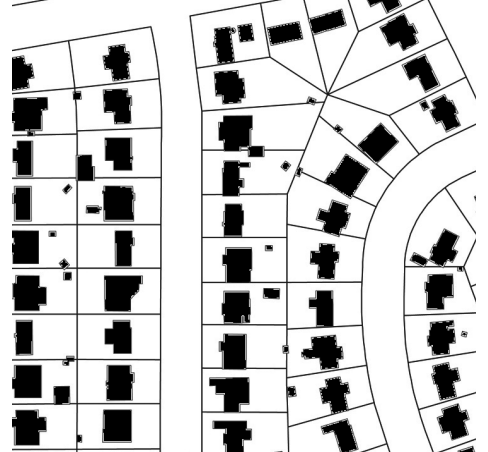


ARTICLE 3. SUBURBAN (S-) NEIGHBORHOOD CONTEXT



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DIVISION 3.1 NEIGHBORHOOD CONTEXT DESCRIPTION



SECTION 3.1.1 GENERAL CHARACTER

The Suburban Neighborhood Context is characterized by single-unit and multi-unit residential, commercial strips and centers, and office parks. Single-unit residential consists typically of the Suburban House building form with street-facing garages. Multi-unit building forms are typically separated from single-unit residential and consist of Row House and occasional mid- and high-rise Apartment building forms. Commercial buildings are typically separated from residential and consist of Shopfront and General forms. Single-unit residential uses are primarily located away from residential and commercial arterial streets. Multi-unit residential and commercial uses are primarily located along arterial and collector streets.

SECTION 3.1.2 STREET AND BLOCK PATTERNS

The Suburban Neighborhood Context consists of an irregular pattern of block shapes surrounded by curvilinear streets within a modified or non-existent grid, with cul-de-sacs and typically no alleys. Block shapes and sizes vary. The typical block pattern includes attached sidewalks (though sidewalks may be detached or non-existent), street and surface parking, and generous landscaping between the street and buildings.

SECTION 3.1.3 BUILDING PLACEMENT AND LOCATION

Single-unit residential buildings typically have consistent, deep front setbacks and varying side setbacks and building orientation. Multi-unit residential buildings typically have deep front setbacks and wide side setbacks. Commercial buildings may have varying orientation and typically have deep front and side setbacks to accommodate landscaping and parking.

SECTION 3.1.4 BUILDING HEIGHT

The Suburban Neighborhood Context is characterized by low scale buildings except for some mid- and high-rise multi-unit residential and commercial structures, particularly along arterial streets.

SECTION 3.1.5 MOBILITY

The Suburban Neighborhood Context has a higher reliance on the automobile with some access to pedestrian and bicycle facilities and the multi-modal transportation system.

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DIVISION 3.2 DISTRICTS (S-SU-, S-RH-, S-MU-, S-CC-, S-MX-, S-MS-)

SECTION 3.2.1 DISTRICTS ESTABLISHED

To carry out the provisions of this Article, the following zone districts have been established in the Suburban Neighborhood Context and are applied to property as set forth on the Official Map.

Suburban Neighborhood Context

S-SU-A	Single Unit A
S-SU-A1	Single Unit A1
S-SU-D	Single Unit D
S-SU-D1	Single Unit D1
S-SU-F	Single Unit F
S-SU-Fx	Single Unit Fx
S-SU-F1	Single Unit F1
S-SU-F1A	Single Unit F1A
S-SU-F1x	Single Unit F1x
S-SU-I	Single Unit I
S-SU-Ix	Single Unit Ix
S-SU-I1	Single Unit I1
S-SU-I1x	Single Unit I1x
S-RH-2.5	Row House 2.5
S-MU-3	Multi Unit 3
S-MU-5	Multi Unit 5
S-MU-8	Multi Unit 8
S-MU-12	Multi Unit 12
S-MU-20	Multi Unit 20
S-CC-3	Commercial Corridor 3
S-CC-3x	Commercial Corridor 3x
S-CC-5	Commercial Corridor 5
S-CC-5x	Commercial Corridor 5x
S-MX-2	Mixed Use 2
S-MX-2x	Mixed Use 2x
S-MX-2A	Mixed Use 2A
S-MX-3	Mixed Use 3
S-MX-3A	Mixed Use 3A
S-MX-5	Mixed Use 5
S-MX-5A	Mixed Use 5A
S-MX-8	Mixed Use 8
S-MX-8A	Mixed Use 8A
S-MX-12	Mixed Use 12
S-MX-12A	Mixed Use 12A
S-MS-3	Main Street 3
S-MS-5	Main Street 5

SECTION 3.2.2 RESIDENTIAL DISTRICTS (S-SU-A, A1, -D, D1, -F, -Fx, -F1, F1A, F1x, -I, -Ix, I1, I1x, S-RH-2.5, S-MU-3, 5, 8, 12, 20)

3.2.2.1 General Purpose

- A. The intent of the Residential districts is to promote and protect residential neighborhoods within the character of the Suburban Neighborhood Context. These regulations allow for some multi-unit districts, but not to such an extent as to detract from the overall image and character of the residential neighborhood.
- B. The building form standards, design standards, and uses work together to promote desirable residential areas. The standards of the single unit districts promote a consistent pattern of one to two story suburban houses where the wider part of the building orients to the street and access is provided by front-loaded garages. While lot sizes vary, lot coverage is typically low creating generous setbacks and yard space. The standards of the row house and multi unit districts promote existing and future patterns of multiple buildings on a single Zone Lot. These building forms include duplex, row house and apartments sometimes organized around common open space and parking areas with an internal circulation system.
- C. These standards recognize common residential characteristics within the Suburban Neighborhood Context but accommodate variation by providing a range of Residential Zone Districts.
- D. The regulations provide a consistent framework to property owners, developers, and neighborhood residents to reinforce desired development patterns, encourage affordable housing, and accommodate reinvestment in residential districts.
- E. These Residential districts capture parts of the city typically platted and developed in the mid-to late 1900s.

3.2.2.2 Specific Intent

- A. **Single Unit A (S-SU-A)**
S-SU-A is a single unit district allowing suburban houses with a minimum zone lot area of 3,000 square feet. This district requires the shallowest setbacks and highest lot coverage in the Suburban Neighborhood Context. Access may be from the street or from an alley.
- B. **Single Unit A1 (S-SU-A1)**
S-SU-A1 is a single unit district allowing suburban houses with a minimum zone lot area of 3,000 square feet and accessory dwelling units.
- C. **Single Unit D (S-SU-D)**
S-SU-D is a single unit district allowing suburban houses with a minimum zone lot area of 6,000 square feet.
- D. **Single Unit D1 (S-SU-D1)**
S-SU-D1 is a single unit district allowing suburban houses with a minimum zone lot area of 6,000 square feet and accessory dwelling units.
- E. **Single Unit F (S-SU-F)**
S-SU-F is a single unit district allowing suburban houses with a minimum zone lot area of 8,500 square feet.
- F. **Single Unit Fx (S-SU-Fx)**
S-SU-Fx is a single unit district allowing suburban houses with a minimum zone lot area of 8,500 square feet. The primary distinction between this zone district and S-SU-F is there are more limitations on home occupations.

G. Single Unit F1 (S-SU-F1)

S-SU-F1 is a single unit district allowing suburban houses with a minimum zone lot area of 8,500 square feet, tandem houses and detached accessory dwelling units.

H. Single Unit F1A (S-SU-F1A)

S-SU-F1A is a single unit district allowing suburban houses with a minimum zone lot area of 8,500 square feet and detached accessory dwelling units. The primary distinction between this zone district and S-SU-F1 is that tandem houses are not an allowed building form.

I. Single Unit F1x (S-SU-F1x)

S-SU-F1x is a single unit district allowing suburban houses with a minimum zone lot area of 8,500 square feet and detached accessory dwelling units. The primary distinction between this zone district and S-SU-F1 is that tandem houses are not an allowed building form and there are more limitations on home occupations. The primary distinction between this zone district and S-SU-F1A is there are more limitations on home occupations.

J. Single Unit I (S-SU-I)

S-SU-I is a single unit district allowing suburban houses with a minimum zone lot area of 12,000 square feet. This district requires the largest setbacks and lowest lot coverage (more unobstructed open space) in the Suburban Neighborhood Context.

K. Single Unit Ix (S-SU-Ix)

S-SU-Ix is a single unit district allowing suburban houses with a minimum zone lot area of 12,000 square feet. This district requires the largest setbacks and lowest lot coverage in the Suburban Neighborhood Context. The primary distinction between this zone district and S-SU-I is there are more limitations on home occupations.

L. Single Unit I1 (S-SU-I1)

S-SU-I1 is a single unit district allowing suburban houses with a minimum zone lot area of 12,000 square feet and accessory dwelling units.

M. Single Unit I1x (S-SU-I1x)

S-SU-I1x is a single unit district allowing suburban houses with a minimum zone lot area of 12,000 square feet and accessory dwelling units. The primary distinction between this zone district and S-SU-I1 is there are more limitations on home occupations.

N. Row House 2.5 (S-RH-2.5)

S-RH-2.5 is a multi unit district and allows suburban house, duplex and Row House building forms up to two and one half stories in height.

O. Multi Unit 3, 5, 8, 12, 20 (S-MU-3, 5, 8, 12, 20)

S-MU- is a multi unit district and allows suburban house, duplex, row house, and apartment building forms up to 3, 5, 8, 12, 20 stories in height.

SECTION 3.2.3 COMMERCIAL CORRIDOR DISTRICTS (S-CC-3, -3x, -5, -5x)

3.2.3.1 General Purpose

- A. The Commercial Corridor zone districts are intended to balance the need for safe, active, and pedestrian-scaled, diverse areas with the need for convenient automobile access.
- B. The Commercial Corridor zone districts address development opportunities next to the city's most auto-dominated corridors.
- C. Commercial Corridor building form standards have minimum setbacks to allow flexibility in building, circulation and parking lot layout.
- D. The Commercial Corridor district standards are also intended to ensure new development contributes positively to established residential neighborhoods and character, encourages af-

fordable housing, and improves the transition between commercial development and adjacent residential neighborhoods.

3.2.3.2 Specific Intent

A. Commercial Corridor – 3 (S-CC-3)

S-CC-3 applies primarily to auto-oriented arterial street corridors where a building scale of 1 to 3 stories is desired.

B. Commercial Corridor – 3x (S-CC-3x)

S-CC-3x applies primarily to auto-oriented arterial street corridors where a building scale of 1 to 3 stories is desired with less intense uses than S-CC-3.

C. Commercial Corridor – 5 (S-CC-5)

S-CC-5 applies primarily to auto-oriented arterial street corridors where a building scale of 1 to 5 stories is desired.

D. Commercial Corridor – 5x (S-CC-5x)

S-CC-5x applies primarily to auto-oriented arterial street corridors where a building scale of 1 to 5 stories is desired with less intense uses than S-CC-5.

SECTION 3.2.4 MIXED USE DISTRICTS (S-MX-2, -2X, -2A, -3, -3A, -5, -5A, -8, -8A, -12, -12A)

3.2.4.1 General Purpose

- A. The Mixed Use zone districts are intended to promote safe, active, pedestrian-scaled, diverse areas and enhance the convenience and ease of walking, shopping and public gathering within and around the city's neighborhoods.
- B. The Mixed Use districts are appropriate along corridors, for larger sites and at major intersections.
- C. The building form standards of the Mixed Use zone districts balance the importance of street presence and provision of adequate parking through build-to requirements, Street Level activation and parking lot screening along the right-of-way. Standards offer predictable flexibility consistent with the variety of mixed use development found in the Suburban Neighborhood Context.
- D. The Mixed Use zone district standards are also intended to ensure new development contributes positively to established residential neighborhoods and character, encourages affordable housing, and improves the transition between commercial development and adjacent residential neighborhoods.

3.2.4.2 Specific Intent

- A. **Mixed Use – 2 (S-MX-2)**
S-MX-2 applies to areas or intersections served primarily by local or collector streets where a building scale of 1 to 2 stories is desired.
- B. **Mixed Use – 2x (S-MX-2x)**
S-MX-2x applies to small sites served primarily by local streets embedded within an existing or proposed neighborhood. These are typically one or two parcels and are limited to low scale building forms and low intensity uses.
- C. **Mixed Use – 2A (S-MX-2A)**
S-MX-2A applies to areas or intersections served primarily by local or collector streets where a building scale of 1 to 2 stories is desired. Design standards provide flexibility in building siting while supporting a consistent pattern of buildings placed closer to the street to offer an active street front. Sites are limited to low intensity uses and the low scale General building form to encourage a more pedestrian-oriented environment.
- D. **Mixed Use – 3 (S-MX-3)**
S-MX-3 applies to areas or intersections served primarily by local or collector streets where a building scale of 1 to 3 stories is desired.
- E. **Mixed Use – 3A (S-MX-3A)**
S-MX-3A applies to areas or intersections served primarily by local or collector streets where a building scale of 1 to 3 stories is desired. Design standards provide flexibility in building siting while supporting a consistent pattern of buildings placed closer to the street to offer an active street front. Sites are limited to the General building form to encourage a more pedestrian-oriented environment.
- F. **Mixed Use – 5 (S-MX-5)**
S-MX-5 applies to areas or intersections served primarily by collector or arterial streets where a building scale of 1 to 5 stories is desired.

G. Mixed Use – 5A (S-MX-5A)

S-MX-5A applies to areas or intersections served primarily by collector or arterial streets where a building scale of 1 to 5 stories is desired. Design standards provide flexibility in building siting while supporting a consistent pattern of buildings placed closer to the street to offer an active street front. Sites are limited to the General building form to encourage a more pedestrian-oriented environment.

H. Mixed Use – 8 (S-MX-8)

S-MX-8 applies to areas or intersections served primarily by arterial streets where a building scale of 1 to 8 stories is desired.

I. Mixed Use – 8A (S-MX-8A)

S-MX-8A applies to areas or intersections served primarily by arterial streets where a building scale of 1 to 8 stories is desired. Design standards provide flexibility in building siting while supporting a consistent pattern of buildings placed closer to the street to offer an active street front. Sites are limited to the General building form to encourage a more pedestrian-oriented environment.

J. Mixed Use – 12 (S-MX-12)

S-MX-12 applies to areas or intersections served primarily by major arterial streets where a building scale of 1 to 12 stories is desired.

K. Mixed Use – 12A (S-MX-12A)

S-MX-12A applies to areas or intersections served primarily by major arterial streets where a building scale of 1 to 12 stories is desired. Design standards provide flexibility in building siting while supporting a consistent pattern of buildings placed closer to the street to offer an active street front. Sites are limited to the General building form to encourage a more pedestrian-oriented environment.

SECTION 3.2.5 MAIN STREET DISTRICTS (S-MS-3, -5)

3.2.5.1 General Purpose

- A. The Main Street zone districts are intended to promote safe, active, and pedestrian-scaled commercial streets through the use of Shopfront and Row House building forms that clearly define and activate the public street edge.
- B. The Main Street zone districts are intended to enhance the convenience, ease and enjoyment of transit, walking, shopping and public gathering along the city's commercial streets.
- C. The Main Street district standards are also intended to ensure new development contributes positively to established residential neighborhoods and character, encourages affordable housing, and improves the transition between commercial development and adjacent residential neighborhoods.
- D. Main Street zone districts are typically applied linearly along entire block faces of commercial, industrial, main, mixed-use and residential arterial streets (as designated in Blueprint Denver) or, less frequently, on single zone lots at the intersection of local/collector streets within a residential neighborhood.
- E. In all cases, the Main Street zone districts should be applied where a higher degree of walkability and pedestrian activity is desired than required in a Corridor, Mixed Use, or Residential Mixed Use zone district.
- F. In the Suburban Neighborhood Context, the Main Street zone districts may also be embedded within a larger commercial shopping center or mixed-use area to promote a pedestrian-active street front within a larger mixed use or commercial development.

- G. The Main Street zone districts are intended to promote an urban, mixed-use, built-to environment regardless of neighborhood context. Main Street buildings have a shallow front setback range. The build-to requirements are high and maximum building coverage is significant.

3.2.5.2 Specific Intent

A. Main Street – 3 (S-MS-3)

S-MS-3 applies primarily to local or collector street corridors, or may be embedded within a commercial shopping center or mixed-use area, where a building scale of 1 to 3 stories is desired.

B. Main Street – 5 (S-MS-5)

S-MS-5 applies primarily to collector or arterial street corridors, or may be embedded within a larger commercial shopping center or mixed-use area, where a building scale of 1 to 5 stories is desired.

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DIVISION 3.3 DESIGN STANDARDS

The following Intent Statements are intended to provide further information regarding intent and performance expectations for the district, site and building design standards.

SECTION 3.3.1 GENERAL INTENT

The Intent of this Division 3.3 Design Standards are to:

- 3.3.1.1 Implement the Denver Comprehensive Plan.
- 3.3.1.2 Implement the zone district's Intent and Purpose
- 3.3.1.3 To continue Denver's physical character, including access to parks and parkways, tree lined streets, detached sidewalks, interconnected street networks, and convenient access to parks, open space, and transit.
- 3.3.1.4 Improve compatibility with and respect for the existing character and context of Denver and its varied neighborhoods.
- 3.3.1.5 Arrange building density, uses, heights, and scaling devices to reinforce the public transit centers and corridors, and to transition to adjoining areas.
- 3.3.1.6 Give equal prominence to pedestrian realm as a defining element of neighborhood character.
- 3.3.1.7 Spatially define public streets and their associated open space as positive, usable features around which to organize land use and orient buildings in a manner that promotes pedestrian activity, a sense of security and community.
- 3.3.1.8 Provide human scale in buildings through use of detail, contrast, form, window and door placement, color and materials.
- 3.3.1.9 Provide easily identifiable pedestrian connections between private development, public rights of way and multiple modes of transit.
- 3.3.1.10 Configure the site so that a clear, safe, and attractive pedestrian system, with the transit facility as a component, is the primary public element to which buildings are oriented.
- 3.3.1.11 Arrange residential, employment, retail, service, and open space uses to be convenient to and compatible with each other and with transit.
- 3.3.1.12 Maximize pedestrian amenities near transit facilities and along the primary pedestrian connections to transit facilities.

SECTION 3.3.2 BUILDING FORM INTENT

3.3.2.1 Height

- A. Encourage buildings whose forms are responsive to opportunities to reinforce evolving nodes of mixed-use, pedestrian and transit activity as well as the existing surrounding context.
- B. Arrange building heights, and scaling devices to provide transitions to adjoining areas.
- C. Allow flexibility in height for buildings that provide additional affordable housing.

3.3.2.2 Siting

A. Required Build-To

1. Provide a more consistent street edge to enhance the character, quality and accessibility of new development.
2. Improve the relationship between new development and public streets to promote pedestrian activity and establish a sense of place.
3. Reinforce the character and quality of public streets with buildings that provide consistent siting, pedestrian orientation and access to the street.

B. Setbacks

1. Site buildings to be consistent with intended character and functional requirements of the context.
2. Improve connections between varied uses and the public street.

C. Parking Location

1. Minimize the visual impacts of parking areas on streets and adjoining property.
2. Minimize conflicts between pedestrian and vehicles.

3.3.2.3 Design Elements

A. Configuration

1. Promote variation in building form that enhances access to sunlight, air and views from within and around new structures.
2. Encourage variation in building form that provides opportunities for architectural scale relationships in large building contexts.
3. Main Street setback: Consider the proportional scale of new development necessary to establish a well defined edge to the public street.
4. Arrange building heights, and scaling devices to provide transitions to adjoining areas.

B. Transparency

1. Maximize window area at Street Level to help activate the street.
2. To create rhythms and patterns on building facades that provide visual interest and reflect the uses within the building.
3. Limit the use of highly reflective glass to avoid reflected glare onto neighboring streets and properties.

C. Entrances

1. Give prominence to pedestrian realm as a defining element of district and neighborhood character.
2. Provide convenient access to buildings and active uses from the street.
3. Create a clearly articulated and varied visual hierarchy of building entrances as an aid in way-finding.
4. Provide a positive relationship to the street through access, orientation and placement consistent with the context.

3.3.2.4 Specific Building Form Intent

A. Residential Zone Districts Building Form Intent

- 1. Suburban House**
Establish standards for Single Unit Dwelling development. Also accommodates, where permitted, appropriately scaled Congregate Living, Residential Care, Civic, and Nonresidential development.
- 2. Duplex**
Establish standards for Two Unit Dwelling development within a single primary structure, allowing side-by-side and up-down configurations. Also accommodates, where permitted, appropriately scaled Congregate Living, Residential Care, Civic, and Nonresidential development.
- 3. Tandem House**
Establish standards for two dwelling units on a single zone lot, but occurring in two separate primary structures with a single unit in each structure.
- 4. Row House**
Establish standards for buildings containing Side-by-Side Dwelling Units that require each Dwelling Unit to Orient to the Street and have a street-facing entrance. No Dwelling Units are located behind the Dwelling Units Oriented to the Street.
- 5. Apartment**
Establish standards for Multi-Unit Dwelling development in a variety of layouts. Also accommodates, where permitted, appropriately scaled Congregate Living, Residential Care, Civic, and Nonresidential development.

B. Commercial Mixed Use Zone Districts Building Form Intent

- 1. Drive Thru Services**
To allow more flexible design standards to accommodate unique circumstances of automobile service uses and primary uses with an accessory drive-thru lane.
 - a. MX: Eliminate the build-to requirement and require a garden wall along street frontages.
 - b. MS: Allow a decrease in the percentage of build-to required along the Primary Street, allow a garden wall and canopy combination to meet a portion of the build-to and allow surface parking between a building and the Side Street.
- 2. Drive Thru Restaurant**
To allow more flexible design standards to accommodate unique circumstances of eating/drinking establishments with an accessory drive-thru lane.
 - a. CC and MX: No change to standards contained within the General building form.
 - b. MS: Allow a reduced build-to requirement and a drive-thru lane to be located between the building and the Primary Street and Side Street.
- 3. General**
Establish the base set of standards for the zone district from which all other building forms deviate for specific situations.
- 4. Shopfront**
Establish the base set of standards for the zone district from which all other building forms deviate for specific situations.

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SECTION 3.3.3 PRIMARY BUILDING FORM STANDARDS FOR PRIMARY STRUCTURES

3.3.3.1 Applicability

All development, except detached accessory structures, in all the Suburban Neighborhood Context zone districts.

3.3.3.2 District Specific Standards Summary

The table below states the building forms allowed in each zone district. The table also summarizes the maximum number of structures allowed per Zone Lot, which is stated in more detail in Section 1.2.3.5 (Number of Uses and Structures Allowed per Zone Lot).

See also Division 1.4, Building Form Standards - General Provisions, for additional standards related to initial assignment of building form standards to new and existing structures and for rules governing combining or changing building forms. Building Connectors between two detached structures shall follow the standards provided in Section 1.4.5.

Suburban (S-) Neighborhood Context Zone Districts		Building Forms											
		Suburban House	Urban House	Duplex	Tandem House	Row House	Garden Court	Town House	Apartment	Drive Thru Services	Drive Thru Restaurants	General	Shopfront
Max Number of Primary Structures per Zone Lot		1*		1*	2	No Maximum							
RESIDENTIAL ZONE DISTRICTS													
Single Unit (SU)	S-SU-A, A1, -D, D1, -F, -Fx, F1, F1A, F1x, -I, -Ix, I1, I1x	■			●								
	S-SU-F1	■			■								
Row House (RH)	S-RH-2.5	■		■		■							
Multi Unit (MU)	S-MU-3, -5, 8, 12, 20	■		■		■			■				
MIXED USE COMMERCIAL ZONE DISTRICTS													
Commercial Corridor (CC)	S-CC-3, -3x, -5, -5x									□	□	■	
Mixed Use (MX)	S-MX-2x											■	■
	S-MX-2, -3, -5, -8, -12									□	□	■	■
	S-MX-2A, -3A, -5A, -8A, -12A											■	■
Main Street (MS)	S-MS-3, -5									□	□		■

■ = Allowed □ = Allowed subject to geographic limitations

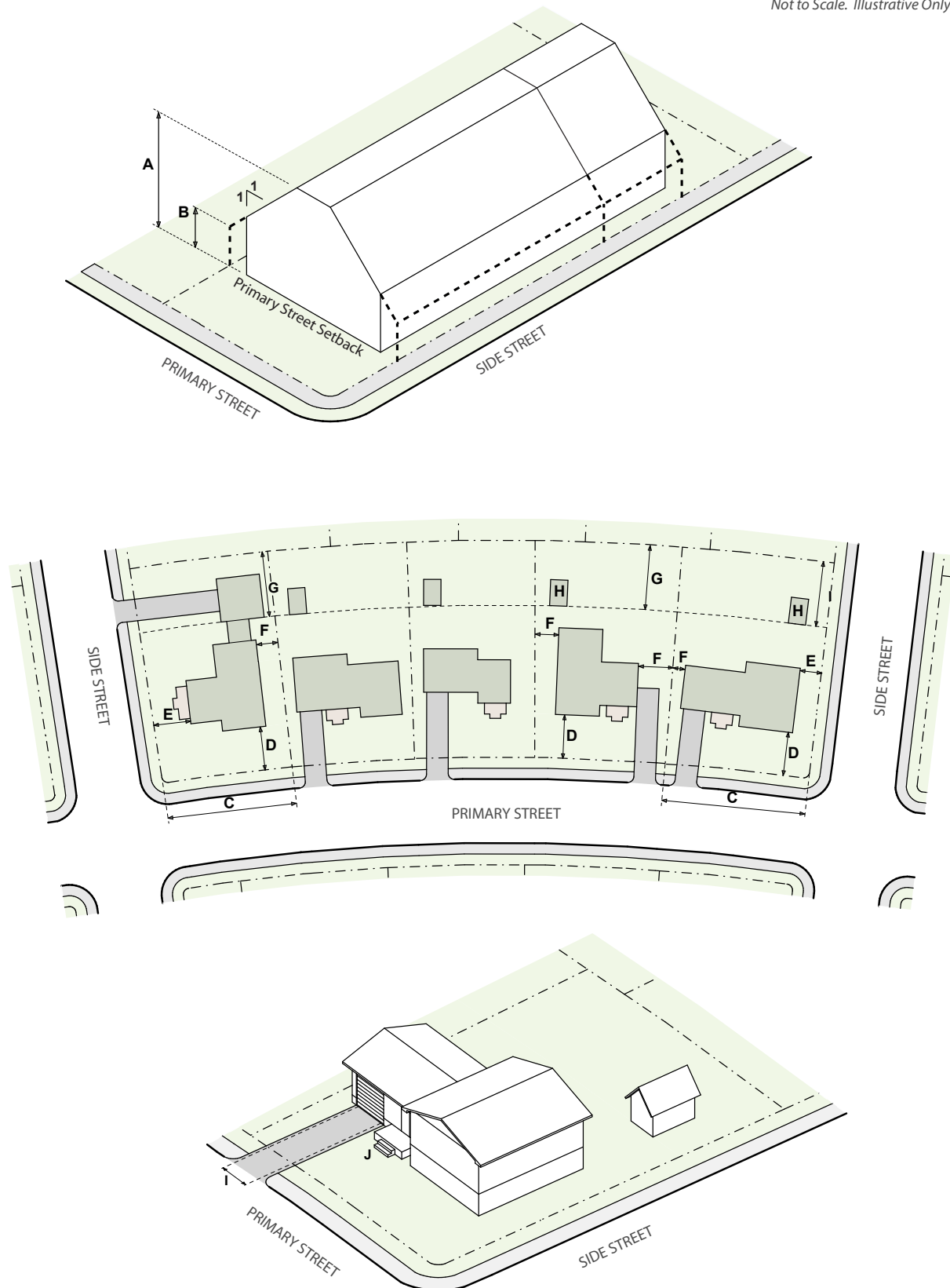
● = Tandem House building form allowed subject to exception stated in Section 1.2.3.5.B

*No Maximum # of primary structures per zone lot in the S-RH and S-MU Zone Districts.

3.3.3.3 District Specific Standards

A. Suburban House

Not to Scale. Illustrative Only.



