT SHOP DRAWINGS AS REQUIRED FOR ARCHITECTS APPROVAL PRIOR TO COMMENCING ANY WORK.
- SEAL AROUND ALL PENETRATIONS THROUGH EXISTING AND PROPOSED FIRE RATED PARTITIONS. PROVIDE UL APPROVED FIRESTOP SYSTEM TO MEET REQUIRED RATING.

**GENERAL REQUIREMENTS**

- ATTENTION ALL USERS OF THESE DRAWINGS, GENERAL CONTRACTORS, SUB-CONTRACTORS, MANUFACTURERS, SUPPLIERS, CAREFULLY AND THOROUGHLY REVIEW THESE GENERAL NOTES. IT IS YOUR RESPONSIBILITY TO KNOW AND ADHERE TO THESE REQUIREMENTS.
- THE DRAWINGS AND SPECIFICATIONS ARE SEPARATED INTO DISCIPLINES FOR THE CONVENIENCE OF THE ARCHITECT AND THE CONTRACTOR. THE SEPARATIONS USED HEREIN ARE USED ONLY FOR THE PURPOSES OF CONVENIENCE AND REFERENCE, AND IN NO WAY DO THEY DEFINE OR LIMIT THE SCOPE OR INTENT OF ANY PART OF THE DRAWINGS, OR OF THE DRAWINGS AND SPECIFICATIONS AS A WHOLE. THE FACT THAT THE DRAWINGS ARE SEPARATED IN NO WAY SUGGESTS THAT THE WORK IS NOT TO BE CONSTRUCTED AS A COMPLETE, INTEGRATED AND UNIFIED WHOLE.
- EVERY EFFORT HAS BEEN MADE TO MAKE THESE DOCUMENTS CONCISE AND COORDINATED, TO DEFINE WORK IN THE MOST LOGICAL PLACE AND TO ELIMINATE REDUNDANCY. DO NOT PRESUME THAT YOUR SCOPE OF WORK IS SINGULARLY DEFINED. YOUR SCOPE OF WORK IS DEFINED THROUGHOUT THE ENTIRE SET OF DRAWINGS AND SPECIFICATIONS AND IS NOT CONTAINED IN JUST ONE SERIES OF DRAWINGS OR DIVISION OF SPECIFICATIONS. YOU MUST REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS TO DETERMINE YOUR SCOPE OF WORK.
- THE DRAWINGS AND SPECIFICATIONS, INCLUDING DRAWINGS PREPARED BY SPECIFIC ENGINEERING DISCIPLINES (SUCH AS CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC.) ARE COMPLEMENTARY. ITEMS SHOWN IN ANY ONE LOCATION IN THE DRAWINGS SHALL BE CONSIDERED TO BE REQUIREMENTS OF THE CONTRACT FOR CONSTRUCTION. IN THE EVENT OF AN INCONSISTENCY BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR WITHIN EITHER DOCUMENT, THE CONTRACTOR SHALL SEEK CLARIFICATION OR INTERPRETATION FROM THE ARCHITECT PRIOR TO BIDDING. WHERE INCONSISTENCIES ARE NOT CLARIFIED PRIOR TO BIDDING, AND WHERE THE ACTUAL SOLUTION OR INTENT CANNOT BE REASONABLY INFERRED, THE CONTRACTOR SHALL PROVIDE THE BETTER QUALITY OR GREATER QUANTITY OF WORK.
- MECHANICAL AND ELECTRICAL DRAWINGS SHOW INFORMATION IN A DIAGRAMMATIC FASHION WITHOUT DIMENSIONING. THE GENERAL CONTRACTOR IS TO COORDINATE THE LOCATIONS OF ALL M.E. EQUIPMENT WITH RESPECT TO THE ARCHITECTURAL AND STRUCTURAL DETAILING OF SHAFTS, CHASES, AND SUCH.
- THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH SITE CONDITIONS AS THEY MAY AFFECT CARRYING OUT THE WORK AS DESCRIBED IN THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT, AND NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITY LINES. LOCATIONS SHOWN ARE APPROXIMATE. REPAIR ALL DAMAGE TO UTILITY LINES CAUSED BY CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
- ALL PERSONS DIRECTLY OR INDIRECTLY ASSOCIATED WITH THE PROJECT SHALL BE FAMILIAR WITH THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT, AND IMPLEMENT THOSE RULES AS THEY APPLY TO THIS PROJECT.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, LABOR, AND SERVICES NECESSARY TO COMPLETE THE WORK.
- ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE BUILDING CODE & LOCAL AMENDMENTS. RE: A-010.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND THE PREVENTION OF CONFLICT BETWEEN ALL TRADES.
- PRIOR TO BEGINNING ANY WORK, THE CONTRACTOR SHALL CONDUCT A WALK THROUGH INSPECTION WITH THE OWNER TO DETERMINE IN WRITING THE CONDITION OF THE WORK ALREADY IN PLACE. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING EQUIPMENT PRESENTLY IN PLACE THAT IS DAMAGED DURING CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT CONFIRMATION OF ORDERED MATERIALS OR ITEMS NECESSARY TO COMPLETE THE PROJECT WITH PROJECTED DELIVERY DATE GREATER THAN FOUR WEEKS.
- ALL SUB-CONTRACTORS SHALL SUBMIT SHOP DRAWINGS AS REQUIRED FOR ARCHITECTS APPROVAL PRIOR TO COMMENCING ANY WORK.
- SEAL AROUND ALL PENETRATIONS THROUGH EXISTING AND PROPOSED FIRE RATED PARTITIONS. PROVIDE UL APPROVED FIRESTOP SYSTEM TO MEET REQUIRED RATING.

**GENERAL NOTES**

**XXXX** ELEVATION INDIC.  
**XXXX** WINDOW INDIC.  
**101** ROOM DESIGNATION  
**WS** WALL TYPE INDIC.  
**INDICATES SIDE OF GRID BLOCK WALL ALIGNMENT**  
**DOOR INDICATOR**  
**ACCESSORY INDIC.**  
**CUBBIES: RE: INT ELEVELS**  
**CORNER GUARD**  
**WALL FINISH INDIC.**  
**FLOOR FINISH INDIC.**  
**PLASTIC LAMINATE INDIC.**  
**FLOOR MATERIAL TRANSITION INDIC.**  
**DRAWING TITLE**  
**SECTION REFERENCE**  
**REVISION INDICATOR**  
**SYMBOLS LEGEND**  
**RECESSED FLOOR SLAB**  
**INTERIOR ELEVATION REFERENCE**  
**EXTERIOR ELEVATION REFERENCE**  
**DETAIL REFERENCE**  
**LEVEL CHANGE INDICATOR**

**1** A-000 **ABBREVIATIONS**

A.B.	ANCHOR BOLT	(N)	NEW
ACCT	AIR CONDITIONING	NORTH	NORTH
ACCUST	ACOUSTICAL	NA	NOT APPLICABLE
ADA	AMERICANS WITH DISABILITIES ACT	NAT	NATATORIUM
ADJ	ADJUSTABLE	N.I.C.	NOT IN CONTRACT
ADUT	ADJUSTABLE	N.T.S.	NOT TO SCALE
A.F.F.	ABOVE FINISHED FLOOR	NOM	NOMINAL
ALUM.	ALUMINIUM	NON-COMB.	NON-COMBUSTIBLE
ALT	ALTER	NO.	NUMBER
A.P.C.	ACRYLIC POLYMER COATING	O.C.	ON CENTER
APPROX.	APPROXIMATE	O.D.	OUTSIDE DIAMETER
ARCH	ARCHITECT/ARCHITECTURAL	OFF	OFFICE
ASPH.	ASPHALT	O.H.	OVER HEAD
AUTO	AUTOMATIC	OPG.	OPENING
AWI	AMERICAN WOODWORKING INST.	OPP.	OPPOSITE
BD	BOARD	OV	OVER
BF	STANDARD (2x) SMALL DRAWER OVER FILE DRAWER	PT	PAINT
BITUM.	BITUMENOUS	P.C.	PRECAST CONCRETE
BLDG.	BUILDING	P.L.	PROPERTY LINE
BLK	BLOCK	PL	PLATE
BLCKG.	BLOCKING	PLG.	PLUMBING
B.M.	BENCH MARK	PLAM	PLASTIC LAMINATE
BM	BEAM	PLYWD	PLYWOOD
BO	BY OTHERS	PNL	PANEL
B.O.	BOTTOM OF	PR	PAIR
BRG.	BEARING	PRFAB.	PREFABRICATED
BSMT.	BASEMENT	POR	PORCELAIN TILE
		PTN	PARTITION
		PVC	POLYVINYL CHLORIDE
CAB.	CABINET	Q.T.	QUARRY TILE
CBB	CEMENTITIOUS BACKER BOARD		
CAFF	CHANNELS	R	RISER
CAF	COMPUTER AREA FLOOR	RAD.	RADIUS
CHNL.S.	CHANNELS	R.B.	RACQUETBALL
C.I.	CONTROL JOINT	RB	RUBBER BASE
C.L.	CENTERLINE	REF	REFLECTED CEILING PLAN
CLG.	CEILING	R.D.	ROOF DRAIN
CLR	CLEAR	RE	REFER/REFERENCE
C.I.P.	CAST IN PLACE	REF.	REFRIGERATOR
C.M.I.U.	CONCRETE MASONRY UNIT	REINF.	REINFORCED
COL.	COLUMN	REQ	REQUIRED
CONC.	CONCRETE	RES	RESILIENT
CONT.	CONTINUOUS	REV	REVISION
CONSTR.	CONSTRUCTION	RFG.	ROOFING
COORD.	COORDINATE	RIM	RUBBER STAIR NOSING
	CONSTRUCTION SPECIFICATIONS INST.	R.O.	ROUGH OPENING
CSI	CERAMIC TILE	R.O.W.	RIGHT OF WAY
CT	CERAMIC TILE BASE	R.T.F.S.	RUN TRACK FLR. SYSTEM
CTB	CERAMIC TILE PAVERS	RTU	ROOF TOP UNIT
C.T.H.	CABINET UNIT HEATER		
CWT	CERAMIC WALL TILE	S.A.T.	SUSPENDED ACOUSTICAL TILE
D	DRYER	S.C.	SOLID CORE
DBL	DOUBLE	SCHED.	SCHEDULE
DEMO	DEMOLISH/DEMOLITION	S-CONC	SEALED CONCRETE
DEPT.	DEPARTMENT	SEAL	SEALER
D.F.	DRINKING FOUNTAIN	SECT	SECTION
DIA	DIAMETER	S.F.	SQUARE FOOT/FEET
DM	DIMENSION	SHT	SHEET
DISP.	DISPENSER	SHWR	SHOWER
DN	DOWN	SIM	SIMILAR
DS	DOWNSPOUT	SMT	SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION SPECIFICATION(S)
DTL	DETAIL	SMACNA	SMACNA
DTL	DISHWASHER	SPEC.	SPECIFICATION
DWG.	DRAWING	SPRL	SPANDREL
		S.S.	STAINLESS STEEL
(E)	EXISTING	STA	STATION
E.A.	EACH WAY	STC	SOUND TRANSMISSION CLASS
E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM	STD.	STANDARD
ELEV.	ELEVATION	STL	STAINLESS STEEL
ELEC.	ELECTRICAL	ST	STAIN
ENGR.	ENGINEERED	STHG	SHEATHING
ENCL.	ENCLOSURE	STEEL	STEEL
EPOXY	EPOXY FLOOR	SUPPL	SUPPLIED
EPT	EPOXY PAINT	SUSP	SUSPENDED
EQ	EQUIPMENT	STOR.	STORAGE
EQUIV.	EQUIVALENT	STR	STRINGER
EXP	EXPOSED	STRUC.	STRUCTURAL
EXP.JT.	EXPANSION JOINT	STRUC.	STRUCTURE, STRUCTURAL
EXH.	EXHAUST	SYM.	SYMMETRICAL
EXT	EXTERIOR	SYST.	SYSTEM
EXIST	EXISTING	SV	SHEET VINYL
E.W.C.	ELECTRIC WATER COOLER	T	TREAD (IN PLAN)
		TEMP.	TEMPERED (ON WINDOW)
FBGL.	FIBERGLASS	TB	TACK BOARD
F.D.	FLOOR DRAIN	TBB	TILE BACKER BOARD
FDN	FOUNDATION	TBO	TO BE DETERMINED
F.E.C.	FIRE EXTINGUISHER	T&B	TOP AND BOTTOM
F.E.C.	FIRE EXTINGUISHER CABINET	T.C.	TOP OF CURB
FINISH	FINISH	T&G.	TONGUE & GROOVE
F.F.&E.	FURNITURE, FIXTURES & EQUIP	TEL	TELEPHONE
F.G.	FINISH GRADE	TEMP.	TEMPERED
F.H.C.	FIRE HOSE CABINET	THK	THICKNESS
FIN	FINISHED	THLD.	THRESHOLD
FIN.FLR.	FINISHED FLOOR	T.O.	TOP OF
FKT	FIXTURE	T.O.B.	TOP OF BEAM
FLD	FIELD	T.O.C.	TOP OF CONCRETE
FLR.	FLOOR	T.O.F.	TOP OF FLOOR/FOOTING
FLRG.	FLOORING	T.O.M.	TOP OF MASONRY
F.O.	FACE OF	T.O.S.	TOP OF SUB/STEEL
F.O.S.	FACE OF STUD	TS	TUBE STEEL
FR	FIRE RESISTIVE	TV	TELEVISION
FRM.	FRAME	TV.	TYPICAL
FRMG.	FIBER REINFORCED PANEL	TYPE 'X'	FIRE RATED GYPSUM BOARD
F.T.	FOOT/FEET	UBC	UNIFORM BUILDING CODE
FUT	FUTURE	U.L.	UNDERWRITERS LABORATORY
		UNFN.	UNFINISHED
GA	GAUGE	U.N.O.	UNLESS NOTED OTHERWISE
GAL.	GALLON	VAR.	VARIES
GALV.	GALVANIZED	VCT	VINYL COMPOSITION TILE
G.C.	GENERAL CONTRACTOR	VERT.	VERTICAL
CHM	GALVANIZED HOLLOW METAL	VEST.	VESTIBULE
GL	GLASS	VIF	VERIFY IN FIELD
GLU LAM	GLUE LAMINATED WOOD	V.W.C.	VINYL WALL COVERING
GMGU	GLASS MESH GYPSUM UNIT		
GR	GRADE	W	WASHER (IN PLAN)
GYP.BD/	GYPSUM BOARD	W	WIRE GLASS (ON WINDOW)
GWB		W.	WITH
H	HEIGHT	WD.	WOOD
H.B.	HOSE BIB	WDW.	WINDOW
H.C.	HOLLOW CORE	W.C.	WATER CLOSET
HC	HANDICAP/HANDICAPPED	WF	WIDE FLANGE
HDBD	HARDBOARD	W.H.	WATER HEATER
HDR	HEADER	W.I.	WROUGHT IRON
HDWR	HARDWARE	W/O	WITHOUT
HM	HOLLOW METAL	WP	WATERPROOF
HORIZ	HORIZONTAL	WR	WATER RESISTANT
HRU	HEATING ROOFTOP UNIT	W/NSCI	W/INSULATED
HT	HEIGHT	WT.	WEIGHT
HTR	HEATER	W.W.F.	WELDED WIRE FABRIC
HVAC	HEATING, VENTILATING & AIR COND.	W.R.F.	WEIGHT ROOM FLOOR
IBC	INTERNATIONAL BUILDING CODE	CL	CENTER LINE
ID	INSIDE DIAMETER	<	ANGLE
INSUL.	INSULATION	]	CHANNEL
INT.	INTERIOR	Ø or ∅	DIAMETER
JAN	JANITOR	PL	PLATE
JT.	JOINT	@	AT
JST.	JOIST	X	BY
		&	AND
KD	KNOCK DOWN	#	POUND OR NUMBER
KIT.	KITCHEN	MD	MEDIUM DENSITY FIBERBOARD
		+/-	PLUS OR MINUS
LAM.	LAMINATE(D)	'	FEET
LAV.	LAVATORY	"	INCHES
L.F.	LINEAR FOOT	()	QUANTITY
LIN	LINOLEUM		
LT.	LIGHT		
L.V.W.C.	LIQUID VINYL WALL COVERING		
MAT.	MATERIAL		
MAX.	MAXIMUM		
MB	MARKER BOARD		
MD	METAL DECK		
MDF	MEDIUM DENSITY FIBERBOARD		
M.H.	MANHOLE		
MISC.	MISCELLANEOUS		
MECH.	MECHANICAL		
MIN.	MINIMUM		
MIR	MIRROR		
MANUF	MANUFACTURER		
	MASONRY OPENING		
M.O.	MOUNTED		
MTD	MEETING		
MTG	METAL		
MTL.	METAL		