SUBURBAN HOUSE

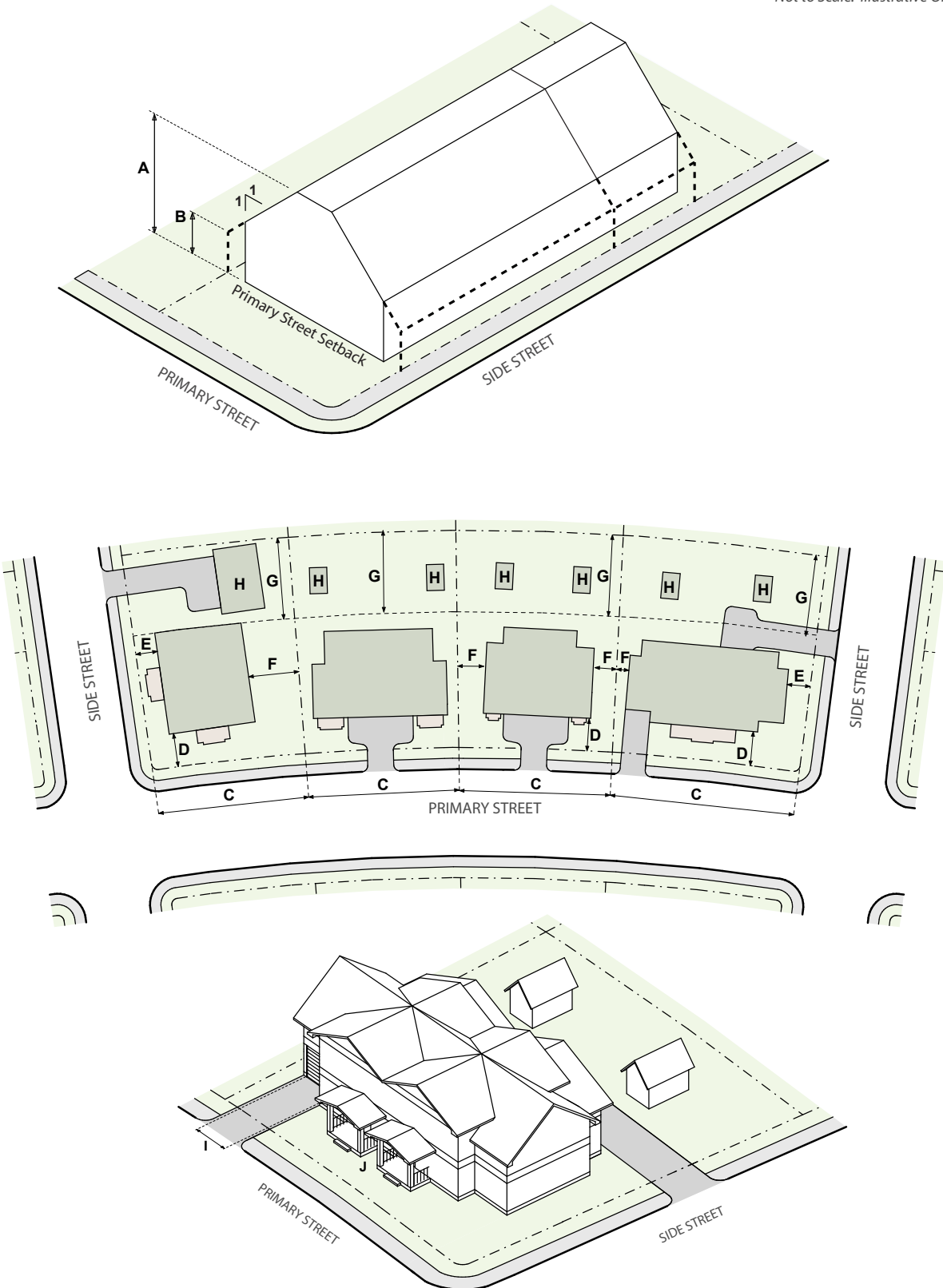
				S-SU-F	S-SU-I		
				S-SU-Fx	S-SU-Ix		
				S-SU-F1	S-SU-I1		
		S-SU-A	S-SU-D	S-SU-F1A	S-SU-I1		
HEIGHT		S-SU-A1	S-SU-D1	S-SU-F1x	S-SU-I1x	S-RH-2.5	S-MU-3, -5, -8, -12, -20
A	Stories, front 65% / rear 35% of zone lot depth (max)	2.5/2.5	2.5/2.5	2.5/2.5	3/3	2.5/2.5	3/3
A	Feet, front 65% / rear 35% of zone lot depth (max)	30'/30'	30'/30'	30'/30'	30'/30'	30'/30'	32'/32'
Feet, 100% of zone lot depth, permitted height increase (max)		1' for every 5' increase in Zone Lot width over 50' up to a maximum height of 35'					
B	Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot Line in front 65% / rear 35% of zone lot depth	10'/10'	10'/10'	10'/10'	10'/10'	10'/10'	na
Bulk Plane Slope from Side Interior and Side Street Zone Lot Line		45°	45°	45°	45°	45°	na
				S-SU-F	S-SU-I		
				S-SU-Fx	S-SU-Ix		
				S-SU-F1	S-SU-I1		
		S-SU-A	S-SU-D	S-SU-F1A	S-SU-I1		
SITING		S-SU-A1	S-SU-D1	S-SU-F1x	S-SU-I1x	S-RH-2.5	S-MU-3, -5, -8, -12, -20
ZONE LOT							
Zone Lot <u>Size</u> Area (min)		3,000 sf	6,000 sf	8,500 sf	12,000 sf	6,000 sf	6,000 sf
C	Zone Lot Width (min)	25'	50'	62.5'	62.5'	50'	50'
		All S-SU, RH, -MU Districts					
SETBACKS AND BUILDING COVERAGE BY ZONE LOT WIDTH		25' or Less	Greater than 25' and less than 62'		62' or Greater		
D	Primary Street (min)	15'	For -MU Districts: Calculated per Sec. 13.1.5.9 or 20', whichever is less For all other Districts: Calculated per Sec. 13.1.5.9				
E	Side Street (min)	3'	5'				
F	Side Interior (min)	3'	5'				
G	<u>Rear, where Alley (public or private) abuts a Rear Zone Lot Line (min)</u>	12'	12'				
G	<u>Rear, where no Alley (public or private)/no alley abuts a Rear Zone Lot Line (min)</u>	12'/20'	12'/20'				
Building Coverage per Zone Lot, including all accessory structures (max)		50%	50%				
PARKING BY ZONE LOT WIDTH							
Parking and Drive Lot Coverage in Primary Street Setback (max)		Maximum 16-foot wide measured parallel to the Primary Street zone lot line for any length, or 33% of the zone lot area within the Primary Street setback, whichever is greater					
Vehicle Access		From Alley; or Street access allowed when no Alley present (See Sec. 3.3.7.6)					
H	DETACHED ACCESSORY STRUCTURES	See Sec. 3.3.4					
DESIGN ELEMENTS		All S-SU, RH, -MU Districts					
BUILDING CONFIGURATION							
Rooftop <u>and/or</u> Second Story Decks		See Section 3.3.5.2					
Attached Garage Allowed		(1) Shall not be located closer to the minimum Primary Street <u>setback Zone Lot Line</u> than the Primary Street-facing <u>fa</u> çade(s) comprising at least 65% of the total width of the primary structure enclosing the <u>p</u> Primary <u>u</u> se. (2) May follow the Detached Garage Building Form for Side Street, Side Interior and Rear setbacks provided no permitted height increase has been applied to the Attached Garage.					
I	Primary Street-Facing Attached Garage Door Width in front 50% of zone lot depth (max)	35% of the entire width of the Primary Street-facing façade of the primary structure or 16', whichever is greater					
Upper Story Stepback, for any portion of building with Low-Slope Roof, above 25': Primary Street (min)		10'	10'	10'	na	10'	na
STREET LEVEL ACTIVATION							
J	Pedestrian Access, Primary Street	Entry Feature					
USES		All S-SU, -RH, -MU Districts					

Primary Uses shall be limited to Single Unit Dwelling and permitted Congregate Living, Residential Care and Nonresidential uses. See Division 3.4 Uses and Parking.

See Sections 3.3.5 - 3.3.7 for Supplemental Design Standards, Design Standard Alternatives, and Design Standard Exceptions

B. Duplex

Not to Scale. Illustrative Only.



DUPLEX

HEIGHT		S-RH-2.5	S-MU-3, -5, -8, -12, -20
A	Stories, front 65% / Rear 35% of zone lot depth (max)	2.5/2.5	3/3
A	Feet, front 65% / rear 35% of zone lot depth (max)	30'/30'	32'/32'
	Feet, permitted height increase	1' for every 5' increase in Zone Lot width over 50' up to a maximum height of 35'	
B	Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot Line in front 65% / rear 35% of zone lot depth	10'/10'	na
	Bulk Plane Slope from Side Interior and Side Street Zone Lot Line	45°	na
SITING		S-RH-2.5	S-MU-3, -5, -8, -12, -20
ZONE LOT			
	Zone Lot Size Area (min)	4,500 sf	4,500 sf
C	Zone Lot Width (min)	37.5'	37.5'
SETBACKS AND BUILDING COVERAGE BY ZONE LOT WIDTH		All S-RH and S-MU Districts	
		61' or Less	Greater than 61'
D	Primary Street (min)	For -MU Districts: Calculated per Sec. 13.1.5.9 or 20', whichever is less For all other Districts: Calculated per Sec. 13.1.5.9	
E	Side Street (min)	5'	5'
F	Side Interior (min)	5'	5'
G	Rear, where Alley (public or private) abuts a Rear Zone Lot Line (min)	12'	12'
G	Rear, where no aAlley (public or private)/no alley abuts a Rear Zone Lot Line (min)	12'/20'	12'/20'
	Building Coverage per Zone Lot, including all accessory structures (max)	50%	50%
PARKING BY ZONE LOT WIDTH			
	Parking and Drive Lot Coverage in Primary Street Setback (max %)	50%	50%
	Vehicle Access	From Alley; or Street access allowed when no Alley present (See Sec 3.3.7.6)	
H	DETACHED ACCESSORY STRUCTURES	See Sec. 3.3.4	
DESIGN ELEMENTS		S-RH-2.5	S-MU-3, -5, -8, -12, -20
BUILDING CONFIGURATION			
	Rooftop and/or Second Story Decks	See Section 3.3.5.2	
	Attached Garage Allowed	(1) Shall not be located closer to the minimum Primary Street setback Zone Lot L line than the Primary Street-facing f façade(s) comprising at least 65% of the total width of the primary structure enclosing the p Primary u Use. (2) May follow the Detached Garage Building Form for Side Street, Side Interior and Rear setbacks provided no permitted height increase has been applied to the Attached Garage. -	
I	Primary Street-Facing Attached Garage Door Width in front 50% of zone lot depth (max)	35% of the entire width of the Primary Street-facing façade of the primary structure or 16', whichever is greater	
	Upper Story Stepback, for any portion of building with Low-Slope Roof, above 25': Primary Street (min)	10'	na
STREET LEVEL ACTIVATION			
J	Pedestrian Access, Primary Street	Entry Feature	

USES

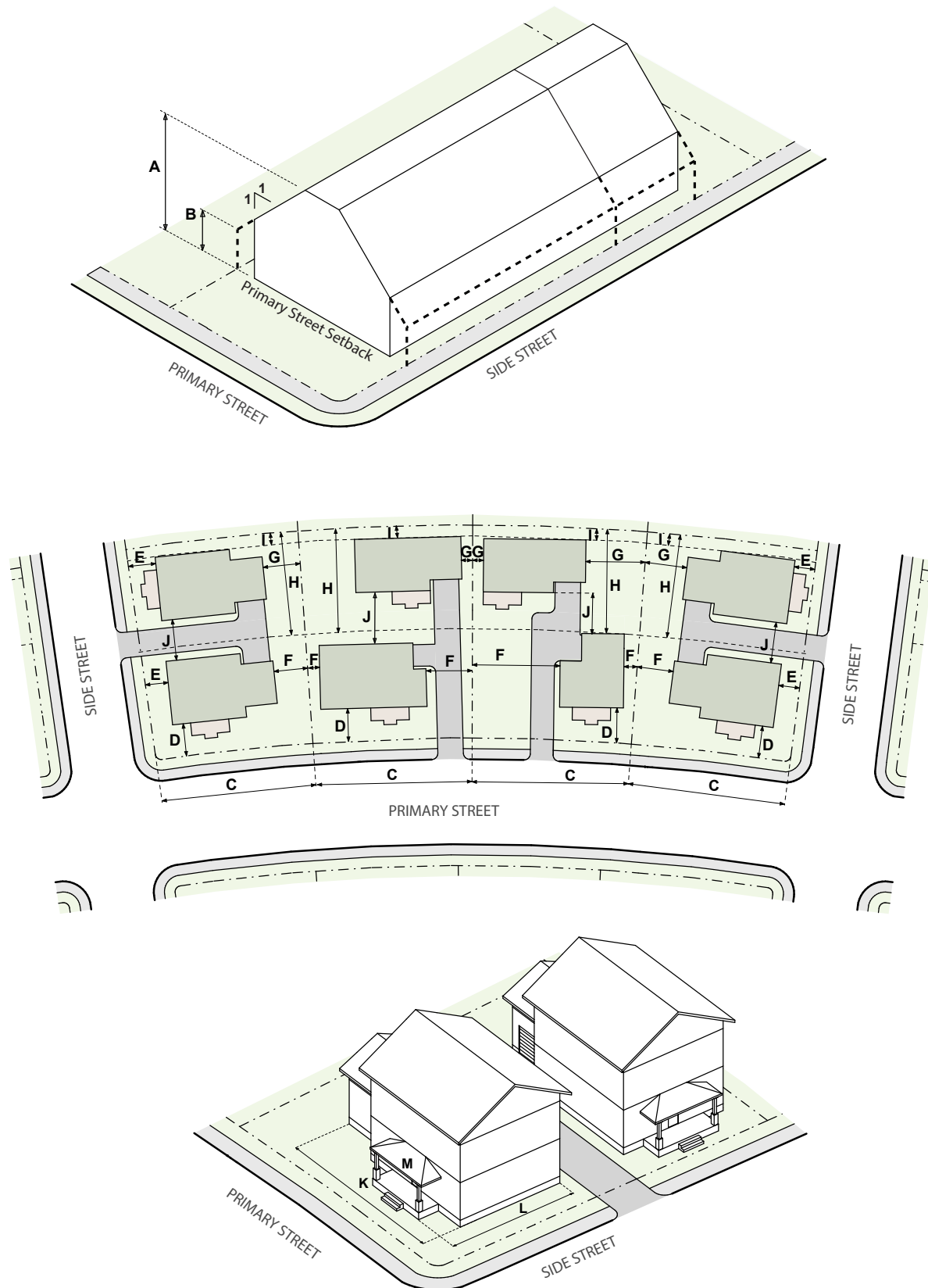
All S-RH and S-MU Districts

Primary Uses shall be limited to Two Unit Dwelling and permitted Congregate Living, Residential Care and Nonresidential uses. See Division 3.4 Uses and Parking

See Sections 3.3.5 - 3.3.7 for Supplemental Design Standards, Design Standard Alternatives and Design Standard Exceptions

C. Tandem House

Not to Scale. Illustrative Only.



TANDEM HOUSE

HEIGHT

S-SU-F1

A Stories (max)	2.5
A Feet (max)	30'
Feet, permitted height increase	1' for every 5' increase in Zone Lot width over 50' up to a maximum height of 35'
B Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot Line	10'
Bulk Plane Slope from Side Interior/Side Street Zone Lot Line	45°

SITING

S-SU-F1

ZONE LOT

Zone Lot Size Area (min)	12,000 sf
C Zone Lot Width (min)	62.5'
Zone Lot Depth (min)	150'
Number of Primary Structures per Zone Lot (max)	2

SETBACKS AND BUILDING COVERAGE

D Primary Street (min)	Calculated per Sec. 13.1.5.9
E Side Street (min)	10'
F Side Interior, for Primary Structure #1 (min one side/min combined)	5'/15'
G Side Interior, for Primary Structure #2 (min one side/min combined)*	5'/15'
H Rear, for Primary Structure #1, as a % of zone lot depth (min)	50%
I Rear, for Primary Structure #2 (min)	5'
Building Coverage per Zone Lot, including all accessory structures (max)	50%

BUILDING SEPARATION

J Horizontal distance between closest above-grade portions of each Primary Structure (min)	6'
---	----

PARKING BY ZONE LOT WIDTH

Parking and Drive Lot Coverage in Primary Street Setback (max %)	50%
Vehicle Access	From Alley; or Street access allowed when no Alley present (See Sec. 3.3.7.6)

DETACHED ACCESSORY STRUCTURES

See Sec. 3.3.4

DESIGN ELEMENTS

S-SU-F1

BUILDING CONFIGURATION

K Overall Structure Width, Primary or Side Street (max)	36'
L Overall Structure Length, Primary or Side Street (max)	42'
Rooftop and/or Second Story Decks	See Section 3.3.5.2
Attached Garage Allowed	(1) Shall not be located closer to the minimum Primary Street setback Zone Lot Line than the Primary Street-facing façade(s) comprising at least 65% of the total width of the primary structure enclosing the p Primary u Use. (2) May follow the Detached Garage Building Form for Side Street, Side Interior and Rear setbacks provided no permitted height increase has been applied to the Attached Garage.
Primary Street-Facing Attached Garage Door Width in front 50% of zone lot depth (max)	35% of the entire width of the Primary Street-facing f façade of the primary structure or 16', whichever is greater
Upper Story Stepback, for any portion of building with Low-Slope Roof, above 25': Primary Street (min), for Structure #1 and for Structure #2 in front 50% of zone lot depth	10'

STREET LEVEL ACTIVATION

M Pedestrian Access, Primary Street	Primary Structure #1: Entry Feature Primary Structure #2: No Requirement
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USES

S-SU-F1

Primary Uses shall be limited to Single Unit Dwelling per primary structure. See Division 3.4 Uses and Parking

See Sections 3.3.5 - 3.3.7 for Supplemental Design Standards, Design Standard Alternatives, and Design Standard Exceptions.

*Must be offset to be visible from the street if to the rear of Primary Structure #1 (side setbacks may be reversed from Primary Structure #1)

D. Row House

Not to Scale. Illustrative Only.



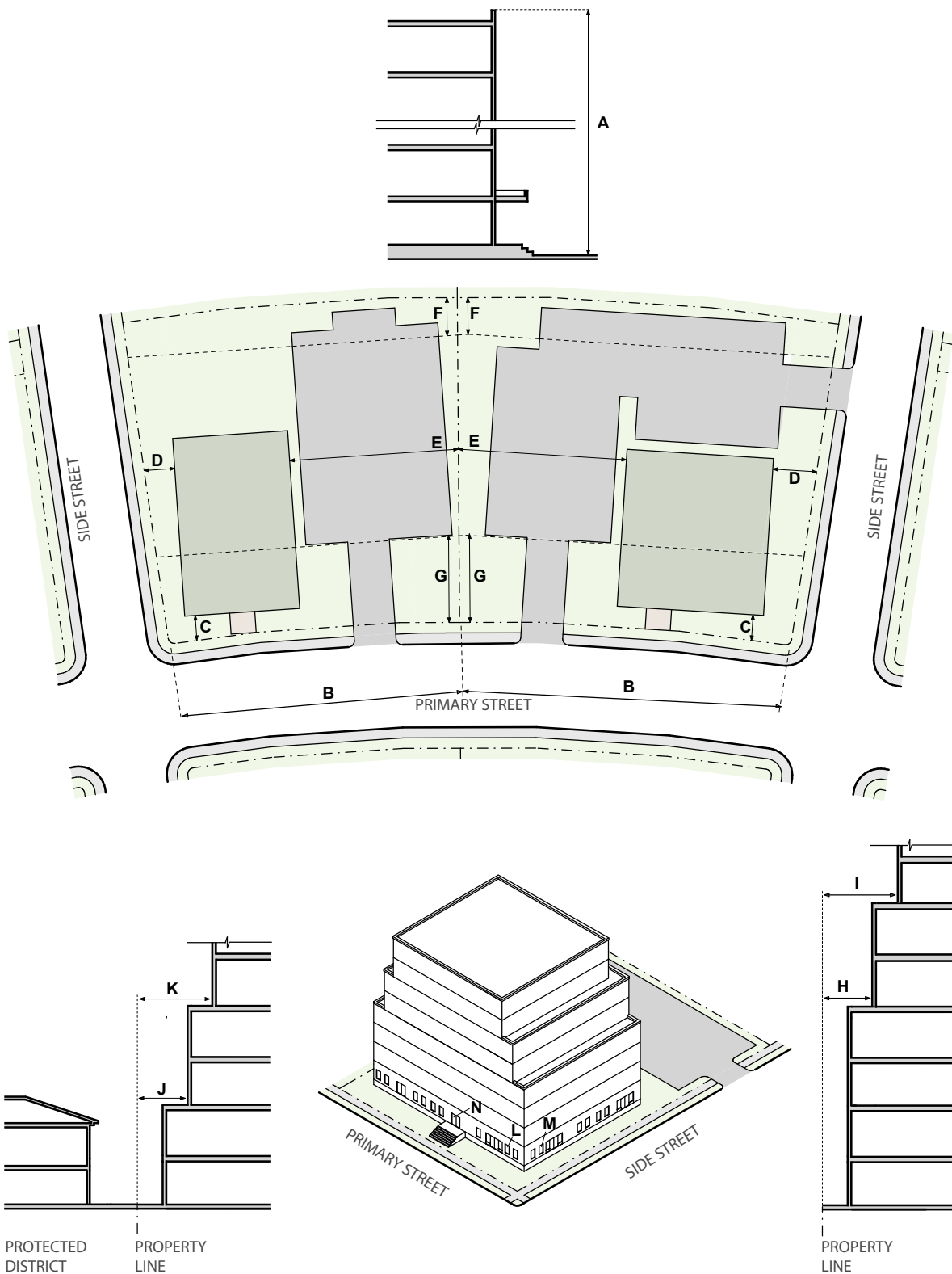
ROW HOUSE

HEIGHT		S-RH-2.5	S-MU-3	S-MU- 5, 8, 12, 20
A	Stories (max)	2.5	3	5
A	Feet (max)	35'	35'	65'
B	Side Wall Height (max)	25'	na	na
SITING		S-RH-2.5	S-MU-3	S-MU- 5, 8, 12, 20
ZONE LOT				
	Zone Lot Size Area (min)	6,000 sf	6,000 sf	6,000 sf
C	Zone Lot Width (min)	50'	50'	50'
	Dwelling Units per Primary Residential Structure (max)	10	na	na
REQUIRED BUILD-TO				
D	Primary Street (min % within min/max)	na	50% 0'/80'	50% 0'/80'
SETBACKS				
E	Primary Street (min)	Calculated per Sec. 13.1.5.9	10'	10'
F	Side Street (min)	5'	5'	5'
G	Side Interior (min)	5'	5'	5'
H	Side Interior, adjacent to Protected District (min)	na	10'	10'
	Rear, where an Alley (public or private) abuts a Rear Zone Lot Line (min)	12'	10'	10'
	Rear, where an a Alley (public or private) does not /no alley abut a Rear Zone Lot Line (min)	12'/20'	10'/20'	10'/20'
	Rear, adjacent to Protected District (min)	na	na	na
PARKING				
	Vehicle Access	From Alley; or Street access allowed when no Alley present		
DETACHED ACCESSORY STRUCTURES		See Sec. 3.3.4		
DESIGN ELEMENTS		S-RH-2.5	S-MU-3	S-MU- 5, 8, 12, 20
BUILDING CONFIGURATION				
I	Dwelling Units Oriented to the Street	All Dwelling Units shall be Oriented to the Street		
	Dwelling Unit Configuration	Structure shall only contain Side-by-Side-Dwelling Units		
J	Primary Street-Facing Attached Garage Door Width (max per unit)	10'	10'	10'
K	Upper Story Stepback, for any portion of building with Low-Slope Roof, above 25': Primary Street, Side Street and Side Interior; (min)	10'	na	na
	Upper Story Setback A above 40'; Side; interior	na	na	15'
	Upper Story Setback above 51'; Side; interior	na	na	15'
L	Upper Story Setback Above 27', adjacent to Protected District: Side Interior	na	25'	25'
	Upper Story Setback above 27', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	na	na	20'/25'
	Upper Story Setback above 40', adjacent to Protected District: Rear, alley/Rear, no alley (min)	na	na	30'/40'
	Upper Story Setback above 51', adjacent to Protected District: Side Interior (min)	na	na	40'
	Rooftop and /or Second Story Decks	See Section 3.3.5.2		
	Attached Garage Allowed	May follow the Detached Accessory Structure building form Side-Street, Side Interior, and Rear setbacks		
STREET LEVEL ACTIVATION				
M	Transparency, Primary Street (min)	30%	30%	30%
	Transparency, Side Street (min)	25%	25%	25%

N	Pedestrian Access	Each unit shall have a street-facing Entrance
	USES	All S-RH and S-MU Districts
		Primary Uses shall be limited to Multi-Unit Dwelling uses. See Division 3.4, Uses and Parking
See Sections 3.3.5 - 3.3.7 for Supplemental Design Standards, Design Standard Alternatives, and Design Standard Exceptions.		

E. Apartment

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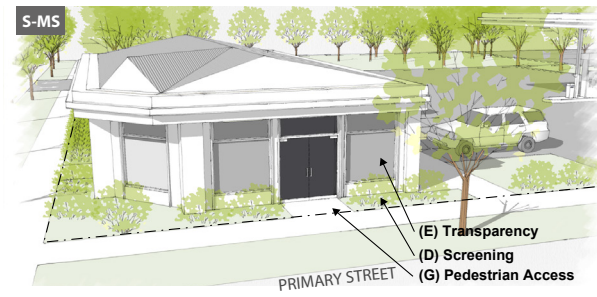
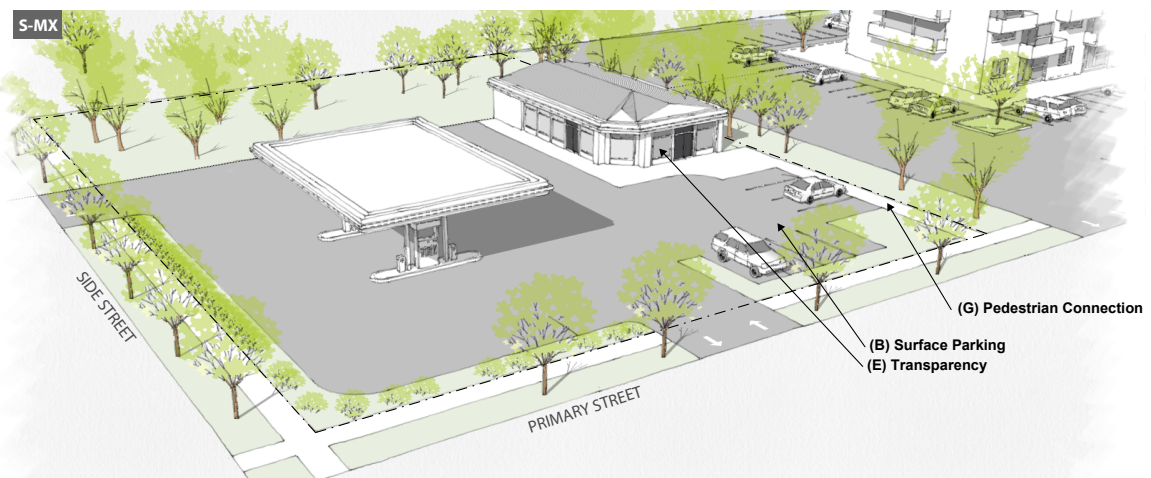


APARTMENT

HEIGHT		S-MU-3	S-MU-5	S-MU-8	S-MU-12	S-MU-20
A	Stories (max)	3	5	8	12	20
A	Feet (max)	40'	65'	100'	140'	230'
	Stories/Feet, with incentives (max)	4/50'	7/90'	12/140'	16/185'	30/340'
		See Section 10.12.1				
	Feet, within 175' of Protected District (max)	na	75'	75'	75'	75'
SITING		S-MU-3	S-MU-5	S-MU-8	S-MU-12	S-MU-20
ZONE LOT						
	Zone Lot Size Area (min)	6,000 sf	6,000 sf	6,000 sf	6,000 sf	6,000 sf
	Zone Lot Width (min)	50'	50'	50'	50'	50'
	Building Coverage per Zone Lot, including all accessory structures (max)	na	na	na	70%	70%
REQUIRED BUILD-TO						
B	Primary Street (min % within min/max)	50% 0'/80'	50% 0'/80'	50% 0'/80'	50% 0'/80'	50% 0'/80'
SETBACKS						
C	Primary Street (min)	10'	10'	10'	10'	10'
D	Side Street (min)	5'	5'	5'	5'	5'
E	Side Interior (min)	7.5'	7.5'	7.5'	7.5'	7.5'
	Side Interior adjacent to Protected District (min)	10'	10'	10'	10'	10'
F	Rear, where Alley (public or private) abuts a Rear Zone Lot Line (min)	10'	10'	10'	10'	10'
F	Rear, where a Alley (public or private)/no alley does not abut a Rear Zone Lot Line (min)	10' 20'	10' 20'	10' 20'	10' 20'	10' 20'
	Building Coverage per Zone Lot, including all accessory structures (max)	na	na	na	70%	70%
PARKING						
	Surface Parking between building and Primary Street/Side Street	Allowed/Allowed				
	Vehicle Access, 3 or more Side-by-Side Dwelling Units in One Structure	From Alley; or Street access allowed when no Alley present See Section 3.3.7.6				
	Vehicle Access, all other permitted uses	Access determined at Site Development Plan Review				
DESIGN ELEMENTS		S-MU-3	S-MU-5	S-MU-8	S-MU-12	S-MU-20
BUILDING CONFIGURATION						
	Primary Street-Facing Attached Garage Door Width (max per structure)	20'	20'	20'	20'	20'
H	Upper Story Setback Above 40', Side Interior	na	15'	na	na	na
	Upper Story Setback Above 51', Side Interior	na	na	15'	15'	15'
I	Upper Story Setback Above 75', Rear, alley/Rear, no alley and Side Interior	na	na	20'/30'	20'/30'	20'/30'
J	Upper Story Setback above 27', adjacent to Protected District: Side Interior (min)	25'	25'	25'	25'	25'
K	Upper Story Setback Above 40', adjacent to Protected District: Rear, alley/no alley	na	30'/40'	30'/40'	30'/40'	30'/40'
	Upper Story Setback above 51', adjacent to Protected District: Side Interior (min)	na	40'	40'	40'	40'
STREET LEVEL ACTIVATION						
L	Transparency, Primary Street (min)	30%	30%	30%	30%	30%
M	Transparency, Side Street (min)	25%	25%	25%	25%	25%

N Pedestrian Access, Primary Street	Pedestrian Connection
USES	All S-MU
	Primary Uses shall be limited to Multi Unit Dwelling and permitted Congregate Living, Residential Care, and Nonresidential uses. See Division 3.4
See Sections 3.3.5 - 3.3.7 for Supplemental Design Standards, Design Standard Alternatives and Design Standard Exceptions	

Drive Thru Services



DRIVE THRU SERVICES

APPLICABILITY		All S-CC, S-MX, and S-MS		
		Form is not permitted on Zone Lots within 1/4 mile of the outer boundary of a Rail Transit Station Platform		
HEIGHT		S-MX-2	S-CC-3, -3x, -5, -5x S-MX-3, -5, -8, -12 S-MS-3, -5	
Stories (max)		2	3	
Feet (max)		30'	45'	
SITING		S-CC-3, -3x, -5, -5x	S-MS-3, -5	S-MX-2, -3, -5, -8, -12
REQUIRED BUILD-TO				
Primary Street (min % within min/max)*		na	50% 0'/15'	na
Side Street (min % within min/max)*		na	50% 0'/15'	na
SETBACKS				
Primary Street (min)		0'	0'	0'
Side Street (min)		0'	0'	0'
Side Interior (min)		0'	0'	0'
A	Side Interior, adjacent to Protected District (min)	10'	10'	10'
	Rear (min)	0'	0'	0'
Rear, adjacent to a Protected District, alley/ no alley Rear, adjacent to Protected District, where an Alley (public or private) does not abut a Rear Zone Lot Line (min)		0'/10'	0'/10'	0'/10'
PARKING				
B	Surface Parking between building and Primary Street/Side Street	Allowed/Allowed	Not Allowed/Allowed	Allowed/Allowed
DESIGN ELEMENTS		S-CC-3, -3x, -5, -5x	S-MS-3, -5	S-MX-2, -3, -5, -8, -12
BUILDING CONFIGURATION				
C	*Canopy	na	Building shall be used to meet a portion of the Primary and Side Street Build-To. Canopy may be used to meet a portion of the Primary and Side Street Build-To.	na
D	Screening Required	See Article 10	Garden Wall required within 0'/15' for 100% of the zone lot's Primary and Side Street frontages, excluding access points and portions of building within 0'/15', following the standards of Article 10, Section 10.5.4.4	
Upper Story Setback Above 27', adjacent to Protected District: Rear, alley/ Rear, no alley and Side Interior (min)		15'/25'	15'/25'	15'/25' S-MX-2: na
STREET LEVEL ACTIVATION				
E	Transparency, Primary Street (min)	40%*	60%	40%*
F	Transparency, Side Street (min)	25%*	25%	25%*
G	Pedestrian Access, Primary Street	Pedestrian Connection	Entrance	Pedestrian Connection
USES		All S-CC, S-MX, and S-MS		

All permitted Primary Uses shall be allowed within this building form, if the building form includes at least one of the following: (1) an Automobile Services, Light Primary Use, or (2) a Primary Use with Accessory Drive Thru Use, excluding Eating & Drinking Establishments. See Division 3.4 Uses and Required Minimum Parking.

*Applies only to street-facing portions of building facade located within 80' of the Primary and/or Side Street.

F. Drive Thru Restaurant

S-MS



S-MS



DRIVE THRU RESTAURANT

APPLICABILITY

All S-CC, S-MX, and S-MS

Amendment: 4

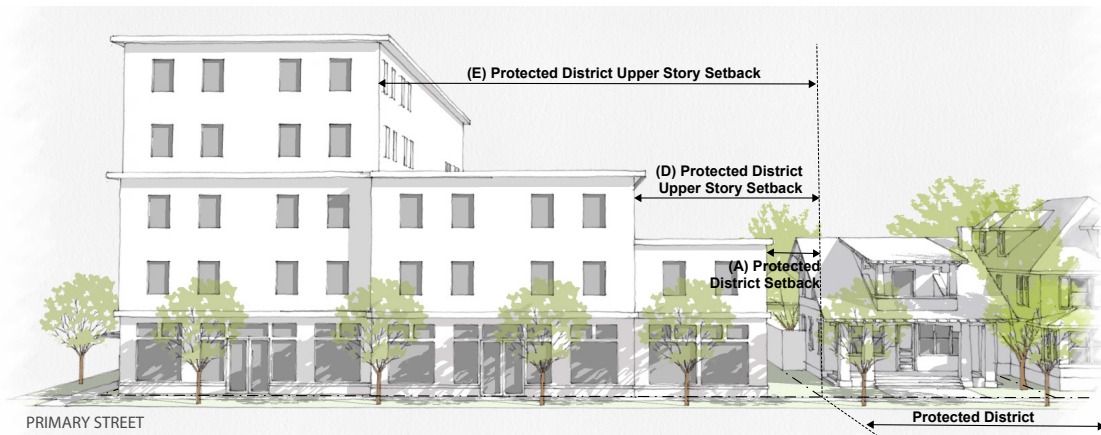
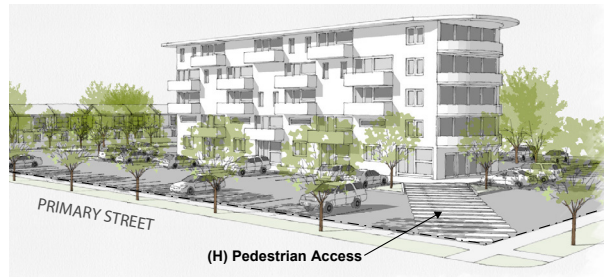
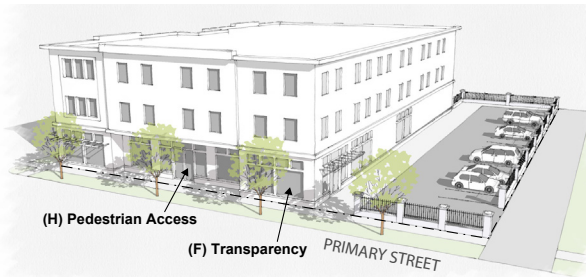
Form is not permitted on Zone Lots within 1/4 mile of the outer boundary of a Rail Transit Station Platform

HEIGHT		S-MX-2	S-CC-3, -3x, -5, -5x S-MX-3, -5, -8, -12 S-MS-3, -5	
Stories (max)		2	3	
Feet (max)		30'	45'	
		S-CC-3, -3x, -5, -5x	S-MX-2, 3, -5, -8, -12	S-MS-3, -5
SITING				
REQUIRED BUILD-TO				
Primary Street (min % within min/max)		na	50% 0'/80'	50% 0'/35'
Side Street (min % within min/max)		na	na	50% 0'/18'
SETBACKS				
Primary Street (min)		0'	0'	0'
Side Street (min)		0'	0'	0'
Side Interior (min)		0'	0'	0'
Side Interior, adjacent to Protected District (min)		10'	10'	10'
Rear (min)		0'	0'	0'
Rear, adjacent to Protected District, <u>where an Alley (public or private) abuts a Rear Zone Lot Line/ no alley</u> (min)		0'	0'	0'
Rear, adjacent to Protected District, <u>where an Alley (public or private) does not abut a Rear Zone Lot Line (min)</u>		0'/10'	0'/10'	0'/10'
PARKING				
Surface Parking between building and Primary Street/Side Street		Allowed/Allowed	Allowed/Allowed	Not allowed/Not Allowed
A Drive Thru Lane between building and Primary Street/Side Street		Allowed/Allowed	Allowed/Allowed	Allowed/Allowed
Drive Thru Lane Width (max)		na	na	12'
B Drive Thru Lane Screening		na	na	Garden Wall, following the standards of Article 10, Section 10.5.4.4
		S-CC-3, -3x, -5, -5x	S-MX-2, -3, -5, -8, -12	S-MS-3, -5
DESIGN ELEMENTS				
BUILDING CONFIGURATION				
Upper Story Setback Above 27', adjacent to Protected District: Rear, alley/ Rear, no alley and Side interior (min)		15'/25'	15'/25' S-MX-2: na	15'/25'
STREET LEVEL ACTIVATION				
C Transparency, Primary Street (min)		40%*	40%	60%
D Transparency, Side Street (min)		25%*	25%	25%
E Pedestrian Access, Primary Street		Pedestrian Connection	Pedestrian Connection	Entrance and Pedestrian Connection
USES		All S-CC, S-MX, and S-MS		
All permitted Primary Uses shall be allowed within this building form, if the building form includes a minimum of one Eating & Drinking Establishment Primary Use with Accessory Drive Thru Use. See Division 3.4 Uses and Required Minimum Parking.				

*Applies only to street-facing portions of building facade located within 80' of the Primary and/or Side Street

G. General (1 of 3)

Not to Scale. Illustrative Only.



GENERAL (1 OF 3)

	S-CC-3 S-CC-3x	S-CC-5 S-CC-5x
HEIGHT		
Stories(max)	3	5
Feet (max)	45'	70'
Stories/Feet, with incentives (max)	4/55'	7/95'
	See Section 10.12.1	
Feet, within 175' of Protected District (max)	na	75'
Height Exceptions	See Section 3.3.7.1	

	S-CC-3, -3x, -5, -5x
SITING	
SETBACKS	
Primary Street (min)	0'
Side Street (min)	0'
Side Interior (min)	5'
A Side Interior, adjacent to Protected District (min)	10'
Rear (min)	0'
Rear, adjacent to Protected District, <u>where Alley (public or private) abuts a Rear Zone Lot Line/no alley</u> (min)	0'
Rear, adjacent to Protected District, <u>where Alley (public or private) does not abut a Rear Zone Lot Line</u> (min)	0'/10'
Setback Exceptions and Encroachments	See Sections 3.3.7.3 and 3.3.7.4
PARKING	
B Surface Parking between building and Primary Street/ Side Street	Allowed/Allowed
C Surface Parking Screening	See Division 10.5
Vehicle Access, 3 or more side-by-side dwelling units in one structure	From Alley; or Street access allowed when no Alley present See Section 3.3.7.6
Vehicle Access, all other permitted uses	Access determined at Site Development Plan Review

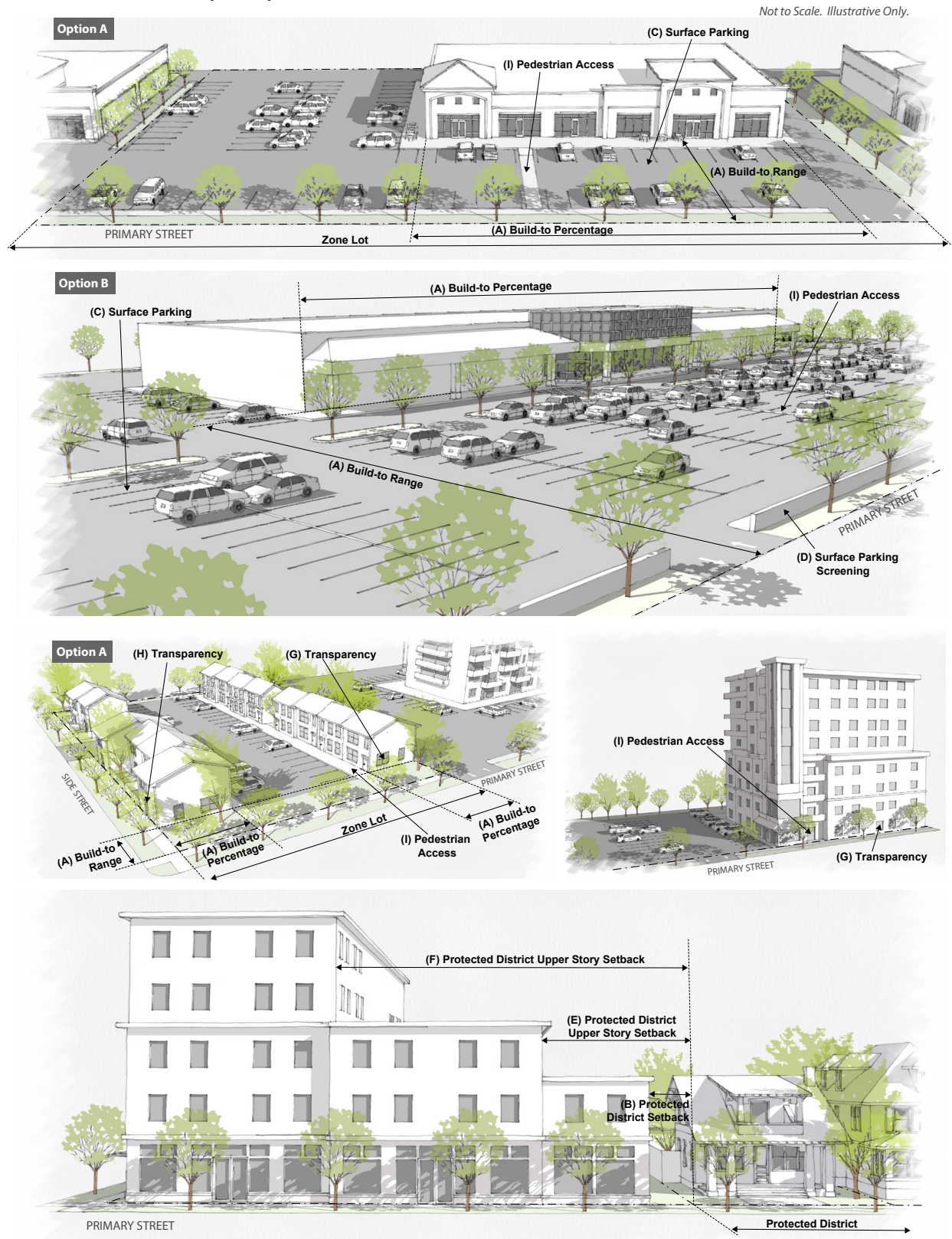
	S-CC-3 S-CC-3x	S-CC-5 S-CC-5x
DESIGN ELEMENTS		
BUILDING CONFIGURATION		
D Upper Story setback above 27', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	15'/25'	20'/25'
E Upper story setback above 51', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	na	35'/40'
STREET LEVEL ACTIVATION		
F Transparency, Primary Street (min)	40%*	Residential Only Buildings: 30%*
G Transparency, Side Street (min)	25%*	
Transparency Alternatives	See Section 3.3.6.3	
H Pedestrian Access, Primary Street	Pedestrian Connection	
USES	All S-CC	

All permitted Primary Uses shall be allowed within this building form. See Division 3.4

*Applies only to street-facing portions of building facade located within 80' of the Primary and/or Side Street

See Sections 3.3.5 - 3.3.7 for Supplemental Design Standards, Design Standard Alternatives, and Design Standard Exceptions.

H. General (2 of 3)



GENERAL (2 OF 3)

HEIGHT

Stories (max)

● Amendment: 4

S-MX-2x	S-MX-2	S-MX-3	S-MX-5	S-MX-8	S-MX-12
2	2	3	5	8	12

DENVER ZONING CODE

June 25, 2010 | Republished July 1, 2021

| 3.3-27

Feet (max)	30'	30'	45'	70'	110'	150'
Stories/Feet, with incentives (max)	na	na	4/55'	7/95'	12/150'	16/200'
	See Section 10.12.1					
Feet, within 175' of Protected District (max)	na	na	na	75'	75'	75'

Height Exceptions

See Section 3.3.7.1

SITING	All S-MX Option A	All S-MX Option B
RESTRICTION	na	Allowed only if Street Level GFA is equal or greater than 20,000 sf

REQUIRED BUILD-TO

A Primary Street (min build-to % within min/max range)	50% 0'/80'	50% 0'/150'
--	---------------	----------------

Build-to Exceptions and Alternatives

See Sections 3.3.7.2 and 3.3.6.1

See Sections 3.3.7.2 and 3.3.6.1

SETBACKS

Primary Street (min)	0'	0'
Side Street (min)	0'	0'
Side Interior (min)	0'	0'
B Side Interior, adjacent to Protected District (min)	10'	10'
Rear (min)	0'	0'

Rear, adjacent to Protected District, where an alley (public or private) abuts a Rear Zone Lot Line/no alley (min)

S-MX-2x: 12'
All Other Zone Districts: 0'

S-MX-2x: 12'
All Other Zone Districts: 0'

Rear, adjacent to Protected District, where an alley (public or private) does not abut a Rear Zone Lot Line (min)

S-MX-2x: 12'/20'
All Other Zone Districts: 0'/10'

S-MX-2x: 12'/20'
All Other Zone Districts: 0'/10'

Setback Exceptions and Encroachments

See Sections 3.3.7.3 and 3.3.7.4

See Sections 3.3.7.3 and 3.3.7.4

PARKING

C Surface Parking between building and Primary Street/Side Street	Allowed/Allowed	Allowed, limited to two double loaded aisles within the Build-To range/Allowed
D Surface Parking Screening	See Division 10.5	Garden Wall required within 0'/15' for 100% of the zone lot's Primary and Side Street frontages, excluding access points and portions of building within 0'/15' following the standards of Section 10.5.4.4
Vehicle Access, 3 or more side-by-side dwelling units in one structure	From Alley; or Street access allowed when no Alley present See Section 3.3.7.6	
Vehicle Access, all other permitted uses	Access determined at Site Development Plan Review	

DESIGN ELEMENTS

BUILDING CONFIGURATION

E Upper Story setback above 27', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	na	na	15'/25'	20'/25'	20'/25'	20'/25'
F Upper story setback above 51', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	na	na	na	35'/40'	35'/40'	35'/40'

STREET LEVEL ACTIVATION

G Transparency, Primary Street (min)	40%* Residential Only Buildings: 30%*					
H Transparency, Side Street (min)	25%*					
Transparency Alternatives	See Section 3.3.6.3					
I Pedestrian Access, Primary Street	Pedestrian Connection					

USES

S-MX-2x, -2, -3, -5, -8, -12

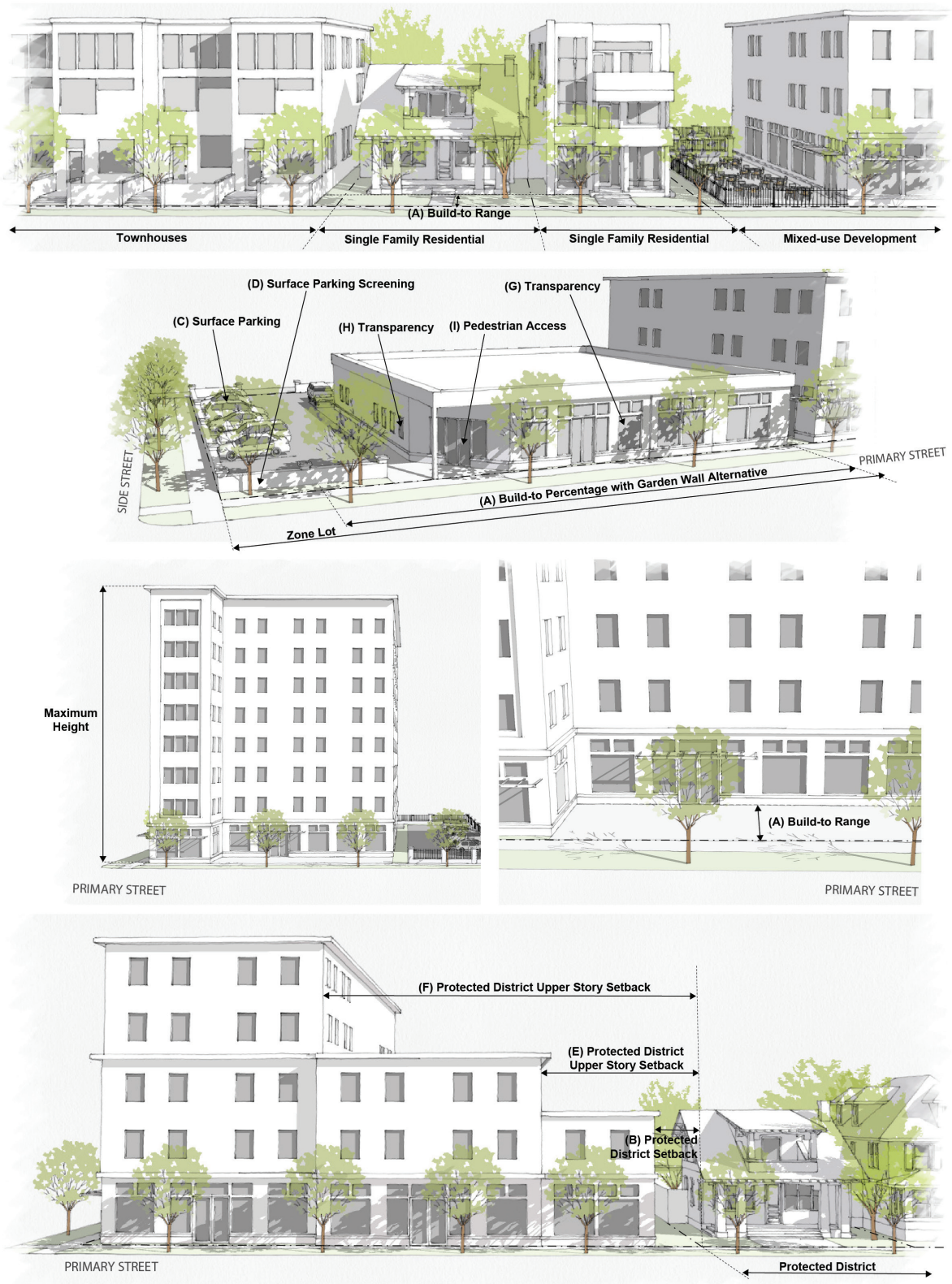
(1) All permitted Primary Uses shall be allowed within this building form. See Division 4.4 Uses and Parking; and (2) 40% of the street-facing portions of building façade located within 80' of the Primary Street shall be occupied by Street Level active uses as described in Section 3.3.5.3.

*Applies only to street-facing portions of building facade located within 80' of the Primary and/or Side Street.

See Sections 3.3.5 - 3.3.7 for Supplemental Design Standards, Design Standard Alternatives, and Design Standard Exceptions.

I. General (3 of 3)

Not to Scale. Illustrative Only.



GENERAL (3 OF 3)

HEIGHT	S-MX-2A	S-MX-3A	S-MX-5A	S-MX-8A	S-MX-12A
Stories (max)	2	3	5	8	12
Feet (max)	30'	45'	70'	110'	150'
Stories/Feet, with incentives (max)	na	4/55'	7/95'	12/150'	16/200'
	See Section 10.12.1				
Feet, within 175' of Protected District (max)	na	na	75'	75'	75'
Height Exceptions	See Section 3.3.7.1				

SITING

S-MX-2A, -3A, -5A, -8A, -12A

REQUIRED BUILD-TO

A	Primary Street (min build-to % within min/max range)	60% 0'/20'
	Side Street (min build-to % within min/max range)	na
	Build-to Exceptions and Alternatives	See Sections 3.3.7.2 and 3.3.6.1

SETBACKS

	Primary Street (min)	0'
	Side Street (min)	0'
	Side Interior (min)	0'
B	Side Interior, adjacent to Protected District (min)	10'
	Rear (min)	0'
	Rear, where the Rear Zone Lot Line is adjacent to a Protected District and the Rear Zone Lot Line abuts an Alley (public or private) (min)	0'
	Rear, where the Rear Zone Lot Line is adjacent to a Protected District and the Rear Zone Lot Line does not abut an Alley (public or private) alley/no alley (min)	0'/10'
	Setback Exceptions and Encroachments	See Sections 3.3.7.3 and 3.3.7.4

PARKING

C	Surface Parking between building and Primary Street/ Side Street	Not Allowed/Allowed
D	Surface Parking Screening	See Division 10.5
	Vehicle Access, 3 or more side-by-side dwelling units in one structure	From Alley; or Street access allowed when no Alley present See Section 3.3.7.6
	Vehicle Access, all other permitted uses	Shall be determined as part of Site Development Plan Review

DESIGN ELEMENTS

BUILDING CONFIGURATION

E	Upper Story setback above 27', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	na	15'/25'	20'/25'	20'/25'	20'/25'
F	Upper story setback above 51', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	na	na	35'/40'	35'/40'	35'/40'

STREET LEVEL ACTIVATION

G	Transparency, Primary Street (min)	40%
		Residential Only Buildings: 30%
H	Transparency, Side Street (min)	25%
	Transparency Alternatives	See Section 3.3.6.3
I	Pedestrian Access, Primary Street	Entrance

USES

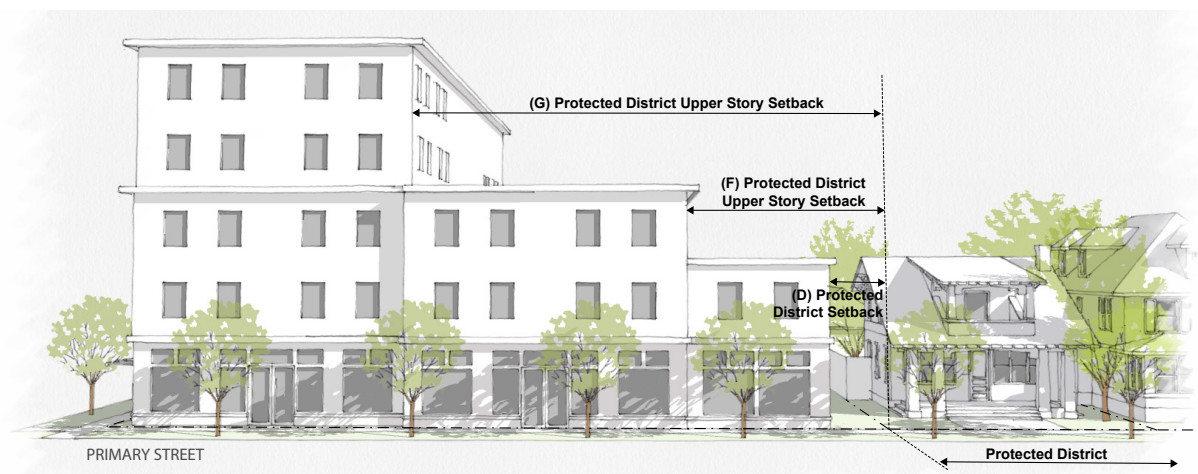
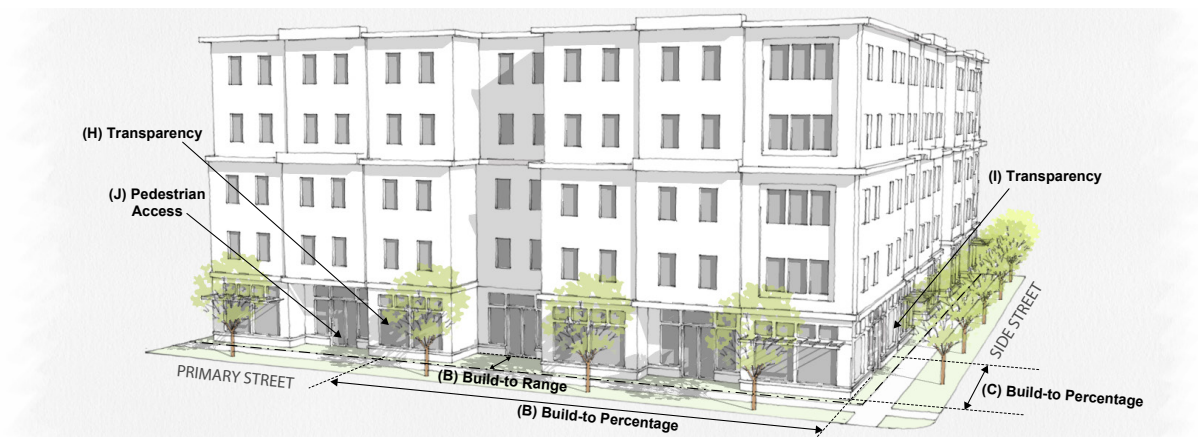
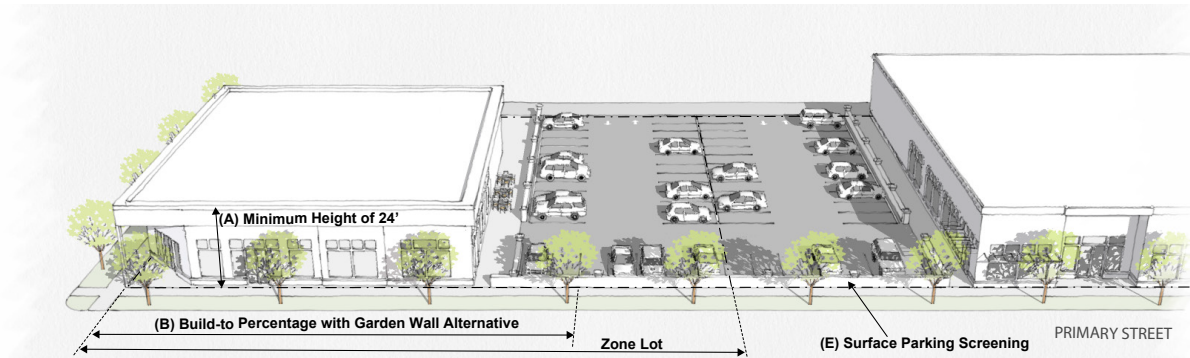
S-MX-2A, -3A, -5A, -8A, -12A

(1) All permitted Primary Uses shall be allowed within this building form; and (2) 40% of the portion of the Street Level building frontage that meets the minimum Primary Street build-to requirement shall be occupied by Street Level active uses as described in Section 3.3.5.3.

See Sections 3.3.5 - 3.3.7 for Supplemental Design Standards, Design Standard Alternatives and Design Standard Exceptions

J. Shopfront

Not to Scale. Illustrative Only.



SHOPFRONT

		S-MX-2	S-MS-3	S-MS-5	S-MX-8	S-MX-12
		S-MX-2x	S-MX-3	S-MX-5	S-MX-8A	S-MX-12A
HEIGHT		S-MX-2A	S-MX-3A	S-MX-5A		S-MX-12A
	Stories (max)	2	3	5	8	12
A	Feet (min/max)	na/30'	na/45'	24'/70'	24'/110'	24'/150'
	Stories/Feet, with incentives (max)	na	4/55'	7/95'	12/150'	16/200'
	Feet, within 175' of Protected District (max)	na	na	75'	na	na
Height Exceptions		See Section 3.3.7.1				
		S-MX-2	S-MS-3	S-MS-5		
		S-MX-2x	S-MX-3	S-MX-5	S-MX-8	S-MX-12
		S-MX-2A	S-MX-3A	S-MX-5A	S-MX-8A	S-MX-12A
SITING						
REQUIRED BUILD TO						
B	Primary Street (min build-to % within min/max range)	75%				
		0'/5' Residential Only Buildings: 0'/10'				
C	Side Street (min build-to % within min/max range)	25%				
		0'/5' Residential Only Buildings: 0'/10'				
Build-to Exceptions and Alternatives		See Sections 3.3.7.2 and 3.3.6.1				
SETBACKS						
	Primary Street (min)	0'				
	Side Street (min)	0'				
	Side Interior (min)	0'				
D	Side interior, adjacent to Protected District (min)	10'				
	Rear, (min)	0'				
	Rear, adjacent to Protected District, where an Alley (public or private) abuts a Rear Zone Lot Line/no alley (min)	S-MX-2x: 12'				
		All Other Zone Districts: 0'				
	Rear, adjacent to Protected District, where an Alley (public or private) does not abut a Rear Zone Lot Line (min)	S-MX-2x: 12'±20'				
		All Other Zone Districts: 0'±10'				
Setback Exceptions and Encroachments		See Sections 3.3.7.3 and 3.3.7.4				
PARKING						
	Surface Parking between building and Primary Street/Side Street	Not Allowed/Not Allowed				
		See Section 3.3.5.1				
	Vehicle Access, 3 or more side-by-side dwelling units in one structure	From Alley; or Street access allowed when no Alley present				
		See Section 3.3.7.6				
	Vehicle Access, all other permitted uses	Access determined at Site Development Plan Review				
E	Surface Parking Screening	See Division 10.5				
		S-MX-2	S-MS-3	S-MS-5		
		S-MX-2x	S-MX-3	S-MX-5	S-MX-8	S-MX-12
		S-MX-2A	S-MX-3A	S-MX-5A	S-MX-8A	S-MX-12A
DESIGN ELEMENTS						
BUILDING CONFIGURATION						
	Primary Street Upper Story Setback above 5 stories or 70' (min) See Section 3.3.6.2 for Alternative	na	na	na	20'	20'
F	Upper Story Setback above 27' adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	na	15'/25'	20'/25'	20'/25'	20'/25'
G	Upper story setback above 51' adjacent to Protected District: Rear, alley/no alley and Side Interior (min)	na	na	35'/40'	35'/40'	35'/40'
STREET LEVEL ACTIVATION						
H	Transparency, Primary Street (min)	60%				
		Residential Only Buildings: 40%				
I	Transparency, Side Street (min)	25%				
	Transparency Alternatives	See Section 3.3.6.3				
J	Pedestrian Access, Primary Street	Entrance				
USES		All S-MS and S-MX Zone Districts				

(1) All permitted Primary Uses shall be allowed within this building form. See Division 3.4; and (2) 100% of the portion of the Street Level building frontage that meets the minimum Primary Street and Side Street build-to requirements shall be occupied by Street Level active uses as described in Section 3.3.5.3.