REFER TO CONSTRUCTION SPECIFICATION INSTITUTE, UNIFORM DRAWING SYSTEM AND TO PROJECT SPECIFICATIONS FOR REFERENCE STANDARDS & ADDITIONAL ABBREVIATIONS

**2** A-000 **MATERIAL LEGEND**

	EARTH/COMPACT FILL
	GRAVEL/POROUS FILL
	CONCRETE (PRECAST OR CAST IN PLACE)
	SAND/MORTAR/PLASTER/GROUT
	CONCRETE BLOCK
	STEEL
	ALUMINUM
	CONTINUOUS WOOD BLOCKING
	NON-CONTINUOUS WOOD BLOCKING
	WOOD FINISH
	PLYWOOD
	PARTICLEBOARD
	GYPSUM BOARD
	GLASS
	BATT/LOOSE FILL INSULATION (USE DTL COMPONENT MNGR. FOR INSUL.)
	RIGID INSULATION
	CARPET
	WOOD GLULAM
	BRICK VENEER

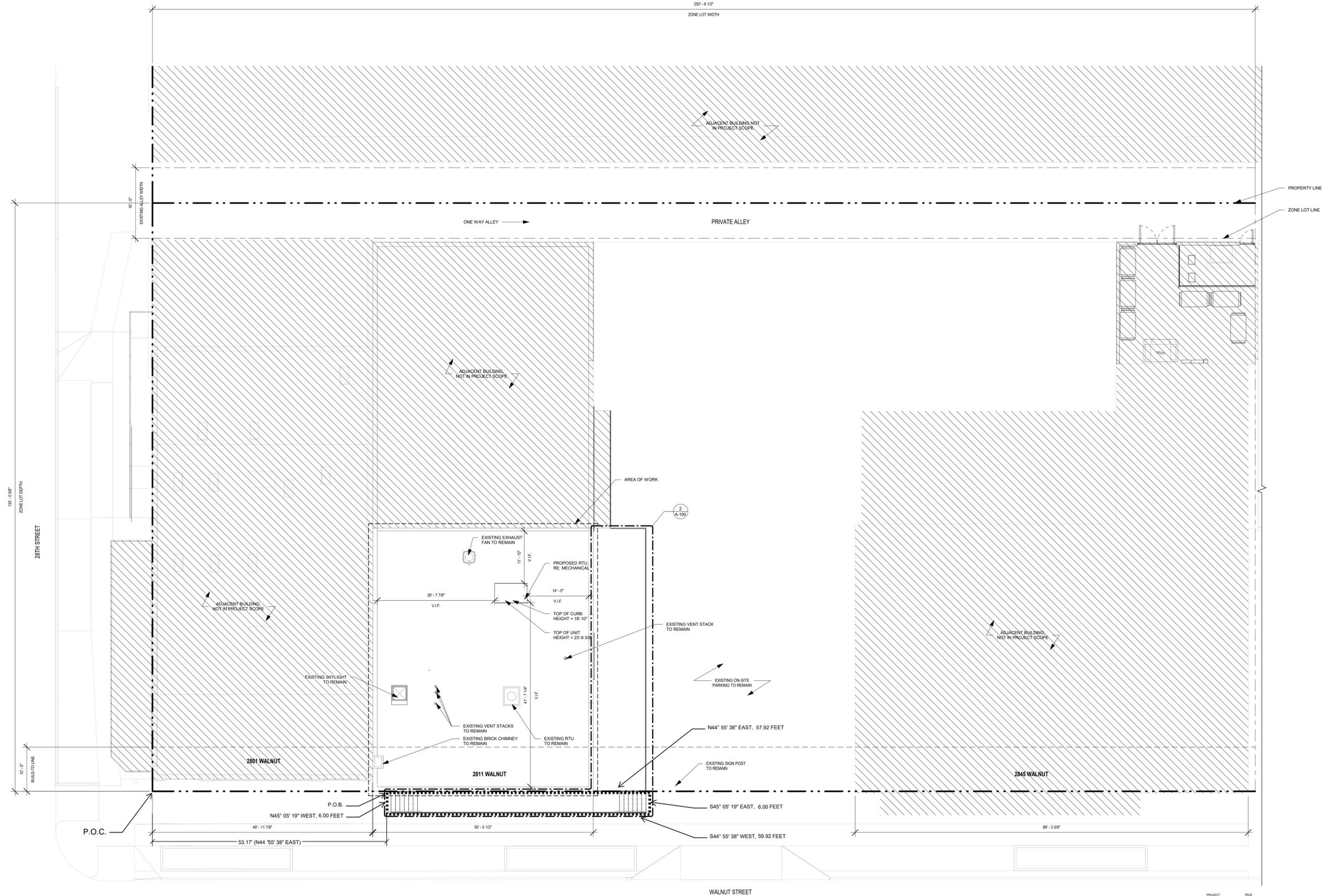
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COL.	COLUMN	REQ	REQUIRED
CONC.	CONCRETE	RES	RESILIENT
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CONSTR.	CONSTRUCTION	RFG.	ROOFING
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CWT	CERAMIC WALL TILE	S.A.T.	SUSPENDED ACOUSTICAL TILE
D	DRYER	S.C.	SOLID CORE
DBL			

LEGAL DESCRIPTION:  
 A PARCEL OF LAND WITHIN THE RIGHT-OF-WAY FOR WALNUT STREET BETWEEN BLOCKS 4 AND 26, CASE & EBERT'S ADDITION, CITY AND COUNTY OF DENVER, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 17 OF SAID BLOCK 4, THENCE ALONG THE EAST LINE OF SAID BLOCK 4, NORTH 44° 55' 38" EAST, A DISTANCE OF 53.17 FEET TO THE TRUE POINT OF BEGINNING;  
 THENCE CONTINUING ALONG SAID EAST LINE, NORTH 44° 55' 38" EAST, A DISTANCE OF 59.92 FEET;  
 THENCE DEPARTING SAID EAST LINE, SOUTH 45° 05' 19" EAST, A DISTANCE OF 6.00 FEET;  
 THENCE SOUTH 44° 55' 38" WEST, A DISTANCE OF 59.92 FEET;  
 THENCE NORTH 45° 05' 19" WEST, A DISTANCE OF 6.00 FEET TO THE POINT OF BEGINNING;  
 CONTAINING 360 SQUARE FEET, MORE OR LESS.

BASIS OF BEARING:  
 THE BASIS OF BEARING FOR THIS DESCRIPTION IS THE 20.00' RANGE LINE ALONG WALNUT STREET BETWEEN BLOCKS 4 AND 26, CASE & EBERT'S ADDITION, CITY AND COUNTY OF DENVER, STATE OF COLORADO, BETWEEN A FOUND NO.6 REBAR WITH A 2.5" ALLOY CAP IN A RANGE BOX STAMPED "MATRIX - PLS 34977" AT THE INTERSECTION OF 28TH STREET AND WALNUT STREET AND BY A FOUND NO.6 REBAR WITH A 2.5" ALLOY CAP IN A RANGE BOX STAMPED "FRONTIER SURV - PLS 30830" AT THE INTERSECTION OF 29TH STREET AND WALNUT STREET WITH THE LINE BETWEEN ASSUMED TO BEAR NORTH 44° 55' 38" WEST.



1 ARCHITECTURAL SITE PLAN  
 A-090 3/32" = 1'-0"



**2811 WALNUT - CORE & SHELL**  
 2811 WALNUT STREET, UNIT 100  
 DENVER, CO 80205

Project Number:	2019.056
Issue:	PERMIT SET
Date:	07/07/2022
Drawn By:	ZH
Checked By:	PLM
Revisions:	
No.	Date:

**BUILDING CODE DATA**

**CODES IN EFFECT:**

- 2015 INTERNATIONAL BUILDING CODE (IBC)
- 2015 INTERNATIONAL MECHANICAL CODE (IMC)
- 2015 INTERNATIONAL PLUMBING CODE (IPC) WITH COLORADO AMENDMENTS
- 2017 NATIONAL ELECTRIC CODE (NEC)
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 2016 DENVER BUILDING CODE AMENDMENTS
- ANSI A117.1-2009
- 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC) PRESCRIPTIVE METHOD

**BUILDING TYPE:**

- TYPE III-B - EXISTING STRUCTURE
- EXISTING BUILDING STORIES: 1
- EXISTING BUILDING HEIGHT: 20'-0"
- BUILDING WILL HAVE A FIRE ANNUCIATOR PANEL OR HARD-WIRED SMOKE DETECTION DEVICES.
- BUILDING WILL HAVE AN APPROVED AUTOMATIC SPRINKLER SYSTEM THROUGHOUT.
- IECC COMPLIANCE METHOD: PRESCRIPTIVE

**AUTHORITY JURISDICTION:**

DENVER BUILDING DEPARTMENT

**CODE SUMMARY:**

**1.0 PROJECT SCOPE:**

**PROJECT NARRATIVE:**

CORE AND SHELL OF AN EXISTING COMMERCIAL BUILDING TO PREPARE FOR FUTURE TENANTS.  
REQUIRED UPGRADES TO THE ENVELOPE AND MEP SYSTEMS TO MEET ENERGY REQUIREMENTS FOR NEW BUILDINGS WILL BE DEFERRED TO A LATER PHASE OF THE PROJECT UNDER A SEPARATE PERMIT.

**1.1 BUILDING AREA**

MAIN LEVEL:	
OCCUPIABLE:	3,165.00 S.F.
NET:	140.78 S.F.
<b>TOTAL GROSS:</b>	<b>3,305.78 S.F.</b>

**1.2 BUILDING OCCUPANCY:**

Occupancy	Allowable
A-2/ASSEMBLY	- 38,000 per Table 506.2 - 3 Stories per Table 504.4

**2.0 BUILDING FIRE RESISTANCE:**

**2.1 Type of Construction: Type III-B**

**2.2 Fire Resistance:**

- A. Fire-Resistance Rating for Building Elements for Type III-B (IBC 2015, Table 601):
1. Structural Frame: 0 HR
  2. Exterior Bearing Walls: 2 HR
  3. Interior Bearing Walls: 0 HR
  4. Exterior Non-Bearing Walls: 0 HR (where ≥ 30'), 1 HR (where ≤ 30')
  5. Non-Bearing Interior Partitions: 0 HR (refer to life safety plan for required fire resistance ratings)
  6. Floors: 0 HR
  7. Roofs: 0 HR

**3.0 MEANS OF EGRESS:**

**3.1 Occupant Load (IBC 2015, Table 1004.5)**

**A-2 Occupancy:**

AREA	FLOOR AREA S.F.	LOAD FACTOR	NO. OF OCC.	REQUIRED EXIT WIDTH		EXIT WIDTH PROVIDED	
				STAIR WIDTH FACTOR (x.3)	EXIT WIDTH REQUIRED (x.2)	STAIRWAYS	OTHER EGRESS
MAIN LEVEL:							
ASSEMBLY	2,741 S.F.	15	182.73	54.82"	36.55"	96"	72"
BASEMENT LEVEL:							
STORAGE	424 S.F.	300	1.41	0.42"	0.28"	46.5"	N/A
<b>TOTAL:</b>	<b>3,165 S.F.</b>		<b>184.14 (185)</b>	<b>55.24"</b>	<b>36.83"</b>	<b>142.5"</b>	<b>72"</b>

**3.2 Maximum Travel Distance**

Per IBC 2015, Table 1006.2.1, the maximum allowed travel distance for a M occupancy is: 75'-0" without an automatic sprinkler system.

**4.0 PLUMBING CALCULATIONS (TABLE 2902.1)**

SEE BELOW FOR REQUIRED FIXTURES BY OCCUPANCY 'N' DESIGNATES GENDER NEUTRAL RESTROOM

NOTE: REQUIRED PLUMBING FIXTURES WILL BE PROVIDED BY FUTURE TENANT FINISH, NOT CORE & SHELL.

NO. OF OCC.	REQUIRED	WATER CLOSET			LAVATORIES			TUB/ SHWR	EWC	SERVICE SINK	URINAL
		M	F	N	M	F	N				
TOTAL:	185	1	PER 75 = 2.47		1	PER 75 = 2.47		N/A	1 PER 1,000 = 0.05	1 SERVICE SINK	N/A
A-2/ASSEMBLY											



**PROPOSED ASSEMBLY**  
Area = 2757 SF  
Occupancy = 15  
Load = 182.73  
# of Exits = 2

**STORAGE**  
Area = 398 SF  
Occupancy = 300  
Load = 1.33  
# of Exits = 2

**STORAGE**  
Area = 26 SF  
Occupancy = 300  
Load = 0.09  
# of Exits = 2

1 CODE PLAN - BASEMENT  
A-099 3/16" = 1'-0"



2 CODE PLAN - MAIN LEVEL  
A-099 3/16" = 1'-0"

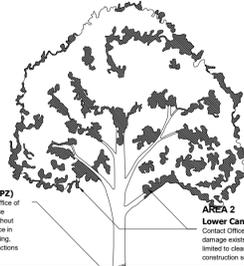


**CODE PLAN LEGEND:**

- \* PANIC HARDWARE
- ◆ 1-HOUR FIRE RESISTANCE RATED WALL ASSEMBLY
- PATH OF EGRESS
- WALLS EXTEND TO SET OR DECK FOR ACOUSTIC OR SECURITY REASONS
- ← 1 EXITING LOAD & DIRECTION OF TRAVEL
- Room Name  
Area = 150 SF  
Occupancy = 1  
O.L.F. = 20  
Load = 47  
# of Exits = 1
- OCCUPANCY LOAD FACTOR  
○ EXIT LOAD QUANTITY  
○ NUMBER OF EXITS REQUIRED
- ▨ HATCHED AREAS REPRESENT AUXILIARY SPACES, FURNITURE, EQUIPMENT, OR CIRCULATION SPACE AND ARE NOT INCLUDED IN SQUARE FOOTAGE CALCULATIONS FOR EGRESS.
- EXIT LIGHT
- ⊗ PORTABLE EXTINGUISHER

Project Number: 2019.056  
Issue: PERMIT SET  
Date: 07/07/2022  
Drawn By: ZH  
Checked By: PLM  
Revisions: No. Date:

**TREE PROTECTION ZONE**  
 The area inside a perimeter established at the Critical Root Zone (CRZ). The CRZ is equal to the drip-line, furthest extent of free canopy, or is equal to one foot radially from the tree for every one inch of trunk diameter at breast height (DBH = 4.5' above soil line), or whichever is greater.



**AREA 1**  
 Denotes perimeter of Tree Protection Zone (TPZ). This protection zone must be in place and approved by the Office of the City Forester (OCF) prior to commencement of work. Once approved, TPZ may not be resized or removed at any time without prior approval from OCF. Work within the CRZ must take place in accordance with the conditions established by the OCF. Digging, grubbing, excavating, trenching, changing of grade, or other actions that may potentially impact the rooting environment is strictly prohibited.

**AREA 2**  
 Lower Canopy Protection  
 Contact Office of the City Forester if potential for damage exists and/or if pruning, including but not limited to clearance for building(s) and/or construction scaffolding, is needed.

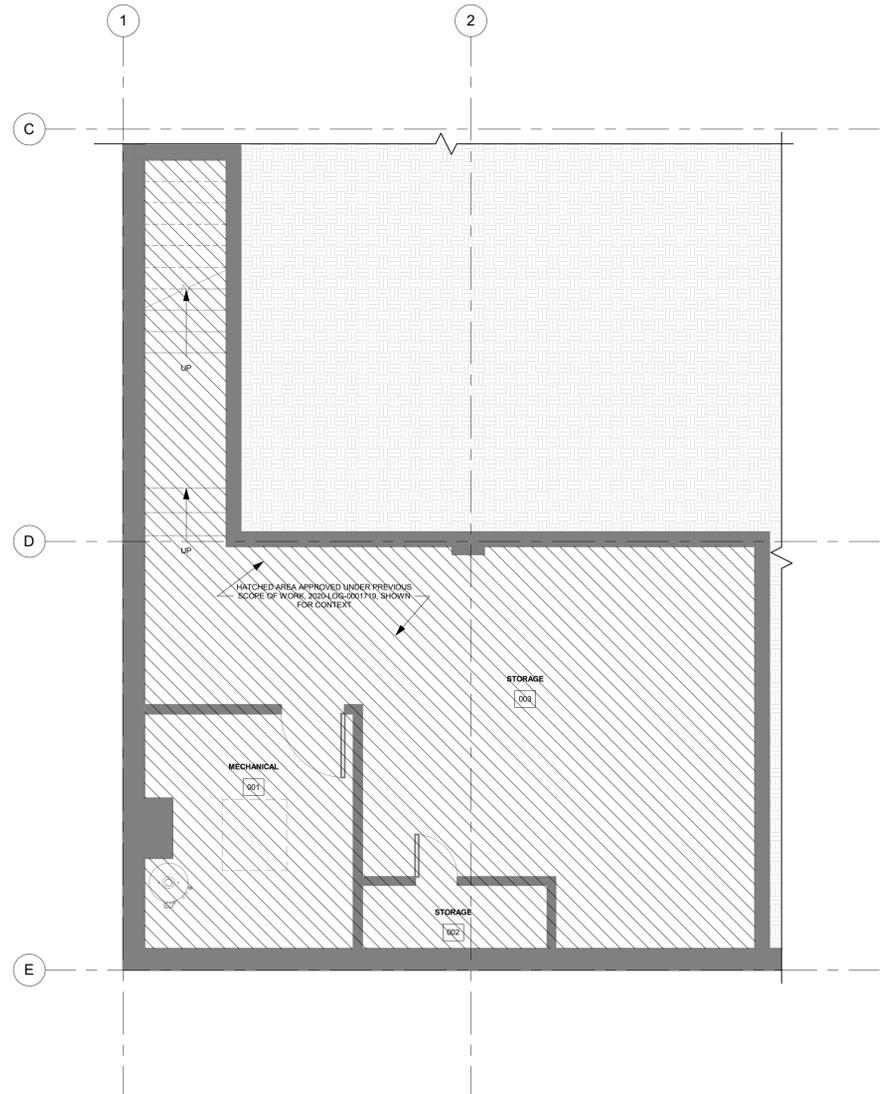
Tree Protection Zone signs shall be posted by Office of the City Forester and shall remain in place as long as tree protection fencing is in place.

**AREA 3**  
 Trunk protection is required if construction occurs within ten feet of base of trunk. Construction inside CRZ is only permitted when equipment is operated exclusively on existing hardscape, and no soil compaction takes place. Any work in CRZ must be approved by Office of the City Forester prior to commencement of activity.