See Sections 3.3.5 - 3.3.7 for Supplemental Design Standards, Design Standard Alternatives and Design Standard Exceptions

SECTION 3.3.4 ~~DETACHED ACCESSORY~~ BUILDING FORM STANDARDS FOR DETACHED ACCESSORY STRUCTURES

3.3.4.1 Applicability

All detached accessory structures in all the Suburban Neighborhood Context zone districts.

3.3.4.2 ~~General Standards~~ Detached Accessory Structures Allowed

A. ~~Detached Accessory Structures Allowed~~

Allowed detached accessory structures include, ~~but are not limited to~~ the following:

B. Structures, Completely Enclosed: ~~(See Division 13.3, Definitions of Words, Terms and Phrases.)~~

Examples include, ~~but are not limited to~~, sheds, utility buildings, playhouses, ~~cabanas~~, pool houses, garages, guard houses, and other similar Completely Enclosed Structures.

C. Structures, Partially Enclosed: ~~(See Division 13.3, Definitions of Words, Terms and Phrases.)~~

Examples include, ~~but are not limited to~~, carports, gazebos, porches, trellises, ~~cabanas~~, chicken coops, and other similar Partially Enclosed Structures.

D. Structures, Open: ~~(See Division 13.3, Definitions of Words, Terms and Phrases.)~~

Examples include, ~~but are not limited to~~, pools and associated surrounds, hot tubs and associated surrounds, decks, balconies, recreational and play facilities, non-commercial barbecues, outside fireplaces, outdoor eating areas, and other similar Open Structures.

E. Utilities, and Equipment Common and Customary to the Primary Structure and/or Use

Examples include, ~~but are not limited to~~ the following:

1. Radio and Television Receiving Antennas and Support Structures
2. Permitted accessory radio and television receiving antennas and support structures shall include satellite dishes less than 32 inches in diameter, and one amateur radio sending and receiving antenna and support structures provided for same.
3. Solar thermal and photo-voltaic energy systems
4. ~~Air conditioning units~~ Ground-mounted mechanical equipment such as air conditioning units and heat pumps
5. Pool pumps, heating and water filtration systems
6. ~~Mailboxes including individual mailbox structures and cluster box units (CBUs)~~
7. Other similar Detached Accessory Structures, Utilities, and Equipment Common and Customary to the Primary Structure and/or Use

F. Fences, Walls and Retaining Walls

All accessory ~~f~~Fences, ~~w~~Walls, and ~~r~~Retaining ~~w~~Walls, including ~~f~~Fences and ~~w~~Walls used for required screening, shall comply with the ~~f~~Fence, ~~w~~Wall, and screening standards in Division 10.5 instead of this Section 3.3.4.

G. Detached Accessory Structures Not Listed

1. The Zoning Administrator shall determine and impose limitations on accessory structures not otherwise listed as allowed in an applicable Use Table in Articles 3 through 9, or not otherwise covered by the standards in this Section 3.3.4.
2. All such determinations shall be reviewed according to the procedures and review criteria stated in Section 12.4.6, Code Interpretations and Determination of Unlisted Uses. In addition to the criteria stated in Section 12.4.6, the Zoning Administrator shall determine whether a proposed accessory structure is common and customary to the primary struc-

ture on the zone lot or to a specific primary use, and if the structure is incidental to the primary structure(s) on the zone lot or to a specific primary use.

3. The Zoning Administrator may impose limitations on the proposed accessory structure, which shall be uniform throughout the zone district, and taking into consideration the size of the accessory structure, the total number of structures on the zone lot, and the effect on adjacent property.
4. Matters that may be regulated according to this Section shall include, but shall not be limited to, the size, area and number of accessory structures, except as specifically permitted or excluded by Articles 3 through 9, or by this Section 3.3.4.

3.3.4.3 Supplemental Standards

A. Additional Standards for Detached Accessory Structures in All Zone Districts

1. Building Coverage

All detached accessory structures on a zone lot, together with the primary structure(s) on such zone lot, shall not exceed any maximum building coverage standard (taking into account any permitted exemptions) applicable in the subject zone district for a particular primary building form (e.g., the suburban house, urban house, and duplex building forms are all subject to a maximum building coverage standard).

2. Public Art

A detached accessory structure may be allowed to exceed any Detached Accessory Building Form standard if it is a “work of Public Art” as defined by Section 20-86 of the Denver Revised Municipal Code, as determined by the Zoning Administrator with input from Denver Arts and Venues, and if the Zoning Administrator determines that such exception (1) will have no adverse impacts on abutting property, and (2) shall not substantially harm the public health, safety, and general welfare.

B. ~~Additional Standards~~ Required Building Materials for Detached Accessory Structures ~~Accessory to Single Unit Dwellings~~

1. ~~Required Building Materials~~

All ~~accessory~~ structures ~~accessory to primary single unit dwelling use~~ shall be constructed of materials that are ~~(1) compatible with the materials employed on the primary building, (2) durable, and (3) are not constructed and not~~ from salvaged materials such as doors, or other similar materials as designated by the Zoning Administrator.

C. Limit on Gross Floor Area in Additional Standards for the General Detached Accessory Structure Building Forms

1. Applicability

This section applies to the General Detached ~~Accessory~~ Structure ~~accessory~~ building forms in the CC, MX, and MS zone districts only.

2. Limit on Gross Floor Area

If an accessory use is operated partially or entirely in one or more General D detached ~~accessory s~~ structures, the gross floor area of such ~~detached accessory~~ structures shall not exceed 10 percent of the area of the ~~z~~ Zone L lot; ~~provided, however, that~~ this limitation shall not apply to General D detached ~~accessory~~ structures with vehicle access doors.

3.3.4.4 District Specific Standards Summary

The table below states the building forms allowed in each zone district. The table also summarizes the maximum number of structures allowed per Zone Lot, which is stated in more detail in Section 1.2.3.5 (Number of Uses and Structures Allowed per Zone Lot).

See also Division 1.4, Building Form Standards - General Provisions, for additional standards related to initial assignment of building form standards to new and existing structures and for rules governing combining or changing building forms. Building Connectors between two detached structures shall follow the standards provided in Section 1.4.5.

Note: The table below is intended to show that CPD proposes to combine Other Detached Accessory Structures with Detached Garages and Detached Accessory Structures into a single building form called General Detached Structure. The red boxes under General Detached Structure for the Commercial Corridor, Mixed Use, and Main Street districts show that those standards are being moved to the combined building form. We'll also add a new building form for Minor Detached Structures.

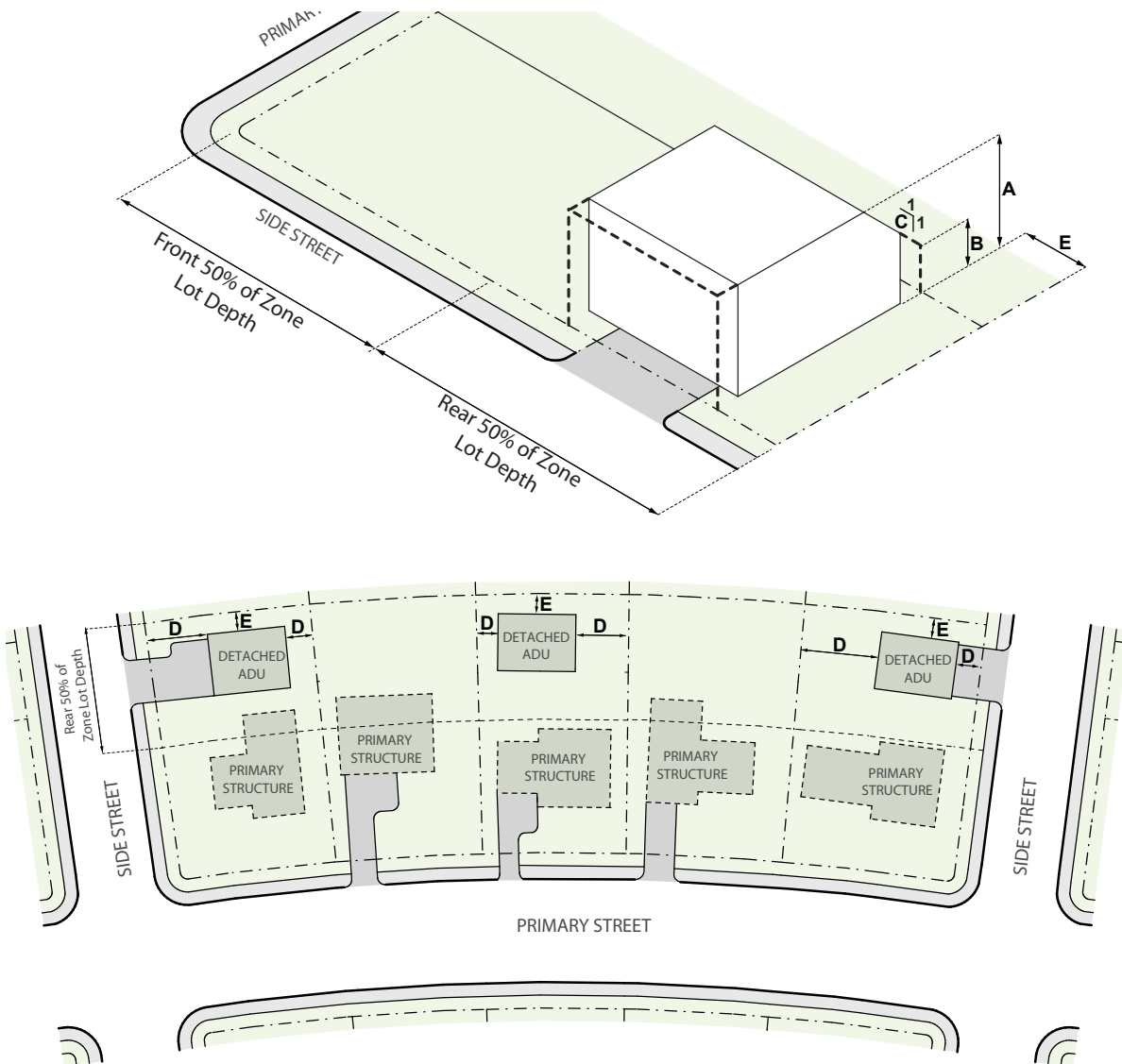
Suburban (S-) Neighborhood Context Zone Districts		Max Number of Detached Accessory Structures per Zone Lot	Building Forms				
			Detached Accessory Dwelling Unit	Detached Garage- General Detached Structure	Other Detached Accessory Structures	Minor Detached Structures	Detached Accessory Structures
<u>Maximum number of detached accessory structures per Zone Lot</u>			<u>One per Primary Dwell- ing Unit*</u>	<u>No max*</u>		<u>Option A: No max</u> <u>Option B: No max</u>	
Single Unit (SU)	S-SU-A, -D, -F, -Fx, -I, -Ix	no-max*	■	■	■	■	
	S-SU-A1, -D1, -F1, -F1A, F1x, -I1, -I1x	no-max*	■	■	■	■	
Row House (RH)	S-RH-2.5	no-max*	■	■	■	■	
Multi Unit (MU)	S-MU-3, -5, 8, 12, 20	no-max*	■	■	■	■	
Commercial Corridor (CC)	S-CC-3, -3x, -5, -5x	no-max	■	■		■	■
Mixed Use (MX)	S-MX-2x	no-max	■	■		■	■
	S-MX-2, -3, -5, -8, -12	no-max	■	■		■	■
	S-MX-2A, -3A, -5A, -8A, -12A	no-max	■	■		■	■
Main Street (MS)	S-MS-3, -5	no-max	■	■		■	■

■ = Allowed ■ = Allowed subject to limitations

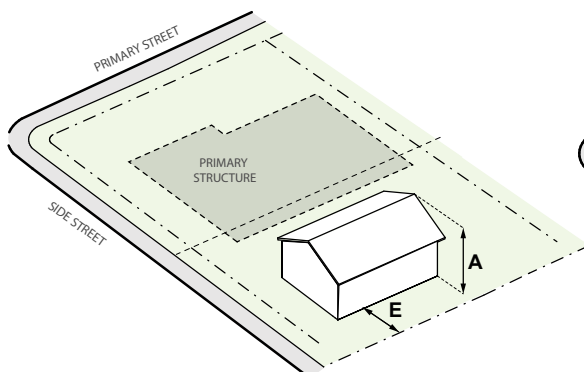
*One per dwelling unit for structures with vehicle access doors, See Section 1.2.3.5.

3.3.4.5 District Specific Standards

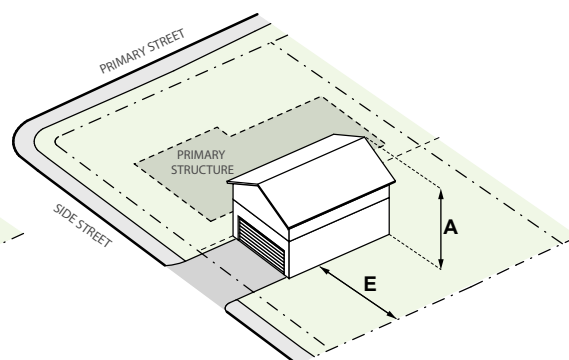
A. Detached Accessory Dwelling Unit



Option A: 1-Story



Option B: 2-Stories



DETACHED ACCESSORY DWELLING UNIT

		S-SU-A1, -D1, -F1, -F1A, -F1x, -I1, I1x			
HEIGHT		Option A: 1-story*	Option B: 2-stories*	S-RH-2.5	All S-MU- 3,-5,-8,-12,-20 , CC, MX, MS
A	Stories (max)	1	2	2	2
A	Feet (max)	17'	24'	24'	24'
B	Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot Line	10'	10'	10'	na
C	Bulk Plane Slope from Side Interior Zone Lot Line	45°	45°	45°	na

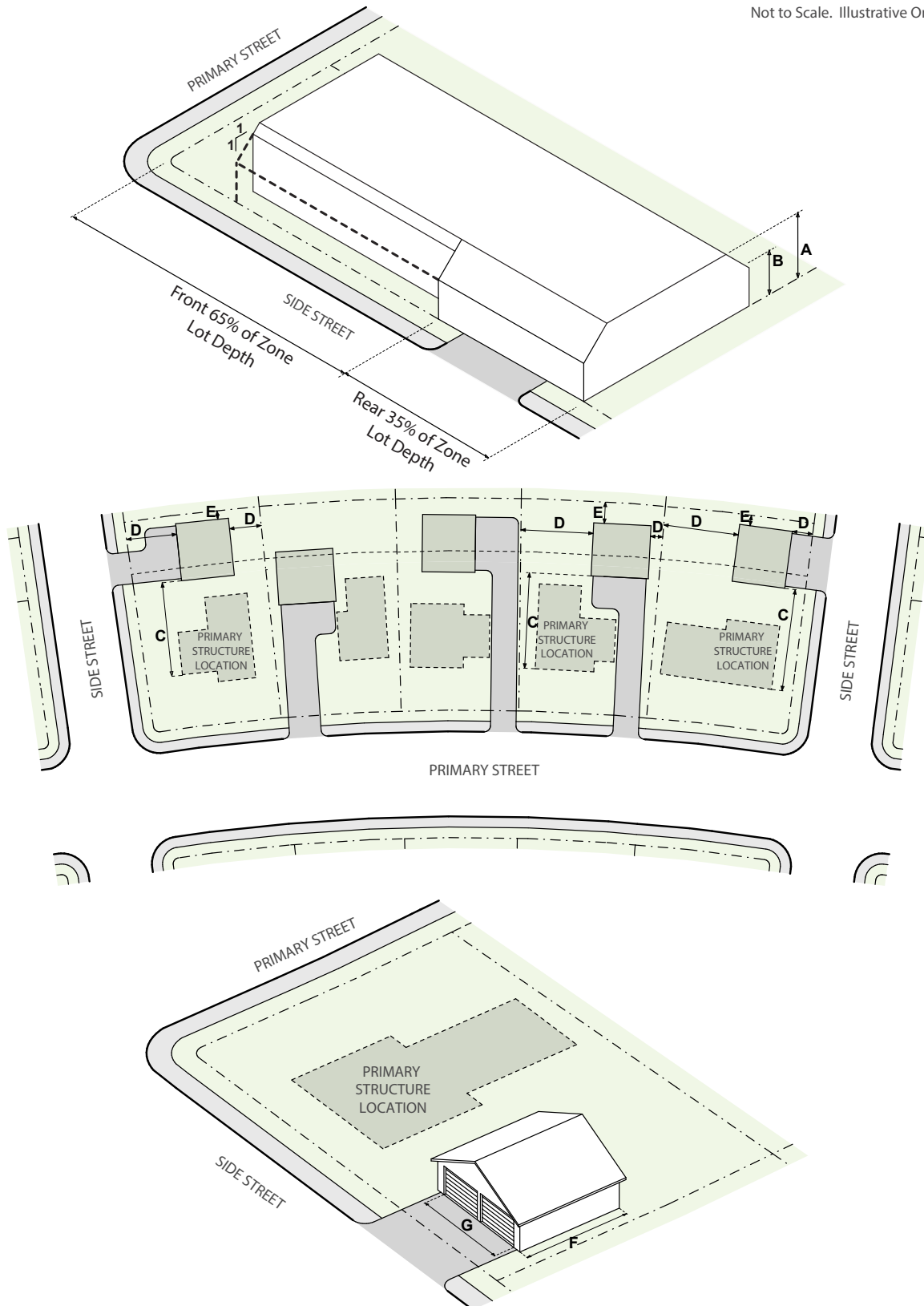
		S-SU-A1, -D1, -F1, -F1A, -F1x, -I1, I1x			
SITING		Option A: 1-story*	Option B: 2-stories*	S-RH-2.5	All S-MU- 3,-5,-8,-12,-20 , CC, MX, MS
SETBACKS					
Location of Structure		Located in the rear 50% of the zone lot depth			
D	Side Interior and Side Street for lots 25' wide or less (min)	3'	3'	3'	3'
D	Side Interior and Side Street for lots greater than 25' wide and less than 62' wide (min)	5'	5'	5'	5'
D	Side Interior and Side Street for lots 62' wide or greater (min)	7.5'	7.5'	5'	5'
E	Rear (min)	10'	20'	5'	5'
Additional Standards		See Section 3.3.4.3			
Maximum Building Coverage		See maximum Building Coverage per Zone Lot in the Primary Structure building form table.			
PARKING					
Vehicle Access		From Alley; or Street access allowed when no Alley present See 3.3.7.6 for exceptions			

		S-SU-A1, -D1, -F1, -F1A, -F1x, -I1, I1x Option A or B By Zone Lot SizeArea		All S-RH- 2.5, S-MU- 3,-5,-8,-12,-20 , CC, MX, MS
DESIGN ELEMENTS		7,000 sf or Less	Greater than 7,000 sf	
BUILDING CONFIGURATION				
Building Footprint (max)		864 sf sf per unit	1,000 sf sf per unit	1,000 sf per unit
Limitation on Gross Floor Area of the Accessory Dwelling Unit Use		See Section 11.8		
Rooftop and/or Second Story Decks		Not allowed - See Section 3.3.5.2		

USES		All S-SU; S-RH-2.5; All S-MU, CC, MX, MS		
		An Accessory Dwelling Unit use must be concurrently permitted and approved for occupancy in this building form. The Accessory Dwelling Unit use may be combined with other uses Accessory to Primary Residential Uses. See Division 3.4 for permitted Uses Accessory to Primary Residential Uses.		
		See Sections 3.3.4.3 and 3.3.5 - 3.3.7 for Supplemental Design Standards, Design Standard Alternatives and Design Standard Exceptions		
		*Standards in the "Option A" column may not be combined with standards in the "Option B" column. For example, If using Option B height standards to construct a two-story structure, the structure must also follow the Option B siting standards that require a minimum 20' rear setback.		

B. General Detached Structure Garage

Not to Scale. Illustrative Only.



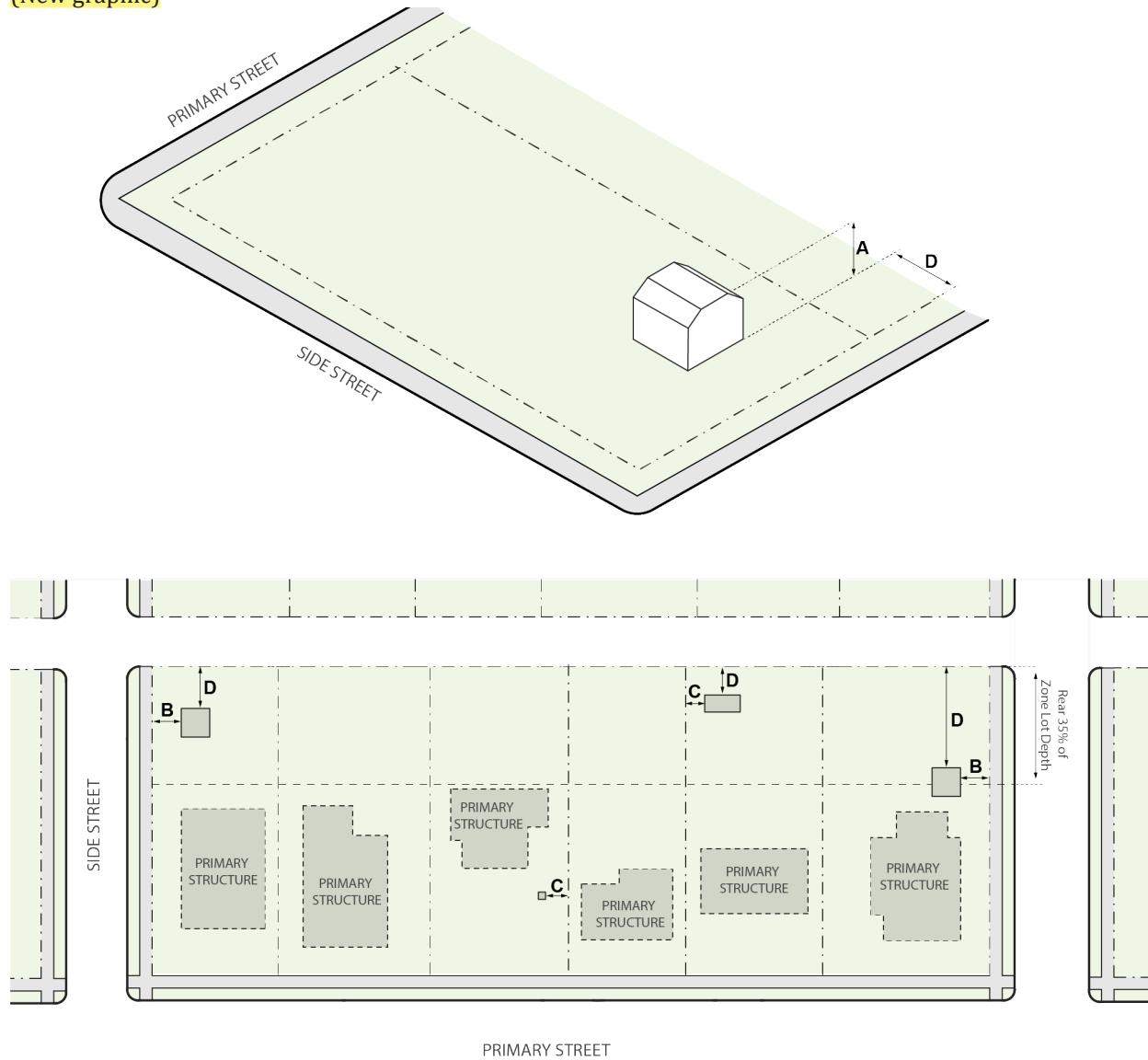
GENERAL DETACHED STRUCTURE GARAGE

Examples of General Detached Structures include garages, sheds, and gazebos. The General Detached Structure building form provides standards for structures accessory to a primary structure that exceed the standards for a Minor Detached Structure building form.

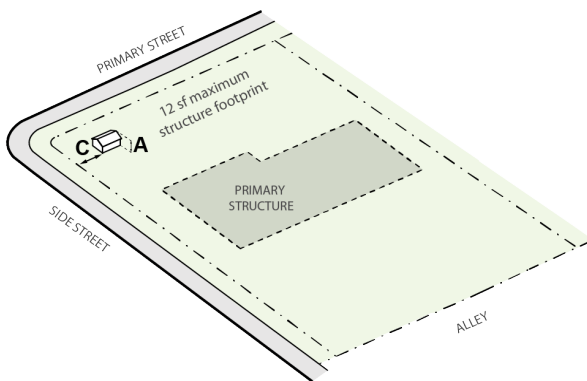
HEIGHT		All S-SU	S-RH-2.5	All S-MU-3,5,-8,-12,-20	All S-CC,-MX, -MS
A	Stories (max)	1	1	1	1
A	Feet (max)	17'	17'	17'	17'
B	Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot Line	10'	10'	na	na
	Bulk Plane Slope from Side Interior and Side Street Zone Lot Line	45°	45°	na	na
SITING		All S-SU	S-RH-2.5	All S-MU-3,5,-8,-12,-20	All S-CC,-MX, -MS
Additional Standards		See Section 3.3.4.3			
SETBACKS AND BUILDING COVERAGE					
C	Location of Structure	Located a minimum of 10' behind 75% of the total width of the Primary Street-facing facade(s) of one Primary Structure; see Section 13.1.5.12 for applicable location standard when there are multiple Primary Structures on one Zone Lot			
D	Side Street (min)	5'	5'	5'	5'
B	Side Interior (min), for structure entirely in rear 35% of zone lot	0'	0'	0'	5'
D	Side Interior (min), for structure not entirely in rear 35% of zone lot	5'	5'	5'	5'
	Side Interior (min), for structure not entirely in rear 35% of zone lot, where Zone Lot Width is 30' or less	3'	3'	3'	5'
E	Rear, <u>where no aAlley (public or private) abuts a Rear Zone Lot Line</u> (min)	5'	5'	5'	5'
	Rear, <u>where aAlley (public or private) abuts a Rear Zone Lot Line; and</u> where garage doors face aAlley (min)**	5'	5'	5'	5'
	Rear, <u>where aAlley (public or private) abuts a Rear Zone Lot Line; and</u> where garage doors do not face aAlley (min)	0'	0'	0'	0'
<u>Building Coverage (max)</u>		See maximum Building Coverage per Zone Lot in the Primary Structure building form table.			
PARKING					
Vehicle Access		From Alley; or Street access allowed when no Alley present See 3.3.7.6 for exceptions			See Section 10.4.6 Vehicle Parking Design for standards
DESIGN ELEMENTS		All S-SU	S-RH-2.5	All S-MU-3,5,-8,-12,-20	All S-CC,-MX, -MS
BUILDING CONFIGURATION					
Building Footprint (max)		1,000 sf <u>per unit</u>	<u>1,000</u> 864 sf per unit*	<u>1,000</u> 864 sf per unit*	na
<u>Gross Floor Area (max)</u>		na	na	na	See Sec. 3.3.4.C; provided
F	Overall Structure Length (max)	36' <u>per unit</u>	no max	no max	na

Allowed Number of Primary Street Facing Vehicular Access Doors in the front 50% of the lot depth (max)				
	3	no max	no max	na
G	Cumulative Width of All Primary Street Facing Vehicular Access Doors in the front 50% of the lot depth (max)			
	28'	no max	no max	na
USES		All S-SU; S-RH-2.5; All S-MU		All S-CC,-MX, -MS
Accessory Uses Only, excluding accessory dwelling unit where permitted. See Division 3.4 for permitted Accessory Uses and Parking .				
See Sections 3.3.5 - 3.3.7 for Supplemental Design Standards, Design Standard Alternatives and Design Standard Exceptions				
**When used with a Primary Single Unit Dwelling Use, the permitted building footprint for a detached garage may be increased to 1,000 sf.				
**Setbacks less than 5' may be subject to more restrictive Department of Transportation and Infrastructure ("DOTI"), building and fire code review. See Section 10.4.6 Vehicle Parking Design for standards that may be more restrictive.				
-Side facing gable roof ends are not permitted where setbacks are less than 5'				

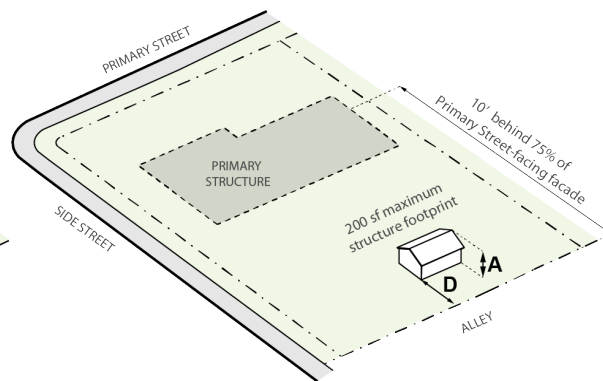
C. Minor Detached Structures
(New graphic)



Option A: Located Anywhere on Lot



Option B: Located Behind Primary Street-Facing Facade



MINOR DETACHED STRUCTURES

Structures that meet the standards in this building form table are exempt from the requirement to obtain a zoning permit. Examples of Minor Detached Structures include sheds, arbors, play structures, ground-mounted mechanical equipment such as air conditioning units and heat pumps, and other structures that are similarly minor in impact, height, and footprint. Option A is more limited than Option B in height and footprint, but offers more flexibility in siting. Structures that do not meet the standards in the table below shall be reviewed under the General Detached Structure building form.