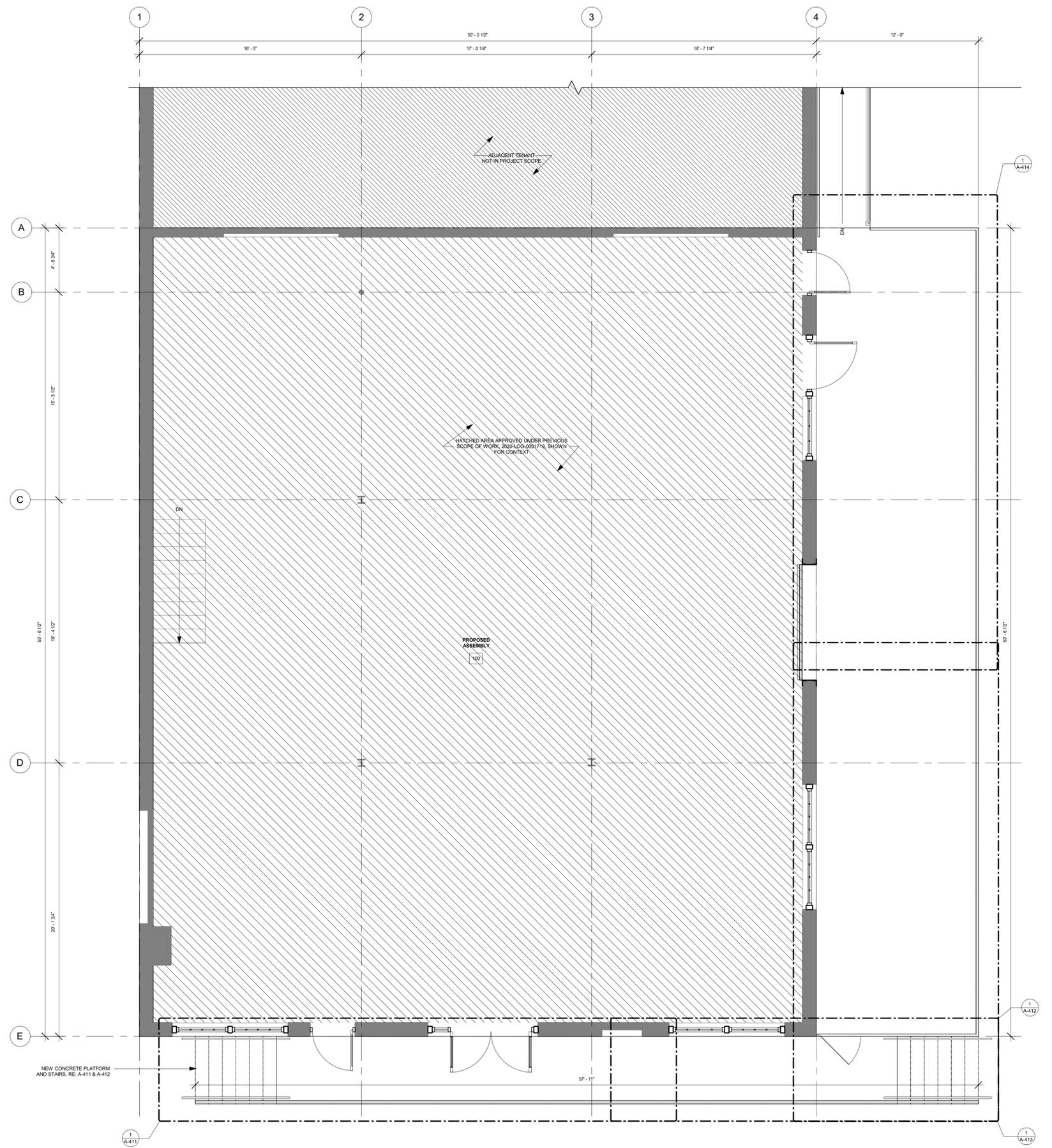
**NOTES**

- Office of the City Forester Tree Retention and Protection Specifications shall be followed throughout duration of project.
- Damage to protected trees is subject to penalty per City Ordinance.
- Tree protection shall be installed prior to commencement of demolition/construction activities, approved by Office of the City Forester staff, and shall remain in place until Certificate of Occupancy is issued by the City & County of Denver.
- Once approved by the Office of the City Forester, the Tree Protection Zone shall not be resized, modified, removed, or altered in any manner without prior written approval.
- Entrance/access to the Tree Protection Zone is not permitted without prior written approval from the Office of the City Forester.
- No materials, debris, equipment, or site amenities shall be stored within the Tree Protection Zone without prior written approval from the Office of the City Forester.
- While tree protection fencing is in place, trees shall be deep-root watered at an interval of once per week when temperatures are at or above 50-degrees F. Trees shall be watered at the rate of 10 gallons per inch caliper.
- Minimum Tree Protection Zone, Area 1 fencing shall be "orange plastic safety fencing," min. 48" in height, top secured to metal T-posts with 12-gauge wire woven through top of fencing for entire length.
- Heavy duty T-posts shall be placed so that wire & fence are taut.
- Chain link fencing is recommended and may be required by the Office of the City Forester where heavy construction activity is adjacent to existing trees.
- "Tree Protection Zone" signs shall remain in place as posted by Office of the City Forester and shall be maintained in the condition in which they were installed.

**3 TREE PROTECTION DETAIL**  
 12" x 1'-0"



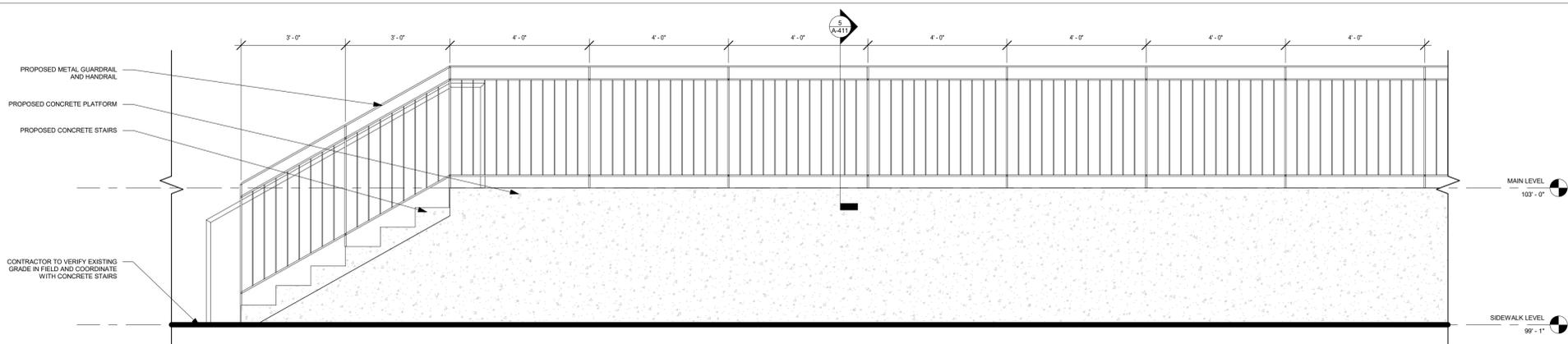
**1 BASEMENT LEVEL PLAN**  
 1/4" = 1'-0"



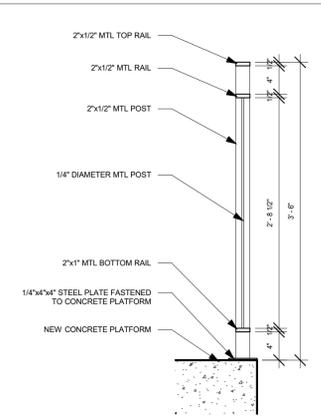
**2 MAIN LEVEL FLOOR PLAN**  
 1/4" = 1'-0"



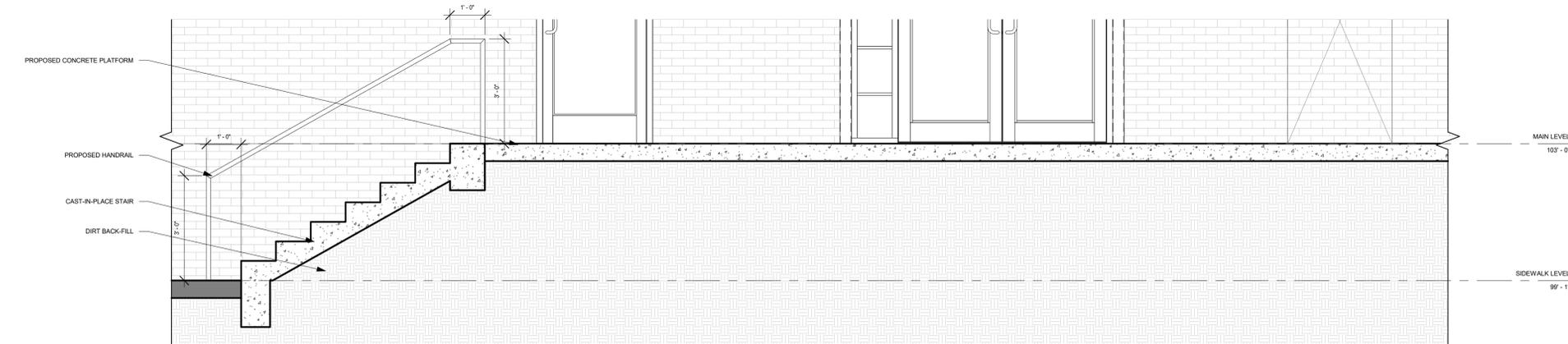
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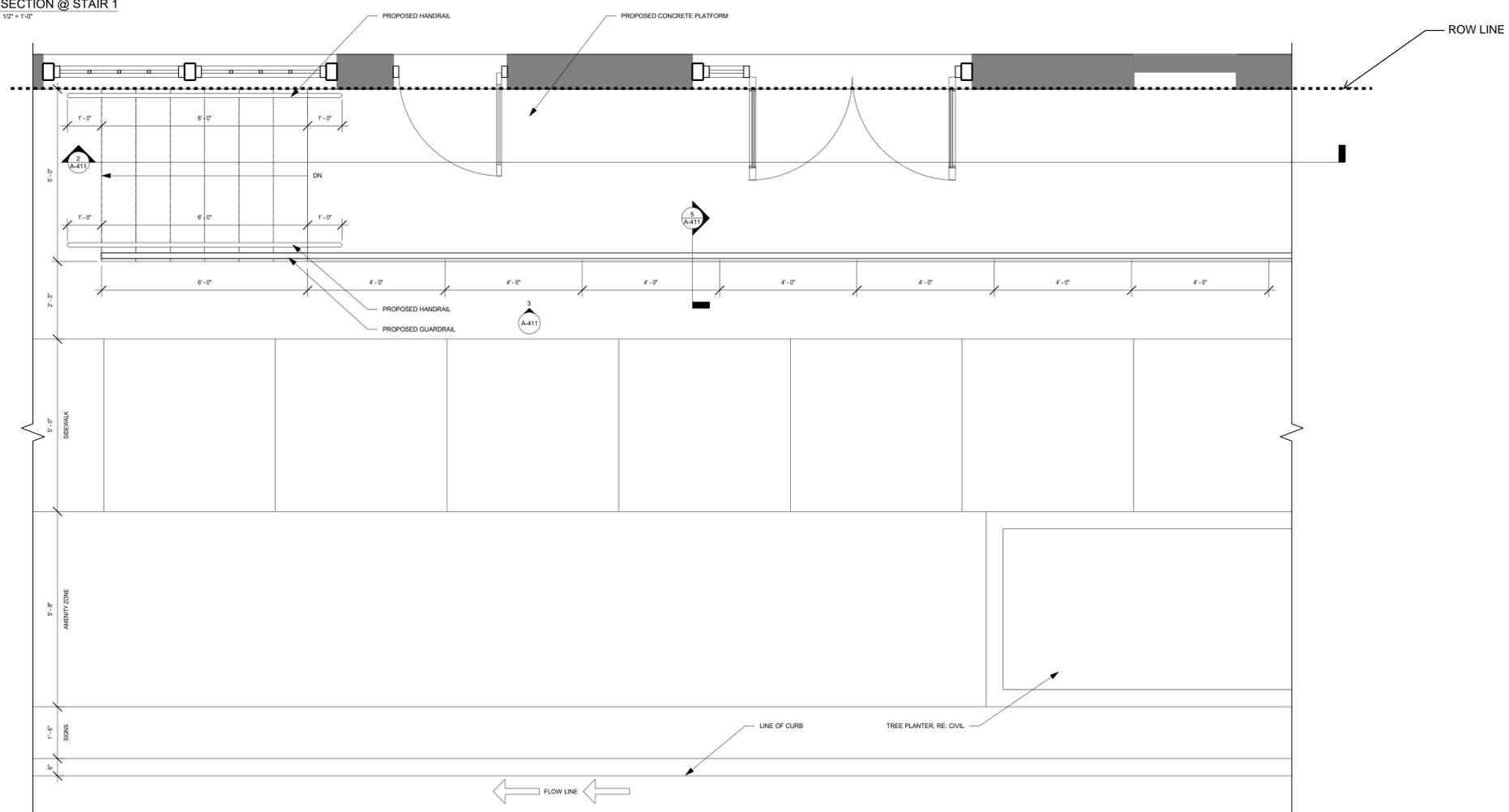
3 PROPOSED STAIR 1 ELEVATION  
A-411 1/2" = 1'-0"



5 TYP. RAILING SECTION  
A-411 1" = 1'-0"

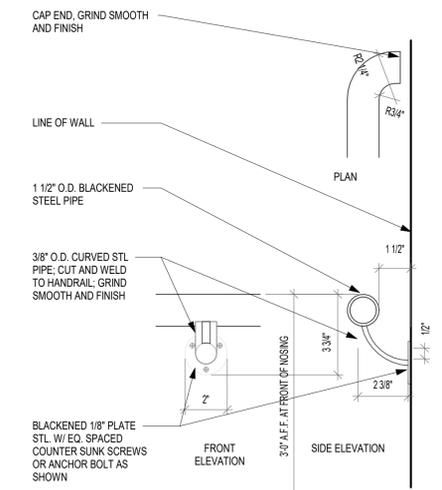


2 SECTION @ STAIR 1  
A-411 1/2" = 1'-0"



1 ENLARGED PLATFORM AND STAIR PLAN 1  
A-411 1/2" = 1'-0"

NOTE:  
ALL HANDRAIL EXTENSIONS SHALL COMPLY WITH THE REQUIREMENTS OF IBC SECTION 1012.6



CONTRACTOR TO USE EITHER NON-COMBUSTABLE WOOD BLOCKING OR SHEET METAL BLOCKING AT RAIL ATTACHMENT TO WALL

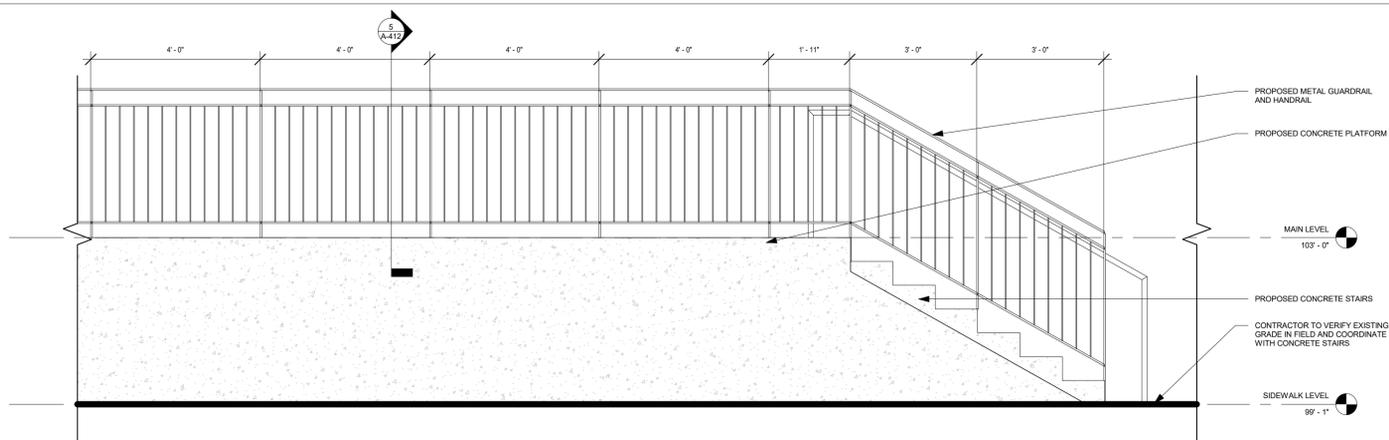
4 TYP. HANDRAIL DETAILS  
A-411 3" = 1'-0"

Project Number:	2019.056
Issue:	PERMIT SET
Date:	07/07/2022
Drawn By:	ZH
Checked By:	PLM
Revisions:	
No.	Date:

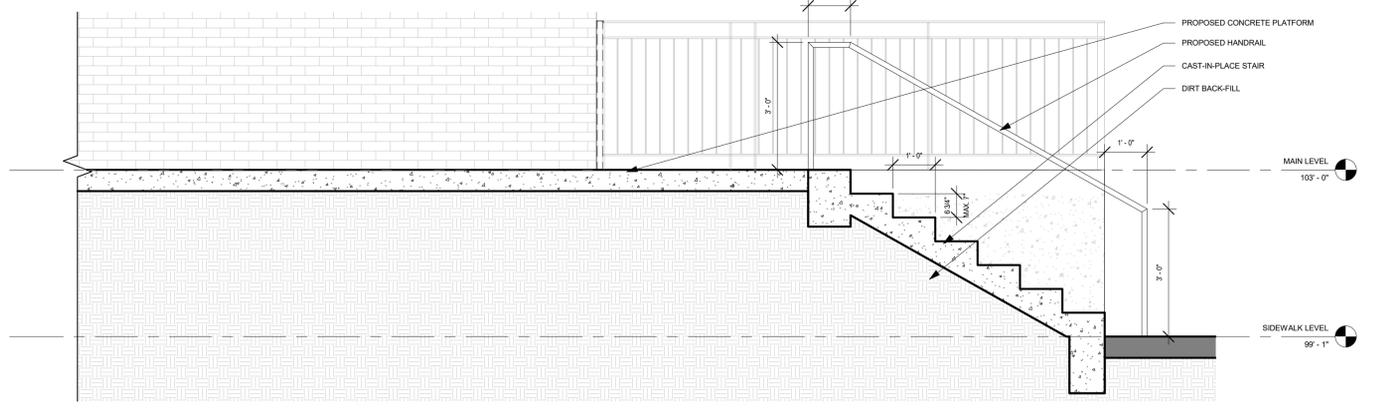
Sheet Title:  
ENLARGED PLANS & ELEVATIONS

**A-411**

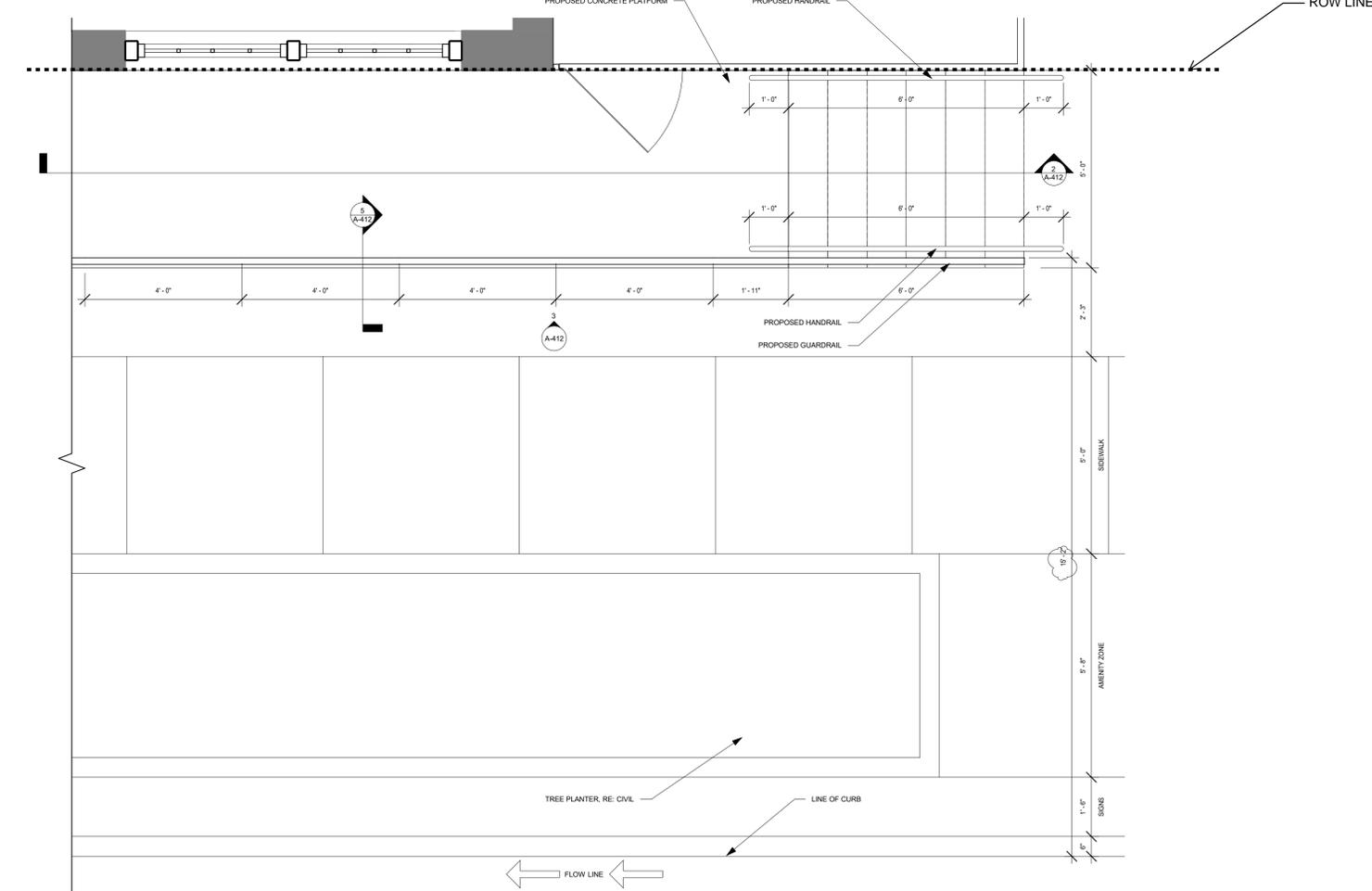
Project Number:	2019.056
Issue:	PERMIT SET
Date:	07/07/2022
Drawn By:	ZH
Checked By:	PLM
Revisions:	
No.	Date:
1	COMMENT RESPONSE #1 09/15/2022



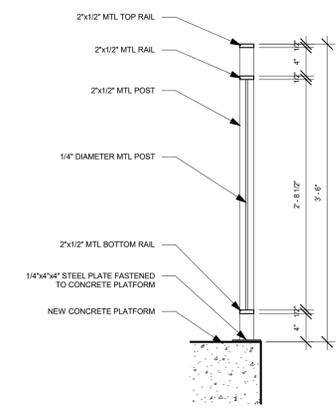
3 PROPOSED STAIR 2 ELEVATION  
A-412 1/2" = 1'-0"