		All S-SU, RH, MU, CC, MX, MS Districts	
HEIGHT		Option A*	Option B*
A	Stories (max)	1	1
A	Feet (max)	4'	14'
		Option A	Option B
SITING			
Total number of each structure (max)		na	na
LOCATION OF STRUCTURE			
Ground-Mounted Mechanical Equipment		Shall be located a minimum of 10' behind 75% of the total width of the Primary Street-facing Façade**	Shall be located a minimum of 10' behind 75% of the total width of the Primary Street-facing Façade**
Public Utility Equipment		Allowed anywhere on the Zone Lot	
All Others		Allowed anywhere on the Zone Lot	
SETBACKS			
B	Side Street (min)	05'	5'
C	Side Interior, for structure entirely in rear 35% of zone lot (min)	0'	0'
	Side Interior, for structure not entirely in rear 35% of zone lot (min)	05'	5'
	Rear, where no Alley (public or private) abuts Rear Zone Lot Line (min)	05'	5'
D	Rear, where Alley (public or private) abuts Rear Zone Lot Line (min)	0'	0'
Building Coverage per Zone Lot (max)		See maximum Building Coverage per Zone Lot in the Primary Structure building form table.	
		All S-SU, RH, MU, CC, MX, MS Districts	
DESIGN ELEMENTS		Option A	Option B
BUILDING CONFIGURATION			
Structure footprint (max)		12 sf	200 sf
		All S-SU, RH, MU, CC, MX, MS Districts	
USES		Accessory Uses Only, excluding accessory dwelling unit use and parking and storage of vehicles. See Division 3.4 for permitted Accessory Uses.	

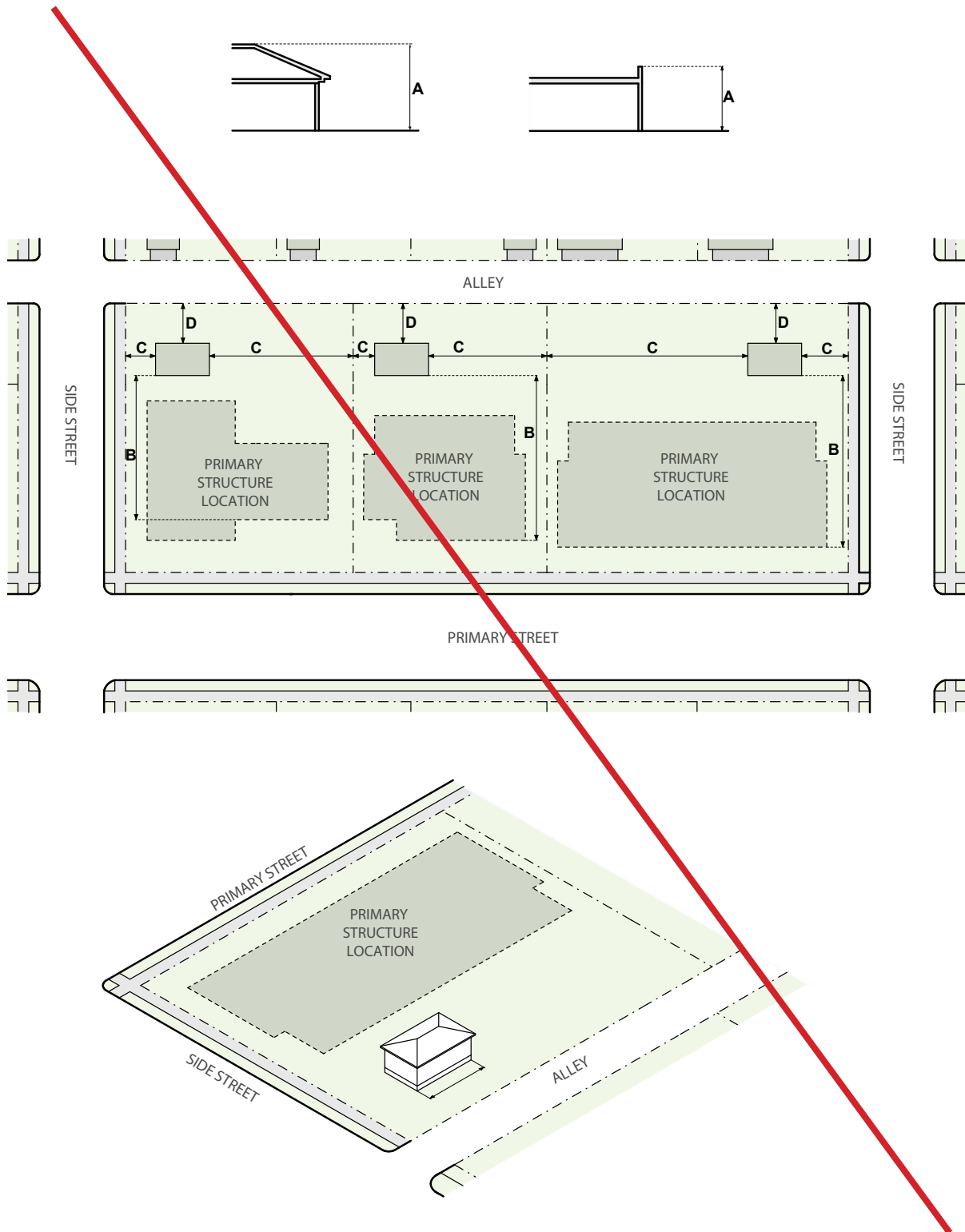
See Sections 3.3.5 - 3.3.7 for Supplemental Design Standards, Design Standard Alternatives, and Design Standard Exceptions.

* Standards in the "Option A" column may not be combined with standards in the "Option B" column. For example, If using Option B height standards to construct a 14-foot-tall structure, the structure must also follow the Option B siting standards that require the structure to be located a minimum of 10 feet behind 75% of the Primary Street-facing Façade.

**When there are multiple Primary Structures on one Zone Lot, all Minor Detached Structures shall be located behind 75% of the total width of the Primary Street-facing Façade(s) of at least one Primary Structure. See Section 13.1.5.12 for applicable location standard when there are multiple Primary Structures on one Zone Lot.

D. Detached Accessory Structures

Not to Scale. Illustrative Only.



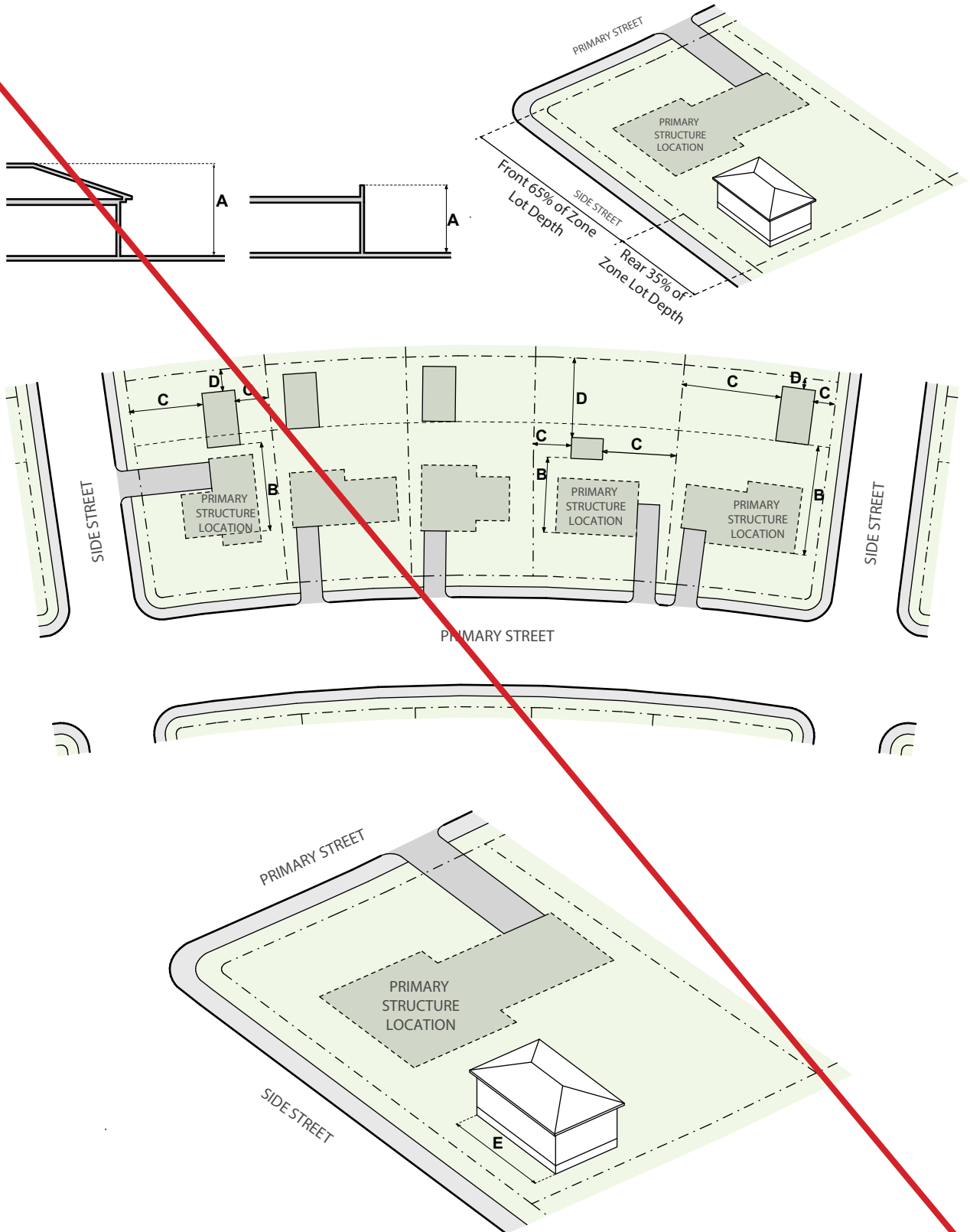
DETACHED ACCESSORY STRUCTURES

Note: The standards in this table have been moved to the General Detached Structure building form.

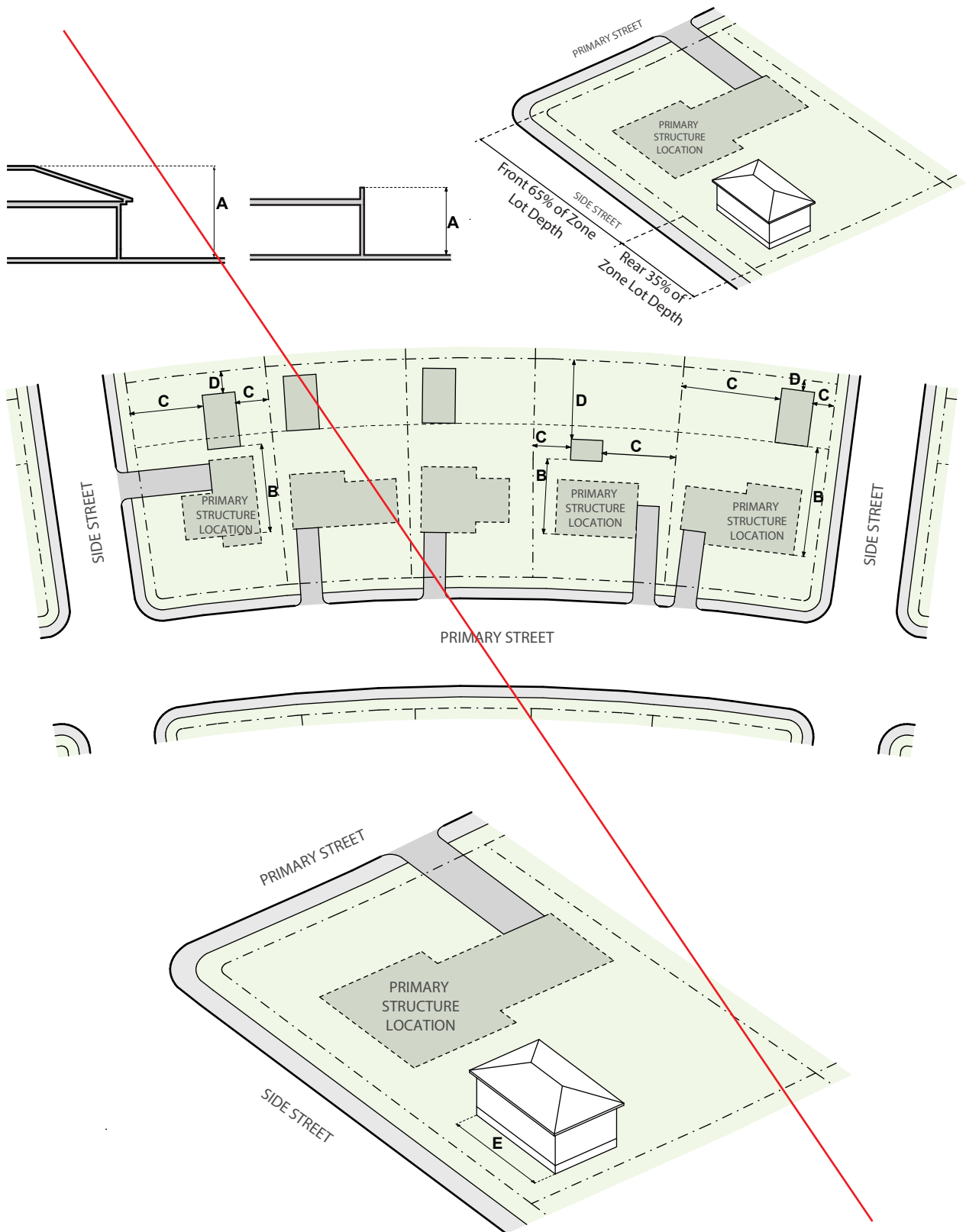
HEIGHT		All S-CC, MX, -MS
A	Stories (max)	1
A	Feet (max)	17'
SITING		All S-CC, MX, -MS
Additional Standards		See Section 3.3.4.3
SETBACKS		
B	Location of Structure	Located a minimum of 10' behind 75% of the total width of the Primary Street-facing facade(s) of one Primary Structure; see Section 13.1.5.12 for applicable location standard when there are multiple Primary Structures on one Zone Lot
C	Side Interior and Side Street (min)	5'
D	Rear, no alley (min)	5'
	Rear, alley, where garage doors face alley (min)	5'
	Rear, alley, where garage doors do not face alley (min)	0'
DESIGN ELEMENTS		All S-CC, MX, -MS
Gross Floor Area (max)		10% of the Zone Lot, provided this restriction shall not apply to structures used for the parking of vehicles. See Section 3.3.4.3
USES		All S-CC, MX, -MS
		Accessory Uses Only
See Sections 3.3.5–3.3.7 for Supplemental Design Standards, Design Standard Alternatives and Design Standard Exceptions		

E. Other Detached Accessory Structures

Not to Scale. Illustrative Only.



Not to Scale. Illustrative Only.



OTHER DETACHED ACCESSORY STRUCTURES

HEIGHT		All S-SU	S-RH-2.5	S-MU-3, 5, -8, -12, -20
A	Stories (max)	1	1	1
A	Feet (max)	15'	15'	15'
	Bulk Plane Vertical Height at Side Interior and Side Street Zone Lot Line	10'	10'	na
	Bulk Plane Slope from Side Interior and Side Street Zone Lot Line	45°	45°	na
SETTING		All S-SU	S-RH-2.5	S-MU-3, 5, -8, -12, -20
Additional Standards		See Section 3.3.4.3		
SETBACKS				
B	Location of Structure	Located a minimum of 10' behind 75% of the total width of the Primary Street-facing facade(s) of one Primary Structure; see Section 13.1.5.12 for applicable location standard when there are multiple Primary Structures on one Zone Lot		
C	Side Street (min)	5'	5'	5'
C	Side Interior, for structure entirely in rear 35% of zone lot (min)	0'	0'	0'
	Side Interior, for structure not entirely in rear 35% of zone lot (min)	5'	5'	5'
	Side Interior, for structure not entirely in rear 35% of zone lot (min), where Zone Lot Width is 30' or less	3'	3'	3'
D	Rear, no alley (min)	5'	5'	5'
	Rear, alley, where doors face Aalley (min)	5'	5'	5'
	Rear, alley, where doors do not face Aalley (min)	0'	0'	0'
DESIGN ELEMENTS		All S-SU	S-RH-2.5	S-MU-3, 5, -8, -12, -20
BUILDING CONFIGURATION				
	Building Footprint (max)	1,000-sf	1,000-sf	1,000-sf
E	Overall Structure Length (max)	36'	36'	36'
USES		All S-SU; S-RH-2.5; All S-MU		
		Accessory Uses Only, excluding accessory dwelling unit where permitted and parking of vehicles. See Division 3.4 for permitted Accessory Uses		
See Sections 3.3.5–3.3.7 for Supplemental Design Standards, Design Standard Alternatives and Design Standard Exceptions				

SECTION 3.3.5 SUPPLEMENTAL DESIGN STANDARDS

3.3.5.1 Surface Parking Between the Building and the Primary/Side Street

A. Intent

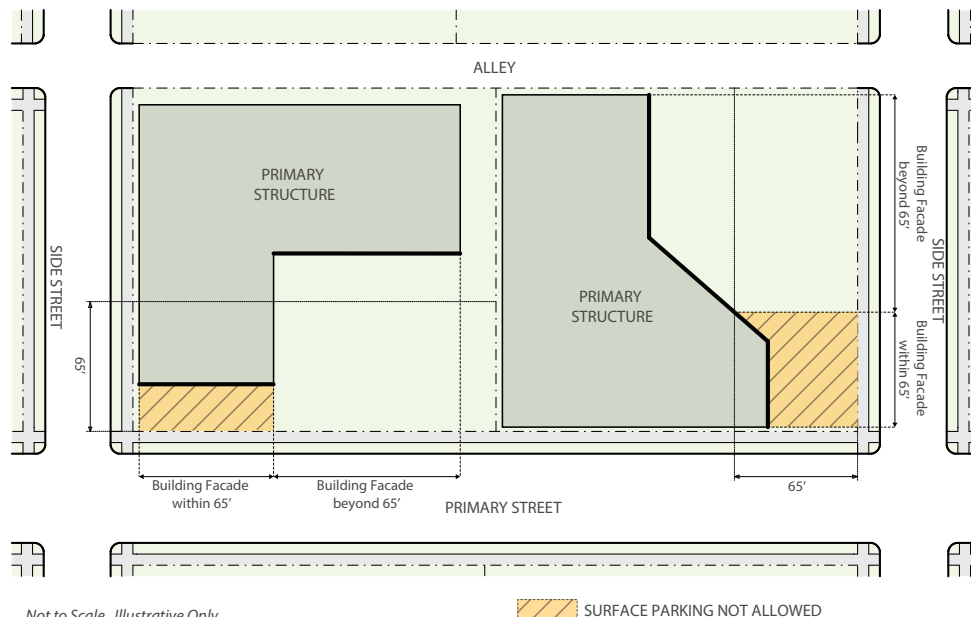
Allow for the functional siting of Buildings and Surface Parking while continuing to minimize the impacts of Surface Parking on the pedestrian experience.

B. Applicability

This Section 3.3.5.1 applies to the Shopfront building form in the S-MS zone districts.

C. Surface Parking Not Allowed

Where a building form specifies that Surface Parking is not allowed between a Building and a Primary Street and/or Side Street, Surface Parking shall not be located in the area directly between the applicable Street and any portion of a Building Facade set back 65 feet or less from the Zone Lot Line abutting the applicable Street and the Street. Surface Parking shall be allowed in the area directly between the applicable Street and any portion of a Building Facade set back more than 65 feet from the Zone Lot Line abutting the applicable Street and the Street.



3.3.5.2 Rooftop and/or Second Story Decks

A. Intent

To protect the privacy of adjacent rear yards in low-scale residential neighborhoods.

B. Applicability

All S-SU and S-RH zone districts when using all primary and accessory building forms.

C. Supplemental Design Standard

1. Rooftop and/or Second Story Decks are prohibited in the rear 35% of the zone lot depth.
2. The Zoning Administrator may prohibit other similar structures in the rear 35% of the zone lot depth, including detached or freestanding structures, but excluding the detached accessory dwelling unit building form where allowed, when the Zoning Administrator finds the structure would have similar adverse privacy impacts as the specifically prohibited Rooftop and/or Second Story Deck.

3.3.5.3 Street Level Active Uses in the S-MX and S-MS Zone Districts

A. Intent

To promote activity on the street and sidewalk, enhance safety and encourage a vibrant urban environment.

B. Applicability

This Section 3.3.5.3 applies to the General and Shopfront building forms in the S-MX zone districts and the Shopfront building form in the S-MS zone districts.

C. Street Level Active Uses

1. Street Level active uses include all permitted primary uses except the following:
 - a. Mini-storage Facility; or
 - b. Wholesale Trade or Storage, Light.
2. Street Level active uses include all permitted accessory uses except the following:
 - a. Car Wash Bay Accessory to Automobile Services or Hotel Uses; or
 - b. Drive Through Facility Accessory to Eating/Drinking Establishments and to Retail Sales, Service, and Repair Uses.
3. Street Level active uses shall not include Parking Spaces or Parking Aisles.
4. Street Level active uses shall occupy Street Level floor area for a minimum depth of 15 feet (may include the depth of a recessed entrance allowed to meet minimum pedestrian access standards).
5. The length of any build-to alternatives, except Arcades, permitted by Section 3.3.6.1 shall not apply toward the required percentage of Street Level building frontage that must be occupied by a Street Level active use.
 - a. An Arcade may contribute to the Street Level Active use requirement for a maximum of 6 feet of the required 15 foot depth.
6. The portion of the Street Level building frontage that meets the Street Level active use requirement shall contain at least one window or door that meets the minimum transparency requirement standards in Section 13.1.6.3.A.4.

SECTION 3.3.6 DESIGN STANDARD ALTERNATIVES

3.3.6.1 Required Build-To Alternatives

A. Intent

To help define the public realm and enhance the visual quality of the built environment where it is not possible to do so with building facades.

B. Allowance

The following alternatives may be used singularly or in combination as alternatives to a required build-to standard and may count toward the required build-to no more than as described in the table below, provided all alternatives meet the requirements stated in Section 13.1.5.7.E.

REQUIRED BUILD-TO ALTERNATIVES							
ZONE DISTRICT	PERMANENT OUTDOOR PATIO SEATING (MAX INCREASE IN BUILD-TO RANGE)	PRIVATE OPEN SPACE (MAX % OF BUILD-TO)	GARDEN WALL (MAX % OF BUILD-TO)	GARDEN WALL WITH COVERED SEATING FOR PEDESTRIANS (MAX % OF BUILD-TO)	PERGOLA (MAX % OF BUILD-TO)	ARCADE (MAX % OF BUILD-TO)	COURTYARD (MAX % OF BUILD-TO)
S-MU S-CC S-MS	na	na	25%**	30%**	30%**	100%	na
S-MX	10'*	na	25%**	30%**	30%**	100%	na

*Permitted increase in the maximum depth of the required build-to range.

**If used in combination with each other, the garden wall, garden wall with covered seating for pedestrians and pergola alternatives may count toward no more than 30% of required build-to.

3.3.6.2 Primary Street Upper Story Setback

A. Intent

To provide flexibility while maintaining and promoting a pedestrian-scaled primary street.

B. Applicability

S-MX-8, S-MX-8A, S-MX-12, S-MX-12A

C. Alternative

When the building is placed at the minimum Primary Street setback, then the Upper Story Setback above 5 stories or 70 feet may be reduced to 15 feet. This alternative only applies to portions of buildings placed within 1 foot of at the minimum Primary Street setback. ~~Therefore, any portions of the building placed beyond the minimum Primary Street setback shall meet the Primary Street Upper Story Setback stated in the building form table.~~

3.3.6.3 Transparency Alternatives

A. Intent

To provide visual interest on building facades, to activate the public street and sidewalk, and enhance the visual quality of the built environment along Street Level facade areas where windows do not provide sufficient transparency.

B. Allowance

The following alternatives may be used singularly or in combination as alternatives to a required transparency standard and may count toward required transparency no more than as described in the table below, provided all alternatives meet the requirements stated in Section 13.1.6.3.A.5:

TRANSPARENCY ALTERNATIVES						
ZONE DISTRICT	ZONE LOT LINE DESIGNATION	DISPLAY CASES AND AUTOMATED TELLER MACHINES (MAX)	WALL DESIGN ELEMENTS (MAX)	PERMANENT OUTDOOR GATHERING AREAS (MAX)	PERMANENT ART (MAX)	COMBINATION OF ALTERNATIVES (MAX)
S-MU	Primary Street	40%	50%	60%	40%	80%
	Side Street	40%	50%	80%	40%	80%

TRANSPARENCY ALTERNATIVES						
ZONE DISTRICT	ZONE LOT LINE DESIGNATION	DISPLAY CASES AND AUTOMATED TELLER MACHINES (MAX)	WALL DESIGN ELEMENTS (MAX)	PERMANENT OUTDOOR GATHERING AREAS (MAX)	PERMANENT ART (MAX)	COMBINATION OF ALTERNATIVES (MAX)
S-CC	Primary Street	40%	50%	60%	40%	80%
	Side Street	40%	100%; provided the wall design elements are applied to the entirety (100%) of the length of the Street Level wall.	80%	40%	80%*
S-MX	Primary Street	40%	50%	60%	40%	80%
	Side Street	40%	100%; provided the wall design elements are applied to the entirety (100%) of the length of the Street Level wall.	80%	40%	80%*
S-MS	Primary Street	40%	50%	60%	40%	50%
	Side Street	40%	50%	80%	40%	50%

*Wall design elements that are applied to the entire length of the Street Level wall may count toward up to 100% of required side-street transparency.

3.3.6.4 Pedestrian Access (Entrance) Alternatives

A. Intent

To provide a clear and obvious, publicly accessible route connecting the Primary Street to the primary uses within the building.

B. Allowance

In the S-MX-2A, -3A, -5A, -8A, -12A zone districts for all building forms, one of the following may be used as an alternative to a required Entrance, provided that the alternative meets the design standards described in Section 13.1.6.3.B.4:

1. Courtyard or Plaza
2. Covered Walkway

3.3.6.5 Attached Garage Alternative

A. Intent

To allow for an attached garage, designed as an integral part of the building's ~~f~~Façade, to project forward of a ~~p~~Primary ~~s~~Street-facing ~~f~~Façade when the design of the entire building de-emphasizes the garage entrance and function.

B. Applicability

Zone lots that meet both of the following may utilize this alternative:

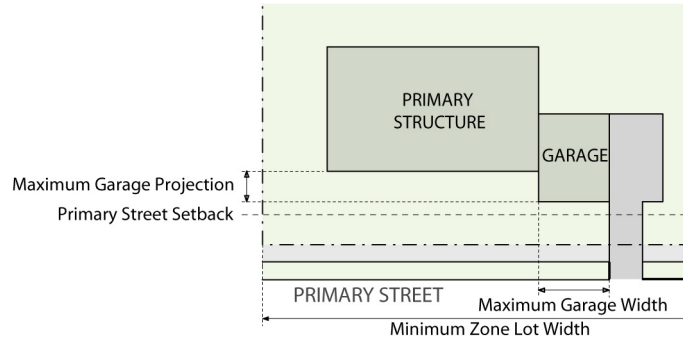
1. Zoned S-SU, S-RH, or S-MU; and
2. Zone Lot Width along Primary Street is at least 100 feet.

C. Allowance

An attached garage may be located closer to the minimum Primary Street Zone Lot setback ~~H~~Line than the Primary Street-facing ~~f~~Façade(s) enclosing the primary use, if the attached garage complies with all of the following standards:

1. Garage doors shall not face the Primary Street (See Section 13.1.6.1.L);

2. Maximum 30 feet width and maximum 12 feet depth dimension for the portion of the attached garage projecting forward of the Primary Street-facing fFaçade;
3. The attached garage fFaçade facing the Primary Street has similar architectural and material treatment as the other portions of the Primary Street-facing fFaçade.



SECTION 3.3.7 DESIGN STANDARD EXCEPTIONS

3.3.7.1 Height Exceptions

A. Intent

To allow building features to exceed maximum height for utility purposes and/or limited recreation or building amenities in the higher intensity zone districts/larger forms.

B. Standard

Except as specifically allowed below:

1. No portion of a structure shall project beyond the maximum height in feet specified in the applicable Building Form table, including any incentive height allowed by this code.
2. No portion of a structure shall project beyond the bulk plane specified in the applicable Building Form table.
3. No portion of a structure shall exceed the maximum height in stories specified in the applicable Building Form table.

C. Exceptions

The following building features of Primary Structures and Accessory Structures are allowed to exceed height in feet, stories, bulk plane, and upper story setbacks as described in the table below, subject to the following standards.

1. Unoccupied elevator penthouses, stair enclosures, and enclosed or unenclosed mechanical equipment including vertical or sloped screen walls for such equipment granted an exception for height in stories shall only be as large as necessary to achieve the intended function of the feature and shall not exceed the minimum required dimensions defined in the Denver Building and Fire Code.
2. An elevator lobby granted an exception for height in stories shall be no larger in area than the area of the elevator shaft which it abuts, measured to the eExterior wWalls.
3. Unoccupied building features shall not include space for living, sleeping, eating, cooking, bathrooms, toilet compartments, closets, halls, storage, or similar space.
4. The Zoning Administrator shall determine the applicable feature type and associated height exception standards for a given building feature.

5. Where a building feature exceeds the maximum height in feet or the maximum height in stories as allowed in this section, all standards for the applicable feature in the table below shall apply.

BUILDING FEATURES	ZONE DISTRICTS	THE AGGREGATE SHALL NOT EXCEED 33-1/3 PERCENT OF THE AREA OF THE SUPPORTING ROOF	SHALL BE SET BACK FROM THE PERIMETER OF THE BUILDING A MINIMUM OF ONE FOOT HORIZONTALLY FOR EVERY ONE FOOT OF VERTICAL HEIGHT	MAY EXCEED MAXIMUM HEIGHT IN FEET BY:	MAY EXCEED MAXIMUM HEIGHT IN STORIES BY:	MAY PROJECT THROUGH THE BULK PLANE	MAY ENCROACH INTO THE EXCEED UPPER STORY SETBACK HEIGHT BY
Roof Overhangs, gutters, and downspouts, each extending no more than 3-feet measured perpendicular from the exterior face of the Exterior Wall to the furthest edge of the projection	All S- Zone Districts	No	No	Any distance when attached to a feature that meets the definition of a Story	Not applicable	Any distance	Any distance
Unoccupied spires, towers, flagpoles, antennas, chimneys, flues and vents	All S- Zone Districts	No	No	28'	Not applicable	Any distance	Any distance
Unoccupied cooling towers and enclosures for tanks	All 5-Story or greater S-MU, S-CC, S-MX, S-MS Zone Districts	No	Yes	28'	Not applicable	Not allowed	Not allowed
Unoccupied elevator penthouses, stair enclosures, and enclosed or unenclosed mechanical equipment including vertical or sloped screen walls for such equipment	All 3-Story or lower S-MU, S-CC, S-MX, S-MS Zone Districts	Yes	Yes, from the perimeter of the portion of the building facing the Primary Street or Side Street. Yes, from the perimeter of the portion of the building facing the zone lot line adjacent to a Protected District. No, all others.	12'	1 story	Not allowed	Not allowed
Unoccupied elevator penthouses, stair enclosures, and enclosed or unenclosed mechanical equipment including vertical or sloped screen walls for such equipment	All 5-Story or greater S-MU, S-CC, S-MX, S-MS Zone Districts	Yes	Yes, from the perimeter of the portion of the building facing the Primary Street or Side Street. Yes, from the perimeter of the portion of the building facing the Side Interior where adjacent to a Protected District. No, all others.	28'	1 story	Not allowed	Not allowed
Elevator lobbies	All 3-Story or lower S-MU, S-CC, S-MX, S-MS Zone Districts	Yes	Yes	12'	1 story	Not allowed	Not allowed
Elevator lobbies	All 5-Story or greater S-MU, S-CC, S-MX, S-MS Zone Districts	Yes	Yes	28'	1 story	Not allowed	Not allowed

BUILDING FEATURES	ZONE DISTRICTS	THE AGGREGATE SHALL NOT EXCEED 33-1/3 PERCENT OF THE AREA OF THE SUPPORTING ROOF	SHALL BE SET BACK FROM THE PERIMETER OF THE BUILDING A MINIMUM OF ONE FOOT HORIZONTALLY FOR EVERY ONE FOOT OF VERTICAL HEIGHT	MAY EXCEED MAXIMUM HEIGHT IN FEET BY:	MAY EXCEED MAXIMUM HEIGHT IN STORIES BY:	MAY PROJECT THROUGH THE BULK PLANE	MAY ENCRoACH INTO THE EXCEED UPPER STORY SETBACK HEIGHT BY
Open Structures	All 3-Story or lower S-MU, S-CC, S-MX, S-MS Zone Districts	Yes	Yes	12'	Not applicable	Not allowed	Not allowed
Open Structures	All 5-Story or greater S-MU, S-CC, S-MX, S-MS Zone Districts	Yes	Yes	28'	Not applicable	Not allowed	Not allowed
<u>Parapet Wall or Safety Railing</u>	<u>All 3-Story or lower S-MU, S-CC, S-MX, S-MS Zone Districts</u>	<u>No</u>	<u>No</u>	<u>Not allowed</u>	<u>Not applicable</u>	<u>Not allowed</u>	<u>4'</u>
Parapet Wall and/or Safety Railing	All 5-Story or greater S- Zone Districts	No	No	Any distance	Not applicable	Not allowed	Not allowed- 4'
Flush-mounted Solar panels	All S- Zone Districts	No	No	Any distance	Not applicable	Any distance	Any distance
Evaporative coolers	All S- Zone Districts	No	Yes	Any distance	Not applicable	Any distance	Any distance
Accessory water tanks	All S-CC, S-MX, S-MS Zone Districts	No	Yes	28'	Not applicable	Any distance	Any distance
Pedestrian bridge	All S- Zone Districts	Not applicable	Not applicable	28'	Any number	Any distance	Any distance

3.3.7.2 Required Build-To Exceptions ~~for~~ Civic, Public & Institutional Uses

A. ~~Civic, Public & Institutional Uses~~

B. Intent

To accommodate signature entrance architecture, gathering spaces, plazas, or community amenities along the front facades of structures containing civic, public and institutional uses.

C. Standard

Structures containing one or more uses in the Civic, Public & Institutional Use Classification are not required to meet the Primary Street and Side Street Build-To standards.

D. ~~Parkways~~

1. ~~Intent~~

~~To ensure structures contribute to the look and feel of a Parkway and great public space along Parkways, when Parkway setbacks are more restrictive than this Code's build-to range:~~

2. ~~Standard~~ This standard moved to the Rule of Measurement in 13.1.5.7

~~Where a zone lot has street frontage on a Parkway designated under D.R.M.C, Chapter 49, if the parkway setback is greater than the outer range of the required build-to range, the build-to shall follow the setback established by the Parkway. The minimum build-to percentage shall still apply.~~

3.3.7.3 ~~Setback Exceptions-- Parkway~~ This standard moved to the Rule of Measurement in

13.1.5.8

A. Intent

~~To promote compatible building character along Parkways, when Parkway setbacks are more restrictive than this Code's setbacks.~~

B. Standard

~~In all S- zone districts, where a zone lot has street frontage on a Parkway designated under D.R.M.C., Chapter 49, the greater of the following street setbacks shall apply:~~

- ~~1. The street setback required by the applicable building form standards in this Code; or~~
- ~~2. The required Parkway setback established under D.R.M.C., Chapter 49.~~

3.3.7.4 Setback Exceptions - Architectural, Site, Service & Utility Elements

A. Intent

To allow minor elements to encroach into a setback while maintaining an open and unobstructed minimum setback.

B. Standard


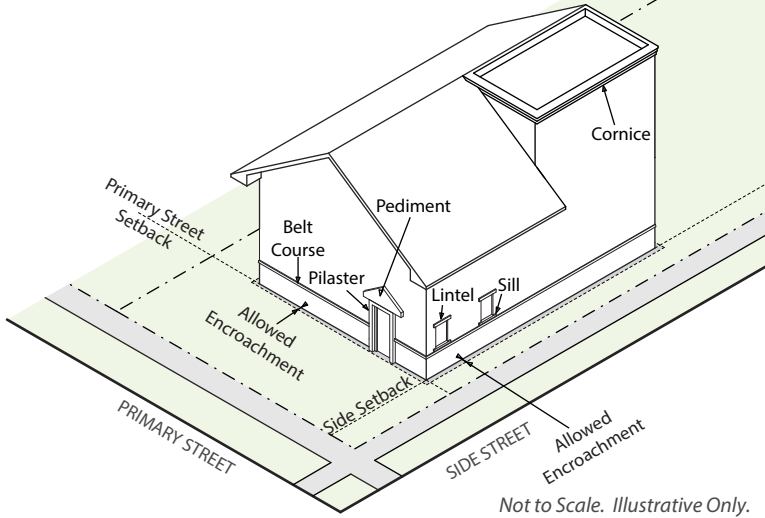
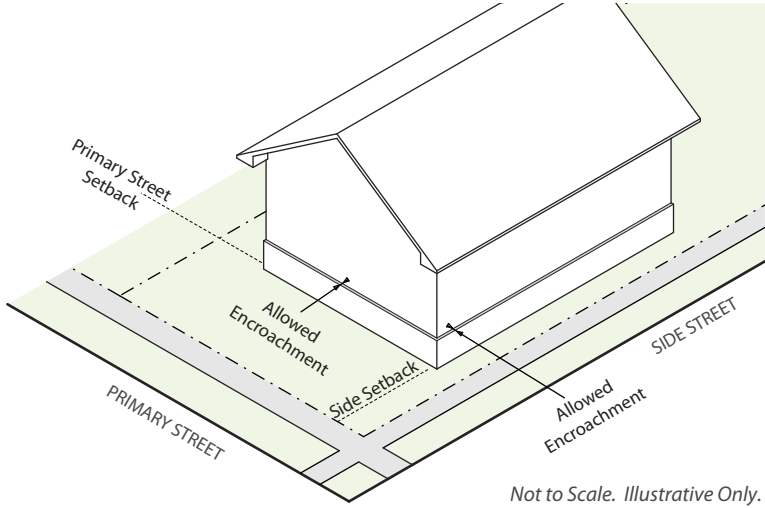
Except as specifically allowed below, Setbacks specified in the applicable Building Form tables shall be open and unobstructed.


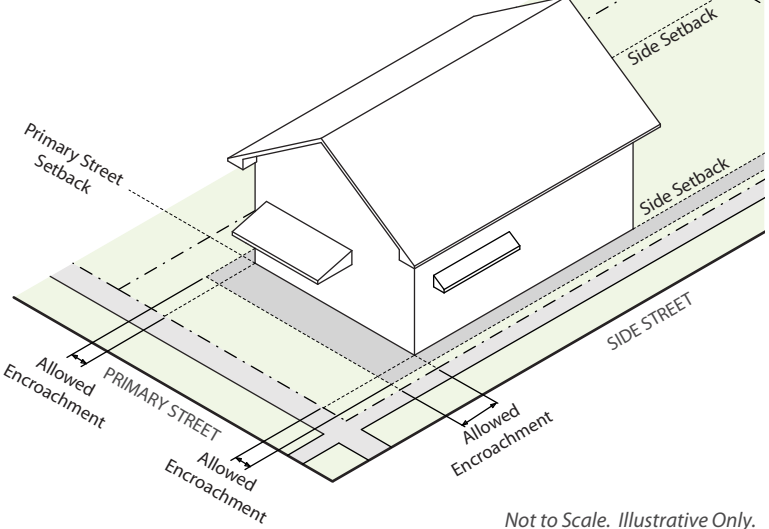

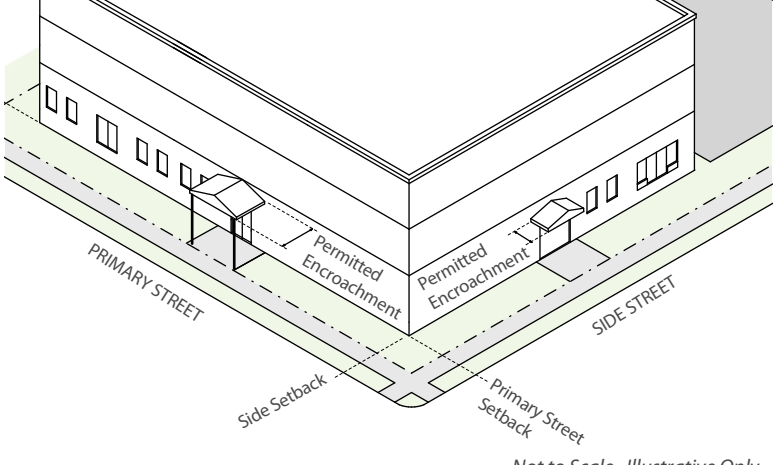
C. Exceptions


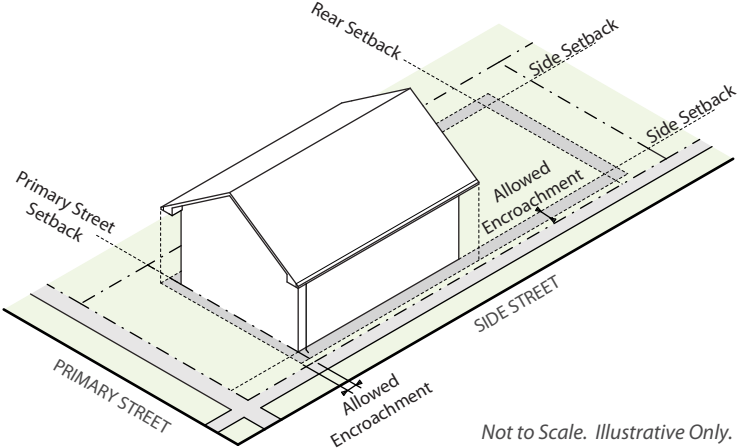
The following Structures or portions of Structures are permitted to encroach into the Setbacks subject to the limitations in the tables below. No portion of a Structure that encroaches into the Setbacks shall extend into a required Setback beyond the maximum Setback encroachment distance specified in the tables below, as measured perpendicular to the respective Zone Lot line. Where more than one Setback encroachment is allowed for the same Structure or portion of a Structure, the permitted Setback encroachment distances shall not be cumulative. See "Height Exceptions" for encroachments related to Upper Story Setbacks.

1. Architectural Elements

To allow for minor elements which add to the architectural character of buildings, while maintaining an open and unobstructed setback.

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Belt Courses, sills, lintels, pilasters, pediments, cornices	All S- Zone Districts	All Building Forms	1.5' Cornices only: 3'	1.5' Cornices only: 3'	1.5' Cornices only: 3'; if setback is less than 5': 2'	1.5' Cornices only: 5'
<p>Intent: To allow common, minor decorative elements which are integral to a building.</p>  <p><i>Illustrative only</i></p>	 <p><i>Not to Scale. Illustrative Only.</i></p>					
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Brick and stone veneers above Finished Grade for re-siding an existing structure only	All S- Zone Districts	All Building Forms	6"	6"	6"	6"
<p>Intent: To allow for re-siding of existing structures which may not meet a required minimum setback or the re-siding of the structure would result in not meeting the required minimum setback.</p>	 <p><i>Not to Scale. Illustrative Only.</i></p>					

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
<p>Canopies providing cover to an entrance:</p> <ul style="list-style-type: none"> • Shall be no more than 8' maximum in horizontal width; • Shall be open on three sides; • May include an at-grade landing. 	All S-SU, S-RH Zone Districts	All Building Forms	3'	3'	3'; if setback is less than 5': 2' and at no point closer than 2' to a property line.	Not allowed
<p>Intent: To provide for covering over an entrance to protect from weather. Unlike the Unenclosed Porch encroachment, canopy is allowed in Side Interior Setback.</p> <div>  <p><i>Illustrative only</i></p> </div>	 <p><i>Not to Scale. Illustrative Only.</i></p>					
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
<p>Canopies providing cover to an entrance:</p> <ul style="list-style-type: none"> • The width shall be no greater than 25% of the width of the face of the building or 20', whichever is less; and • Shall be open on three sides. 	All S- Zone Districts, except S-SU and S-RH	All Building Forms	Any distance	Any distance	Not allowed	Not allowed
<p>Intent: Provide protection from the weather for pedestrians entering the building and define street entrances to the building.</p> <div>  <p><i>Illustrative only</i></p> </div>	 <p><i>Not to Scale. Illustrative Only.</i></p>					

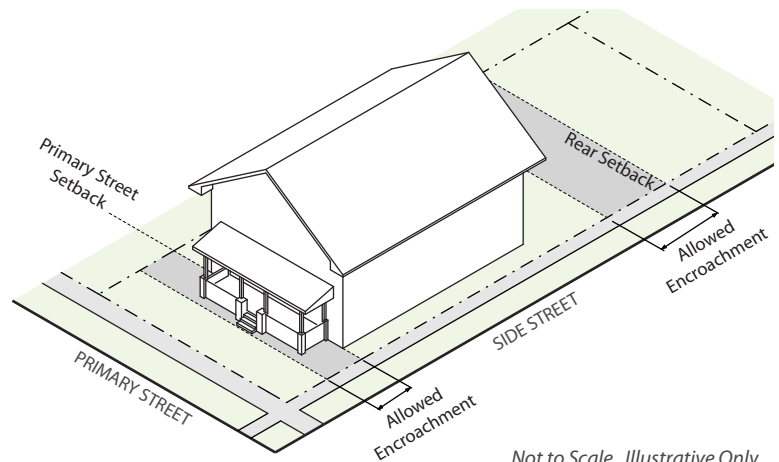
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Gutters, Downspouts, and Roof Overhangs	All S- Zone Districts	All Building Forms	3'	3'	3'; if setback is less than 5': 2'	5'
<p>Intent: To allow features of structures intended to repel weather</p>  <p><i>Illustrative only</i></p>	 <p><i>Not to Scale. Illustrative Only.</i></p>					

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
<p>Unenclosed Porches, Decks, Patios, Exterior Balconies, Stoops, and above-grade stairways at the Street Level:</p> <ul style="list-style-type: none"> • May be covered; • All sides shall be at least 50% open except for any side abutting a building facade or fire wall. 	All S- Zone Districts	All Building Forms	8' and minimum of 1' between right-of-way and first riser of above- grade stairway	5' and minimum of 1' between right-of-way and first riser of above-grade stairway	<p><u>Patios:</u> <u>Maximum of 5' wide, any distance</u></p> <p><u>All others:</u> Not allowed</p>	<p><u>Patios:</u> <u>Any distance</u></p> <p><u>All others:</u> 5'</p>

Intent: To promote elements which provide for street activation and human scale.



Illustrative only



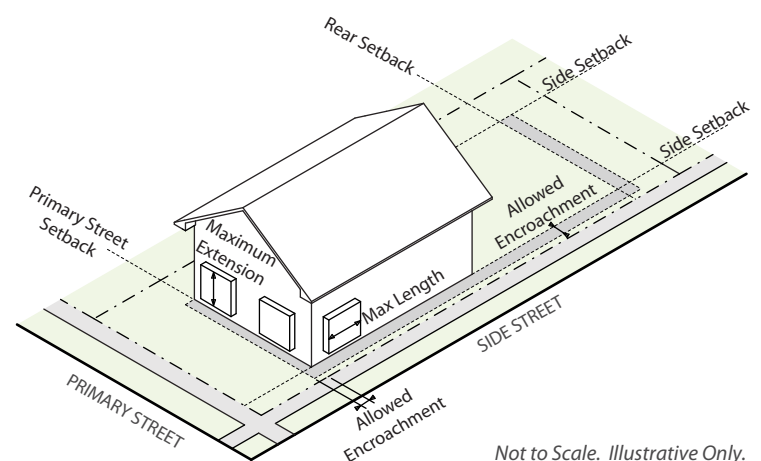
Not to Scale. Illustrative Only.

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
<p>Projecting Windows:</p> <ul style="list-style-type: none"> • Shall be a minimum of 1.5' above finished floor; • Shall not extend floor-to-ceiling; and • No individual projection shall be more than 10' in horizontal length at the opening along the face of the building; 	All S- Zone Districts	All Building Forms	1.5'	1.5'	Not allowed	1.5'




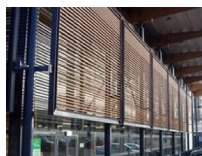
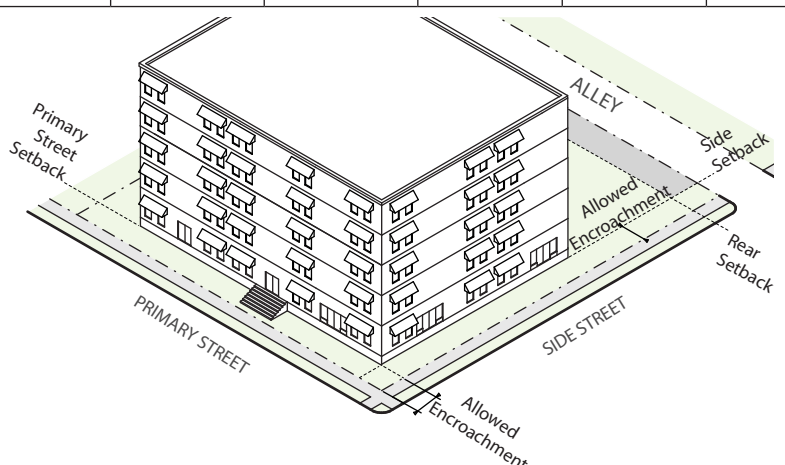
Intent: To allow for improved interior daylighting.



Illustrative only


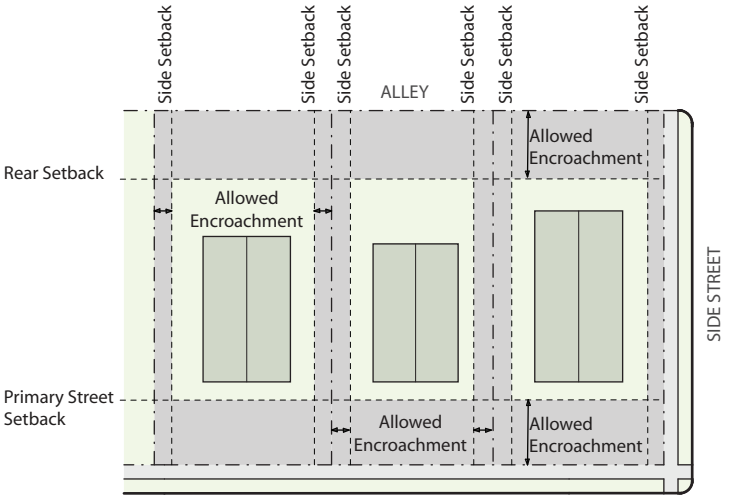
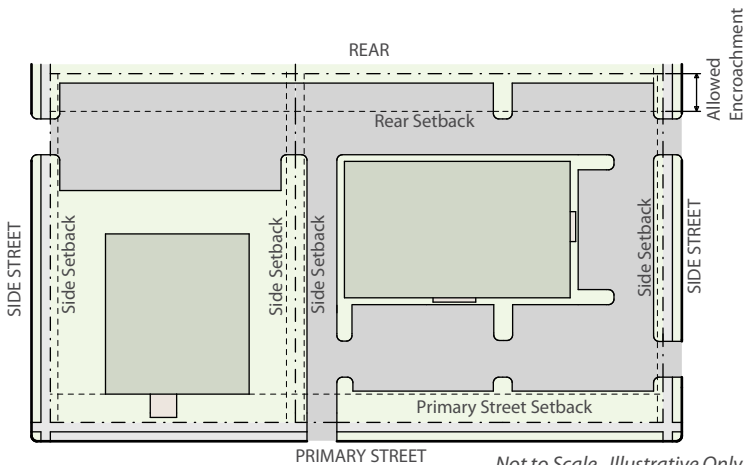


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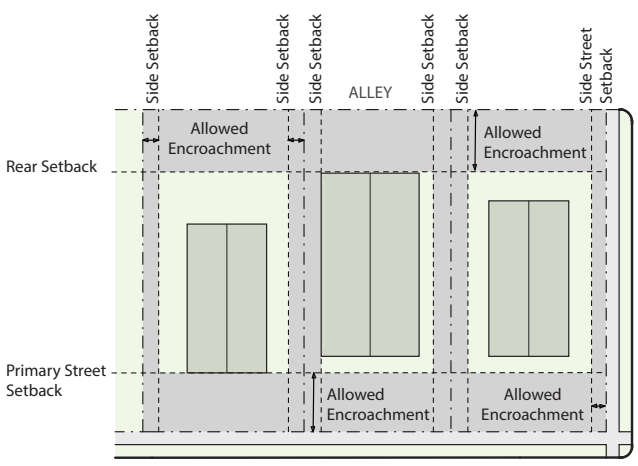

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
<p>Shading devices: Projections from Exterior Walls intended to control light entering through windows or doors.</p> <ul style="list-style-type: none">Horizontal shading devices shall include awnings, horizontal sunshades, and other shading devices projecting in a horizontal planeAll other shading devices shall include vertical sunshades, vertical screens and combination horizontal/vertical sunshades ("eggcrate" sunshades)Vertical screens and combination horizontal/vertical sunshades ("eggcrate" sunshades) shall be at least 50% open	All S- Zone Districts	All Building Forms	Horizontal shading devices: 5'	Horizontal shading devices: 3'	Horizontal shading devices: 3'	Horizontal shading devices: 10'
			All other shading devices: 1.5'	All other shading devices: 1.5	All other shading devices: 1.5	All other shading devices: 1.5
Intent: To allow for elements either integral or attached to a building which control entering light	<div><div><p>Horizontal Sunshade</p><p>Awnings</p><p>Vertical Sunshades</p><p>Vertical Screen</p></div><p>Illustrative only</p><p>Not to Scale. Illustrative Only.</p></div>					

2. Site Elements

To allow for minor screening and parking elements while maintaining an open and unobstructed setback.

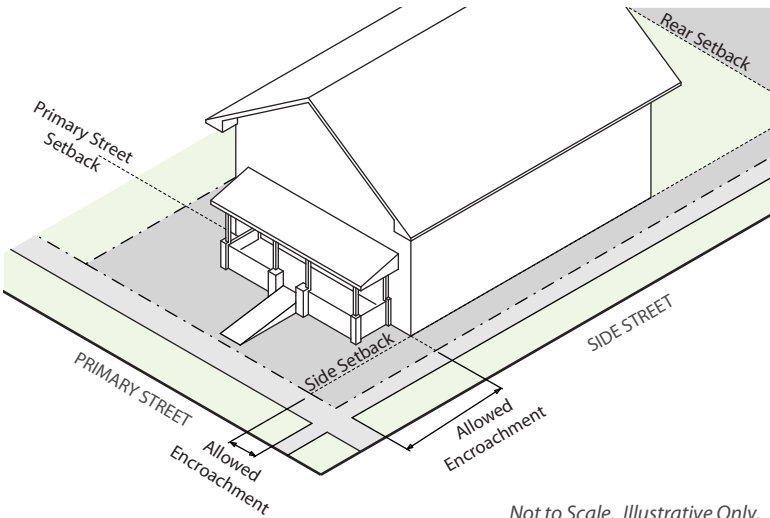

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Fences and Walls	See Article 10, Division 10.5 Landscaping, Fences, Walls and Screening					
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Off-Street Parking Area for Suburban House, Duplex, and Tandem House building forms	All S-SU, S-RH, S-MU Zone Districts	All Building Forms Suburban House, Duplex, and Tandem House	Any distance	Any distance	Any distance	Any distance
<p>Intent: To allow off-street parking area where it is not impactful due to the number of required parking spaces.</p>  <p><i>Illustrative only</i></p>	 <p>Not to Scale. Illustrative Only.</p>					
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Off-Street Parking Area	All S-RH and S-MU Zone Districts	Row House and Apartment	Not allowed	Not allowed	Allowed within the rear 35% of the Zone Lot only	Any distance
<p>Intent: To restrict off-street parking area where it is impactful due to the number of required parking spaces.</p>	 <p>Not to Scale. Illustrative Only.</p>					

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Drive or Driveway	All S-SU, S-RH, S-MU Zone Districts	Suburban House, Duplex, and Tandem House	Any distance	Any distance	Any distance	Any distance
Intent: To allow a Drive or Driveway to access an Off-Street Parking Area.						
 <i>Illustrative only</i>						
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Drive or Driveway	All S-RH and S-MU Zone Districts	Row House and Apartment	Any distance	Any distance	Not allowed (*see exception below)	Any distance
Intent: To allow a Drive or Driveway to access an Off-Street Parking Area, but restrict the location where it is impactful due to proximity to adjacent properties.						
 <i>Illustrative only</i>						
<p>*Exception: A Drive or Driveway may encroach any distance into a Side Interior setback where:</p> <ul style="list-style-type: none">• The Side Interior setback Abuts a public Alley;• Other public right-of-way, or an easement for public access Abutting a public Alley; or• Where a shared access agreement allows the Drive or Driveway to provide shared access to more than one Abutting Zone Lot.						

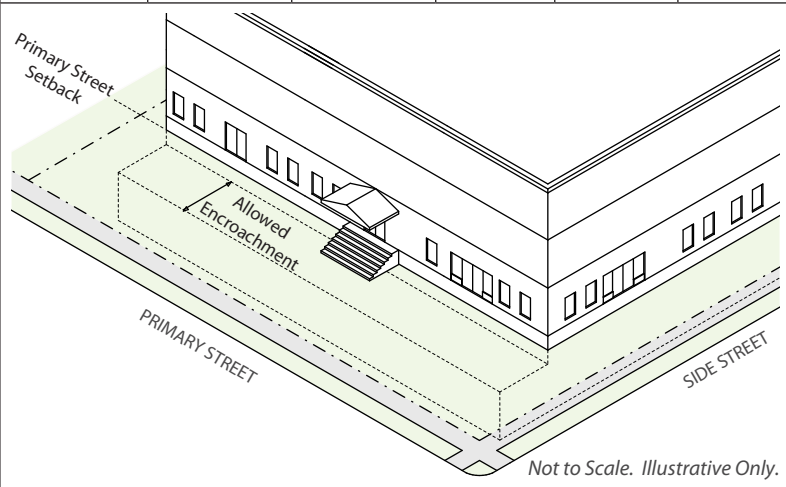
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Flatwork providing pedestrian access to entrances and buildings:	All S- Zone Districts	All Building Forms	Any distance, but may not exceed 50% of the area within the setback	Any distance, but may not exceed 50% of the area within the setback	Maximum of 5' wide, Any distance	Maximum of 5' wide, Any distance
Intent: To provide pedestrian access routes to entrances and buildings, but restrict coverage and width to ensure adequate openness						
 <p><i>Illustrative only</i></p>						

3. Service & Utility Elements

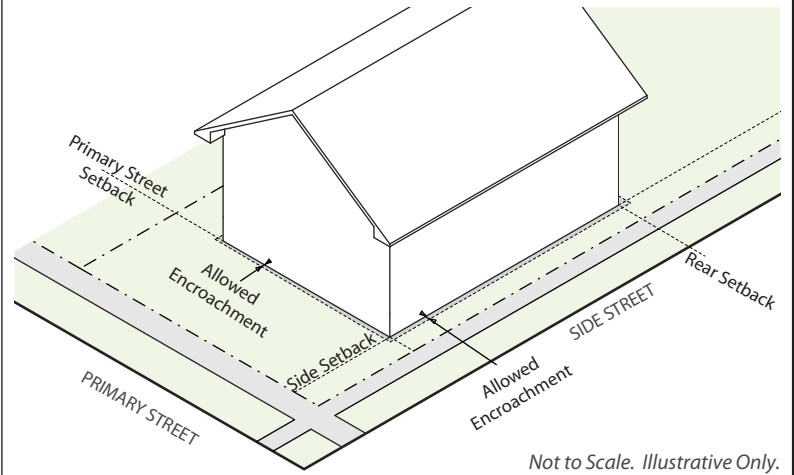
To allow for minor service and utility elements while maintaining an open and unobstructed setback.

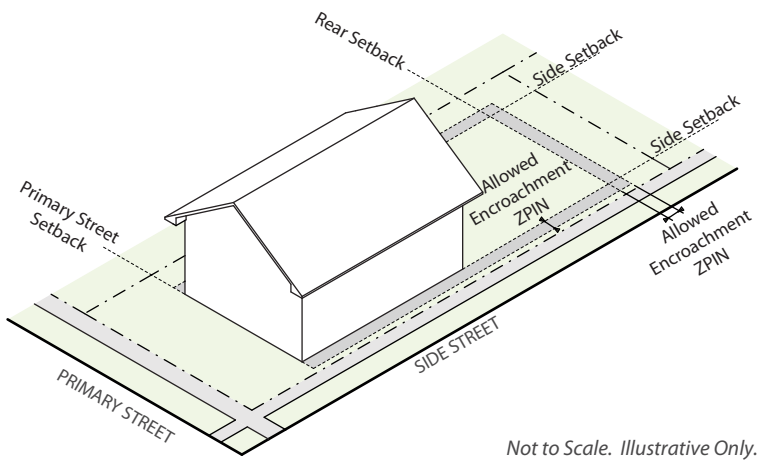
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Barrier-free access structures providing access to existing buildings, when no alternative location is available.	All S- Zone Districts	All Building Forms	Any distance	Any distance	Any distance	Any distance
• Setback encroachments for barrier-free access structures are only allowed for expansions, enlargements, and alterations to existing buildings.						
Intent: To provide flexibility in the location of barrier-free access structures, to existing buildings:						
 <p><i>Illustrative only</i></p>						

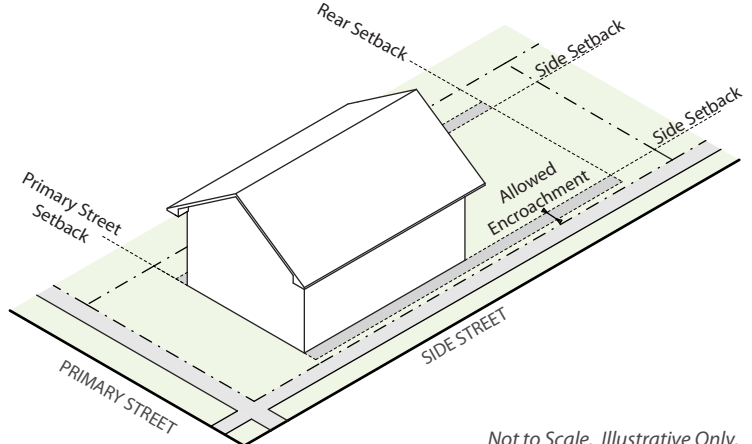

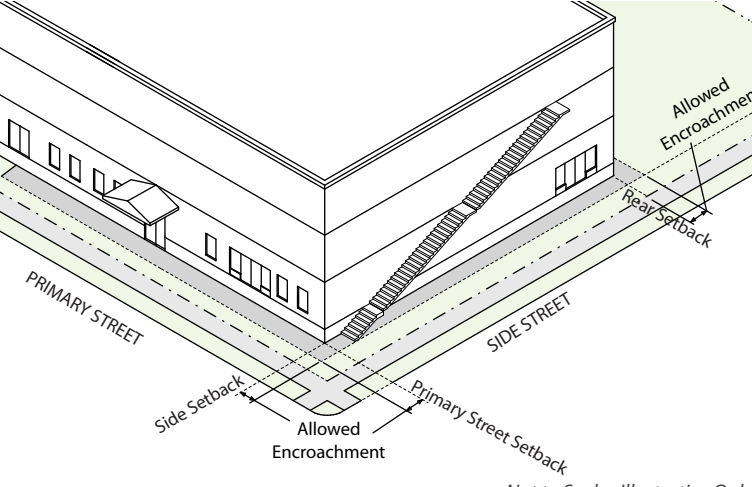
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Basketball goals on a fixed post	All S- Zone Districts	All Building Forms	Any distance	Any distance	Any distance	Any distance
	<p>The diagram illustrates the setbacks and encroachments for a building on a lot. It shows a house with setbacks from the Primary Street, Side Street, and Rear. It also shows encroachments from the Primary Street and Side Street. The diagram is labeled 'Not to Scale. Illustrative Only.'</p>					

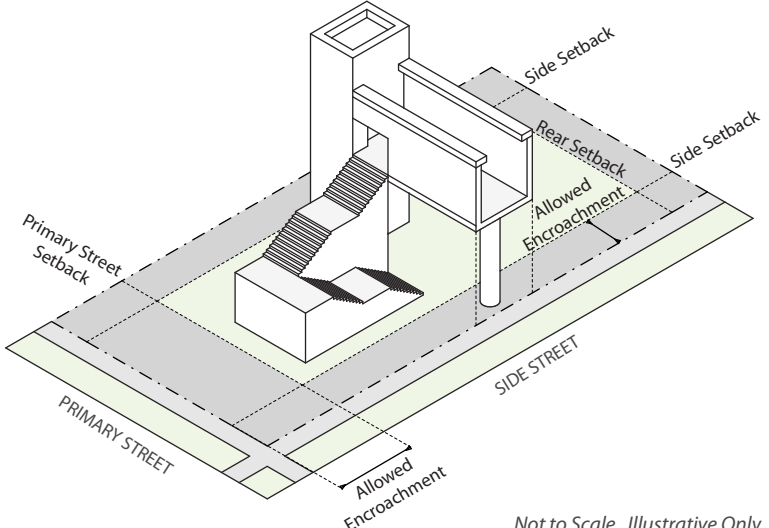

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Bomb shelter or fallout shelter entrances not more than 2-feet above grade; Bomb shelter or fallout shelter vents not more than 3-feet above grade	All S- Zone Districts	All building forms	Any distance	Any distance	Any distance	Any distance
Intent: To allow for functional siting.						
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
<u>Existing</u> Chimneys originally designed and constructed to enclose fireboxes, smoke chambers, and flues serving wood-burning fireplaces and not exceeding 6-feet in width	All S- Zone Districts	All building forms	Any distance	Any distance	Any distance	Any distance
Intent: To allow for functional siting.						
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Enclosed structure that is below the original grade and completely underground, of any setback, except as otherwise restricted by this Code	All S- Zone Districts	All Building Forms	Any distance	Any distance	Any distance	Any distance
Intent: To allow below grade structures that do not disrupt the streetscape.						
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Gas and electric meters	All S- Zone Districts	All Building Forms	1.5'	1.5'	1.5'	1.5'


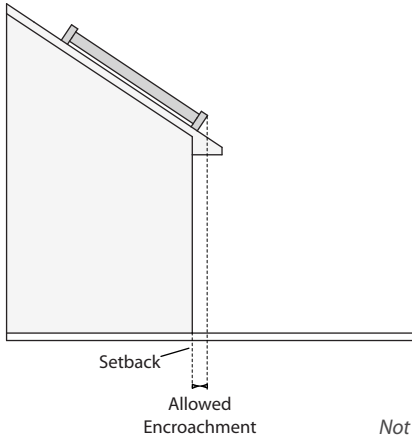
Intent: To allow for functional siting.

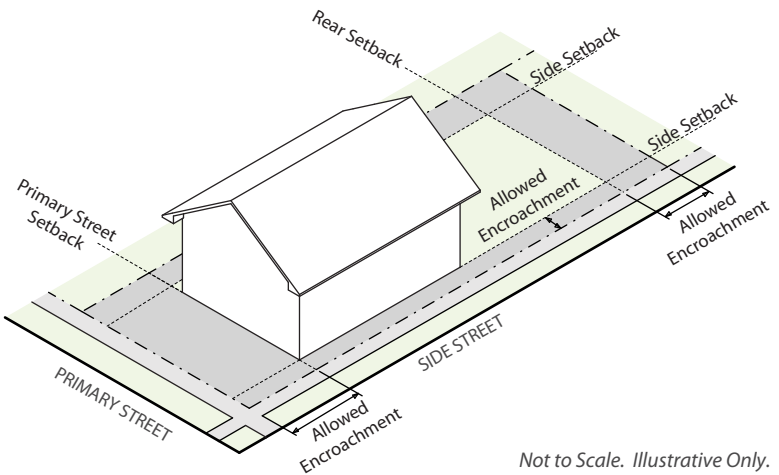
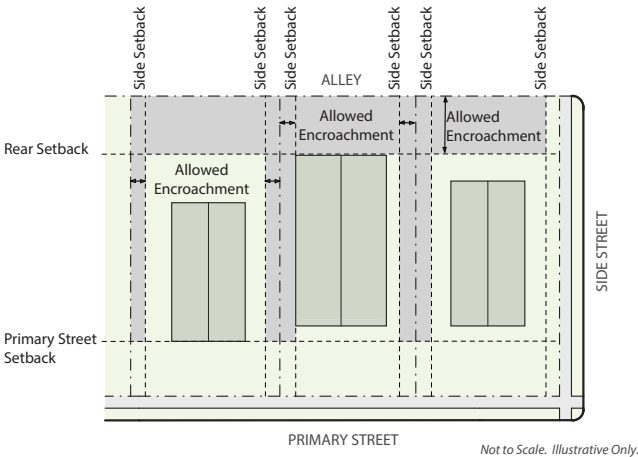



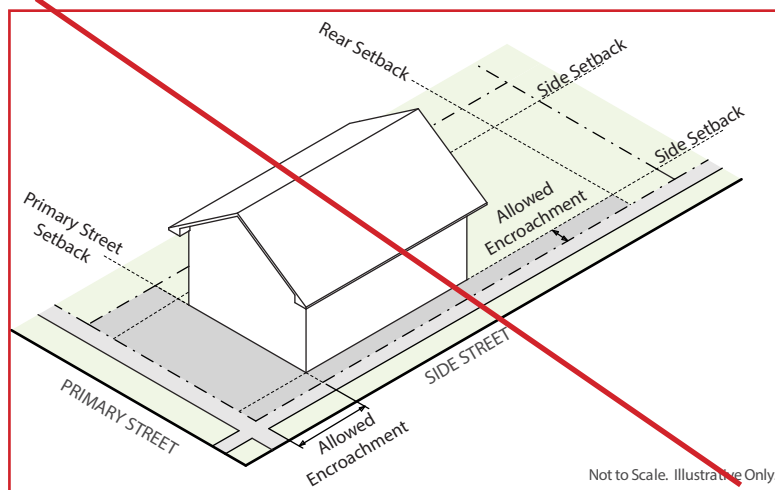

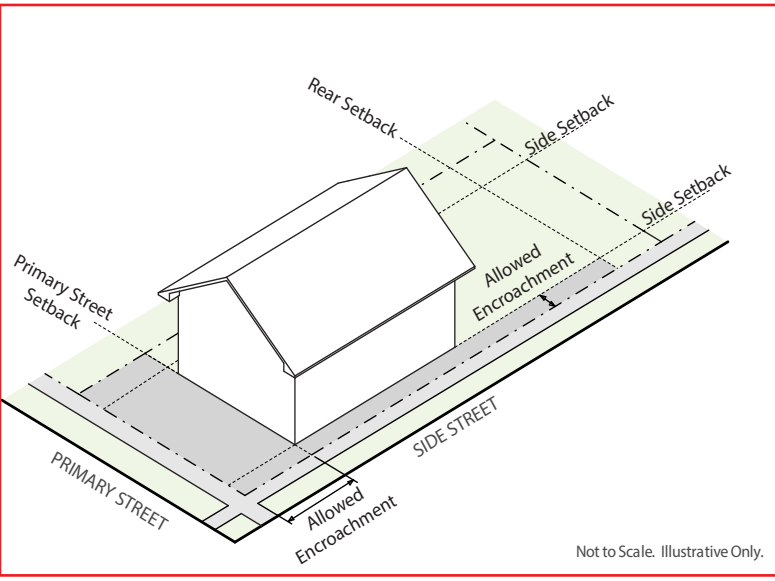
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
<p>Ground-mounted air-conditioning units or other similar mechanical equipment, except evaporative coolers, provided the following are all met:</p> <ul style="list-style-type: none"> Removed this exception because these can be allowed with the Minor Detached Structure 	All S-Zone Districts	All Building Forms	Not allowed	3'; subject to Zoning Permit Review with Informational Notice	3'; subject to Zoning Permit Review with Informational Notice	3'; subject to Zoning Permit Review with Informational Notice
<ul style="list-style-type: none"> Does not generate more than 75 decibels of ambient sound according to the manufacturer's specifications and does not exceed the noise standards of Section 36-6 of the DRMC; Does not exceed 4' in height or 10 square feet in area per unit; Does not exceed 2 units per zone lot; Has adequate screening to conceal it from view from adjacent properties and public rights-of-way by means of landscaping and/or fencing; and The location of the unit(s) minimizes the impacts on adjoining properties. 						
<p>Intent: To allow for functional siting:</p>	 <p>Not to Scale. Illustrative Only.</p>					
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
<p>Ground-mounted evaporative coolers</p> <ul style="list-style-type: none"> located behind the front of the primary structure and screened from adjacent properties and public rights-of-way, and not to exceed the noise standards of D.R.M.C. Section 36-6 Removed this exception because these can be allowed with the Minor Detached Structure 	All S-Zone Districts	All Building Forms	Not allowed	3'	3'	Not allowed

<p>Intent: To allow for functional siting.</p>	 <p>Not to Scale. Illustrative Only.</p>					
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
<p>Emergency egress, when required by Denver Fire Code, such as fire escapes, fire escape ladders, and outside stairways, <u>but including landing(s) which do not exceed the minimum required dimensions for a landing as defined in the Denver Building And Fire Code</u> and excluding above-grade walkways.</p>	All S- Zone Districts	All Building Forms	5'	3'	3'	10'
<p>Intent: To provide for egress from a building only for emergency purposes</p> <div data-bbox="212 1247 625 1617">  <p>Illustrative only</p> </div>	 <p>Not to Scale. Illustrative Only.</p>					

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Pedestrian Bridge where the encroachment is necessary to complete a connection for a continuous, publicly accessible pedestrian/bicycle route provided the Department of Transportation and Infrastructure ("DOTI") has approved a right-of-way encumbrance.	All S- Zone Districts	All Building Forms	Any distance	Any distance	Any distance	Any distance
Intent: To allow for above-grade connections that support continuous publicly accessible pedestrian/bicycle routes	 <p>Not to Scale. Illustrative Only.</p>					
 <p>Illustrative only</p>						

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Retaining structures for window wells and below grade areas, (1) shall not extend more than 6-inches above grade; and (2) shall not exceed 6-feet in width as measured parallel to the exterior walls of the structure served	All S- Zone Districts	All building forms	4'	4'	4'	4'
Intent: To allow for openings to below-grade spaces						
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Retaining structures for window wells and below grade areas for exits, exit discharges, and emergency escape and rescue openings required by the Denver Building and Fire Code, (1) shall not extend more than 6-inches above <u>finished</u> grade; and (2) shall not exceed 6-feet in width as measured parallel to the exterior walls of the structure served; and (3) shall not <u>extend more than-exceed</u> 4 -feet <u>into the setback in width</u> as measured perpendicular to the exterior walls of the structure served; and (4) shall not exceed the minimum number of exits or emergency escape and rescue openings required by the Denver Building and Fire Code	All S- Zone Districts	All building forms	Any distance	Any distance	Any distance	Any distance
Intent: To allow for minimum means of egress components and minimum emergency escape and rescue openings required for life-safety						
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Solar Panel, <u>Flush Mounted building-mounted</u>	All S- Zone Districts	All Building Forms	Any distance	Any distance	Any distance	Any distance
Intent: To allow <u>flush mounted</u> solar panels on <u>the roof of existing</u> structures <u>that which</u> may not meet a required minimum setback.						
 <p><i>Illustrative only</i></p>	 <p><i>Not to Scale. Illustrative Only.</i></p>					

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Utility pedestals, transformers or other similar equipment, excluding mechanical equipment: • Shall not exceed 43' in height.	All S- Zone Districts	All Building Forms	Any distance	Any distance	Any distance	Any distance
Intent: To allow for functional siting.	 <p>Not to Scale. Illustrative Only.</p>					
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Utility pedestals, transformers or other similar equipment, excluding mechanical equipment: • Greater than 3' in height but not exceeding 8' in height above Finished Grade.	All S-RH, S-MU, S-CC, S-MX, and S-MS Zone Districts	All Building Forms	Not allowed	Not allowed	Any distance	Any distance
Intent: To allow for functional siting.	 <p>Not to Scale. Illustrative Only.</p>					
 <p>Illustrative only</p>						
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Mailboxes and other <u>similar accessory</u> structures <u>serving a similar utilitarian function</u> , including <u>individual mailbox structures and cluster box units (CBUs) and free-standing bike racks</u>	All S-Zone Districts	All Building Forms	Any distance	Any distance	Not allowed, <u>unless also within the Primary Street Setback</u>	Not allowed

Intent: To allow for functional siting.	<div></div>						
<div><p><i>Illustrative only</i></p></div>	<div></div>						
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR	
Wall-mounted fixtures, wiring, conduit, piping, and vents integral to conventional mechanical, electrical, plumbing, and fire protection systems (1) not otherwise identified as an allowed setback encroachment; and (2) serving permitted uses on the zone lot; and (3) projecting no more than 18-inches from the exterior face of the exterior wall Including but not limited to electrical panelboards, controllers, sensors, meters, drains, hosebibs, hydrants, fire department connections, sprinklers, alarms, dryer vents, bathroom vents, furnace vents, radon exhaust fans, lighting fixtures, and similar minor utility features approved by the Zoning Administrator	All S- Zone Districts	All building forms	Wall-mount- ed lighting fixtures and elements of fire protec- tion systems: Any Distance All Others: Not Allowed	Any distance	Any distance	Any distance	
Intent: To allow for functional siting.							

3.3.7.5 Building Coverage Exception

A. Applicability

All S-SU, S-RH, and S-MU zone districts where a building coverage standard applies.

B. Unenclosed Porch Exception

1. Intent

To promote street activation and human scale.

2. Standard

The Building Footprint of a Primary Structure occupied only by portions of an Unenclosed Porch may be excluded from the calculation of Building Coverage up to a maximum of 400 square feet for each dwelling unit if:

- a. The portions of the Unenclosed Porch are located between the Primary Street zone lot line and the Primary Street-facing ~~f~~ Façade(s) of the Primary Structure (a Façade is "Street-facing" when it meets the criteria in Section 13.1.6.5 Determination of "Street-Facing" Building Elements); and
- b. The portions of the Unenclosed Porch provide access to a Primary Use within the structure.

3.3.7.6 Vehicle Access From Alley Required - Exceptions

A. No Alley

Where a building form specifies "street access allowed when no Alley present", vehicle access from the street is allowed when a Zone Lot is not bounded by an Alley.

B. Alley Access Required

Where a building form specifies vehicle access from Alley is required, and the Zone Lot is bounded by an Alley, any newly constructed Driveway, Off-Street Parking Area, Garage, Carport, or other parking facility shall be accessed solely from an Alley, unless the applicant can demonstrate at the time of zoning permit application that an exception stated in this Section 3.3.7.6 applies.

C. DOTI Approval Required for All Exceptions to Alley Access

The Department of Transportation and Infrastructure ("DOTI") shall approve all requests for an exception to required Alley access under this Section 3.3.7.6.

D. General Exceptions

When one or more of the conditions listed in this Section 3.3.7.6.D apply, street access may be used instead of alley access. However, if improvements to any portion of the Alley, including widening and/or repaving, are required by the City at the time of Development due to a change in use or intensity, which improvements resolve one or more conditions for an exception specified in this Section 3.3.7.6.D, then vehicular Alley access shall be required.

1. The Alley is not provided with an all-weather surface of asphalt, asphaltic concrete, concrete, or any equivalent material;
2. The Alley is less than 12 feet in width;
3. At least 60 percent of the existing Zone Lots on the same Face Block are served by Driveways, Off-Street Parking Areas, Garages, Carports, or other parking facilities accessed from a primary street.
4. The Department of Transportation and Infrastructure ("DOTI") prohibits the use of the Alley for vehicular access to the Zone Lot based upon a determination that the Alley cannot safely or operationally accommodate additional vehicular traffic; or
5. The Primary Use is within the Civic, Public, and Institutional Use Category and the DRC determines during Site Development Plan review that street access is more consistent

with the Comprehensive Plan, or is necessary to ensure safety or vehicle operational needs.

E. Special Exception for Pre-Existing Street Access

When the conditions listed in this Section 3.3.7.6.E apply, street access may be used instead of alley access:

1. Vehicular access from the street to an accessory Garage, Carport, or other Off-Street Parking Area was legally established, constructed, or expanded prior to June 25, 2010, and has been Continuously Maintained; and
2. The Primary Structure containing either a Single-Unit or Two-Unit Dwelling use on the same Zone Lot is not Voluntarily Demolished. In the case of Voluntary Demolition of the Primary Structure, vehicle access must be taken from the Alley unless otherwise allowed by this Section 3.3.7.6.

SECTION 3.3.8 REFERENCE TO OTHER DESIGN STANDARDS

3.3.8.1 Article 10: General Design Standards

Refer to the following Divisions for other applicable design standards

- A. Parking and Loading: Division 10.4
- B. Landscaping, Fences, Walls and Screening: Division 10.5
- C. Site Grading: Division 10.6
- D. Outdoor Lighting: Division 10.7
- E. Signs: Division 10.10

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DIVISION 3.4 USES AND REQUIRED MINIMUM PARKING

SECTION 3.4.1 APPLICABILITY

- 3.4.1.1 This Division 3.4 sets forth the land uses permitted, the required zoning procedure and the required minimum parking for all the Suburban Neighborhood Context zone districts.
- 3.4.1.2 Uses not listed are prohibited, unless the Zoning Administrator specifically permits the unlisted use according to Section 12.4.6, Code Interpretations and Determination of Unlisted Uses.
- 3.4.1.3 For number of primary and accessory uses allowed per Zone Lot, see Section 1.2.3.5, Number of Structures and Uses Allowed per Zone Lot.

SECTION 3.4.2 ORGANIZATION

3.4.2.1 Organized by Primary, Accessory and Temporary Uses

The Use and Parking Table first presents all primary uses, then all accessory uses, and finally all temporary uses. Primary uses are arranged hierarchically within the table by use classification, category of primary uses, and then by specific use type. Accessory uses are organized by whether such use is accessory to a primary residential use or to a primary nonresidential use. Temporary uses are presented alphabetically ordered in the last division of the table.

3.4.2.2 Primary Use Classifications, Categories & Specific Use Types

A. Primary Use Classifications

All primary land uses in the Use and Parking Table are organized into one of the following five general land use classifications:

1. Residential Uses
2. Civic, Public & Institutional Uses
3. Commercial Sales, Service & Repair Uses
4. Industrial, Manufacturing & Wholesale Uses
5. Agriculture

B. Primary Use Categories & Specific Use Types

Primary uses are further organized into use categories and specific use types listed under each general primary land use classification. The Use and Parking Table is organized into the above five general land use classifications, use categories and specific use types.

C. Classifications & Categories Are Mutually Exclusive

The general land use classifications and use categories listed in the Use and Parking Table are intended to be mutually exclusive; that is, a use classified into one use category, such as “lodging accommodations,” cannot be classified in a different use category, such as “congregate living,” unless otherwise expressly permitted by this Code.

SECTION 3.4.3 EXPLANATION OF TABLE ABBREVIATIONS

3.4.3.1 General Explanation of Table Cell Entries

In each of the table cells, the entry will indicate first whether use limitations apply to the specific use, and then separated by a hyphen, the type of zoning review required prior to establishment of the use under this Code. For example, as described in more detail below, a cell entry “L-ZPIN” means, first, the use is subject to use limitations (the “L”), and, second, that the use is subject to zoning permit review with information notice (the “ZPIN”) prior to its establishment.

3.4.3.2 Permitted, Limited, Not Permitted

A. Permitted Use - No Use Limitations Apply (“P”)

A “P” in a table cell indicates that the use is permitted in the respective zone district, and is not subject to use limitations.

B. Permitted Use - Subject to Use Limitations (“L”)

“L” in a table cell indicates the use is permitted in the zone district subject to compliance with the use limitations referenced in the last column of the use table (“Applicable Use Limitations”).

C. Uses Not Permitted (“NP”)

“NP” in a table cell indicates that the use is not permitted in the specific zone district.

3.4.3.3 Zoning Procedure

A. Use Subject to Zoning Permit Review (“ZP”)

“ZP” in a table cell indicates that the use is permitted in the respective zone district only if reviewed and approved according to the requirements in Section 12.4.1, Zoning Permit Review.

B. Use Subject to Zoning Permit Review with Informational Notice (“ZPIN”)

“ZPIN” in a table cell indicates that the use is permitted in the respective zone district only if reviewed and approved according to the public notice and procedural requirements in Section 12.4.2, Zoning Permit Review with Informational Notice. Such uses shall comply with any applicable use limitations noted in the last column of the use table (“Applicable Use Limitations”), as well as the review criteria stated in Section 12.4.2, Zoning Permit Review with Informational Notice.

C. Use Subject to Zoning Permit Review with Community Information Meeting (“ZPCIM”)

“ZPCIM” in a table cell indicates that the use is permitted in the respective zone district only if reviewed and approved according to the public notice and procedural requirements in Section 12.4.1, Zoning Permit Review. Prior to formal application, an applicant shall schedule a community information meeting and provide public notice of the community information meeting according to Section 12.3.4.6, Community Information Meeting.

D. Use Subject to Zoning Permit with Special Exception Review (“ZPSE”)

“ZPSE” in a table cell indicates that use is generally appropriate in the neighborhood context and zone district, yet may have the potential for limited impacts on adjacent properties or on the established character of the neighborhood context or zone district. “ZPSE” uses are subject to a Board of Adjustments public hearing according to Section 12.4.9, Zoning Permit with Special Exception Review, which grants the Board of Adjustment the authority to impose conditions on the specified use to mitigate any potential impacts. Such uses shall comply with any applicable use limitations noted in the last column of the use table (“Applicable Use Limitations”), as well as the review criteria stated in Section 12.4.9, Zoning Permit with Special Exception Review.

E. Uses Where More Than One Zoning Procedure Is Indicated

Where a table cell shows more than one zoning procedure applies to a use, for example “L-ZP/ZPIN”, the referenced use limitation (last table column) will indicate which zoning procedure applies in a specific case. For example, a table cell may indicate “L-ZPIN/ZPSE” for a use. This means that the ZPIN zoning procedure will apply, unless the applicable use limitation specifies the ZPSE zoning procedure is triggered (e.g., by proximity to a Protected District).

3.4.3.4 Enclosure of Uses

All primary, accessory and temporary uses must be established, operated and maintained within a Completely Enclosed Structure, unless otherwise specifically allowed by this Code. The Use and Parking Tables in Articles 3-9 indicate when a use may be established, operated or maintained outside a Completely Enclosed Structure by including an asterisk “*” next to the specific use type. For

example, the asterisk following the “Telecommunication Tower*” use type in the tables indicates that a telecommunication tower land use need not be enclosed.

SECTION 3.4.4 DISTRICT SPECIFIC STANDARDS

KEY: * = Need Not be Enclosed P = Permitted Use without Limitations L = Permitted Use with Limitations NP = Not Permitted Use ZP = Zoning Permit Review
ZPCIM = Subject to Zoning Permit Review with Community Information Meeting ZPIN = Subject to Zoning Permit Review with Informational Notice
ZPSE = Subject to Zoning Permit with Special Exception Review When no ZP, ZPCIM, ZPIN, ZPSE listed = No Zoning Permit required

USE CATEGORY	SPECIFIC USE TYPE • Vehicle Parking Reqmt: # spaces per unit of measurement • Bicycle Parking Reqmt : # spaces per unit of measurement (% Required Spaces in Enclosed Facility /% Required Spaces in Fixed Facility)	S-SU-A S-SU-A1 S-SU-D S-SU-D1 S-SU-F S-SU-F1 S-SU-F1A S-SU-I S-SU-I1 S-SU-I1x S-SU-I1x	S-SU-Fx F1x S-SU-Ix S-SU-I1x S-SU-I1x	S-RH-2.5	S-MU-3 S-MU-5 S-MU-8 S-MU-12 S-MU-20	S-CC-3x S-CC-5x	S-CC-3 S-CC-5	S-MX-2x S-MX-2A	S-MX-3 S-MX-3A S-MX-5 S-MX-5A S-MX-8 S-MX-8A S-MX-12 S-MX-12A	S-MS-3 S-MS-5	APPLICABLE USE LIMITATIONS
RESIDENTIAL PRIMARY USE CLASSIFICATION											
Household Living	Dwelling, Single Unit • No Parking Requirements	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.2.6
	Dwelling, Two Unit • Vehicle: 1.25/unit • MS only: 1/unit • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.2.2; \$11.2.6
	Dwelling, Multi-Unit • Vehicle - MS only: 1/unit • Vehicle: 1.25/unit • Bicycle: 1/ 5 units (80/20)	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.2.3; \$11.2.6
	Dwelling, Live / Work • Vehicle - MS only: 1/unit • Vehicle: 1.25/unit • Bicycle: 1/ 5 units (80/20)	NP	NP	NP	NP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.2.4; \$11.2.6
Residential Care	Residential Care, Type 1 • Vehicle: .5/1,000 sf GFA • Bicycle: No requirement	L/L-ZP	L/L-ZP	L/L-ZP	L/L-ZP	L/L-ZP	L/L-ZP	L/L-ZP	L/L-ZP	L/L-ZP	\$11.2.7; \$11.2.8
	Residential Care, Type 2 • Vehicle: .5/1,000 sf GFA • Bicycle: No requirement	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.2.7; \$11.2.9
	Residential Care, Type 3 • Vehicle: .5/1,000 sf GFA • Bicycle: No requirement	NP	NP	NP	S-MU-3, -5: NP S-MU-8, -12, -20: L-ZPCIM	L-ZPCIM	L-ZPCIM	NP	NP	L-ZPCIM	\$11.2.7; \$11.2.10
	Residential Care, Type 4 • Vehicle: .5/1,000 sf GFA • Bicycle: No requirement	NP	NP	NP	S-MU-3, -5: NP S-MU-8, -12, -20: L-ZPCIM	L-ZPCIM	L-ZPCIM	NP	NP	L-ZPCIM	\$11.2.7; \$11.2.11
Congregate Living	All Types • Vehicle: 1/1,000 sf GFA • Bicycle: 1/20,000 sf GFA	NP	NP	NP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
CIVIC, PUBLIC & INSTITUTIONAL PRIMARY USE CLASSIFICATION											
Basic Utilities	Utility, Major Impact* • Vehicle: .5/ 1,000 sf GFA • Bicycle: No requirement	L-ZPSE	L-ZPSE	L-ZPSE	L-ZPSE	L-ZPSE	L-ZPSE	L-ZPSE	L-ZPSE	L-ZPSE	\$11.3.1
	Utility, Minor Impact* • Vehicle: .5/ 1,000 sf GFA • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.3.2