2 SECTION @ STAIR 2  
A-412 1/2" = 1'-0"

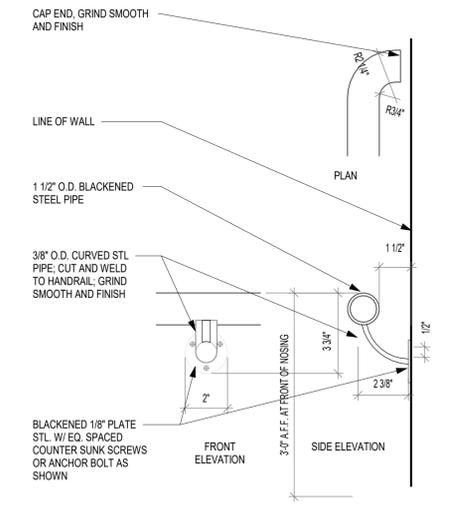


1 ENLARGED PLATFORM AND STAIR PLAN 2  
A-412 1/2" = 1'-0"



5 TYP. RAILING SECTION  
A-412 1" = 1'-0"

NOTE:  
ALL HANDRAIL EXTENSIONS SHALL COMPLY WITH THE REQUIREMENTS OF IBC SECTION 1012.6

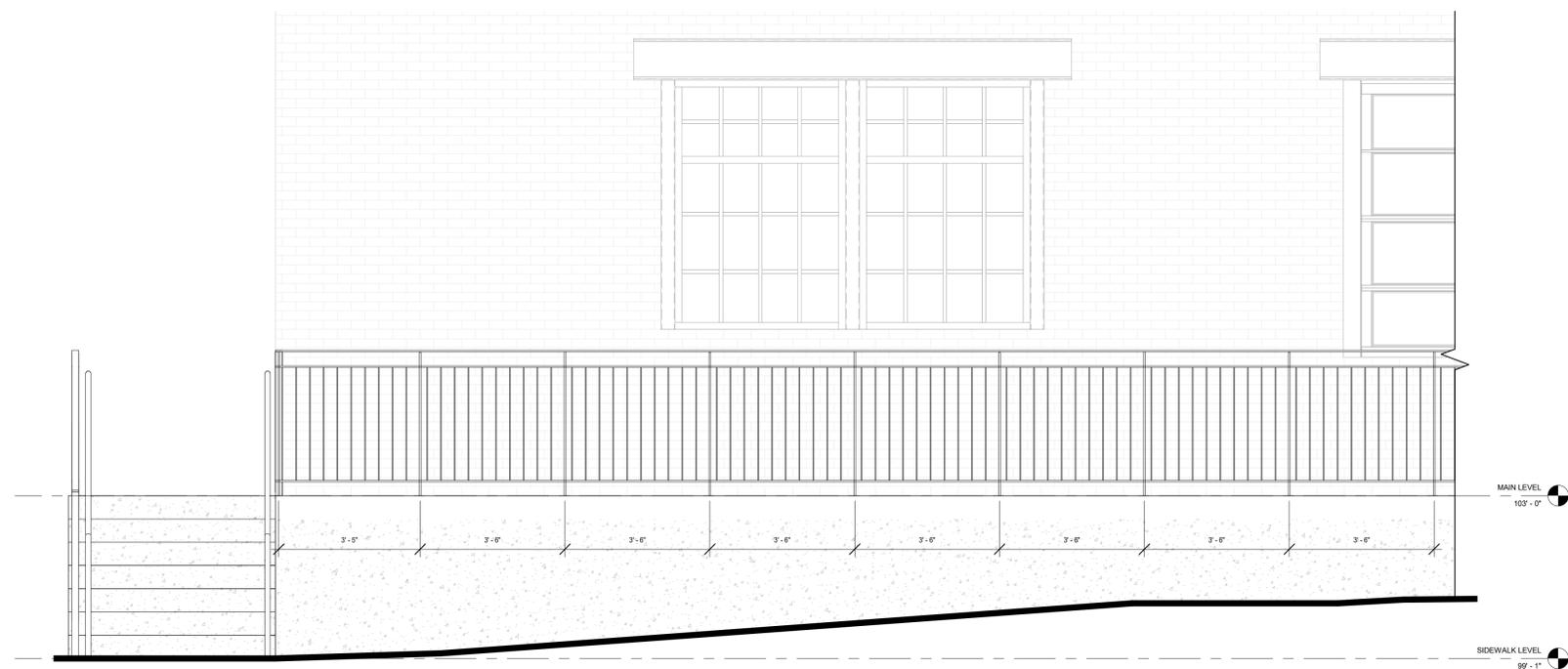


CONTRACTOR TO USE EITHER NON-COMBUSTABLE WOOD BLOCKING OR SHEET METAL BLOCKING AT RAIL ATTACHMENT TO WALL

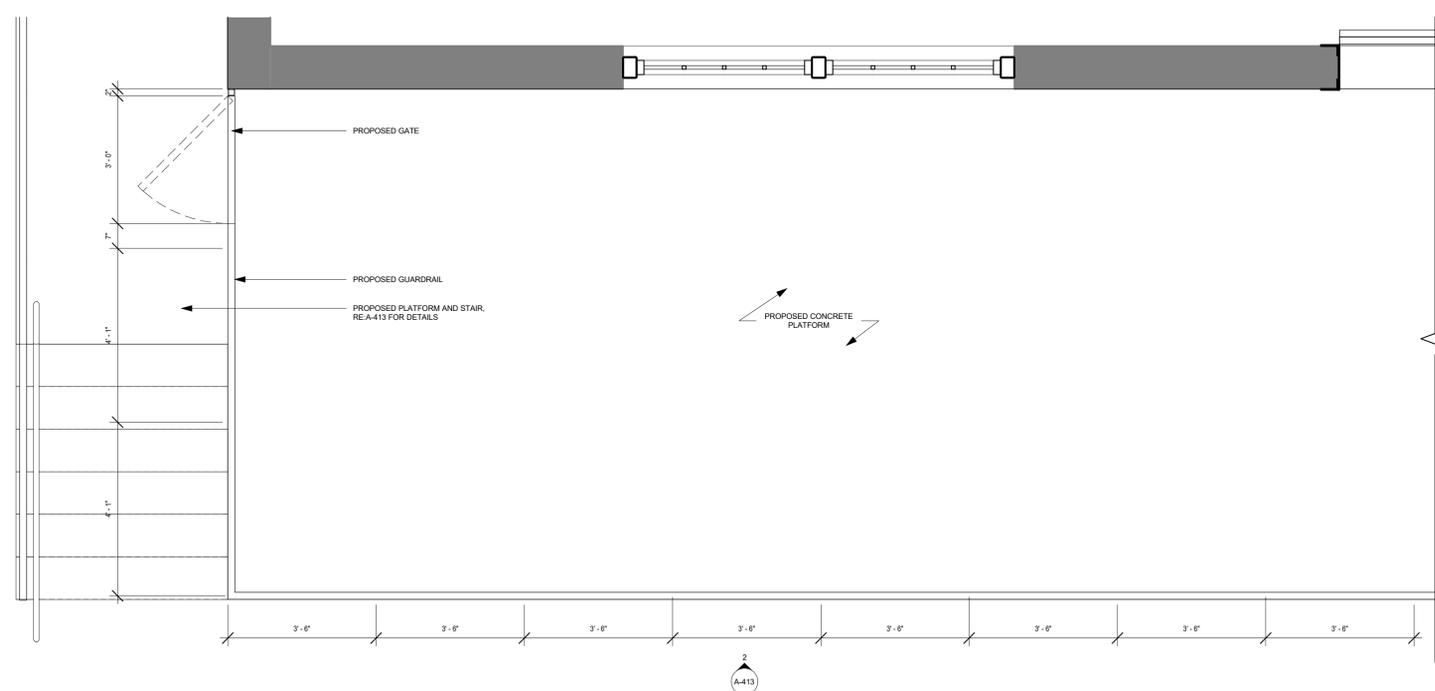
4 TYP. HANDRAIL DETAILS  
A-412 3" = 1'-0"

**2811 WALNUT - CORE & SHELL**

2811 WALNUT STREET, UNIT 100  
DENVER, CO 80205



2 ENLARGED PATIO ELEVATION 1  
A-413 1/2" = 1'-0"



1 ENLARGED PATIO PLAN 1  
A-413 1/2" = 1'-0"

Project Number:	2019.056
Issue:	PERMIT SET
Date:	07/07/2022
Drawn By:	ZH
Checked By:	PLM
Revisions:	
No.	Date:

Sheet Title:  
ENLARGED PLANS &  
ELEVATIONS

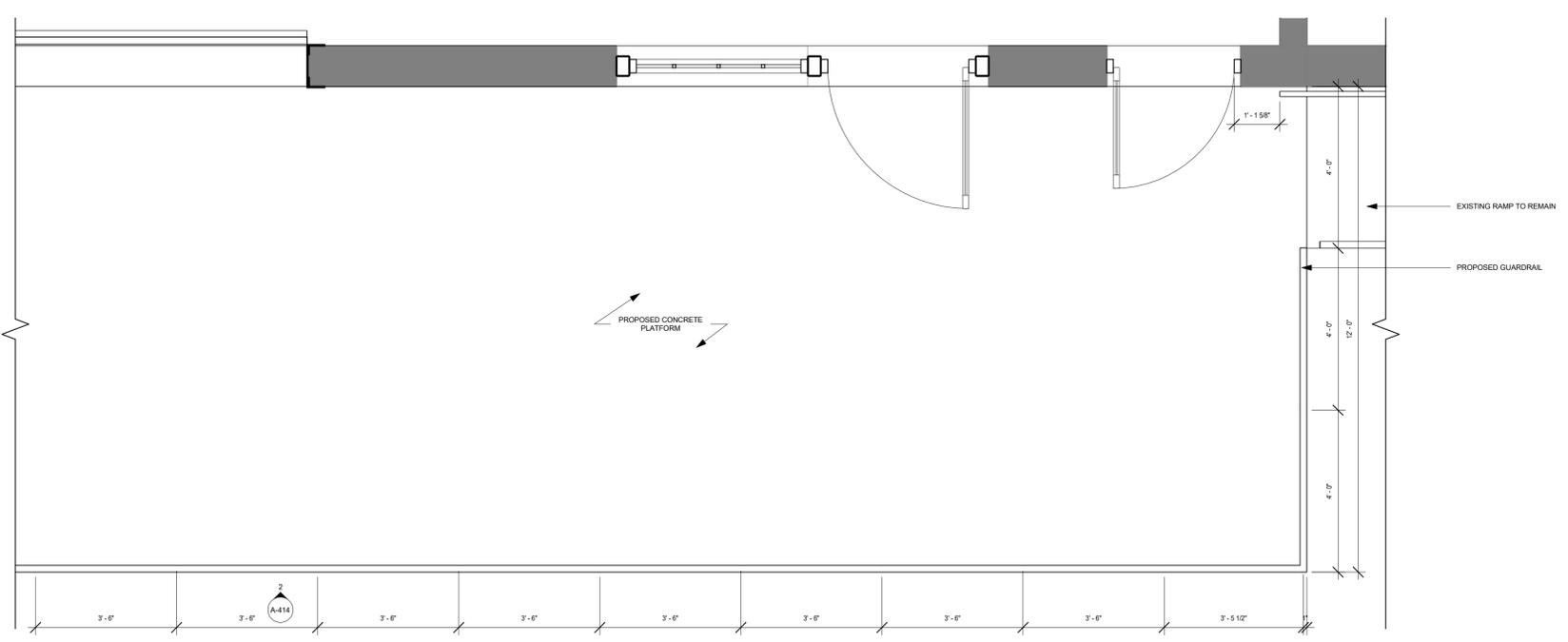
**A-413**

**2811 WALNUT - CORE & SHELL**

2811 WALNUT STREET, UNIT 100  
DENVER, CO 80205



2 ENLARGED PATIO ELEVATION 2  
A-414 1/2" = 1'-0"



1 ENLARGED PATIO PLAN 2  
A-414 1/2" = 1'-0"

Project Number:	2019.056
Issue:	PERMIT SET
Date:	07/07/2022
Drawn By:	ZH
Checked By:	PLM
Revisions:	
No.	Date:

# EXHIBIT B

"ENCROACHMENT AREA"  
SHEET 1 OF 1

**DESCRIPTION:**

A PARCEL OF LAND WITHIN THE RIGHT-OF-WAY FOR WALNUT STREET BETWEEN BLOCKS 4 AND 26, CASE & EBERT'S ADDITION, CITY AND COUNTY OF DENVER, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 17 OF SAID BLOCK 4, THENCE ALONG THE EAST LINE OF SAID BLOCK 4, NORTH 44° 55' 38" EAST, A DISTANCE OF 53.17 FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID EAST LINE, NORTH 44° 55' 38" EAST, A DISTANCE OF 59.92 FEET;

THENCE DEPARTING SAID EAST LINE, SOUTH 45° 05' 19" EAST, A DISTANCE OF 6.00 FEET;

THENCE SOUTH 44° 55' 38" WEST, A DISTANCE OF 59.92 FEET;

THENCE NORTH 45° 05' 19" WEST, A DISTANCE OF 6.00 FEET TO THE POINT OF BEGINNING;

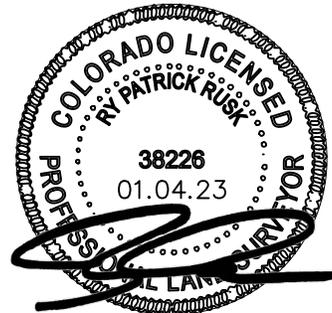
CONTAINING 360 SQUARE FEET, MORE OR LESS.

**BASIS OF BEARING:**

THE BASIS OF BEARING FOR THIS DESCRIPTION IS THE 20.00' RANGE LINE ALONG WALNUT STREET BETWEEN BLOCKS 4 AND 26, CASE & EBERT'S ADDITION, CITY AND COUNTY OF DENVER, STATE OF COLORADO, BETWEEN A FOUND NO.6 REBAR WITH A 2.5" ALLOY CAP IN A RANGE BOX STAMPED "MATRIX - PLS 34977" AT THE INTERSECTION OF 28TH STREET AND WALNUT STREET AND BY A FOUND NO.6 REBAR WITH A 2.5" ALLOY CAP IN A RANGE BOX STAMPED "FRONTIER SURV - PLS 30830" AT THE INTERSECTION OF 29TH STREET AND WALNUT STREET WITH THE LINE BETWEEN ASSUMED TO BEAR NORTH 44° 55' 38" WEST.

**PREPARED BY:**

RY P. RUSK, PLS 38226  
FOR AND ON BEHALF OF FORESIGHT WEST SURVEYING, INC.  
1309 S. INCA STREET  
DENVER, CO 80223



SITUATED IN THE SOUTHEAST  
QUARTER OF SECTION 27,  
TOWNSHIP 3 SOUTH, RANGE 68  
WEST OF THE 6TH P.M., CITY  
AND COUNTY OF DENVER, STATE  
OF COLORADO

Revision	Date
0	10.13.22
1	01.04.23
Compiled By: Rusk	
Checked By: Scott	
Job Number: 2019049	

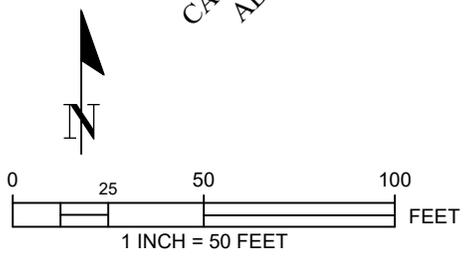
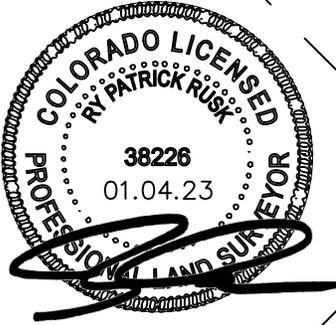
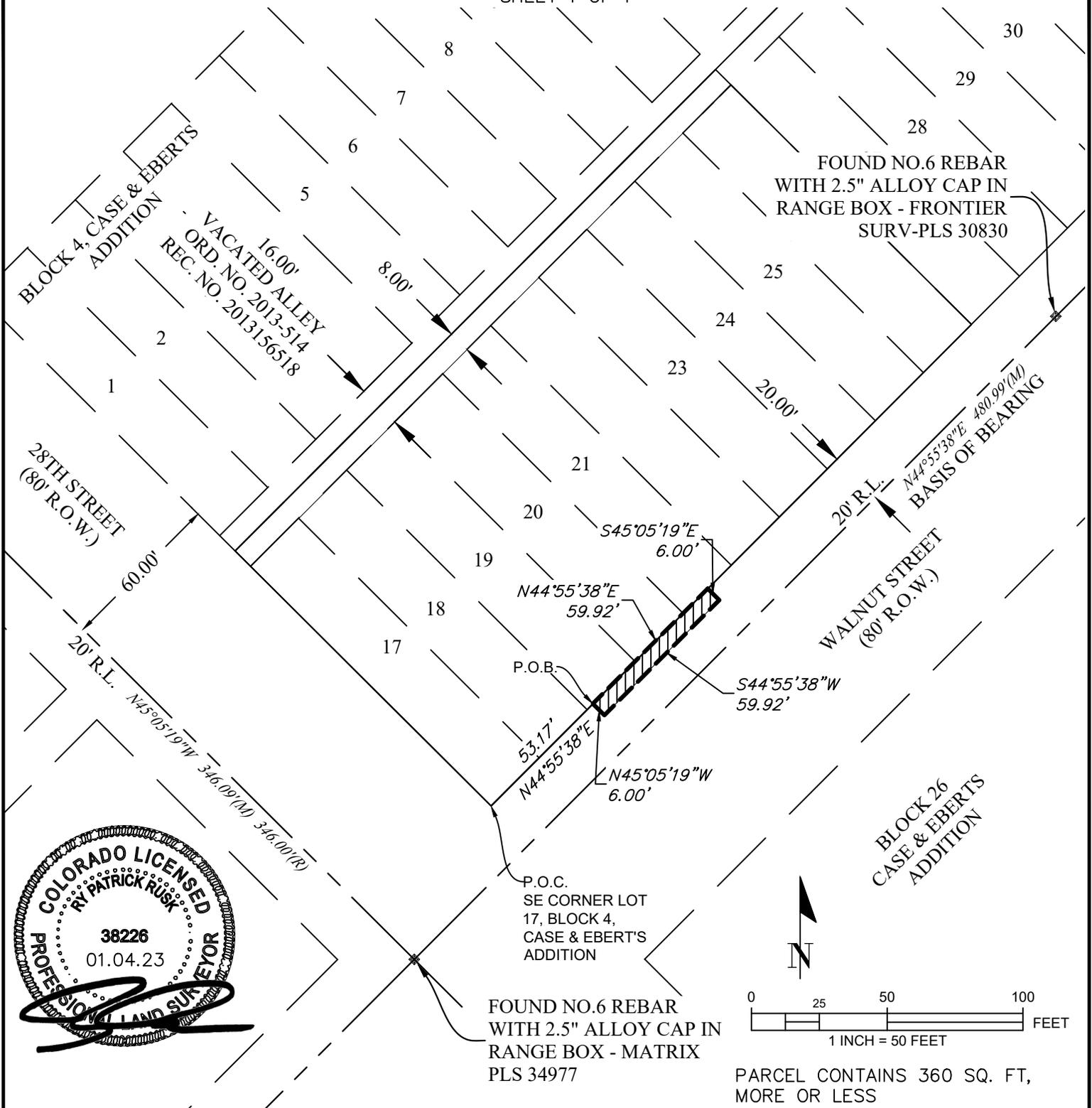
**FWS** FORESIGHT WEST  
SURVEYING INC.

1309 S. Inca Street  
Denver, Colorado 80223  
303.504.4440

# ILLUSTRATION FOR EXHIBIT B

"ENCROACHMENT AREA"  
SHEET 1 OF 1

2022-ENCROACHMENT-000067-002



PARCEL CONTAINS 360 SQ. FT,  
MORE OR LESS

SITUATED IN THE SOUTHEAST  
QUARTER OF SECTION 27,  
TOWNSHIP 3 SOUTH, RANGE 68  
WEST OF THE 6TH P.M., CITY  
AND COUNTY OF DENVER, STATE  
OF COLORADO

Revision	Date
0	10.13.22
1	01.04.23
Compiled By: Rusk	
Checked By: Scott	
Job Number: 2019049	

**FWS** FORESIGHT WEST  
SURVEYING INC.

1309 S. Inca Street  
Denver, Colorado 80223  
303.504.4440

## Tier III 2811 Walnut St - Ramp - Platform - Stairs

12/09/2022

**Master ID:** 2021-PROJMSTR-0000393      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000067      **Review Phase:**  
**Location:**      **Review End Date:** 08/17/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency: DS Transportation Review

Review Status: Approved

**Reviewers Name:** Mindy Christensen  
**Reviewers Email:** [mindy.christensen@denvergov.org](mailto:mindy.christensen@denvergov.org)

**Status Date:** 12/01/2022  
**Status:** Approved  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs  
Reviewing Agency/Company: City & County of Denver/DOTI DES Transportation  
Reviewers Name: Mindy Christensen  
Reviewers Phone: 7208653216  
Reviewers Email: [mindy.christensen@denvergov.org](mailto:mindy.christensen@denvergov.org)  
Approval Status: Approved

Comments:

**Status Date:** 08/11/2022  
**Status:** Denied  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs  
Reviewing Agency/Company: City & County of Denver  
Reviewers Name: Mindy Decker  
Reviewers Phone: 7208653216  
Reviewers Email: [mindy.decker@denvergov.org](mailto:mindy.decker@denvergov.org)  
Approval Status: Denied

Comments:

Are these entries required to be ADA accessible? If so, a ramp should be included in the encroachment.

Reviewing Agency: DS Project Coordinator Review

Review Status: Approved

**Reviewers Name:** Molly Marcucilli  
**Reviewers Email:** [molly.marcucilli@denvergov.org](mailto:molly.marcucilli@denvergov.org)

**Status Date:** 12/09/2022  
**Status:** Approved  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs  
Reviewing Agency/Company: Project Coordination  
Reviewers Name: Molly Marcucilli  
Reviewers Phone: 2033647961  
Reviewers Email: [molly.marcucilli@denvergov.org](mailto:molly.marcucilli@denvergov.org)  
Approval Status: Approved

Comments:

**Status Date:** 08/31/2022

2022-ENCROACHMENT-0000067

# Comment Report

## Tier III 2811 Walnut St - Ramp - Platform - Stairs

12/09/2022

**Master ID:** 2021-PROJMSTR-0000393 **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000067 **Review Phase:**  
**Location:** **Review End Date:** 08/17/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

**Status:** Denied  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs  
Reviewing Agency/Company: Project Coordination  
Reviewers Name: Molly Marcucilli  
Reviewers Phone: 7208652721  
Reviewers Email: molly.marcucilli@denvergov.org  
Approval Status: Denied

**Comments:**  
Project Coordination needs to see the final set of plans prior to encroachment application approval. Once all other agencies approve, PC can review. Please activate Project Coordination in the next submittal.

**Status Date:** 08/18/2022  
**Status:** Approved w/Conditions  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs  
Reviewing Agency/Company: Development Services, CPD  
Reviewers Name: Sarah Kaplan  
Reviewers Phone: 7208652991  
Reviewers Email: sarah.kaplan@denvergov.org  
Approval Status: Approved with conditions

**Comments:**  
Project Coordinator does not take exception with proposed Encroachment. Zoning Compliance Review to be completed as a component of the LOG / Zoning Review process if a Site Development Plan is not required for scope of work. Questions pertaining to SDP Applicability can be directed to Project Coordinator. A Concept Plan can be submitted to Development Services to review as interested. Ensure that Plans align with proposed Encroachment or modify boundary (if necessary) ahead of subsequent review and approval.