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USE CATEGORY	SPECIFIC USE TYPE • Vehicle Parking Reqmt: # spaces per unit of measurement • Bicycle Parking Reqmt : # spaces per unit of measurement (% Required Spaces in Enclosed Facility /% Required Spaces in Fixed Facility)	S-SU-Fx S-SU-F1x S-SU-Ix S-SU-I1x	S-SU-A S-SU-A1 S-SU-D S-SU-D1 S-SU-F S-SU-F1 S-SU-F1A S-SU-I S-SU-I1	S-RH-2.5	S-MU-3 S-MU-5 S-MU-8 S-MU-12 S-MU-20	S-CC-3x S-CC-5x	S-CC-3 S-CC-5	S-MX-2x	S-MX-2 S-MX-2A	S-MX-3 S-MX-3A S-MX-5 S-MX-5A S-MX-8 S-MX-8A S-MX-12 S-MX-12A	S-MS-3 S-MS-5	APPLICABLE USE LIMITATIONS
Community/ Public Services	Community Center* • Vehicle: .5 / 1,000 sf GFA • Bicycle: 1 / 10,000 sf GFA (0/100)	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.3.3
	Day Care Center • Vehicle: 1/ 1,000 sf GFA • Bicycle: 1/ 10,000 sf GFA (0/100)	L-ZP	L-ZP	P-ZPIN	P-ZP	P-ZP	P-ZP	P-ZPIN	P-ZP	P-ZP	P-ZP	\$11.3.4
	Postal Facility, Neighborhood • Vehicle - MS only: 2/1,000 sf GFA • Vehicle: 2.5/ 1,000 sf GFA • Bicycle: 1/ 20,000 sf GFA (20/80)	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
	Postal Processing Center • Vehicle: 1/ 1,000 sf GFA • Bicycle: 1/ 20,000 sf GFA (20/80)	NP	NP	NP	NP	P-ZP	P-ZP	NP	NP	P-ZP	P-ZP	
	Public Safety Facility • Vehicle: 1/ 1,000 sf GFA • Bicycle: 1/ 10,000 sf GFA (0/100)	L-ZP	L-ZP	L-ZP	L-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	\$11.3.5
	Hospital	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Correctional Institution	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Cultural/Special Purpose/Public Parks & Open Space	Cemetery*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Library • Vehicle: 1/ 1,000 sf GFA • Bicycle: 1/ 10,000 sf GFA (0/100)	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
	Museum • Vehicle: 1/ 1,000 sf GFA • Bicycle: 1/ 10,000 sf GFA (0/100)	NP	NP	NP	NP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
	City Park*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Open Space - Conservation* • No Parking Requirements	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
Education	Elementary or Secondary School • Vehicle- High School: 2/1,000 sf GFA • Bicycle - High School: 1/ 20,000 sf GFA (0/100) • Vehicle- All Others: 1/1,000 sf GFA • Bicycle-All Others: 1/ 10,000 sf GFA (0/100)	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.3.8
	University or College • Vehicle: 1/ 1,000 sf GFA • Bicycle: 1/ 10,000 sf GFA (0/100)	NP	NP	NP	L-ZP	L-ZP	L-ZP	NP	L-ZP	L-ZP	L-ZP	\$11.3.8; § 11.3.9
	Vocational or Professional School • Vehicle: 1/ 1,000 sf GFA • Bicycle: 1/ 10,000 sf GFA (0/100)	NP	NP	NP	NP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.3.8

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USE CATEGORY	SPECIFIC USE TYPE • Vehicle Parking Reqmt: # spaces per unit of measurement • Bicycle Parking Reqmt : # spaces per unit of measurement (% Required Spaces in Enclosed Facility /% Required Spaces in Fixed Facility)	S-SU-Fx S-SU-F1x S-SU-lx S-SU-l1x	S-SU-A S-SU-A1 S-SU-D S-SU-D1 S-SU-F S-SU-F1 S-SU-F1A S-SU-I S-SU-I1	S-RH-2.5	S-MU-3 S-MU-5 S-MU-8 S-MU-12 S-MU-20	S-CC-3x S-CC-5x	S-CC-3 S-CC-5	S-MX-2x	S-MX-2 S-MX-2A	S-MX-3 S-MX-3A S-MX-5 S-MX-5A S-MX-8 S-MX-8A S-MX-12 S-MX-12A	S-MS-3 S-MS-5	APPLICABLE USE LIMITATIONS
Public and Religious Assembly	All Types • Vehicle: .5/ 1,000 sf GFA • Bicycle: 1 / 10,000 sf GFA (0/100)	L-ZP	L-ZP	L-ZP	L-ZP	P-ZP	P-ZP	L-ZP	P-ZP	P-ZP	P-ZP	§ 11.3.10
COMMERCIAL SALES, SERVICES, & REPAIR PRIMARY USE CLASSIFICATION												
Adult Business	All Types	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	See Section 9.4.4, Use Overlay Districts, for adult business use allowance in the UO-1 District.
Arts, Recreation & Entertainment	Arts, Recreation and Entertainment Services, Indoor • Vehicle - Artist Studio: 0.3/1000 sf GFA • Vehicle - All Others - MS only: 2/1,000 sf GFA • Vehicle - All Others: 2.5/ 1,000 sf GFA • Bicycle: 1/20,000 sf GFA (20/80)	NP	NP	NP	NP	P-ZP	P-ZP	L-ZPIN	L-ZP	P-ZP	P-ZP	§ 11.4.2
	Arts, Recreation and Entertainment Services, Outdoor* • Vehicle - MS only: 2/1,000 sf GFA • Vehicle: 2.5/ 1,000 sf GFA • Bicycle: 1/20,000 sf GFA (20/80)	NP	NP	NP	NP	L-ZPSE	L-ZP	NP	L-ZPSE	L-ZPSE	L-ZPSE	§ 11.4.3
	Event Space with Alternate Parking and Loading* • Vehicle: No requirement • Bicycle: No requirement	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Sports and/or Entertainment Arena or Stadium*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Nonresidential Uses in Existing Business Structures In Residential Zones (All Uses Shall Be Parked According to the Parking Requirement Stated in this Use Table for the Specific Nonresidential Use)		L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	Not Applicable						§11.4.6
Parking of Vehicles	Parking, Garage • No Parking Requirements	NP	NP	NP	P-ZP	P-ZP	P-ZP	NP	P-ZP	P-ZP	P-ZP	
	Parking, Surface* • No Parking Requirements	NP	NP	L-ZP	L-ZP	P-ZP	P-ZP	NP	NP	NP	NP	§ 11.4.8
Eating & Drinking Establishments	All Types • Vehicle - MS only: 2/1,000 sf GFA • Vehicle: 5/1,000 sf GFA • Bicycle: 1/5,000 sf GFA (0/100)	NP	NP	NP	NP	P-ZP	P-ZP	L-ZPSE	L-ZP	P-ZP	P-ZP	§ 11.4.9

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Lodging Accommodations	Bed and Breakfast Lodging • Vehicle: 1/guest room or unit • Bicycle: 1/20,000 sf GFA (60/40)	NP	NP	NP	NP	P-ZP	P-ZP	NP	P-ZP	P-ZP	P-ZP	
	Lodging Accommodations, All Others • Vehicle: 1/guest room or unit • Bicycle: 1/20,000 sf GFA (60/40)	NP	NP	NP	NP	P-ZP	P-ZP	NP	NP	P-ZP	P-ZP	
Office	Dental / Medical Office or Clinic • Vehicle: 2/1,000 sf GFA • Bicycle: 1/20,000 sf GFA (60/40)	NP	NP	NP	NP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.4.10
	Office, All Others • Vehicle: 2/ 1,000 sf GFA • Bicycle: 1/20,000 sf GFA (60/40)	NP	NP	NP	NP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	

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Retail Sales, Service & Repair (Not Including Vehicle or Equipment Sales, Service & Repair)	Animal Sales and Services, Household Pets Only • Vehicle - MS only: 2/1,000 sf GFA • Vehicle: 2.5/1,000 sf GFA • Bicycle: 1/20,000 sf GFA (20/80)	NP	NP	NP	NP	L-ZP	L-ZP	L-ZPIN	L-ZP	L-ZP	L-ZP	\$11.4.12; \$11.4.13
	Animal Sales and Services, All Others	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Food Sales or Market • Vehicle - MS only: 2/1,000 sf GFA • Vehicle: 2.5/1,000 sf GFA • Bicycle: 1/20,000 sf GFA (20/80)	NP	NP	NP	NP	P-ZP	P-ZP	L-ZP	L-ZP	P-ZP	P-ZP	\$11.4.14
	Pawn Shop	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Retail Sales, Service & Repair -- Outdoor* • Vehicle - MS only: 2/1,000 sf GFA • Vehicle: 2.5/ 1,000 sf GFA • Bicycle: 1/20,000 sf GFA (20/80)	NP	NP	NP	NP	NP	L-ZP	L-ZPIN	L-ZPIN	NP	NP	\$11.4.11 \$11.4.16
	Retail Sales, Service & Repair - Firearms Sales • Vehicle - MS only: 2/1,000 sf GFA • Vehicle: 2.5/ 1,000 sf GFA • Bicycle: 1/20,000 sf GFA (20/80)	NP	NP	NP	NP	NP	P-ZP	NP	NP	NP	P-ZP	
	Retail Sales, Service & Repair, All Others • Vehicle - MS only: 2/1,000 sf GFA • Vehicle: 2.5/ 1,000 sf GFA • Bicycle: 1/20,000 sf GFA (20/80)	NP	NP	NP	NP	P-ZP	P-ZP	L-ZP/L-ZPIN	L-ZP	P-ZP	P-ZP	\$11.4.11

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USE CATEGORY	SPECIFIC USE TYPE • Vehicle Parking Reqmt: # spaces per unit of measurement • Bicycle Parking Reqmt : # spaces per unit of measurement (% Required Spaces in Enclosed Facility /% Required Spaces in Fixed Facility)											APPLICABLE USE LIMITATIONS
		S-SU-A S-SU-A1 S-SU-D S-SU-Fx S-SU-F1x S-SU-Ix S-SU-I1x	S-SU-D1 S-SU-F S-SU-F1 S-SU-F1A S-SU-I S-SU-I1	S-RH-2.5	S-MU-3 S-MU-5 S-MU-8 S-MU-12 S-MU-20	S-CC-3x S-CC-5x	S-CC-3 S-CC-5	S-MX-2x	S-MX-2A	S-MX-3 S-MX-3A S-MX-5 S-MX-5A S-MX-8 S-MX-8A S-MX-12 S-MX-12A	S-MS-3 S-MS-5	
Vehicle / Equipment Sales, Rentals, Service & Repair	Automobile Emissions Inspection Facility •Vehicle: .5/ 1,000 sf GFA •Bicycle: No requirement	NP	NP	NP	NP	P-ZP	P-ZP	NP	L-ZP	P-ZP	P-ZP	\$11.4.17
	Automobile Services, Light •Vehicle: .5/ 1,000 sf GFA •Bicycle: No requirement	NP	NP	NP	NP	L-ZP	L-ZP	NP	L-ZPSE	L-ZP	L-ZP	\$11.4.18; \$11.4.19
	Automobile Services, Heavy •Vehicle: .5/ 1,000 sf GFA •Bicycle: No requirement	NP	NP	NP	NP	NP	L-ZP/ ZPSE	NP	NP	NP	L-ZP/ ZPSE	\$11.4.18; \$11.4.20
	Automobile / Motorcycle / Light Truck Sales, Rentals, Leasing; Pawn Lot or Vehicle Auctioneer* •Vehicle: .5/ 1,000 sf GFA •Bicycle: No requirement	NP	NP	NP	NP	NP	L-ZP	NP	NP	L-ZP	L-ZP	\$11.4.21
	Heavy Vehicle/ Equipment Sales, Rentals & Service* •Vehicle: .5/ 1,000 sf GFA •Bicycle: No requirement	NP	NP	NP	NP	NP	P-ZPSE	NP	NP	NP	NP	
INDUSTRIAL, MANUFACTURING & WHOLESALE PRIMARY USE CLASSIFICATION												
Communications and Information	Antennas Not Attached to a Tower* •No Parking Requirements	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.5.2
	Communication Services •Vehicle: .5/ 1,000 sf GFA •Bicycle: No requirement	NP	NP	NP	NP	S-CC-3x: L-ZP/ ZPSE S-CC-5x: P-ZP	L-ZPSE	NP	L-ZP/ZPSE	S-MX-3, -3A: L-ZP/ZPSE All Others: P-ZP	S-MS-3: L-ZP/ ZPSE S-MS-5: P-ZP	\$11.5.1
	Telecommunications Towers* •No Parking Requirements	L-ZP/ ZPIN/ ZPSE	L-ZP/ZPIN/ ZPSE	L-ZP/ ZPIN/ ZPSE	L-ZP/ZPIN/ ZPSE	L-ZP/ ZPIN/ ZPSE	L-ZP/ ZPIN/ ZPSE	L-ZP/ ZPIN/ ZPSE	L-ZP/ ZPIN/ ZPSE	L-ZP/ZPIN/ ZPSE	L-ZP/ ZPIN/ ZPSE	\$11.5.2
	Telecommunications Tower - Alternative Structure* •No Parking Requirements	L-ZP/ ZPIN	L-ZP/ZPIN	L-ZP/ ZPIN	L-ZP/ZPIN	L-ZP/ ZPIN	L-ZP/ ZPIN	L-ZP/ ZPIN	L-ZP/ZPIN	L-ZP/ZPIN	L-ZP/ ZPIN	\$11.5.2
	Telecommunication Facilities - All Others* •No Parking Requirements	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	\$11.5.2
Industrial Services	Contractors, Special Trade - General •Vehicle: .5/ 1,000 sf GFA •Bicycle: No requirement	NP	NP	NP	NP	NP	L-ZP	NP	NP	L-ZP	L-ZP	\$11.5.3
	Contractors, Special Trade - Heavy/ Contractor Yard*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	

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USE CATEGORY	SPECIFIC USE TYPE • Vehicle Parking Reqmt: # spaces per unit of measurement • Bicycle Parking Reqmt : # spaces per unit of measurement (% Required Spaces in Enclosed Facility /% Required Spaces in Fixed Facility)	S-SU-Fx S-SU-F1x S-SU-Ix S-SU-I1x	S-SU-A S-SU-A1 S-SU-D S-SU-D1 S-SU-F S-SU-F1 S-SU-F1A S-SU-I S-SU-I1	S-RH-2.5	S-MU-3 S-MU-5 S-MU-8 S-MU-12 S-MU-20	S-CC-3x S-CC-5x	S-CC-3 S-CC-5	S-MX-2x	S-MX-2 S-MX-2A	S-MX-3 S-MX-3A S-MX-5 S-MX-5A S-MX-8 S-MX-8A S-MX-12 S-MX-12A	S-MS-3 S-MS-5	APPLICABLE USE LIMITATIONS
Industrial Services	Food Preparation and Sales, Commercial •Vehicle: .5 / 1,000 sf GFA •Bicycle: No requirement	NP	NP	NP	NP	L-ZP	L-ZP	L-ZPIN	L-ZPIN	L-ZP	L-ZP	\$ 11.5.5
	Laboratory, Research, Development and Technological Services •Vehicle: .5 / 1,000 sf GFA •Bicycle: No requirement	NP	NP	NP	NP	NP	L-ZP	NP	NP	L-ZP	L-ZP	\$11.5.6
	Service/Repair, Commercial •Vehicle: .5 / 1,000 sf GFA •Bicycle: No requirement	NP	NP	NP	NP	NP	L-ZP	NP	NP	L-ZP	L-ZP	\$11.5.7
Manufacturing and Production	Manufacturing, Fabrication & Assembly -- Custom •Vehicle: .5 / 1,000 sf GFA •Bicycle: No requirement	NP	NP	NP	NP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.5.8
	Manufacturing, Fabrication & Assembly -- General •Vehicle: .5 / 1,000 sf GFA •Bicycle: No requirement	NP	NP	NP	NP	NP	L-ZP/ZPSE	NP	NP	L-ZP/ZPSE	L-ZP/ZPSE	\$11.5.9
	Manufacturing, Fabrication & Assembly -- Heavy	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Mining & Extraction and Energy Producing Systems	Oil, Gas -- Production, Drilling*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Sand or Gravel Quarry*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Wind Energy Conversion Systems* •No Parking Requirements	L-ZPIN/ZPSE	L-ZPIN/ZPSE	L-ZPIN/ZPSE	L-ZPIN/ZPSE	L-ZPIN/ZPSE	L-ZPIN/ZPSE	L-ZPIN/ZPSE	L-ZPIN/ZPSE	L-ZPIN/ZPSE	L-ZPIN/ZPSE	\$11.5.13
Transportation Facilities	Airport*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Helipad, Helistop, Heliport* •No Parking Requirements	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	L-ZP	L-ZP	L-ZPIN	L-ZPIN	L-ZP	L-ZP	\$11.5.14
	Railroad Facilities*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Railway Right-of-Way* •No Parking Requirements	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	
	Terminal, Station or Service Facility for Passenger Transit System •Vehicle: .5/ 1,000 sf GFA •Bicycle: No requirement	L-ZP	L-ZP	L-ZP	L-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	\$11.5.16
	Terminal, Freight, Air Courier Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Waste Related Services	Automobile Parts Recycling Business*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Junkyard*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Recycling Center	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Recycling Collection Station	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Recycling Plant, Scrap Processor	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Wholesale, Storage, Warehouse & Distribution	Solid Waste Facility	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Automobile Towing Service Storage Yard*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Mini-storage Facility •Vehicle: 0.1/ 1,000 sf GFA •Bicycle: No requirement	NP	NP	NP	NP	P-ZP	P-ZP	NP	NP	L-ZP	L-ZP	\$11.5.23

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USE CATEGORY	SPECIFIC USE TYPE • Vehicle Parking Reqmt: # spaces per unit of measurement • Bicycle Parking Reqmt : # spaces per unit of measurement (% Required Spaces in Enclosed Facility /% Required Spaces in Fixed Facility)	S-SU-Fx S-SU-F1x S-SU-Ix S-SU-I1x	S-SU-A S-SU-A1 S-SU-D S-SU-D1 S-SU-F S-SU-F1 S-SU-F1A S-SU-I S-SU-I1	S-RH-2.5	S-MU-3 S-MU-5 S-MU-8 S-MU-12 S-MU-20	S-CC-3x S-CC-5x	S-CC-3 S-CC-5	S-MX-2x	S-MX-2 S-MX-2A	S-MX-3 S-MX-3A S-MX-5 S-MX-5A S-MX-8 S-MX-8A S-MX-12 S-MX-12A	S-MS-3 S-MS-5	APPLICABLE USE LIMITATIONS
Wholesale, Storage, Warehouse & Distribution	Vehicle Storage, Commercial* • Vehicle: .5/ 1,000 sf GFA • Bicycle: No requirement	NP	NP	NP	NP	NP	L-ZPIN	NP	NP	NP	NP	\$11.5.24
	Wholesale Trade or Storage, General • Vehicle: .5/ 1,000 sf GFA • Bicycle: No requirement	NP	NP	NP	NP	NP	P-ZPIN	NP	NP	NP	NP	
	Wholesale Trade or Storage, Light • Vehicle: .5 / 1,000 sf GFA • Bicycle: No requirement	NP	NP	NP	NP	L-ZP/ ZPIN/ ZPSE	L-ZP/ ZPIN/ ZPSE	NP	NP	L-ZP/ ZPIN/ ZPSE	L-ZP/ ZPIN/ ZPSE	\$11.5.26
AGRICULTURE PRIMARY USE CLASSIFICATION												
Agriculture	Aquaculture*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Garden, Urban* • Vehicle: .5 / 1,000 sf GFA • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.6.2
	Husbandry, Animal*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Husbandry, Plant*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Plant Nursery • Vehicle: .5 / 1,000 sf GFA • Bicycle: No requirement	NP	NP	NP	NP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.6.4
ACCESSORY TO PRIMARY RESIDENTIAL USES USE CLASSIFICATION												
(Parking is Not Required for Accessory Uses Unless Specifically Stated in this Table or in an Applicable Use Limitation)	Unlisted Accessory Uses	L - Applicable to all Zone Districts										\$11.7
	Accessory Dwelling Unit	S-SU-F1x, S-SU-I1x only: L-ZP; All other: NP	S-SU-A1, S-SU-D1, S-SU-F1, S-SU-F1A, S-SU-I1 only: L-ZP; All other: NP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.7; \$11.8.2
	Domestic Employee	L	L	L	L	L	L	L	L	L	L	\$11.7; \$11.8.3
	Garden*	L	L	L	L	L	L	L	L	L	L	\$11.7; \$11.8.4
	Keeping of Household Animals*	L / L-ZPIN	L / L-ZPIN	L / L-ZPIN	L / L-ZPIN	L / L-ZPIN	L / L-ZPIN	L / L-ZPIN	L / L-ZPIN	L / L-ZPIN	L / L-ZPIN	\$11.7; \$11.8.5
	Keeping and Off-Street Parking of Vehicles, Motorcycles, Trailers & Recreational Vehicles*	L	L	L	L	L	L	L	L	L	L	\$11.7; \$10.9
	Kennel or Exercise Run*	L	L	L	L	L	L	L	L	L	L	\$11.7; \$11.8.6
	Limited Commercial Sales, Services Accessory to Multi-Unit Dwelling Use	NP	NP	NP	L-ZP	Not Applicable - See Permitted Primary Uses						\$11.7; \$11.8.7
	Outdoor Storage, Residential*	L	L	L	L	L	L	L	L	L	L	\$11.7; \$11.8.8
	Second Kitchen Accessory to Single Unit Dwelling Use	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.7; \$11.8.9
	Short-term Rental	L	L	L	L	L	L	L	L	L	L	\$11.7; \$11.8.10
	Vehicle Storage, Repair and Maintenance*	L	L	L	L	L	L	L	L	L	L	\$11.7; \$10.9
	Wind Energy Conversion Systems*	L-ZPIN/ ZPSE	L-ZPIN/ ZPSE	L-ZPIN/ ZPSE	L-ZPIN/ ZPSE	Not Applicable - See Permitted Primary Uses						\$11.8; \$11.5.13
	Yard or Garage Sales*	L	L	L	L	L	L	L	L	L	L	\$11.8; \$11.8.11

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USE CATEGORY	SPECIFIC USE TYPE • Vehicle Parking Reqmt: # spaces per unit of measurement • Bicycle Parking Reqmt : # spaces per unit of measurement (% Required Spaces in Enclosed Facility /% Required Spaces in Fixed Facility)	S-SU-A S-SU-A1 S-SU-D S-SU-Fx S-SU-F1x S-SU-lx S-SU-I1x	S-SU-D1 S-SU-F S-SU-F1 S-SU-F1A S-SU-I S-SU-I1	S-RH-2.5	S-MU-3 S-MU-5 S-MU-8 S-MU-12 S-MU-20	S-CC-3x S-CC-5x	S-CC-3 S-CC-5	S-MX-2x	S-MX-2A	S-MX-3 S-MX-3A S-MX-5 S-MX-5A S-MX-8 S-MX-8A S-MX-12 S-MX-12A	S-MS-3 S-MS-5	APPLICABLE USE LIMITATIONS
HOME OCCUPATIONS ACCESSORY TO PRIMARY RESIDENTIAL USES USE CLASSIFICATION												
Home Occupations (Parking is Not Required for Home Occupations Unless Specifically Stated in this Table or in an Applicable Use Limitations)	Adult Care Home	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.9
	Animal Care Services	NP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.9; §11.9.4.1
	Artist Studio	NP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.9; §11.9.4.2
	Child Care Home, Small	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.9; §11.9.4.3
	Child Care Home, Large	L-ZPIN L-ZP	L-ZPIN L-ZP	L-ZPIN L-ZP	L-ZPIN L-ZP	L-ZPIN L-ZP	L-ZPIN L-ZP	L-ZPIN L-ZP	L-ZPIN L-ZP	L-ZPIN L-ZP	L-ZPIN L-ZP	\$11.9; §11.9.3
	Food Preparation	NP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.9; §11.9.4.4
	Fresh Produce and Cottage Foods Sales*	NP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.9; §11.9.4.5
	Limited Retail Services and Repair	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.9; §11.9.4.6
	Office, Non-Medical, Non-Dental	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.9; §11.9.4.7
	Online Retail Sales	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.9; §11.9.4.8
	Professional Studio	NP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.9; §11.9.4.9
	Unlisted Home Occupations	NP	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	\$11.9; §11.9.5

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ACCESSORY TO PRIMARY NONRESIDENTIAL USES USE CLASSIFICATION												
Accessory to Primary Non-residential Uses (Parking is Not Required for Accessory Uses Unless Specifically Stated in this Table or in an Applicable Use Limitation)	Unlisted Accessory Uses	L - Applicable to all Zone Districts										\$11.7; \$11.10.1
	Amusement Devices Accessory to Eating/Drinking Establishments, College/University, and Theater Uses	NP	NP	NP	NP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.7; \$11.10.2
	Automobile Rental Services Accessory to Certain Retail Uses*	NP	NP	NP	NP	L	Not Applicable - See Permitted Primary Uses	NP	NP	Not Applicable - See Permitted Primary Uses	Not Applicable - See Permitted Primary Uses	\$11.7; \$11.10.3
	Book or gift store; media recording and production facilities accessory to public libraries, museums, places of religious assembly, colleges, or universities	L	L	L	L	Not Applicable - See Permitted Primary Uses						\$11.7; \$11.10.4
	Car Wash Bay Accessory to Automobile Services	NP	NP	NP	NP	L-ZP	L-ZP	NP	NP	L-ZP	NP	\$11.7; \$11.10.5
	College accessory to a Place for Religious Assembly	L	L	L	Not Applicable - See Permitted Primary Uses			L	Not Applicable - See Permitted Primary Uses			\$11.7; \$11.10.6
	Conference Facilities Accessory to Hotel Use	NP	NP	NP	NP	L	L	NP	NP	L	L	\$11.7; \$11.10.7
	Drive Through Facility Accessory to Eating/Drinking Establishments and to Retail Sales, Service, and Repair Uses*	NP	NP	NP	NP	L-ZP	L-ZP	NP	L-ZP	L-ZP	L-ZP	\$11.7; \$11.10.8
	Emergency Vehicle Access Point	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Garden*	L	L	L	L	L	L	L	L	L	L	\$11.7; \$11.10.10
	Keeping of Animals	L/L-ZPIN	L/L-ZPIN	L/L-ZPIN	L/L-ZPIN	L/L-ZP/L-ZPIN	L/L-ZP/L-ZPIN	L/L-ZPIN	L/L-ZP/L-ZPIN	L/L-ZP/L-ZPIN	L/L-ZP/L-ZPIN	\$11.7; \$ 11.10.11
	Limited Commercial Sales, Services	L	L	L	L	L	L	L	L	L	L	\$11.7; \$11.10.12
	Nonresidential Uses in Existing Business Structures In Residential Zones - Accessory Uses	L	L	L	L	Not Applicable						\$11.7; \$11.4.6
	Occasional Sales, Services Accessory to <u>Primary</u> Places of Religious Assembly <u>or Primary Uses Operated by Nonprofit Organizations*</u>	L	L	L	L	L	L	L	L	L	L	\$11.7; \$11.10.13
	Outdoor Gathering Area*	L/L-ZP/L-ZPIN	L/L-ZP/L-ZPIN	L/L-ZP/L-ZPIN	L/L-ZP/L-ZPIN	L/L-ZP/L-ZPIN	L/L-ZP/L-ZPIN	L/L-ZP/L-ZPIN	L/L-ZP/L-ZPIN	L/L-ZP/L-ZPIN	L/L-ZP/L-ZPIN	\$11.7; \$11.10.14
	Outdoor Entertainment Accessory to an Eating/Drinking Establishment Use*	NP	NP	NP	NP	L-ZPIN/ZPSE	L-ZPIN/ZPSE	NP	NP	L-ZPIN/ZPSE	L-ZPIN/ZPSE	\$11.7; \$11.10.15
	Outdoor Retail Sale and Display*	NP	NP	NP	NP	L-ZP/ZPSE	L-ZP/ZPSE	NP	L-ZP/ZPSE	L-ZP/ZPSE	L-ZP/ZPSE	\$11.7; \$11.10.16
	Outdoor Storage, General*	NP	NP	NP	NP	L-ZP	L-ZP	NP	NP	L-ZP	NP	\$11.7; \$11.10.17
	Outdoor Storage, Limited*	NP	NP	NP	NP	L	L	L	L	L	L	\$11.7; \$11.10.18
	Rental or Sales of Adult Material Accessory to a Permitted Book-store Retail Sales Use	NP	NP	NP	NP	L	L	L	L	L	L	\$11.7; \$11.10.19
	<u>Retail Food Establishment, Mobile (Food Truck)*</u>	<u>L-ZP</u>	<u>L-ZP</u>	<u>L-ZP</u>	<u>L-ZP</u>	<u>L-ZP</u>	<u>L-ZP</u>	<u>L-ZP</u>	<u>L-ZP</u>	<u>L-ZP</u>	<u>L-ZP</u>	<u>\$11.7; \$11.10.20</u>

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TEMPORARY USE CLASSIFICATION

	Unlisted Temporary Uses	L - Applicable to all Zone Districts										\$11.11.1
	Ambulance Service - Temporary	NP	NP	NP	L-ZP	Not Applicable - See Permitted Primary Uses						
Temporary Uses (Parking is Not Required for Temporary Uses Unless Specifically Stated in this Table or in an Applicable Use Limitations)	Amusement / Entertainment - Temporary*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	\$11.11.2
	Bazaar, Carnival, Circus or Special Event*	<u>L/L-ZP</u>	<u>L/L-ZP</u>	<u>L/L-ZP</u>	<u>L/L-ZP</u>	<u>L/L-ZP</u>	<u>L/L-ZP</u>	<u>L/L-ZP</u>	<u>L/L-ZP</u>	<u>L/L-ZP</u>	<u>L/L-ZP</u>	\$11.11.4
	Building or yard for construction materials*	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.5
	Concrete, Asphalt, and Rock Crushing Facility*	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.6
	Fence for Demolition or Construction Work	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.7
	Health Care Center	L-ZP	L-ZP	L-ZP	L-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	P-ZP	\$11.11.8
	Noncommercial Concrete Batching Plant*	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.9
	Outdoor Retail Sales - Pedestrian / Transit Mall*	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
	Outdoor Retail Sales*	NP	NP	NP	NP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	NP	\$11.11.11
	Outdoor Sales, Seasonal*	NP	NP	NP	NP	L-ZP	L-ZP	L-ZP/ ZPIN	L-ZP/ZPIN	L-ZP	L-ZP	\$11.11.12
	Parking Lot Designated for a Special Event*	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.13
	Retail Food Establishment, Mobile (Food Truck)*	NP	NP	NP	NP	<u>L/L-ZP</u>	<u>L/L-ZP</u>	NP-L/L-ZP	<u>L/L-ZP</u>	<u>L/L-ZP</u>	NP-L/L-ZP	\$11.11.14
	Temporary Construction Office	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.15
	Temporary Office - Real Estate Sales	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	L-ZP	\$11.11.16
	Temporary Managed Community*	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	L-ZPCIM	\$11.11.17
	Tent for Religious Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	