**Status Date:** 08/18/2022  
**Status:** Approved - No Response  
**Comments:**

Reviewing Agency: Survey Review Review Status: Approved

**Reviewers Name:** John Clarke  
**Reviewers Email:** John.Clarke@denvergov.org

**Status Date:** 10/27/2022  
**Status:** Approved  
**Comments:** PRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs  
Reviewing Agency/Company: DOTI/ROWS/Survey  
Reviewers Name: John Clarke  
Reviewers Phone: 303-625-3253  
Reviewers Email: john.clarke@denvergov.org  
Approval Status: Approved

**Comments:**

**Status Date:** 08/05/2022  
**Status:** Denied

# Comment Report

## Tier III 2811 Walnut St - Ramp - Platform - Stairs

12/09/2022

**Master ID:** 2021-PROJMSTR-0000393      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000067      **Review Phase:**  
**Location:**      **Review End Date:** 08/17/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Comments: See comments

Reviewing Agency: DES Wastewater Review      Review Status: Approved

Reviewers Name: Jack Kasprzak  
Reviewers Email: Jack.Kasprzak@denvergov.org

Status Date: 08/10/2022  
Status: Approved  
Comments: Wastewater has no objection to the proposed ramp, platform, and stairs encroachment.

Reviewing Agency: City Council Referral      Review Status: Approved - No Response

Status Date: 08/18/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: ERA Transportation Review      Review Status: Approved

Reviewers Name: Paul Weller  
Reviewers Email: Paul.Weller@denvergov.org  
  
Status Date: 11/30/2022  
Status: Approved  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs  
Reviewing Agency/Company: DOTI ROWS ER Transportation  
Reviewers Name: Paul Weller  
Reviewers Phone: 720-913-0514  
Reviewers Email: Paul.Weller@Denvergov.org  
Approval Status: Approved

Comments:  
The attached plan, received 11/30/22 has been revised to address our comments

Attachment: 2811 Walnut\_Encroachment Set\_11-09-2022 REVISED.pdf

Status Date: 08/18/2022  
Status: Denied  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs  
Reviewing Agency/Company: DOTI ROWS ER Transportation  
Reviewers Name: Paul Weller  
Reviewers Phone: 720-913-0514  
Reviewers Email: Paul.Weller@Denvergov.org  
Approval Status: Denied

Comments:  
Provide structural plans, details and calculations for retaining wall. Structural plans must be stamped and signed by a licensed engineer. 2. Retaining wall, stairs and walkway may not encroach more than 5 ft into the ROW. Identify ROW on dimensioned site plan.

# Comment Report

## Tier III 2811 Walnut St - Ramp - Platform - Stairs

12/09/2022

**Master ID:** 2021-PROJMSTR-0000393      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000067      **Review Phase:**  
**Location:**      **Review End Date:** 08/17/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Show any required legal description on site plan, including ties to property corners, etc to ensure stairs are within the described area.

Status Date: 08/16/2022

Status: Denied

Comments: 1. Provide structural plans, details and calculations for retaining wall. Structural plans must be stamped and signed by a licensed engineer.

2. Retaining wall, stairs and walkway may not encroach more than 5 ft into the ROW. Identify ROW on dimensioned site plan.

**REDLINES uploaded to E-review webpage**

Reviewing Agency: ERA Wastewater Review

Review Status: Approved

Reviewers Name: Michael Sasarak

Reviewers Email: Mike.Sasarak@denvergov.org

Status Date: 08/11/2022

Status: Approved

Comments:

Reviewing Agency: CenturyLink Referral

Review Status: Approved

Status Date: 08/18/2022

Status: Approved

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs

Reviewing Agency/Company: CenturyLink

Reviewers Name: Robert Rodgers

Reviewers Phone: 6023157656

Reviewers Email: Robert.rodgers@centurylink.com

Approval Status: Approved

Comments:

Lumen is not in conflict with the site plans provided; Encroachment approval is submitted WITH THE STIPULATION that if CenturyLink facilities are found and/or damaged within the encroachment area as described, the Applicant will bear the cost of relocation and repair of said facilities.

Status Date: 08/18/2022

Status: Approved - No Response

Comments:

Reviewing Agency: Xcel Referral

Review Status: Approved

Status Date: 10/27/2022

Status: Approved

Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs

Reviewing Agency/Company: Public Service Company of Colorado dba Xcel Energy

Reviewers Name: Donna George

Reviewers Phone: 3035713306

Reviewers Email: donna.l.george@xcelenergy.com

Approval Status: Approved

Comments:

# Comment Report

## Tier III 2811 Walnut St - Ramp - Platform - Stairs

12/09/2022

**Master ID:** 2021-PROJMSTR-0000393      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000067      **Review Phase:**  
**Location:**      **Review End Date:** 08/17/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Comment response was that the new structure will not be built where the existing gas meter is located. Thank you.

**Status Date:** 08/18/2022  
**Status:** Denied  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs  
Reviewing Agency/Company: Public Service Company of Colorado dba Xcel Energy  
Reviewers Name: Donna George  
Reviewers Phone: 3035713306  
Reviewers Email: donna.l.george@xcelenergy.com  
Approval Status: Denied

Comments:

Will the new structures be built where the gas meter is located? If so, will the meter be relocated?

**Status Date:** 08/18/2022  
**Status:** Approved - No Response  
**Comments:**

Reviewing Agency: RTD Referral      Review Status: Approved

**Status Date:** 08/18/2022  
**Status:** Approved  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs  
Reviewing Agency/Company: RTD  
Reviewers Name: C. Scott Woodruff  
Reviewers Phone: 303-299-2943  
Reviewers Email: clayton.woodruff@rtd-denver.com  
Approval Status: Approved

Comments:

The RTD engineering division has no comments on this plan

**Status Date:** 08/18/2022  
**Status:** Approved - No Response  
**Comments:**

Reviewing Agency: Comcast Referral      Review Status: Approved

**Status Date:** 08/18/2022  
**Status:** Approved  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs  
Reviewing Agency/Company: Comcast  
Reviewers Name: Jason Hanneman  
Reviewers Phone: 7204130104  
Reviewers Email: jason\_hanneman@cable.comcast.com  
Approval Status: Approved

Comments:

protect in place

# Comment Report

## Tier III 2811 Walnut St - Ramp - Platform - Stairs

12/09/2022

**Master ID:** 2021-PROJMSTR-0000393      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000067      **Review Phase:**  
**Location:**      **Review End Date:** 08/17/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Status Date: 08/18/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Metro Wastewater Referral      Review Status: Approved - No Response

Status Date: 08/18/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Street Maintenance Referral      Review Status: Approved - No Response

Status Date: 08/18/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Office of Emergency Management Referral      Review Status: Approved - No Response

Status Date: 08/18/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Building Department Review      Review Status: Approved

Reviewers Name: Keith Peetz  
Reviewers Email: keith.peetz@denvergov.org  
Status Date: 08/15/2022  
Status: Approved  
Comments:

Reviewing Agency: Division of Real Estate Referral      Review Status: Approved

Reviewers Name: David Edwards  
Reviewers Email: edward.david@denvergov.org  
Status Date: 07/27/2022  
Status: Approved  
Comments:

Reviewing Agency: Denver Fire Department Review      Review Status: Approved

Reviewers Name: Richard Tenorio  
Reviewers Email: richard.tenorio@denvergov.org  
Status Date: 08/16/2022  
Status: Approved  
Comments: Denver Fire Dept. Approved - RT

Reviewing Agency: Denver Water Referral      Review Status: Approved

Status Date: 08/18/2022  
Status: Approved  
Comments: PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs

# Comment Report

## Tier III 2811 Walnut St - Ramp - Platform - Stairs

12/09/2022

**Master ID:** 2021-PROJMSTR-0000393      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000067      **Review Phase:**  
**Location:**      **Review End Date:** 08/17/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewing Agency/Company: Denver Water  
Reviewers Name: Kela Naso  
Reviewers Phone: 13036286302  
Reviewers Email: kela.naso@denverwater.org  
Approval Status: Approved

Comments:

Status Date: 08/18/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Parks and Recreation Review      Review Status: Approved

Reviewers Name: Jennifer Cervera  
Reviewers Email: Jennifer.Cervera@denvergov.org

Status Date: 08/17/2022  
Status: Approved  
Comments:

Reviewing Agency: Policy and Planning Referral      Review Status: Approved - No Response

Status Date: 08/18/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Denver Office of Disability Rights Referral      Review Status: Approved - No Response

Status Date: 08/18/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: Construction Engineering Review      Review Status: Approved

Reviewers Name: Porames Saejiw  
Reviewers Email: Joe.Saejiw@denvergov.org

Status Date: 08/12/2022  
Status: Approved

Comments: 1. Prior to the solicitation of bids or proposals from general contractors, the developer of this project is strongly encouraged to schedule an office meeting with the Right-of-Way Services Construction Inspections team (303) 446-3469 to discuss the project's impact to city traffic, streets, roads, alleys and sidewalks, and the associated ROW permit fees that will need to be paid by the selected general contractor.

Reviewing Agency: TES Sign and Stripe Review      Review Status: Approved

Reviewers Name: Brittany Price  
Reviewers Email: Brittany.Price@denvergov.org

Status Date: 12/02/2022

# Comment Report

## Tier III 2811 Walnut St - Ramp - Platform - Stairs

12/09/2022

**Master ID:** 2021-PROJMSTR-0000393      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000067      **Review Phase:**  
**Location:**      **Review End Date:** 08/17/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

**Status:** Approved  
**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs  
Reviewing Agency/Company: DOTI Transportation & Mobility Engineering  
Reviewers Name: Brittany Price  
Reviewers Phone: 7208653154  
Reviewers Email: brittany.price@denvergov.org  
Approval Status: Approved

**Comments:**

**Status Date:** 08/15/2022

**Status:** Denied

**Comments:** Dimensions are needed on the site plan showing width of sidewalk, width of amenity zone (back of curb to sidewalk) and width between proposed encroachment and back of curb.

Reviewing Agency: City Forester Review

Review Status: Approved

**Reviewers Name:** Nick Evers  
**Reviewers Email:** nick.evers@denvergov.org

**Status Date:** 08/18/2022

**Status:** Approved

**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs  
Reviewing Agency/Company: Denver Parks and Rec - Forestry  
Reviewers Name: Nick Evers  
Reviewers Phone: 7206759194  
Reviewers Email: nick.evers@denvergov.org  
Approval Status: Approved

**Comments:**

Approved. No expected PRW tree conflict.

**Status Date:** 08/18/2022

**Status:** Approved - No Response

**Comments:**

Reviewing Agency: Landmark Review

Review Status: Approved - No Response

**Reviewers Name:** Karen Bryant  
**Reviewers Email:** Karen.Bryant@denvergov.org

**Status Date:** 08/10/2022

**Status:** Approved - No Response

**Comments:** No historic district or structure

Reviewing Agency: CDOT Referral

Review Status: Approved

**Status Date:** 08/18/2022

**Status:** Approved

**Comments:** PWPRS Project Number: 2022-ENCROACHMENT-0000067 - Tier III 2811 Walnut St - Ramp - Platform - Stairs  
Reviewing Agency/Company: CDOT Region 1 ROW/survey

# Comment Report

## Tier III 2811 Walnut St - Ramp - Platform - Stairs

12/09/2022

**Master ID:** 2021-PROJMSTR-0000393      **Project Type:** Tier III Encroachment Resolution  
**Review ID:** 2022-ENCROACHMENT-0000067      **Review Phase:**  
**Location:**      **Review End Date:** 08/17/2022

Any denials listed below must be rectified in writing to this office before project approval is granted.

Reviewers Name: dane courville  
Reviewers Phone: 7206720231  
Reviewers Email: dane.courville@state.co.us  
Approval Status: Approved

Comments:  
Does not affect CDOT on-system ROW. Proposed effort is approved as the location does not affect CDOT ROW.

Status Date: 08/18/2022  
Status: Approved - No Response  
Comments:

Reviewing Agency: ERA Review      Review Status: Approved - No Response

Reviewers Name: Shari Bills  
Reviewers Email: Shari.Bills@denvergov.org

Status Date: 08/18/2022  
Status: Approved - No Response  
Comments: